

Tuesday, October 21, 2025

7:00 PM

McFarland Municipal Center  
5915 Milwaukee St, McFarland  
Community Room

## AGENDA

The public may attend in-person or remotely through the Zoom webinar or telephone options listed below. *Please Note: Virtual attendance is offered as a convenience, but technical difficulties beyond the Village's control may prevent or limit its availability at any meeting. The public is encouraged to attend the meeting in person to assure full access to the proceedings.*

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/85755749643>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 857 5574 9643

Press \*9 to raise/lower hand. Press \*6 to mute/unmute.

## 1. CALL TO ORDER, ROLL CALL.

## 2. PUBLIC APPEARANCES.

- a. This is an opportunity for members of the public to address the Plan Commission for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Commission about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Commission should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Commission for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to [community.development@mcfarland.wi.us](mailto:community.development@mcfarland.wi.us) to be included as part of the meeting.

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

## 3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the September 16, 2025 Plan Commission meeting.

## 4. BUSINESS.

- a. Discussion and recommendation to the Village Board to approve a Final Plat for Sperle Corners, including associated Street and Utility Plan, Stormwater Management Plan, and Development Agreement, submitted by Lakestone Properties for a 147-unit residential subdivision located at parcel 0610-024-9691-1.
- b. Discussion and action on Plan Commission Resolution 2025-01, a resolution approving a Planned Development Detailed Plan for Phase I Development on Lot 18 of the Sperle Corners Plat for construction of a 40-unit apartment building.
- c. Discussion and action to make a recommendation to the Village Board regarding renewal of a contract with General Engineering Company for building inspection services.

5. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, November 18, 2025 at 7:00PM.

6. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or [village.clerk@mcfarland.wi.us](mailto:village.clerk@mcfarland.wi.us) by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

## **Plan Commission Minutes September 16, 2025, at 7:00 P.M.**

**Members Present:** Stephanie Brassington, Luke Fessler, Austen Conrad, Karen Pominville, Scott Peters, Eric Johnson, Chris Reynolds

**Staff Present:** Andrew Bremer, Kong Thao

1. CALL TO ORDER, ROLL CALL

Chair Brassington called the meeting to order at 7:00 P.M.

2. PUBLIC APPEARANCES.

There were no public appearances in the room or via zoom.

3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the August 19, 2025, meeting.

Brassington motioned to approve the minutes of the August 19, 2025, Plan Commission meeting. Pominville seconded the motion. Motion passed 6-0-1, with Reynolds abstaining.

4. PUBLIC HEARING.

- a. Public hearing on a Final Plat for Sperle Corners submitted by Lakestone Properties for a 147-unit residential subdivision located at parcel 0610-024-9691-1.

Brassington opened the public hearing at 7:17 PM. Thao provided a summary of the agenda item and details needed for approval by the October Plan Commission meeting. Bremer provided additional comments on the Final Plat, a summary of the Department Head's letters, land dedication, park improvements, road widths, and on-street parking. The Commission discussed some clarifying details of the changes from the preliminary plat to the final plat, however substantially stayed the same.

Denny Behr, 6041 Rebecca Way, appeared via Zoom and asked about the site's erosion control plan in relationship to the existing adjacent properties and Skaalen Village (west). Bremer commented on the Applicant's submitted erosion control plan and its function, adding that this is also reviewed by the Village Engineer to meet Village code.

Brassington closed the public hearing at 7:22 PM.

- b. Public hearing on Plan Commission Resolution 2025-01, a resolution approving a Planned Development Detailed Plan for Phase I Development on Lot 18 of the Sperle Corners Plat for purposing of constructing a 40-unit apartment building.

Brassington opened the public hearing at 7:23 PM. Thao provided a summary on the agenda item, discussing the proposed floor plan, room design, and building footprint. Brian Spanos, Lakestone Properties and Applicant, provided additional details on the building's features while comparing this building to previously completed projects. Matt Tills, Knothe & Bruce and Project Architect, commented on the building materials and design. The Committee discussed rental unit costs and schedule of Phase II.

Behr spoke again about the building's solution to stormwater runoff into the underground areas of the building. Spanos commented on soil testings of the site, adjustments made, and water pumps for the whole building.

Brassington closed the public hearing at 7:42 PM.

5. BUSINESS.

- a. Discussion and recommendation to the Village Board to approve a contract with Baker Tilly to update the Village's Park Impact Fee Study.

Bremer's summary included previous Commission discussions related to the topic, other committee/commission discussions, and activities related to the previous park impact fee study. The Commission discussed the topics in Bremer's summary, comparisons to other Dane County communities, and how the impact fees are related to the Village's Comprehensive Outdoor Recreation Plan and subdivision parkland dedication ordinance. Bremer provided feedback on the Commission's questions and comments.

Brassington motioned to recommend to the Village Board approval of a contract with Baker Tilly to update the Village's Park Impact Fee Study. Peters seconded the motion. Motion passed 7-0.

6. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, October 21, 2025, at 6:00PM, Joint Meeting with the Community Development Authority
- b. Tuesday, October 21, 2025, at 7:00PM

7. ADJOURNMENT.

Conrad motioned to adjourn. Reynolds seconded the motion. Motion passed 7-0. Meeting adjourned at 8:10 PM.

  
VILLAGE OF  
**McFarland**  
**SUMMARY SHEET**

**MEETING DATE:** Tuesday, October 21, 2025

**SECTION:** Business

**DEPARTMENT:** Community Development

**CONTACT:** Andrew Bremer, Comm & Eco Dev Director

**AGENDA ITEM:** Discussion and recommendation to the Village Board to approve a Final Plat for Sperle Corners, including associated Street and Utility Plan, Stormwater Management Plan, and Development Agreement, submitted by Lakestone Properties for a 147-unit residential subdivision located at parcel 0610-024-9691-1.

**PREVIOUS ACTION:**

May 20, 2025 - Plan Commission held public hearing on request for rezone and preliminary plat review.

June 17, 2025 - Plan Commission recommended approval of rezone and preliminary plat review of Sperle Corners.

June 24, 2025 - Village Board approves of rezone and preliminary plat review of Sperle Corners.

September 16, 2025 - Plan Commission held public hearing on a final plat and Phase 1 Detailed Plan.

September 17, 2025 - Public Works & Utilities Committee discussed the Final Plat, associated Street and Utility Plans, and recommended approval to Village Board with three conditions of approval.

**ISSUE SUMMARY:**

Lakestone Properties is requesting approval of a Final Plat for parcel 0610-024-9691-1 at the northwest intersection of Elvehjem Road and County Hwy AB, to be named Sperle Corners, for a proposed 147-unit residential subdivision. The Preliminary Plat was approved by the Village Board at the June 24, 2025 meeting. The public hearing for this item was held at the September 16, 2025 Plan Commission meeting. The proposed plat will include 18 residential Lots and 2 public Outlots. The proposed plat includes a mix of 2-unit, 4-unit, multifamily buildings, dedicated stormwater (Outlot 1) and parkland (Outlot 2). Lots 3-16 each are designed for zero lot line duplex buildings (14 total units), Lots 1, 2, and 17 each include four-plex buildings (16 total units), and Lot 18 includes two 40-unit multifamily apartments and one 37-unit apartment building (117 total units). Phase 1 construction activities will include Building #1, a 40-unit apartment building on Lot 18 (western building), Devil's Lake Way street and utility construction, extension of public water main along Elvehjem Road to the planned intersection of Devil's Lake Way, two stormwater retention systems, and mass grading on the property.

**Review Procedures for Final Plat**

Per Sec. 56-38(b), *The Plan Commission shall examine the Final Plat as to its conformance with the approved Preliminary Plat, any conditions of approval of the Preliminary Plat, this Chapter*



*and all applicable ordinances, rules, regulations, comprehensive plans, and compressive plan components, which may affect it and shall recommend approval, conditional approval or rejection of the Plat to the Village Board.* Although not required under the Village's Subdivision Ordinance, it is also customary for the Public Works and Utilities Committee to make recommendations to the Village Board and Plan Commission on land development and redevelopment proposals to the extent they affect public utilities or other public facilities. The Public Works and Utilities Committee reviewed the Final Plat at their September 17 meeting and recommended approval conditioned on the applicant addressing the concerns raised in the staff reports from the Village Engineer (dated September 8, 2025) and Fire Chief (dated September 5, 2025) and updating the Street and Utility Plans to include stubbing a water lateral to the front property line of Outlot 2 for future public park use. The packet includes updated plans dated 09.22.2025 from the applicant addressing the prior staff comments along with responses to the Village Engineer's and Fire Chief's September review letters.

### **Department Comments**

Included in the packet is a staff report from the Village Engineer (dated 09.08.25) regarding recommended conditions of approval for the Final Plat, Street and Utility Plan, and Stormwater Management Plan. The packet also includes a staff report from the Village Fire Chief (dated 09.05.2025). Noting that it is the intent of the developer to restrict the south and west side of Devil's Lake Way for no on-street parking based on the width of the street as recommended in their [Traffic Impact Analysis Report](#). The Village Engineer and Fire Chief are recommending the developer submit a plan sheet to illustrate the fire department access plan and on-street parking restrictions to confirm acceptable apparatus maneuver along the curve of Devil's Lake Way prior to the October 21st Plan Commission meeting. Staff notes that the revised plan documents dated 09.22.2025 did not fully address all of the prior staff comments. Items of particular note include:

- Elvehjem Road Public Water Utility. Lakestone has proposed a private water main through the parking lot of Lot 18 to serve future apartment buildings 1-3 in lieu of the developer extending the public main from Devil's Lake Way to CTH AB. Under Sec. 56-120 of the Subdivision Code, utility services shall be extended to the farthest limit of the parcel or lot upon which a building permit is requested unless otherwise excused by the Village Board, Plan Commission or Village utilities officials. The intent of this provision is to allow the next developer downstream the ability to connect to the utility, similar to how utilities were previously brought to the western edge of Lakestone's property for their future connection. Previous concepts from Lakestone included connecting water laterals from the three apartment buildings along Elvehjem Road to the proposed public water main. The private main on Lot 18 is essential the same length as the public main on Elvehjem Road and is thus redundant. Lakestone would also be responsible for any repairs to the proposed private main on Lot 18 versus only being responsible for private laterals if the buildings are connected to a public main on Elvehjem Road. Lakestone has agreed to remove the private main on Lot 18 and phase construction and connection of the public water main on Elvehjem Road from Devil's Lake Way to CTH AB with construction of each building. However, the plans in the packet don't reflect those changes yet.
- Fire Lane Plan. The packet includes a Fire Lane Plan (dated October 3, 2025); however,



it does not address all of the concerns raised in the Fire Chief's September 5 review letter. Amendments are needed to account for turning from north/west for lots 1 and 17, a 26' fire apparatus access road width within 20 feet of a hydrant and a 26' wide aerial access road will be required on Lot 18 because of buildig's roof edge exceeds 30' from the ground plane.

In addition to addressing the Village Engineer and Fire Chief review comments, the prior conditions of approval for the Preliminary Plat included:

1. *Lakestone to include a note on the Final Plat noting the grading and development restrictions in the 75' wetland setback area. This condition has been met.*
2. *Lakestone shall have 24 months after the date of approval of the Preliminary Plat to file the Final Flat for review and approval by the Village Board, otherwise the Preliminary Plat will be considered void unless an extension is requested in writing and granted by the Village prior to the 24 month termination date. The condition has been met.*
3. *Concurrent with the Final Plat, review and approval of a development agreement between Lakestone and the Village. Sec. 56-104 of the Subdivision Code also requires the subdivider to enter into a development agreement with the Village to furnish and construct the proposed improvements in accordance with the final approved plans and specifications. Included in the packet is an updated copy of the development agreement, which is similar to the agreement utilized for Rosewood Fields.*

### **Public Comments**

The Department did not receive any public comments prior to the publication of this packet.

### **Next Steps**

Additional planned meetings are highlighted below. Village staff will work with the Developer on additional plan edits to address final staff comments.

- October 28 Village Board meeting. Approval of Final Plat, including associated Street and Utility Plan, Stormwater Management Plan, and Development Agreement.

### **FINANCIAL/BUDGET IMPACT:**

The developer shall be responsible for the costs for the street and utility improvements for the proposed plat in accordance with the development agreement and Village ordinances.

### **VILLAGE PLAN REFERENCE:**

#### **Comprehensive Plan, 2017**

The Village Comprehensive Plan Future Land Use Map identifies the proposed development site for future "Neighborhood" uses and wetlands. Page 33 of Volume 2, describes that *areas planned for "Neighborhood" development include a range of housing choices compatible with the Village's current and desired character are permitted, along with parks and smaller-scale institutional uses like senior housing and churches....see the Village's separate East Side Neighborhood Plan for further conceptual guidance for future land uses in this area.*" Figure



4.1 lists the Typical Implementing Zoning Districts in Neighborhood areas include R-1 Residence District, R-2 Single- and Two-Family Residence, R-3 General Residence, R-E Elderly Residence, PD Planned Development, PD-I Planned Development Infill. The Applicant's approved Planned Unit Development General Plan includes a range of housing choices and a public park.

### **East Side Plan, 2023**

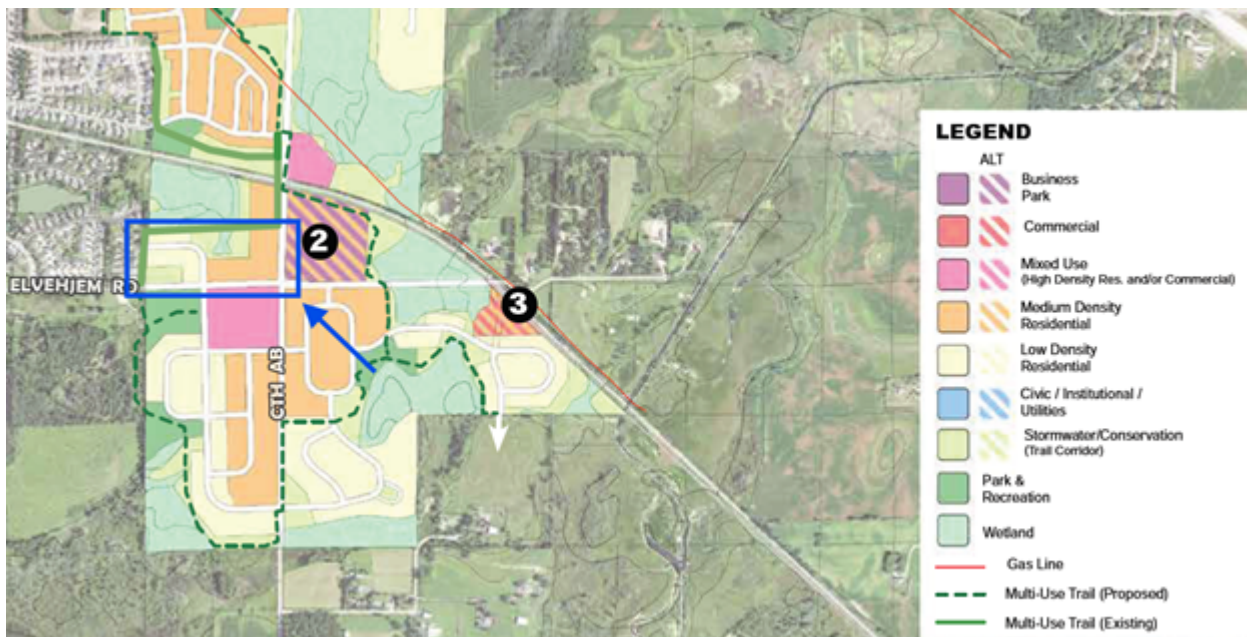
The 2023 East Side Master Plan Concept ([Chapter 4](#)) identifies multiple uses for the property (see image below). The uses include Low Density Residential, Medium Density Residential, Stormwater/Conservation, and Wetlands. The following land use category descriptions are as provided. As stated, "*these policies shall be enforceable through the generalized future land map in the Village's Comprehensive Plan (Chapter 4, Page 65).*"

- Stormwater & Conservation (SC) "*areas include conservation areas, cemeteries, stormwater management, greenways, major public trails, and land recommendations for preservation.*" The location of wetlands shown in the 2023 East Side Plan was based on available WDNR aerial data. A wetland delineation was completed for the property in October 2022 that showed considerably fewer wetland areas than the WDNR aerial data. The Village requires a minimum 75-foot building setback from wetland boundaries. The Final Plat, Street and Utility Plan and Stormwater Management Plan includes additional detail on wetland and stormwater management areas.
- Low Density Residential (LDR) "*primarily consists of single-unit detached homes with strategically located 2-unit attached, 3-/4-unit buildings (triple and fourplex, respectively). Typical net densities should average 2-5 units per acre (throughout the entire neighborhood plan), with individual developments up to 10 units per acre. Three and 4-unit structures are most appropriate as a transition use when facing or next to more intensive institutional, residential or commercial uses. Lots 1-17 are generally aligned with the area mapped as LDR in the 2023 East Side Plan. These lots have net densities ranging from 2.0-8.9 dwelling units per acre with a total net density of 6.1 dwelling units per acre, below the maximum 10 units per acre for individual developments. The 2023 East Side Plan does not mandate that all areas mapped LDR must include single-family dwelling units. The context of each development area should be considered as well. While the Final Plat does not include any single-family homes, it does continue the existing pattern of duplex developments to the west before transitioning to 4-unit buildings and then apartment buildings. In addition, the existing duplex residential buildings on Perrot Place are more than 150 feet from the proposed building footprints on Lots 8 and 9. Physical barriers from the existing bike and pedestrian path, existing tree line, and wetlands, create added separation between the existing residential homes and the proposed dwelling units.*"
- Medium Density Residential (MDR) "*includes detached single-unit homes and attached housing units such as duplexes, triplexes, townhomes, small and mid-sized multi-unit buildings. Developments in MDR areas should provide the greatest diversity of housing unit types, forms, and prices. Typical net densities should average 5-15 units per acre (throughout the entire neighborhood plan), with individual developments up to 20 dwelling units/acre...densities greater than 20 DU/AC for legally restricted affordable housing units.*" The net density of Lot 18 is 15.9 DU/AC, below the maximum 20 units

per acre for individual developments.

Page 62 of Chapter 4 of the East Side Plan states that *"while the general pattern of land uses and major streets shown in this concept should be reflected in actual development, it is recognized that more detailed elements within the concept, such as the locations of minor streets, location/sizing of stormwater management areas, precise boundaries of land uses, or the specific dimensions of blocks, are only concepts."* Along the west lot line, the concept includes similar scale housing types to the existing neighborhood to the west, transitioning to larger residential type buildings with higher unit counts to the east along CTH AB, consistent with the intent of the 2023 East Side Plan. In Staff's opinion, the Final Plat provides a consistent layout with the intent of the Master Plan Concept from the 2023 East Side Plan and is consistent with the prior approved Preliminary Plat.

**East Side Master Plan Future Land Use Map.**



**ORDINANCE REFERENCE:**

[Chapter 56 Subdivisions](#)

**BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:**

Recommended motion:

*Motion, and second, to recommend to the Village Board approval of a Final Plat for Sperle Corners, including associated Street and Utility Plan, Stormwater Management Plan, and Development Agreement with the following conditions of approval:*

1. Applicant to submit final revised plans for acceptance by the Fire Chief to address those comments raised in the Fire Chief staff report dated September 5, 2025.



2. *Applicant to submit final revised plans for acceptance by the Village Engineer to address those comments raised in the Village Engineer's staff report dated September 8, 2025, including adding a water lateral to the front property line of Outlot 2 for future public park use.*
3. *Applicant to submit final revised plans for acceptance by the Village Engineer removing the proposed private water main on Lot 18 and constructing a public water main along the Elvehjem Road right-of-way to CTH AB to serve proposed buildings on Lot 18.*
4. *Applicant to provide final exhibits for the Development Agreement for review and acceptance by the Village Engineer, Community & Economic Development Director, and Village Attorney prior to recording.*

**ATTACHMENTS:**

1. 9.16.25 - Sperle Corners - final plat - Lakestone - newspaper
2. Sperle Corners Final Plat and Street and Utility Plan\_08.05.25(rev 09.22.25)
3. Sperle Corners Stormwater Submittal (09-22-2025)
4. Development Agreement for Sperle Corners - 10.15.25
5. Sperle Corners PUD Detailed Plan - Fire Chief Letter of Review\_09.05.2025
6. Sperle Corners PUD Detailed Plan - Fire Chief Letter of Review\_09.05.2025-Quam Response 10-2-2025
7. Sperle Corners PUD - Village Engineer Letter of Review\_09.08.2025
8. Sperle Corners PUD - Village Engineer Letter of Review\_09.08.2025\_Quam Responses 9-22-2025

Please publish in the  
Leader Independent on  
August 28, 2025 and September 4, 2025

**VILLAGE OF MCFARLAND  
NOTICE OF PUBLIC HEARING  
BEFORE THE PLAN COMMISSION**

NOTICE IS HEREBY GIVEN that there will be a public hearing before the Plan Commission on Tuesday, September 16, 2025 at 7:00 p.m. in the Community Room of the Municipal Center, 5915 Milwaukee St., McFarland, Wisconsin, at which time interested parties and citizens shall have an opportunity to be heard concerning the following:

A request by Lakestone Properties and Management LLC for review and possible recommendation to the Village Board for approval of a Final Plat for Sperle Corners Subdivision, lands located at the northwest corner of Elvehjem Road and County Highway AB, Parcel #154/0610-024-9691-1, Village of McFarland, WI.

A complete copy of the applicant's application is available for review online at [www.mcfarland.wi.us/pendingrequests](http://www.mcfarland.wi.us/pendingrequests) or at the Village of McFarland Municipal Center, Community & Economic Development Department, 5915 Milwaukee Street, McFarland, WI 53558 (Monday-Friday, 8:00 a.m. to 4:30 p.m.).

Residents wishing to attend the meeting can do so in-person at the Municipal Center or via Zoom by visiting <https://us02web.zoom.us/j/85755749643> or Telephone: Dial (for higher quality, dial a number based on your current location): US: +1 (312) 626-6799 Webinar ID: 857 5574 9643. Please Note: Virtual attendance is offered as a convenience, but technical difficulties beyond the Village's control may prevent or limit its availability at any meeting. The public is encouraged to attend the meeting in person to assure full access to the proceedings.

If you cannot attend the meeting, you may submit your written comments to the Plan Commission by email to [community.development@mcfarland.wi.us](mailto:community.development@mcfarland.wi.us) or by mail to Community Development Department, Village of McFarland, P.O. Box 110, McFarland, WI 53558-0110. Submission must be received no later than the Wednesday prior to the meeting date to be included in the packet.

## Plan Commission Application – 2025

~Application must be completed in full~

Applicant	Lakestone Properties and Management, LLC	Applicant's Agent	Brett Riemen
Property Owner (if different)	Diana Sperle & Mary Teppo	Name	
Address		Address	5910 Main St, McFarland WI 53558
Email		Email	brett@lakestoneproperties.com
Phone #		Phone #	608-838-1800

**Parcel No(s).** \_\_\_\_\_ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
<input type="checkbox"/> Preliminary Plat	\$500+AF	<input type="checkbox"/> Conditional Use	\$425+F	<input type="checkbox"/> Annexation	At cost
<input type="checkbox"/> Preliminary Plat (reapplication)	\$500+BF	<input checked="" type="checkbox"/> Rezoning (map)	\$475+F	<input checked="" type="checkbox"/> Dev. Agreement Including Addendums	\$400+F
<input type="checkbox"/> Certified Survey Map	\$300+FG	<input type="checkbox"/> Zoning Amendment (text)	\$475+F	<input checked="" type="checkbox"/> Final Plat	\$500+CF
<input type="checkbox"/> Condominium	\$300+EF	<input type="checkbox"/> USA/MMSD Annexation	At cost	<input type="checkbox"/> Final Plat (reapplication)	\$400+DF
<input type="checkbox"/> Comprehensive Plan Amendment	\$500+F			<input checked="" type="checkbox"/> Site/Design Review	\$400+F
+ = Plus publication and notification charges A = Plus \$50.00 per lot B = Any preliminary plat which has previously been reviewed/revise within the last 36 months C = Plus \$50.00 for each lot within the final plat D = Any final plat which has been previously reviewed/revise within the last 36 months E = Plus \$40.00 for each unit shown F = Plus actual legal, engineering and financial consulting costs incurred by the Village G = Plus \$25.00 per lot for two or more lots.				<b>Escrow Deposits</b> (covers costs for outside consultants; e.g., engineers, attorneys, etc.)	
				<input type="checkbox"/> R-E, R-3 & PD (up to 50 acres)	\$5,000
				<input type="checkbox"/> R-E, R-3 & PD (greater than 50 acres)	\$10,000
				<input type="checkbox"/> Site/Design Review (less than 2,000 sq. ft.)	\$1,000
				<input type="checkbox"/> Site/Design Review (2,000 sq. ft. or more)	\$2,000
				<input checked="" type="checkbox"/> All Plats including condominiums	\$5,000

**Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional papers if needed)**

Development of Lot 18, Phase 1 Apartment building, associated drive aisles and parking lots in conformance with the approved planned development.

**PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE**

**Has this specific proposal been previously discussed or acted upon by the Plan Commission?**

YES  NO (If "yes" state the nature and the date(s) of the previous application.)

Planned Development approved June 6, 2025

**Submittal Requirements:** One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, [community.development@mcfarland.wi.gov](mailto:community.development@mcfarland.wi.gov)), with fees included with submittal **by \*NOON of the deadline day**, according to the schedule below.

**Village of McFarland Plan Commission 2025 Schedule**

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices, potential agenda item materials are required to be submitted per the schedule listed below.

<u>*Submittal Deadline Noon on:</u>	<u>For Scheduled 2025 Meeting date of:</u>
December 10 (2024)-----	January 21
January 7-----	February 18
February 4-----	March 18
March 4-----	April 15
April 8-----	May 20
May 5-----	June 17
June 3-----	July 15
July 8-----	August 19
August 5-----	September 16
September 9-----	October 21
October 7-----	November 18
November 4-----	December 16
December 9-----	January 20, 2026

**Applications requiring a public hearing will be scheduled for a hearing according to the schedule above. If there is written or verbal public opposition submitted as part of the public hearing the Plan Commission will postpone action on the application to a subsequent meeting so that concerns can be analyzed if concerns can't be addressed during the hearing. If there is no public opposition and no unresolved issues by Village Staff or Plan Commission members, the Plan Commission may take action on the application at the same meeting as the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.**

**Acknowledgements:**

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing may not be acted on the same night as the Public Hearing

**X**   
Signature of Applicant/Agent

**Date** 8/5/25



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_

Department of Administration

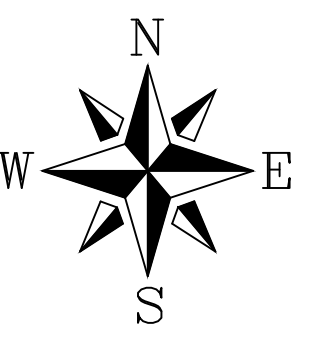
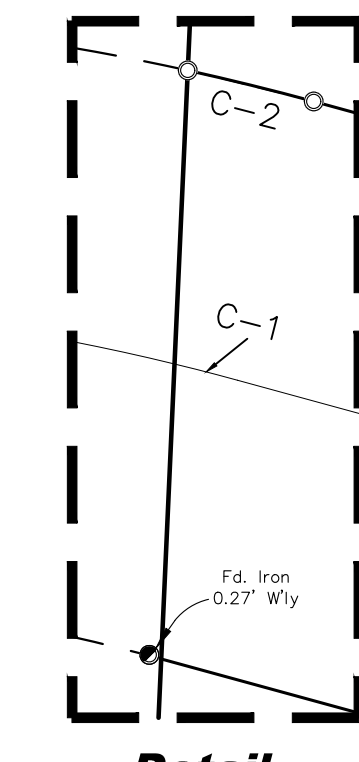
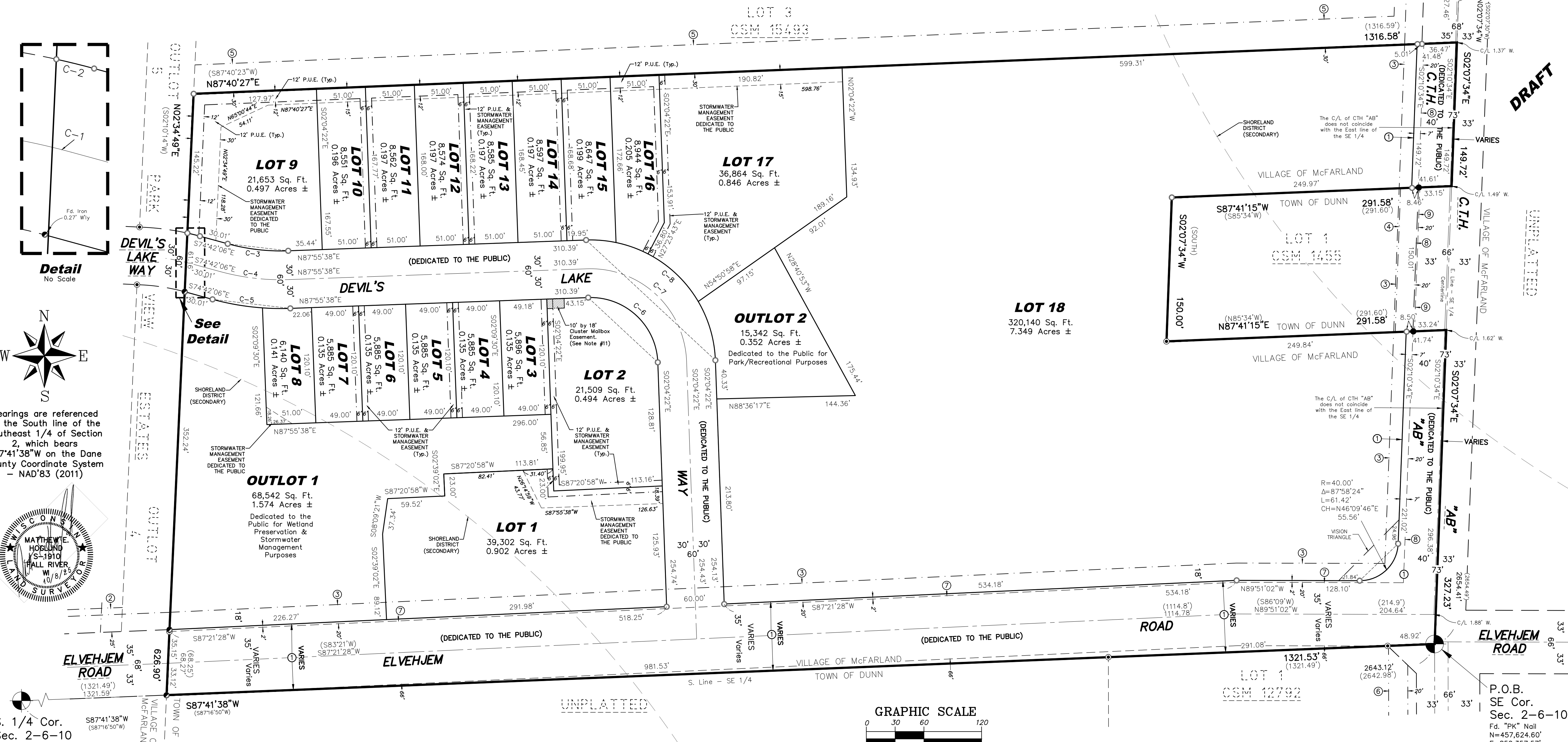


# SPERLE CORNERS

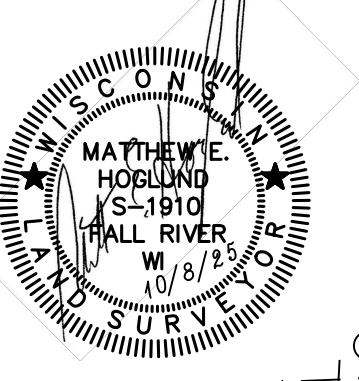
Part of the SE 1/4 of the SE 1/4 of Section 2, Township 6 North, Range 10 East, Village of McFarland, Dane County, Wisconsin

## FINAL PLAT

Total Area  
780,586 Sq. Ft.  
17.9198 Acres ±



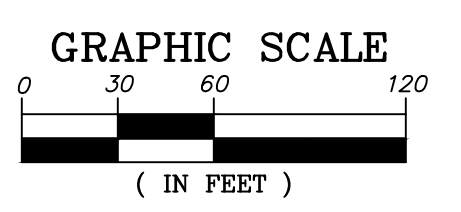
Bearings are referenced to the South line of Section 2, which bears S87°41'38"W on the Dane County Coordinate System - NAD'83 (2011)



S. 1/4 Cor. Sec. 2-6-10  
Fd. Alum. Mon.  
N=457,518.24'  
E=849,716.59'

E. 1/4 Cor. Sec. 2-6-10  
Fd. "PK" Nail  
N=460,277.18'  
E=852,456.04'

P.O.B. SE Cor. Sec. 2-6-10  
Fd. "PK" Nail  
N=457,624.60'  
E=852,357.57'



### EASEMENT/RIGHT-OF-WAY NOTES

- Right-of-Way dedicated to the Public as noted hereon.
- 25' Public Stormwater Easement per Park View Estates.
- 20' WP&L Gas Main Easement per Vol. 378, P. 577 - Doc. No. 1052660.
- 20' Utility Easement per CSM 1455.
- 30' Public Sewer, Water and Bike Path Easement per CSM 15493.
- 20' WP&L Gas Main Easement per Vol. 397, P. 330 - Doc. No. 1082351.
- 66' Wide Conveyance of Lands for Highway Purposes to the Town of Dunn per Doc. 1008944 & Dane County Hwy. Survey Proj. No. 61-14.
- West Line of Conveyance of Lands for Highway Purposes to the Town of Dunn per Doc. 831820 & Survey Plat Map No. 249 by Alex Ely, Dane County Surveyor, dated March 26, 1952.
- CSM 1455 depicted W. R/W CTH "AB" 33' W. of Section Line vs. prior Doc. 831820 & Survey Plat Map No. 249 used hereon.

### LEGEND

- 3/4" Rebar Found
- 1-1/4" Iron Rebar Found
- 1" Iron Pipe Found (unless noted)
- 1-1/4" by 18" Iron Rebar Set Weighing 4.30 lbs./ft.
- All other Lot and Outlot Corners are Set 3/4" by 18" Iron Rebar Weighing 1.50 lbs./ft. (43.12')
- Record Dimensions (if different) Boundary Lines per this Survey
- Deed/Survey Line of Record
- Existing R/W Line
- Sectional Subdivision Line
- Existing Easement Line
- Lot or R/W Line Centerline
- Public Utility & Stormwater Management Easement (PUE) Dedicated Hereon (12' wide unless noted)
- Storm Sewer/Stormwater Management Easement Dedicated Hereon

### CURVE DATA TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD	TANGENT BEARINGS
C1	240.00'	01°36'50"	6.76'	S75°30'31"E - 6.76'	S76°18'56"E (on map)
C2	270.00'	02°51'39"	13.48'	S76°07'56"E - 13.48'	S77°33'45"E (on map)
C3	210.00'	17°22'16"	63.67'	S83°23'14"E - 63.42'	(on map) (on map)
C4	240.00'	17°22'16"	72.76'	S83°23'14"E - 72.49'	(on map) (on map)
C5	270.00'	17°22'16"	81.86'	S83°23'14"E - 81.55'	(on map) (on map)
OUTLOT 1	11°13'00"	52.86'	S80°18'36"E - 52.77'	-	-
LOT 8	06°09'16"	29.00'	S88°59'44"E - 28.99'	-	-
C6	70.00'	90°00'00"	109.96'	S47°04'22"E - 99.00'	(on map) (on map)
C7	100.00'	90°00'00"	157.08'	S47°04'22"E - 141.42'	(on map) (on map)
C8	130.00'	90°00'00"	204.20'	S47°04'22"E - 183.85'	(on map) (on map)
LOT 15	13°49'15"	31.36'	S85°09'45"E - 31.28'	-	-
LOT 16	15°38'50"	35.50'	S70°25'42"E - 35.39'	-	-
LOT 27	32°08'46"	72.94'	S46°31'54"E - 71.98'	-	-
OUTLOT 2	28°23'09"	64.40'	S16°15'57"E - 63.75'	-	-

ENGINEER/SURVEYOR:  
Ryan Quam, P.E.  
Matthew E. Hoglund, P.L.S.  
Quam Engineering, LLC  
4604 Siggelkow Road - Suite A  
McFarland, WI 53558  
Ph: (608) 838-7750

OWNER & SUBDIVIDER:  
Lakestone Properties & Management, LLC  
c/o Brian Spanos  
5910 Main Street, Suite 1  
McFarland, WI 53558  
Ph: (608) 838-1800

SEE SHEET 1 FOR NOTES & CERTIFICATES.  
SEE SHEET 3 FOR WETLAND DETAILS.  
SHEET 2 OF 3

FINAL PLAT  
SPERLE CORNERS  
PROJECT NO. LS-03-19  
QUAM ENGINEERING, LLC  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752

# SPERLE CORNERS

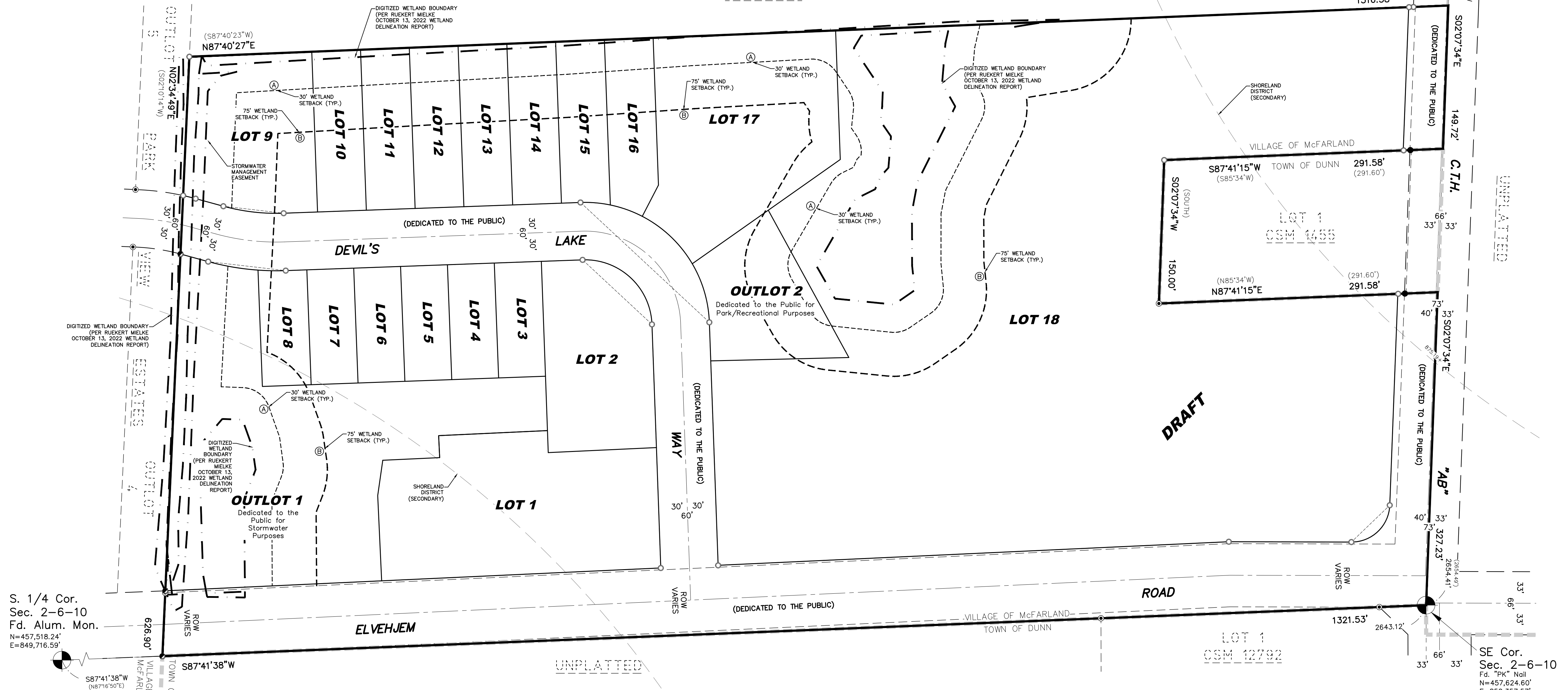
Part of the SE 1/4 of the SE 1/4 of Section 2, Township 6 North, Range 10 East, Village of McFarland, Dane County, Wisconsin

## FINAL PLAT WETLAND DETAILS

DRAFT

E. 1/4 Cor.  
Sec. 2-6-10  
Fd. "PK" Nail  
N=460,277.18'  
E=852,456.04'

LOT 3  
CSM 15493



S. 1/4 Cor.  
Sec. 2-6-10  
Fd. Alum. Mon.  
N=457,518.24'  
E=849,716.59'

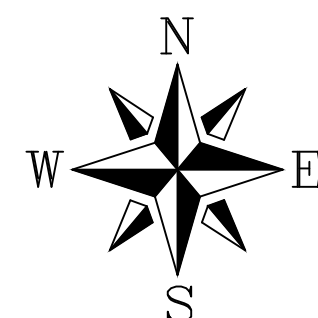
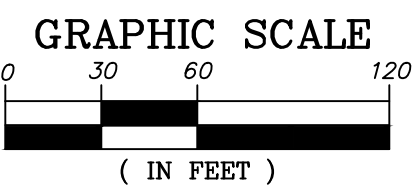
SE Cor.  
Sec. 2-6-10  
Fd. "PK" Nail  
N=457,624.60'  
E=852,357.57'

### WETLAND SETBACK NOTES

- (A) There shall be no grading within 30' of the delineated wetland boundaries without the written approval of the Village of McFarland in consultation with CARPC.
- (B) There shall be no impervious surfaces within 75' of the delineated wetland boundaries without the written approval of the Village of McFarland in consultation with CARPC.

### LEGEND

- 3/4" Rebar Found
- 1-1/4" Iron Rebar Found
- 1" Iron Pipe Found (unless noted)
- 1-1/4" by 18" Iron Rebar Set Weighing 4.30 lbs./ft.
- All other Lot and Outlot Corners are Set 3/4" by 18" Iron Rebar Weighing 1.50 lbs./ft.
- (43.12') Record Dimensions (if different)
- Boundary Lines per this Survey
- Deed/Survey Line of Record
- Existing R/W Line
- Sectional Subdivision Line
- Wetland Line
- 75' Wetland Buffer
- Lot or R/W Line
- Centerline
- Municipal Boundary

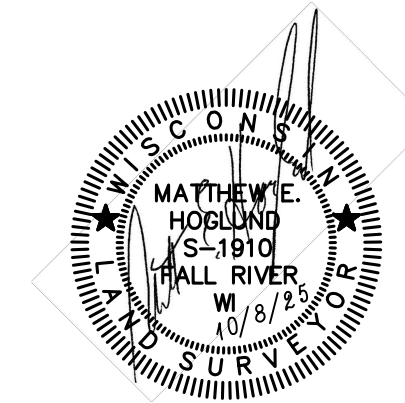


Bearings are referenced to the South line of the Southeast 1/4 of Section 2, which bears S87°41'38"W on the Dane County Coordinate System - NAD'83 (2011)

DRAFT

ENGINEER/SURVEYOR:  
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Matthew E. Høglund, P.L.S.  
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5910 Main Street, Suite 1  
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There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration

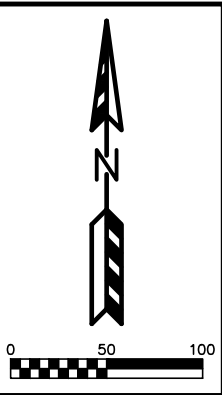
**Total Area**  
**780,586 Sq. Ft.**  
**17.9198 Acres±**

SEE SHEET 1 FOR NOTES & CERTIFICATES.  
SEE SHEET 2 FOR BOUNDARY SURVEY.  
LOT & EASEMENT DETAILS.

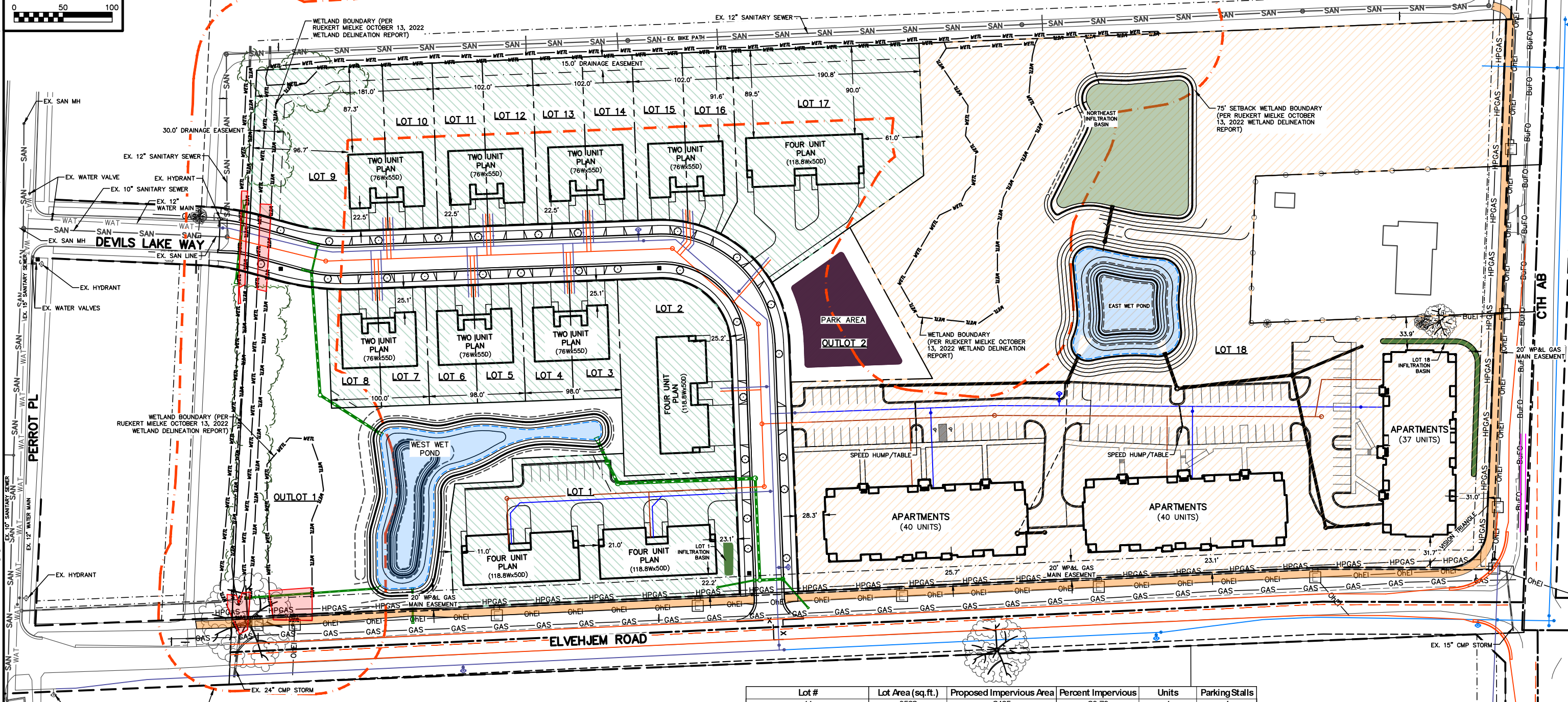
SHEET 3 OF 3

FINAL PLAT  
SPERLE CORNERS  
PROJECT NO. LS-03-19  
QUAM ENGINEERING, LLC  
Residential and Commercial Site Design Consultants

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



- LOW DENSITY RESIDENTIAL**  
4.98 ACRES  
10 DWELLING UNITS PER ACRE  
49 DWELLING UNITS ALLOWED  
30 DWELLING UNITS PROPOSED
- MEDIUM DENSITY RESIDENTIAL**  
7.35 ACRES  
20 DWELLING UNITS PER ACRE  
147 DWELLING UNITS ALLOWED  
117 DWELLING UNITS PROPOSED



Lot #	Lot Area (sq.ft.)	Proposed Impervious Area	Percent Impervious	Units	Parking Stalls	
1	41008	24502	59.75	8	42	
2	21509	8047	37.41	4	16	
3	5896	2525	42.83	1	4	
4	5885	2515	42.74	1	4	
5	5885	2514	42.72	1	4	
6	5885	2515	42.74	1	4	
7	5885	2514	42.72	1	4	
8	6140	2517	40.99	1	4	
9	21653	2465	11.38	1	4	
10	8551	2464	28.82	1	4	
11	8562	2465	28.79	1	4	
12	8574	2466	28.76	1	4	
13	8585	2464	28.70	1	4	
14	8597	2465	28.67	1	4	
15	8647	2465	28.51	1	4	
16	8944	2680	29.96	1	4	
17	36864	10956	29.83	4	16	
18	320229	87117	27.20	117	214	
Outlot 1	66857	0	0.00	0	0	
Outlot 2	15342	0	0.00	0	0	
Street ROW	50005	38570	77.13	0	0	
<b>TOTALS</b>	<b>669503</b>	<b>204265</b>	<b>30.51</b>	<b>147</b>	<b>344</b>	
					<b>Avg. # Parking Stalls per Unit</b>	<b>2.34</b>

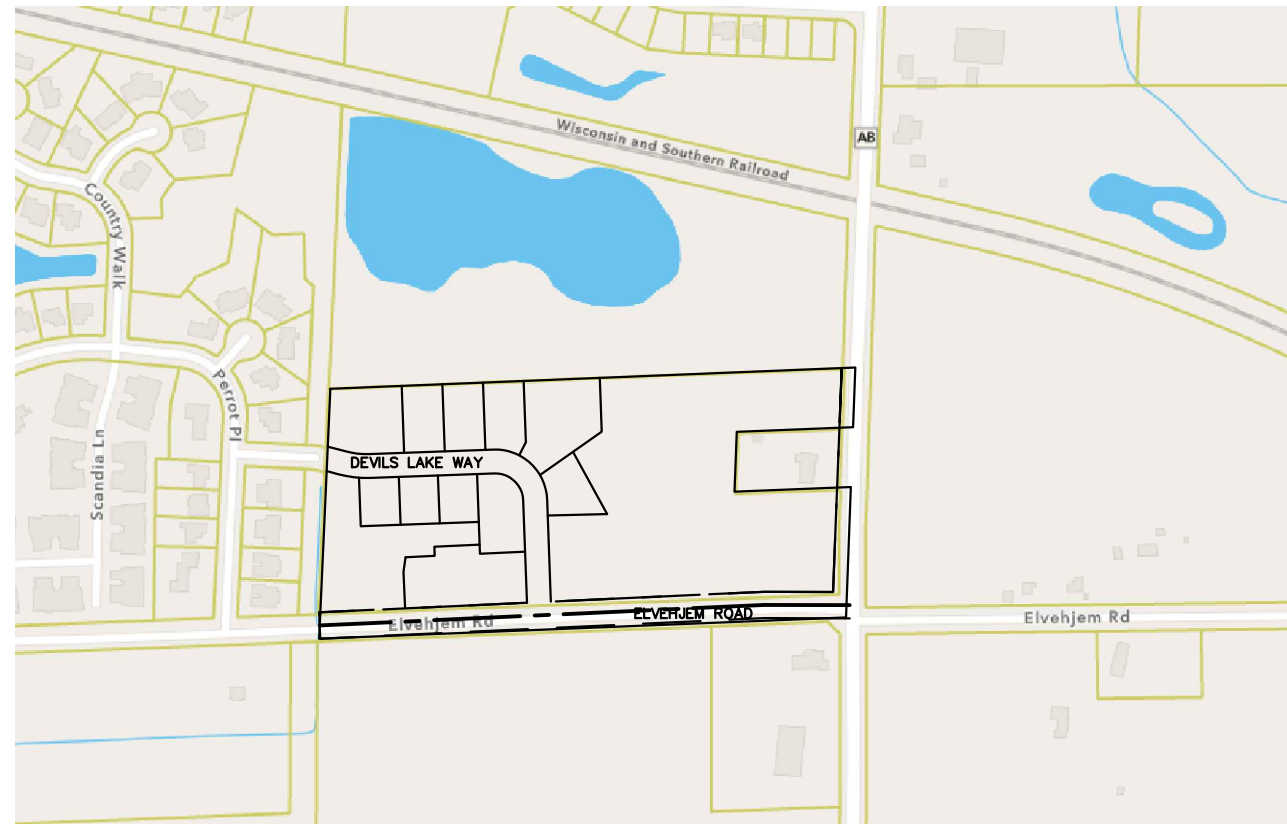
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 GENERAL DEVELOPMENT PLAN  
 EXHIBIT: 1 OF 1  
 DATED: AUGUST 5, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
[www.quamengineering.com](http://www.quamengineering.com)  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
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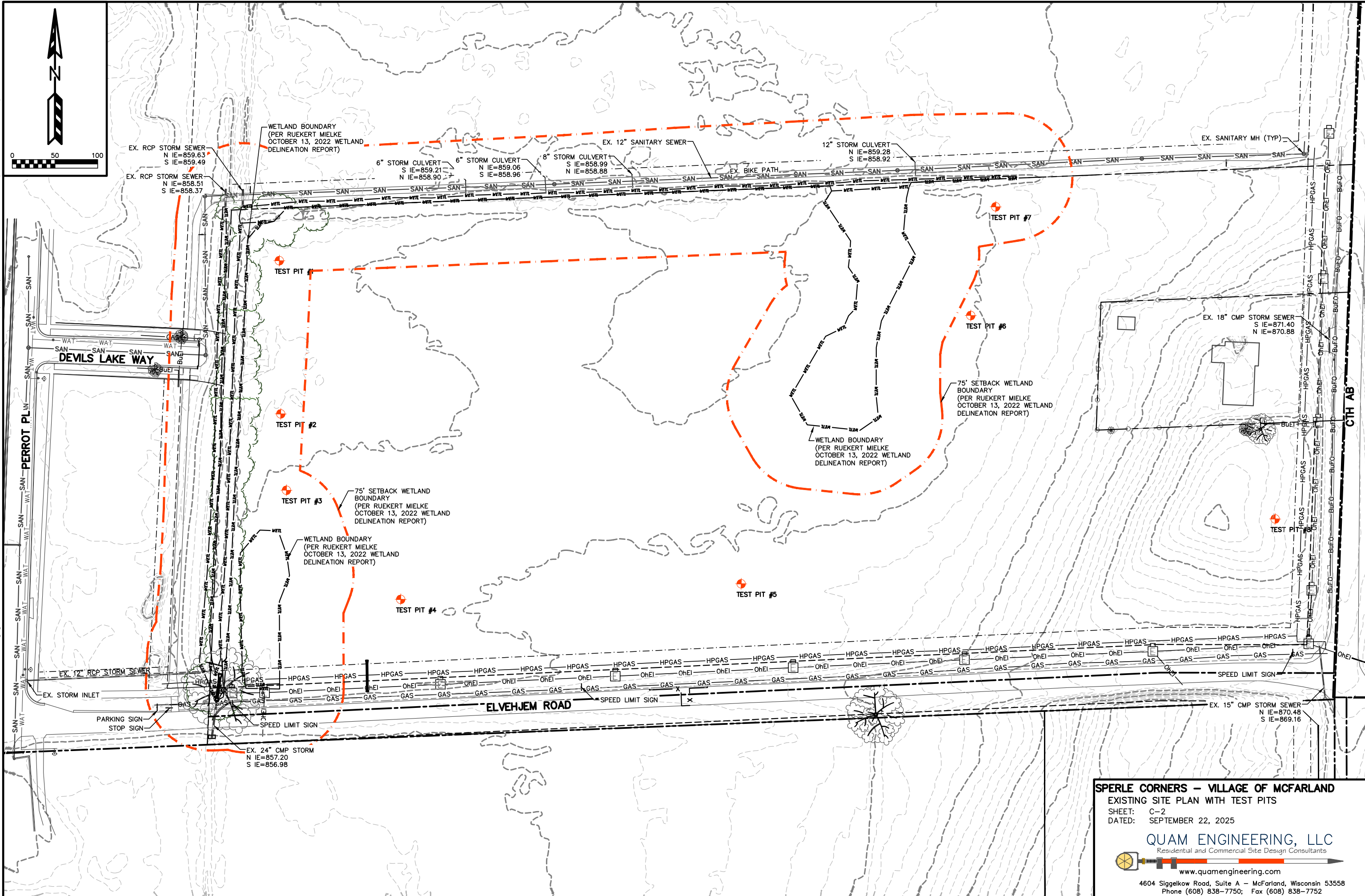
# SPERLE CORNERS RESIDENTIAL SUBDIVISION STREET AND UTILITY CONSTRUCTION

## VILLAGE OF MCFARLAND DANE COUNTY, WISCONSIN

INDEX		
SHEET	STATIONS	DESCRIPTION
1		COVER PAGE
2		EXISTING SITE PLAN
3		OVERALL GRADING AND STORM WATER MANAGEMENT PLAN
4		WEST POND PLAN
5		EAST POND PLAN
6	0+00 - 6+00	DEVILS LAKE WAY - PLAN AND PROFILE
7	6+00 - 10+00	DEVILS LAKE WAY - PLAN AND PROFILE
8	20+00 - 27+50	STORM SEWER - PLAN AND PROFILE
9	29+00 - 35+00	STORM SEWER - PLAN AND PROFILE
10	50+00 - 56+00	WATER MAIN - PLAN AND PROFILE
11	56+00 - 62+00	WATER MAIN - PLAN AND PROFILE
12		SIGN & LIGHTING PLAN
13		STREET TREE PLAN
14		DETAILS #1
15		DETAILS #2
16		DETAILS #3
17		DETAILS #4

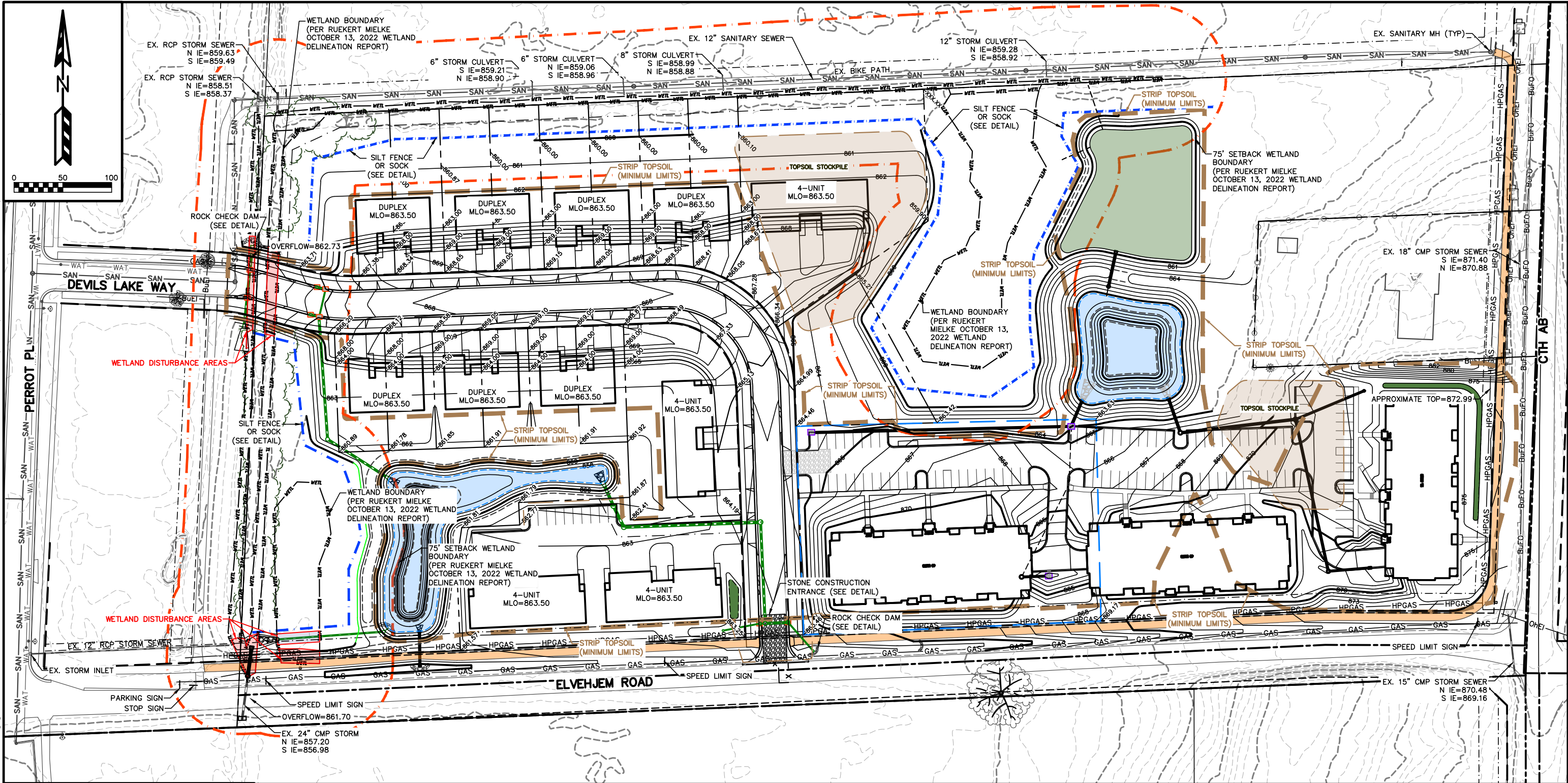



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**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 EXISTING SITE PLAN WITH TEST PITS  
 SHEET: C-2  
 DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

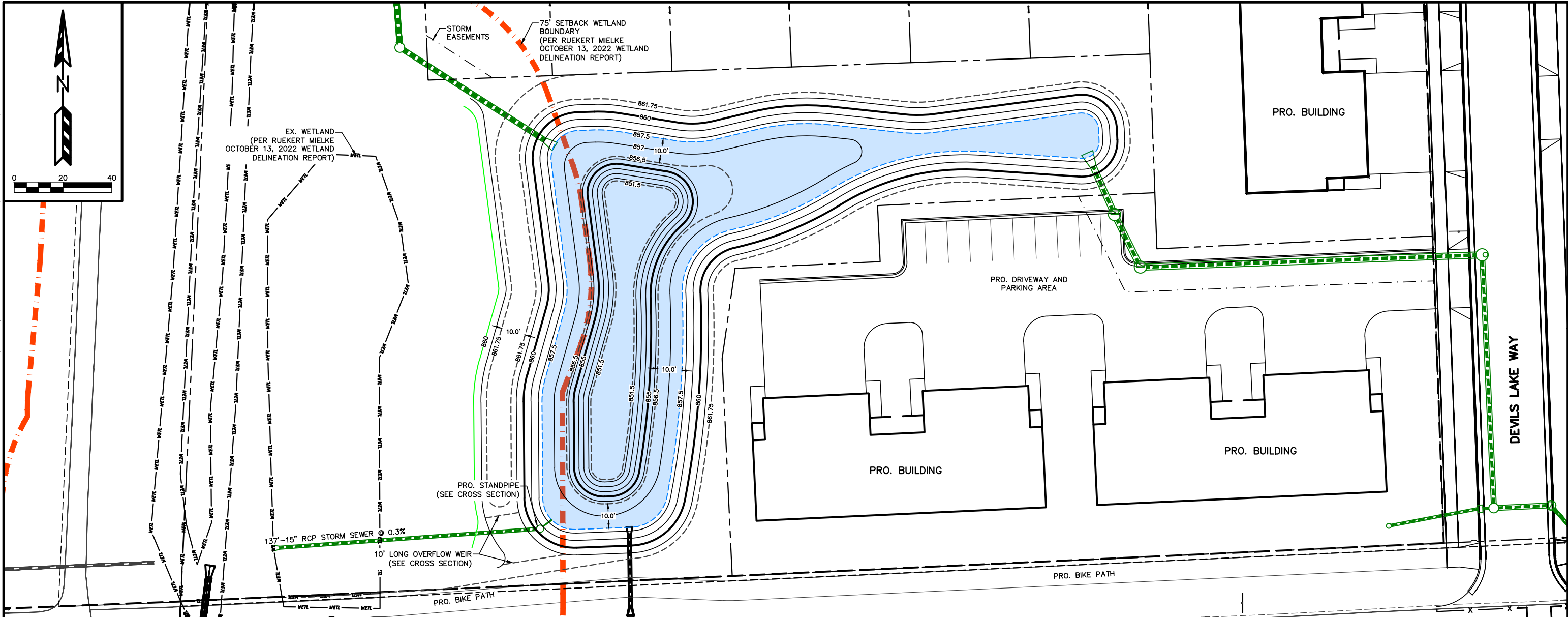


**LEGEND FOR COMMON LINES:**

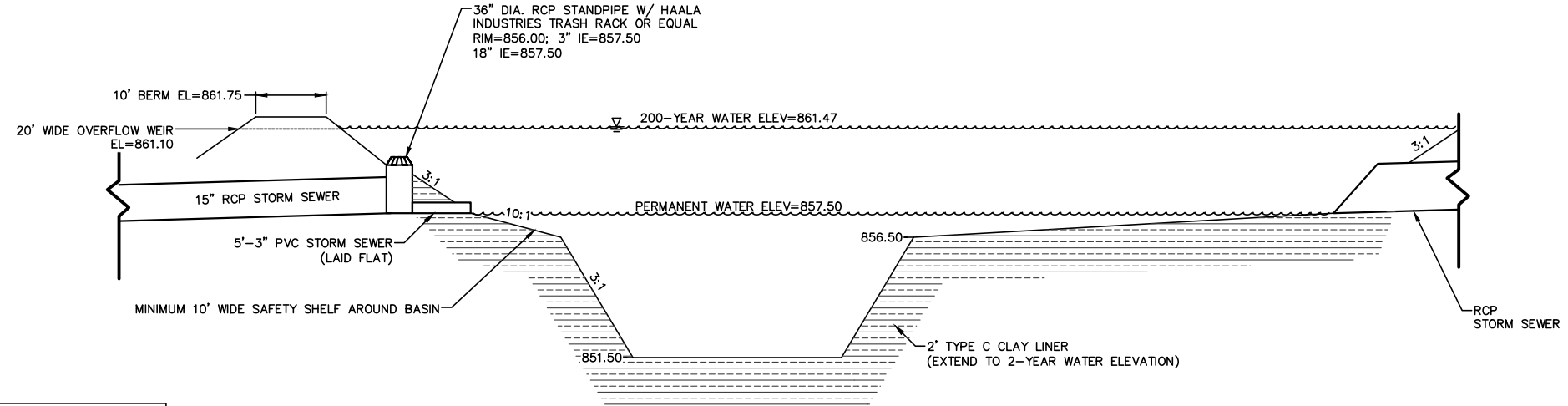
--- 964 ---	EXISTING MINOR CONTOUR
--- 965 ---	EXISTING MAJOR CONTOUR
- - - 964 - - -	PROPOSED MINOR CONTOUR
- - - 965 - - -	PROPOSED MAJOR CONTOUR
---	PROPERTY LINE
---	ROAD RIGHT-OF-WAY
---	EASEMENT LINE
---	75 FT SHORELINE SETBACK
---	EXISTING FENCE
WAT	EXISTING BURIED WATER MAIN/SERVICE
SAN	EXISTING BURIED SANITARY SEWER/LATERAL
GAS	EXISTING BURIED GAS LINE
BuCom	EXISTING BURIED COMMUNICATION LINE
BuFO	EXISTING BURIED FIBER OPTIC LINE
BuTel	EXISTING BURIED TELEPHONE LINE
BuEl	EXISTING BURIED ELECTRIC LINE
OhUt	EXISTING OVERHEAD UTILITY LINE
OhEl	EXISTING OVERHEAD ELECTRIC LINE
---	PROPOSED SILT FENCE/SOCK (SEE DETAIL)
---	PROPOSED LIMITS OF DISTURBANCE
MLO	MINIMUM LOWEST OPENING
---	FLEXSTORM INLET PROTECTION (SEE DETAIL)

**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
**OVERALL GRADING & STORM WATER MANAGEMENT PLAN**  
 SHEET: C-3  
 DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
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 4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558  
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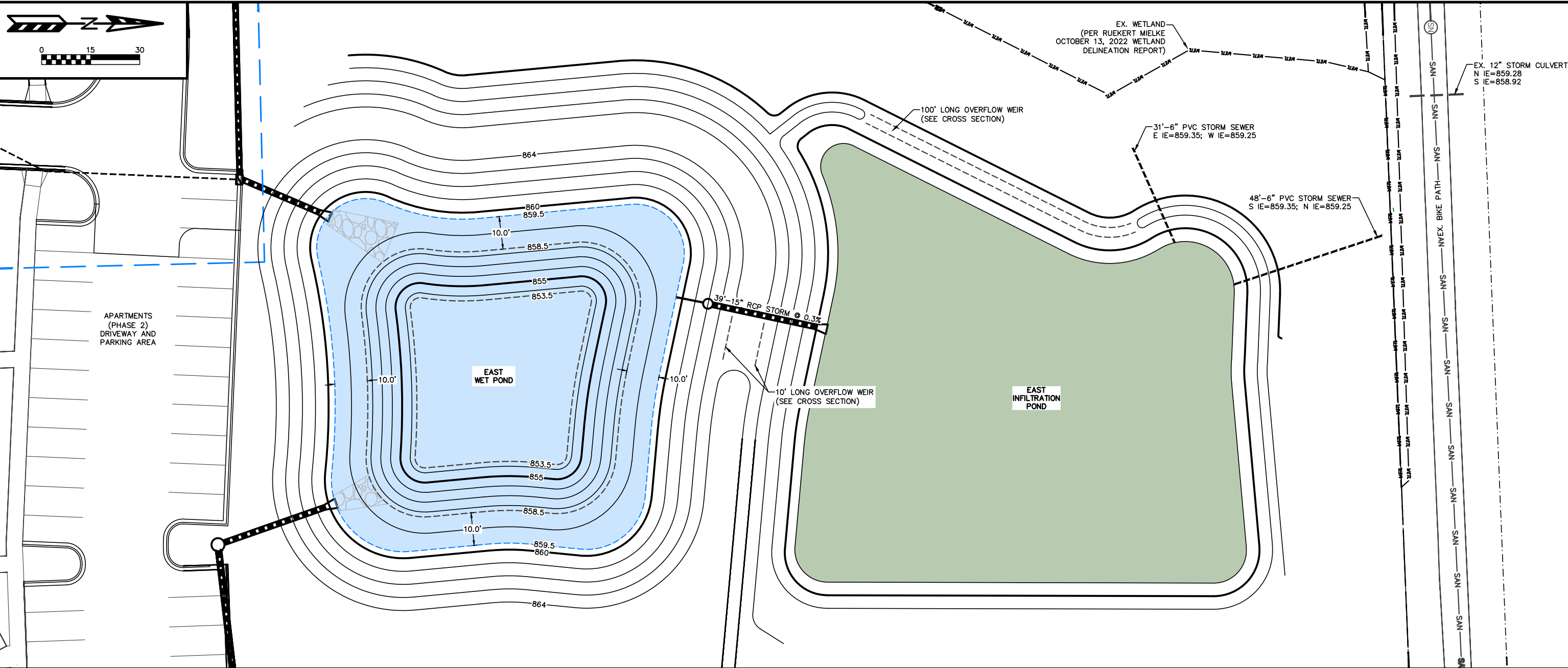
WEST WET POND PEAK ELEVATIONS	
STORM	ELEV
1-YR	859.42
2-YR	859.73
10-YR	860.21
100-YR	861.25
200-YR	861.47



CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

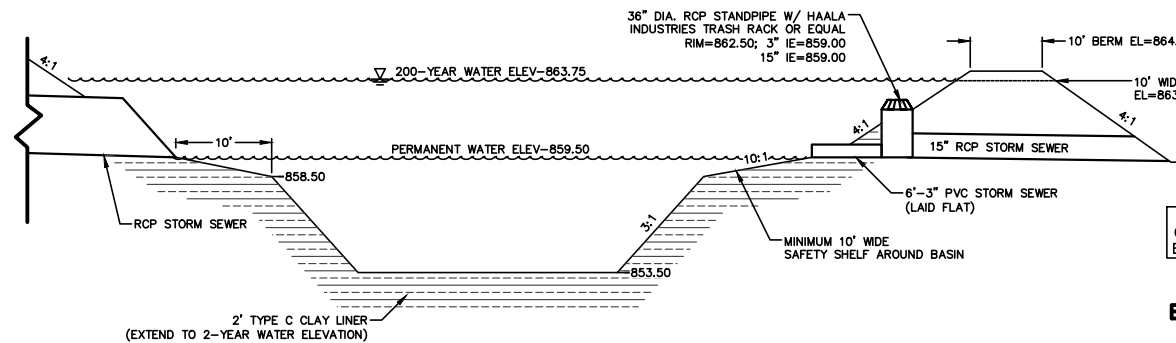
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 WEST POND PLAN  
 SHEET: C-4  
 DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



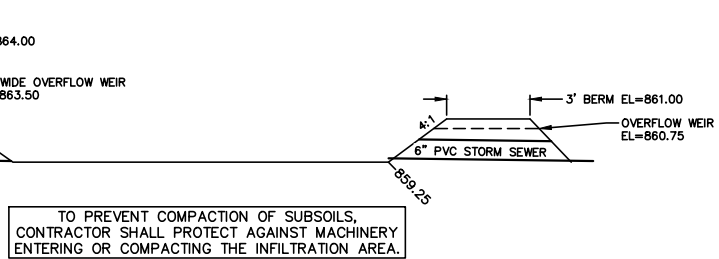
EAST WET POND PEAK ELEVATIONS	
STORM	ELEV
1-YR	861.48
2-YR	861.80
10-YR	862.61
100-YR	863.42
200-YR	863.75

WET DETENTION POND CONSTRUCTION SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD #1001



EAST WET DETENTION POND CROSS SECTION

INFILTRATION BASIN CONSTRUCTION SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD #1003



EAST INFILTRATION BASIN CROSS SECTION

CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

THE SEED MIXTURE FOR THE INFILTRATION BASIN BOTTOM SHALL BE RAINWATER RENEWAL SEED MIX SUPPLIED BY AGRECOL OR EQUIVALENT. MIX 80% SAND, 20% COMPOST WITH THE NATIVE LOAMY FINE SAND SOIL.

EAST INFILTRATION BASIN PEAK ELEVATIONS	
STORM	ELEV
1-YR	859.65
2-YR	859.67
10-YR	859.96
100-YR	860.96
200-YR	861.00

TO PREVENT COMPACTION OF SUBSOILS, CONTRACTOR SHALL PROTECT AGAINST MACHINERY ENTERING OR COMPACTING THE INFILTRATION AREA.

CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

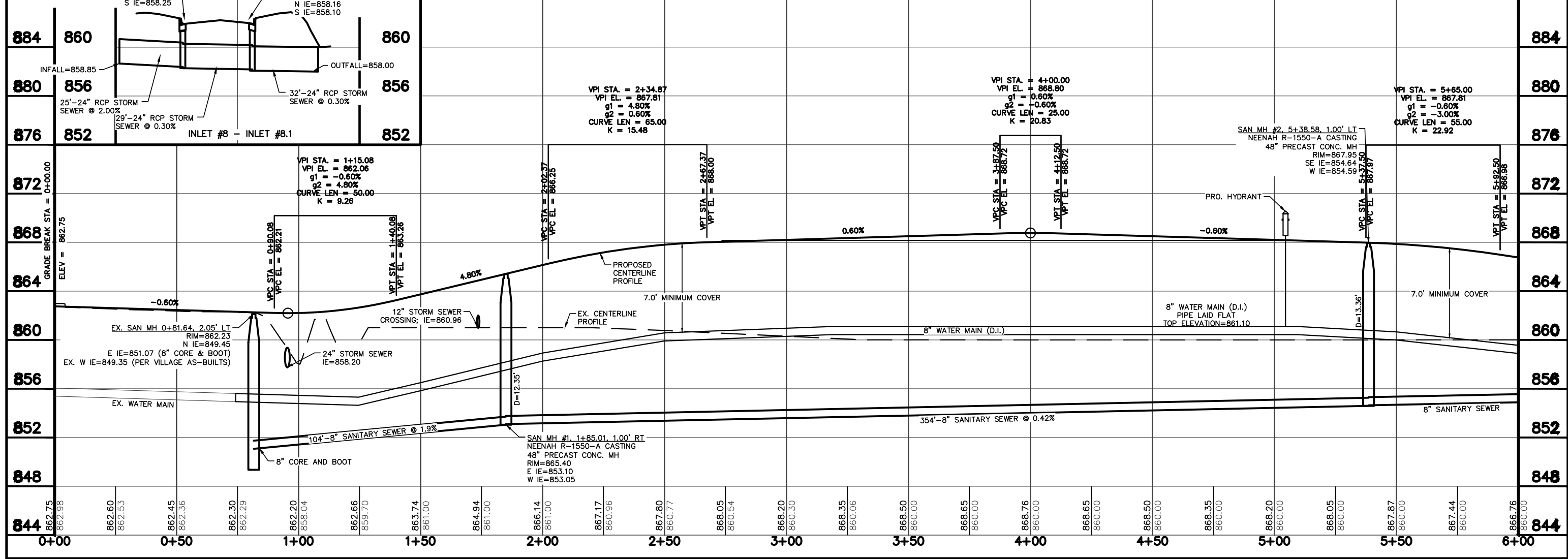
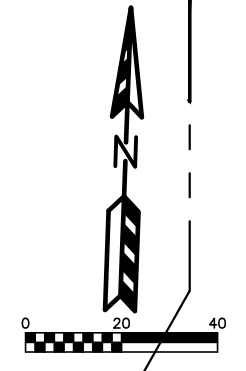
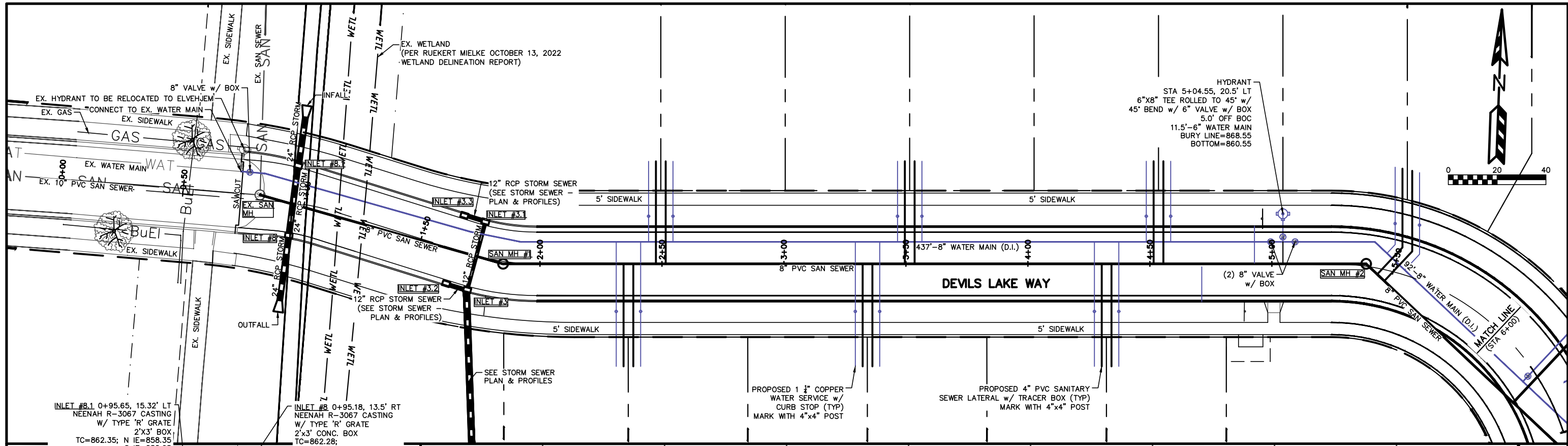
LAKESTONE PROPERTIES - VILLAGE OF MCFARLAND

EAST POND PLAN  
SHEET: C-5  
DATED: SEPTEMBER 22, 2025

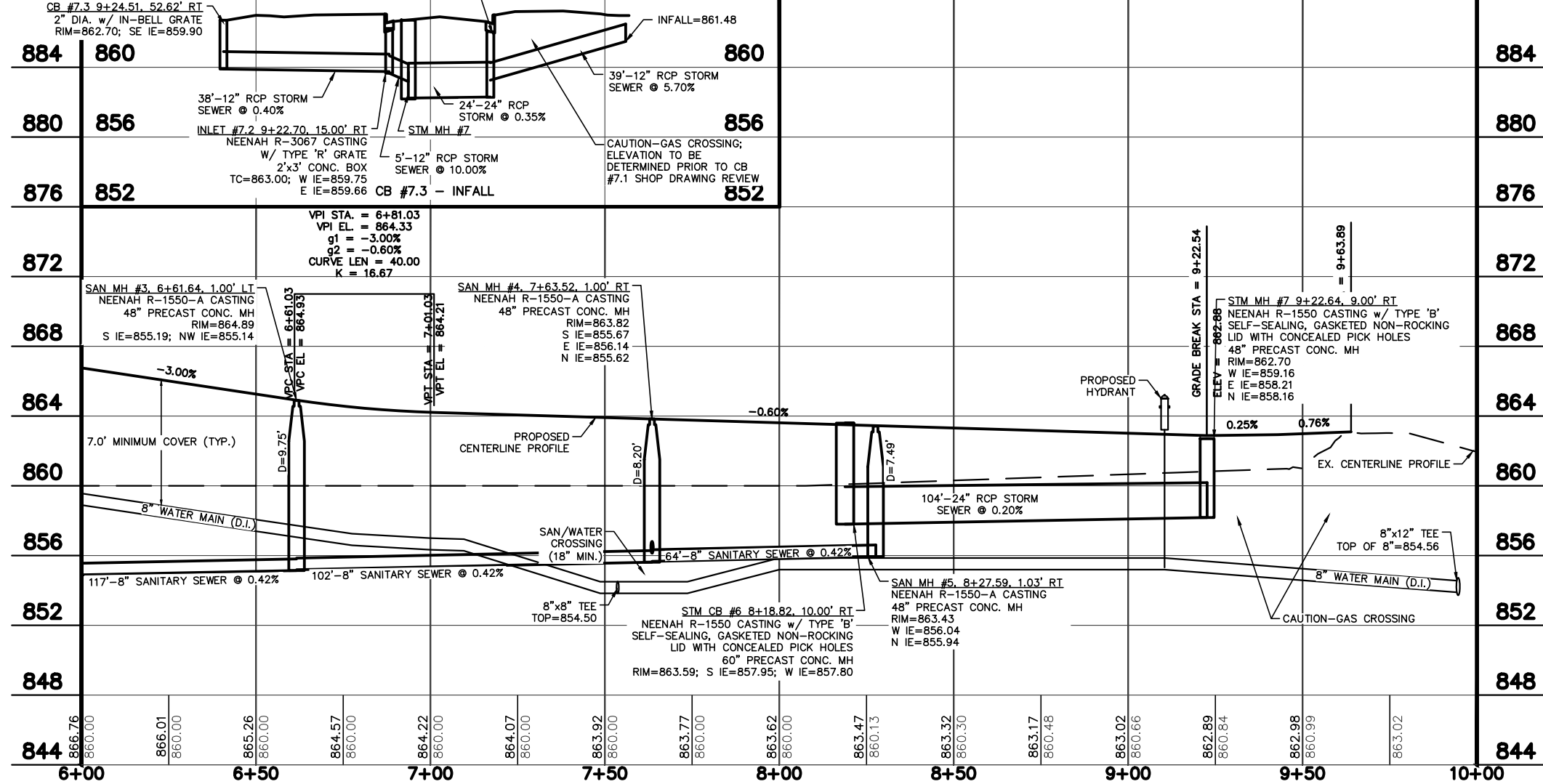
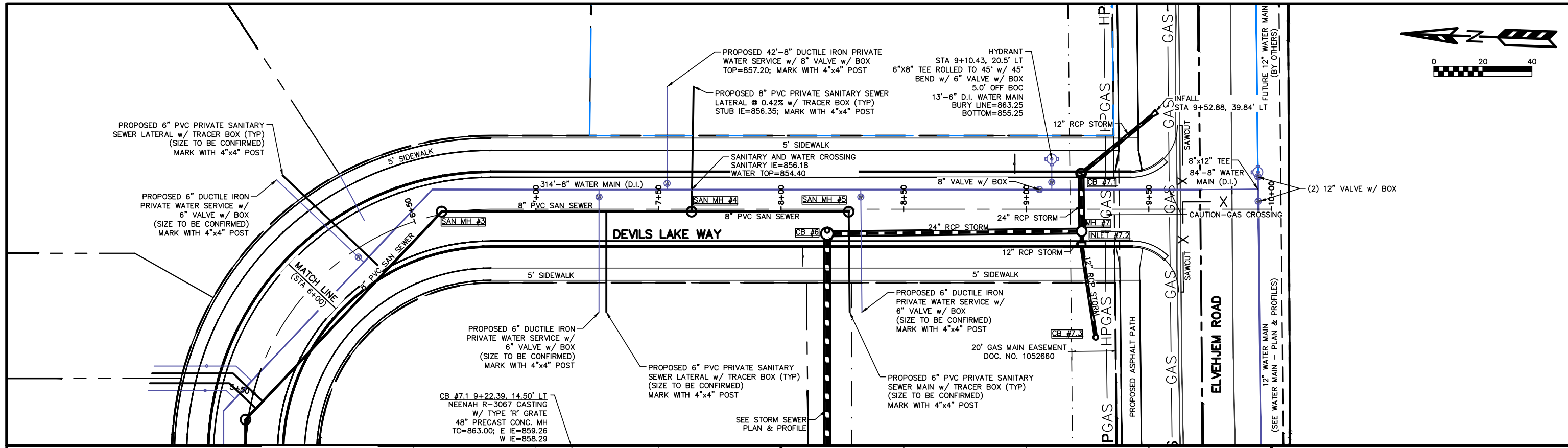
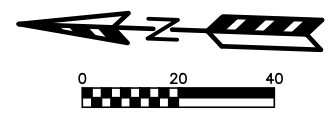


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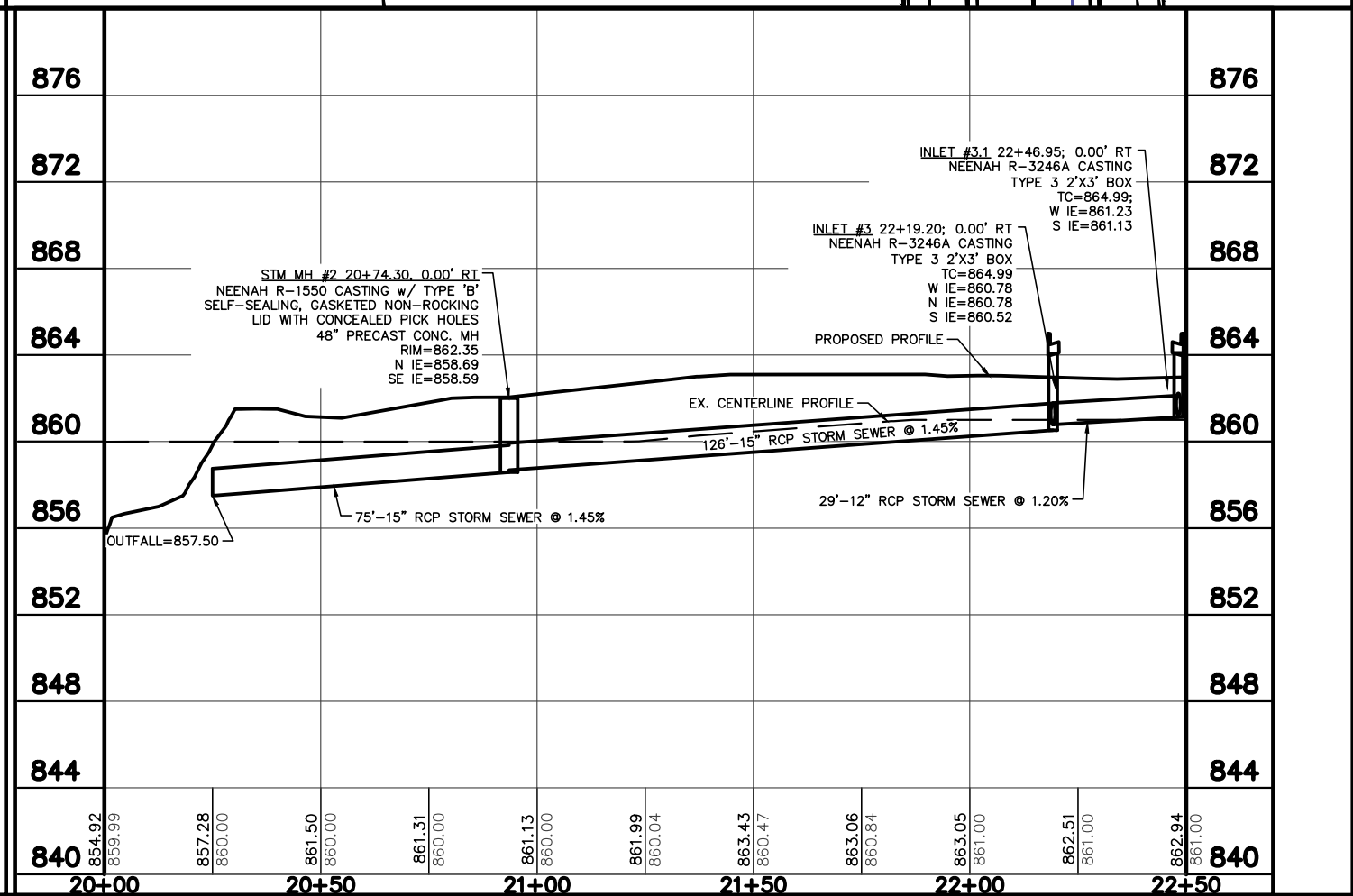
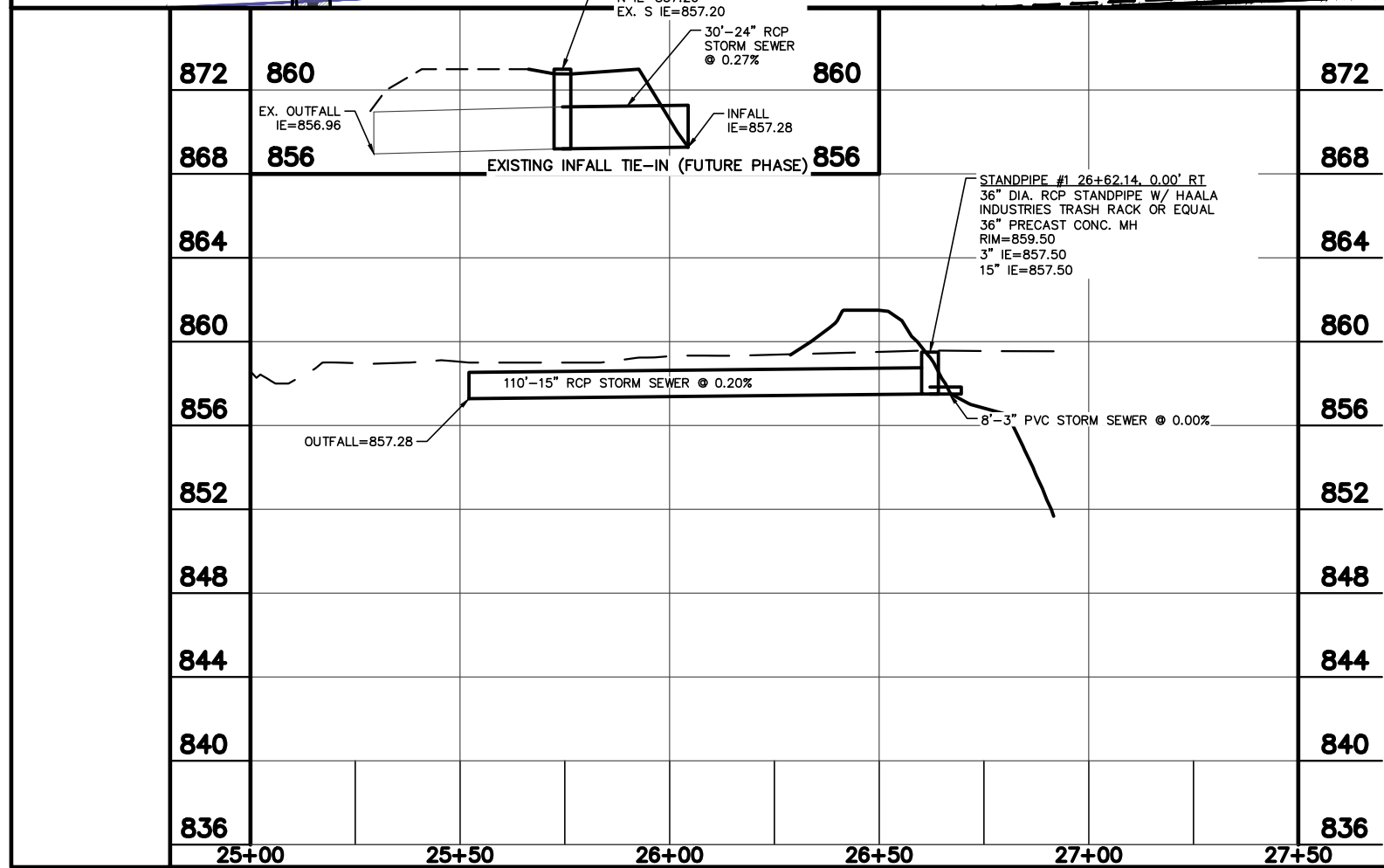
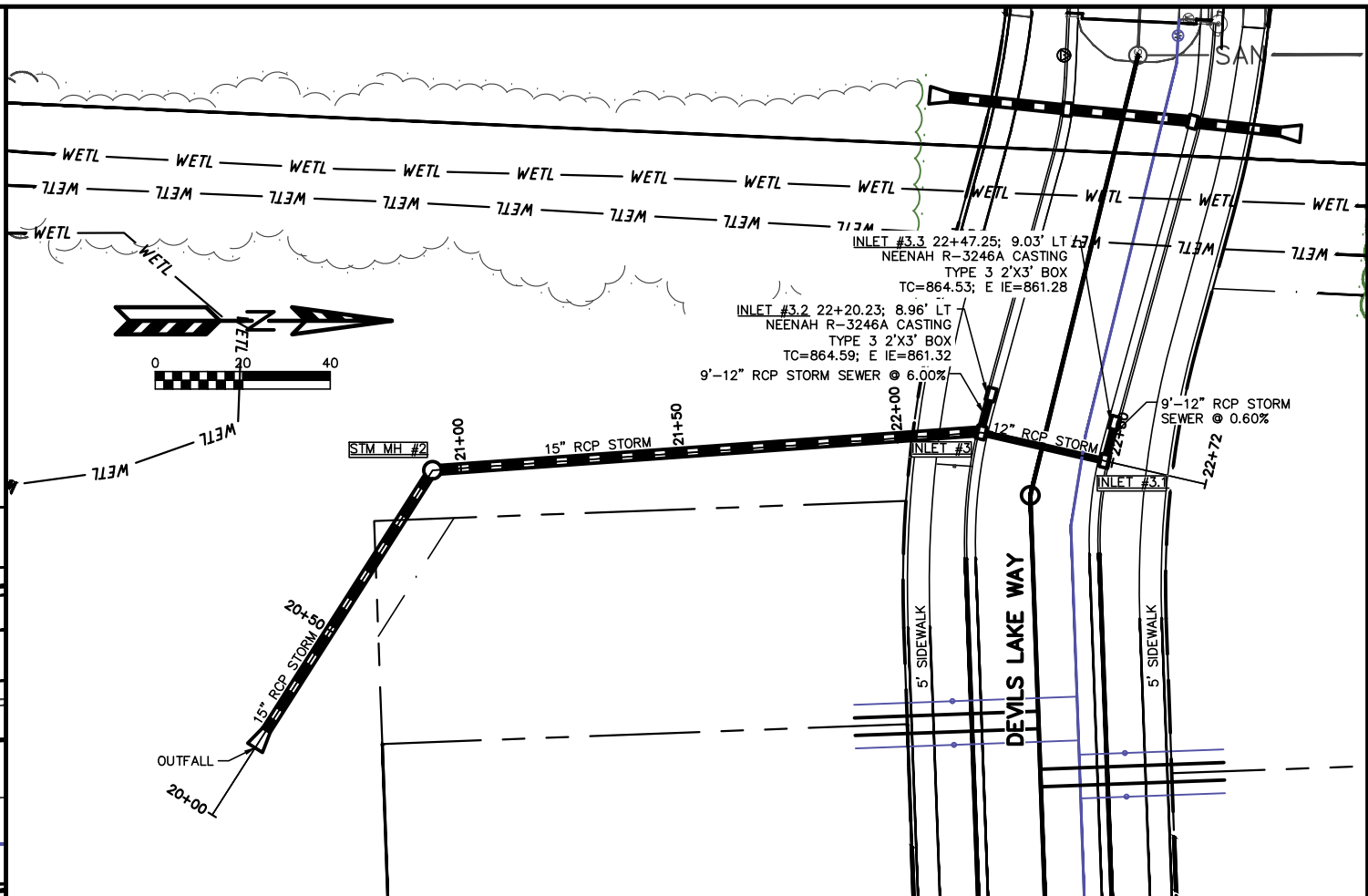
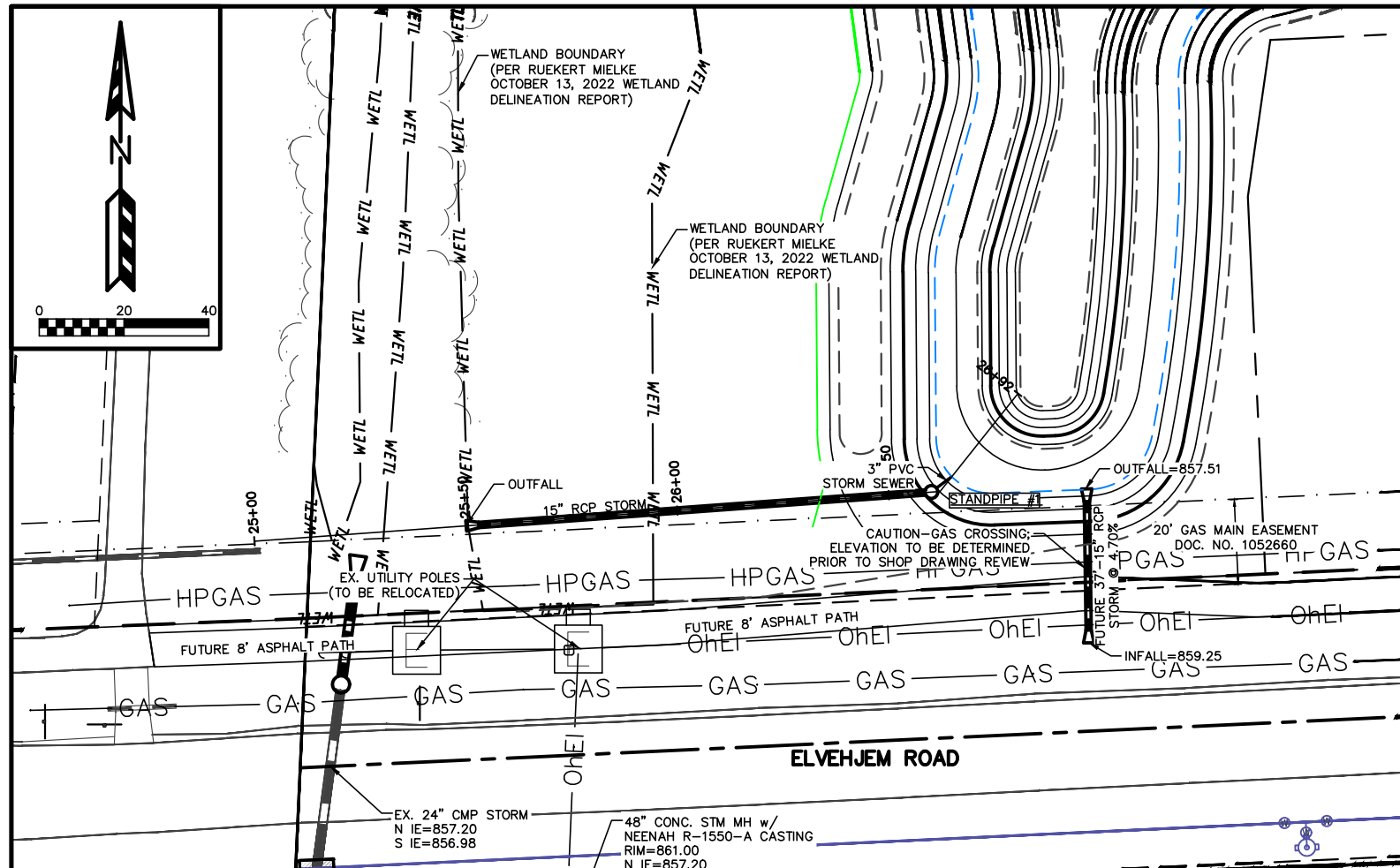
QUAM ENGINEERING, LLC 4604 Siggeikow Road, Suite A; McFarland, WI 53558 (608) 838-7750



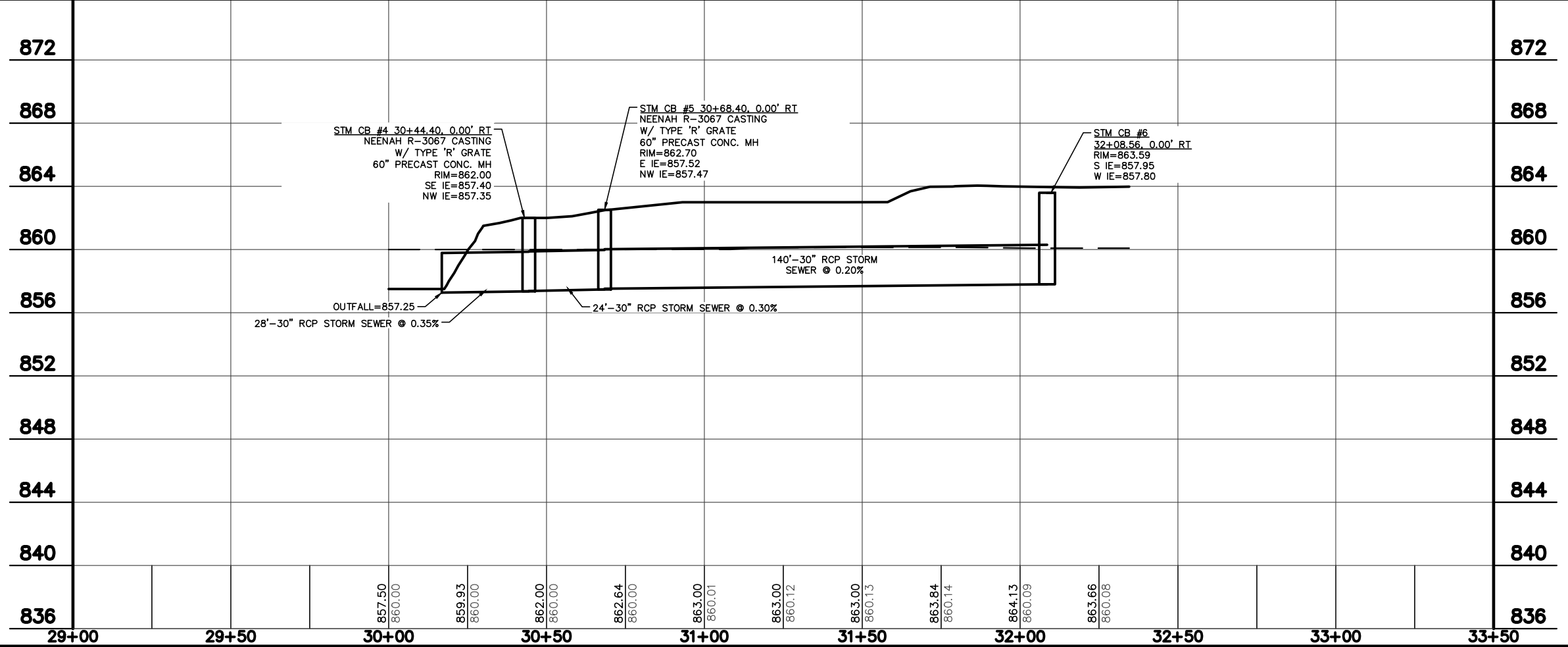
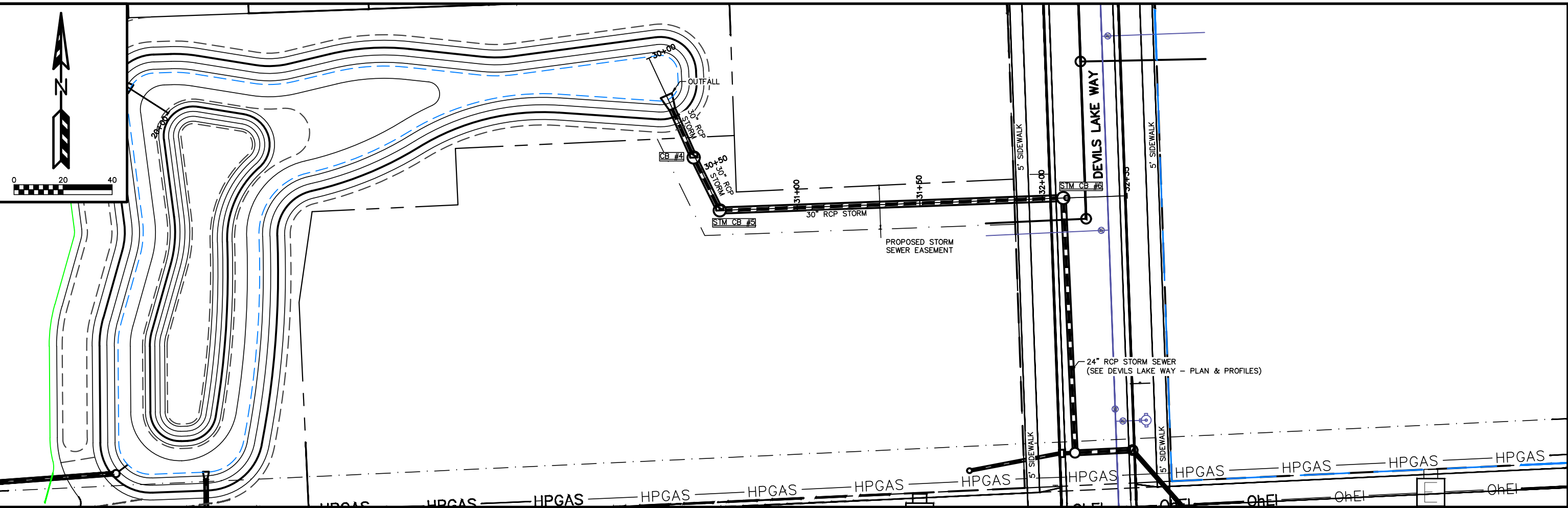
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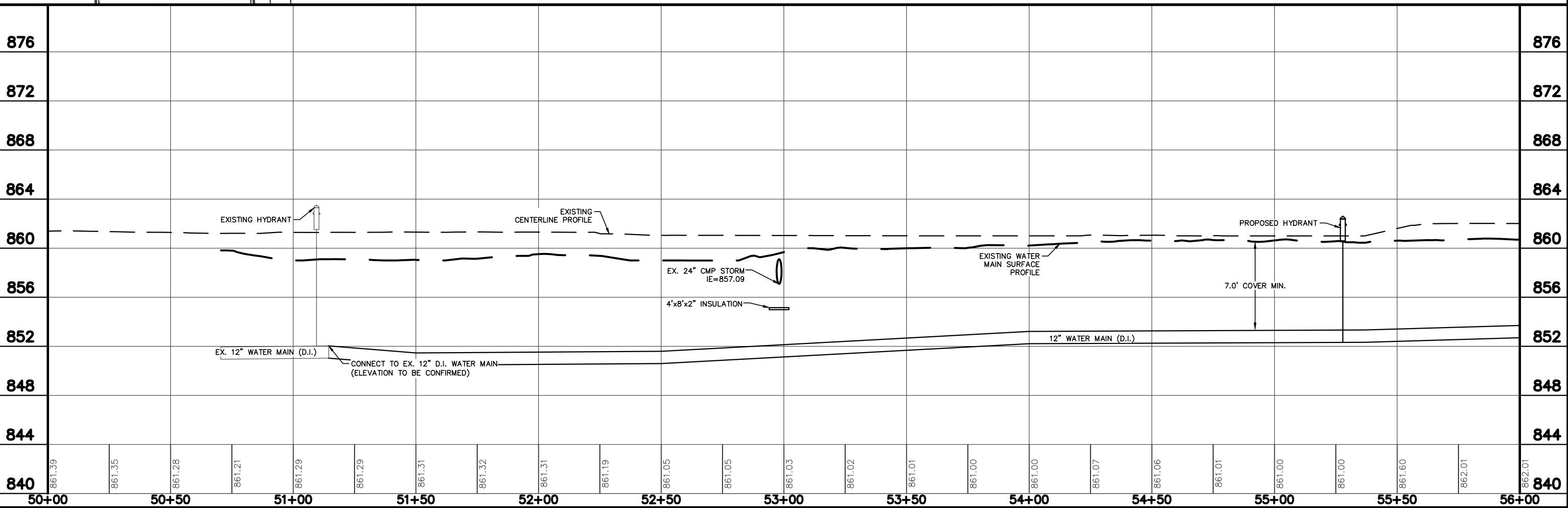
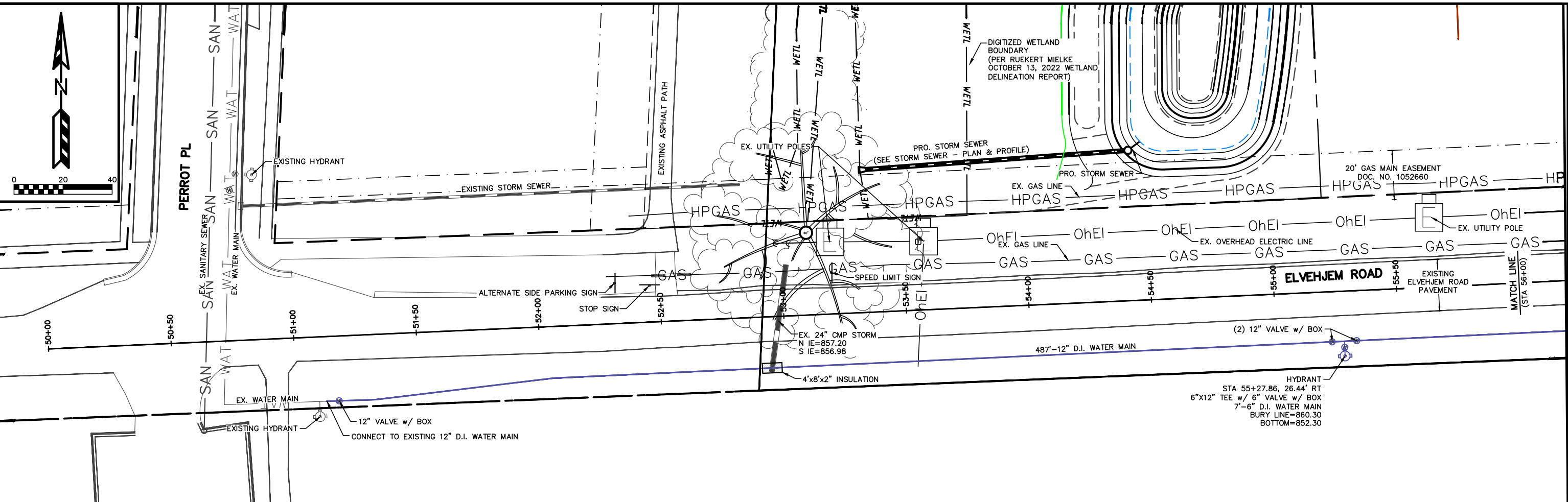


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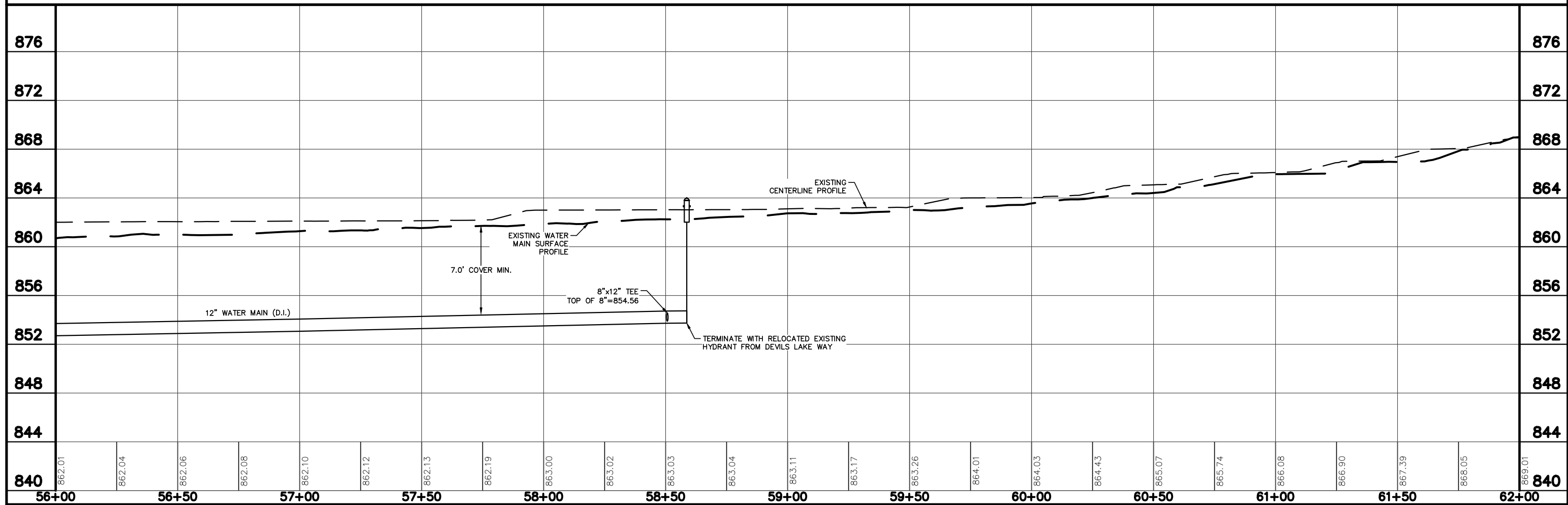
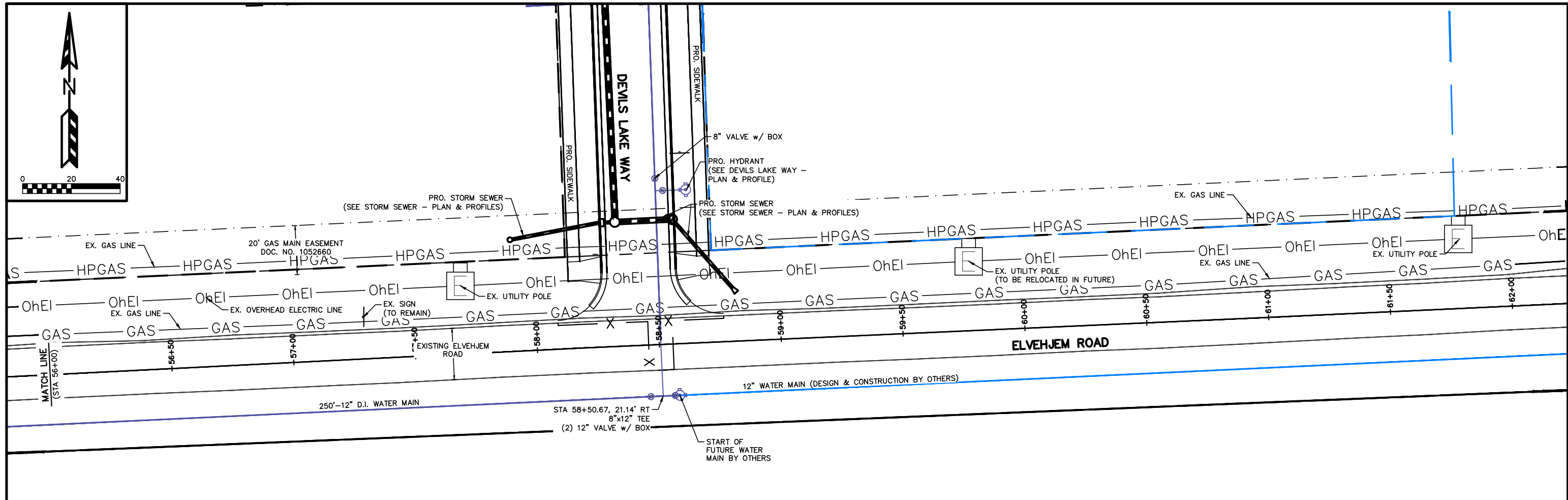
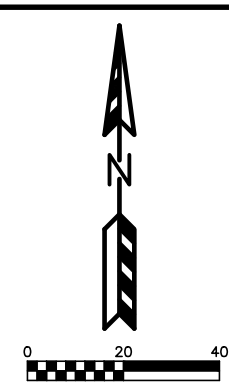


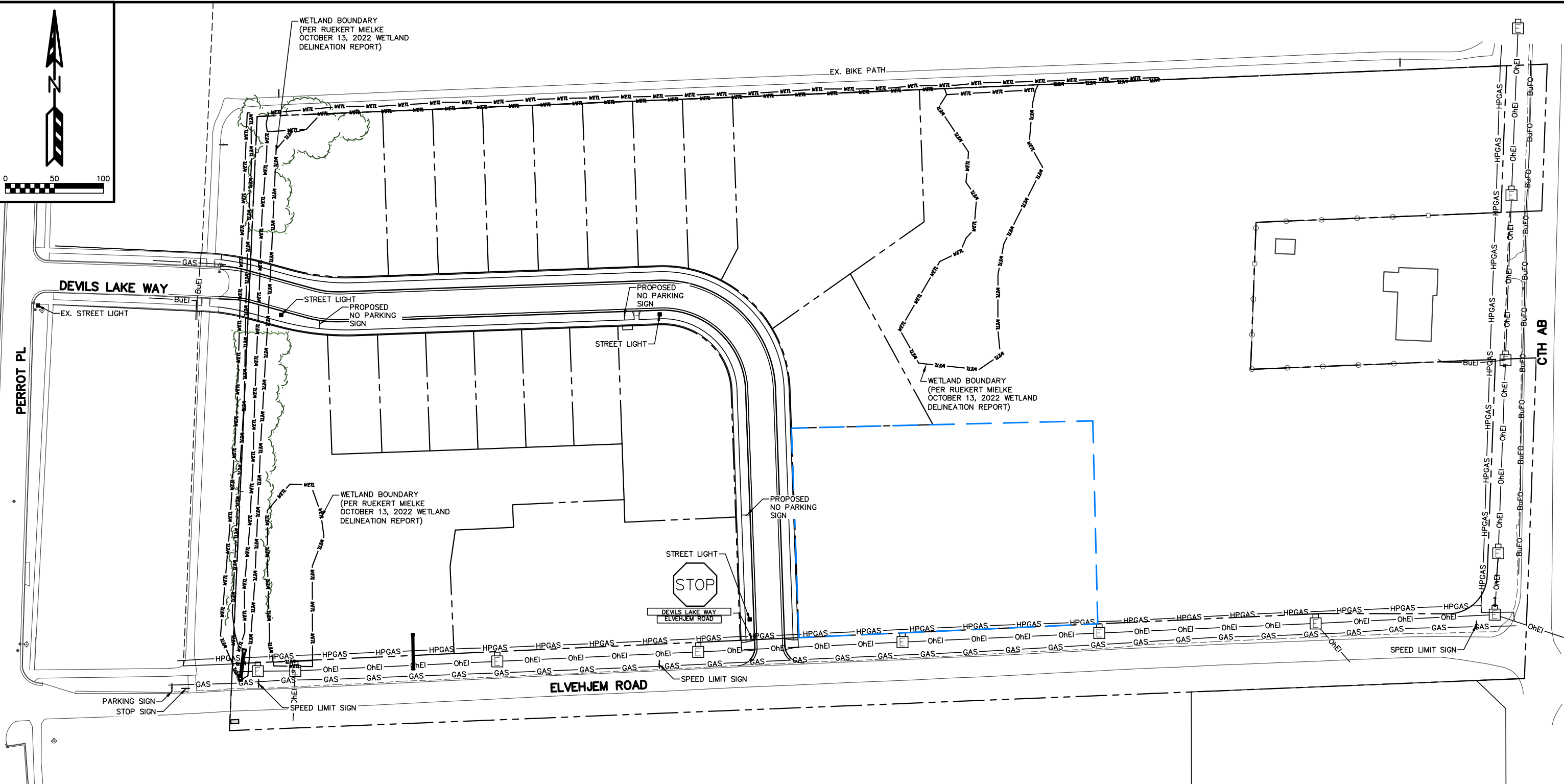
QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A; McFarland, WI 53558 (608) 838-7750





QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A; McFarland, WI 53558 (608) 838-7750





**SIGNING AND LIGHTING LEGEND**

	STOP SIGN - SIGN DESIGNATION R1-1
	STREET SIGNS
	DEVILS LAKE WAY STREET NAME SIGNS
	STREET LIGHT (DESIGN BY OTHERS)

**SIGNAGE NOTES:**

ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SIGNS SHALL BE A DISTANCE OF 7" FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.

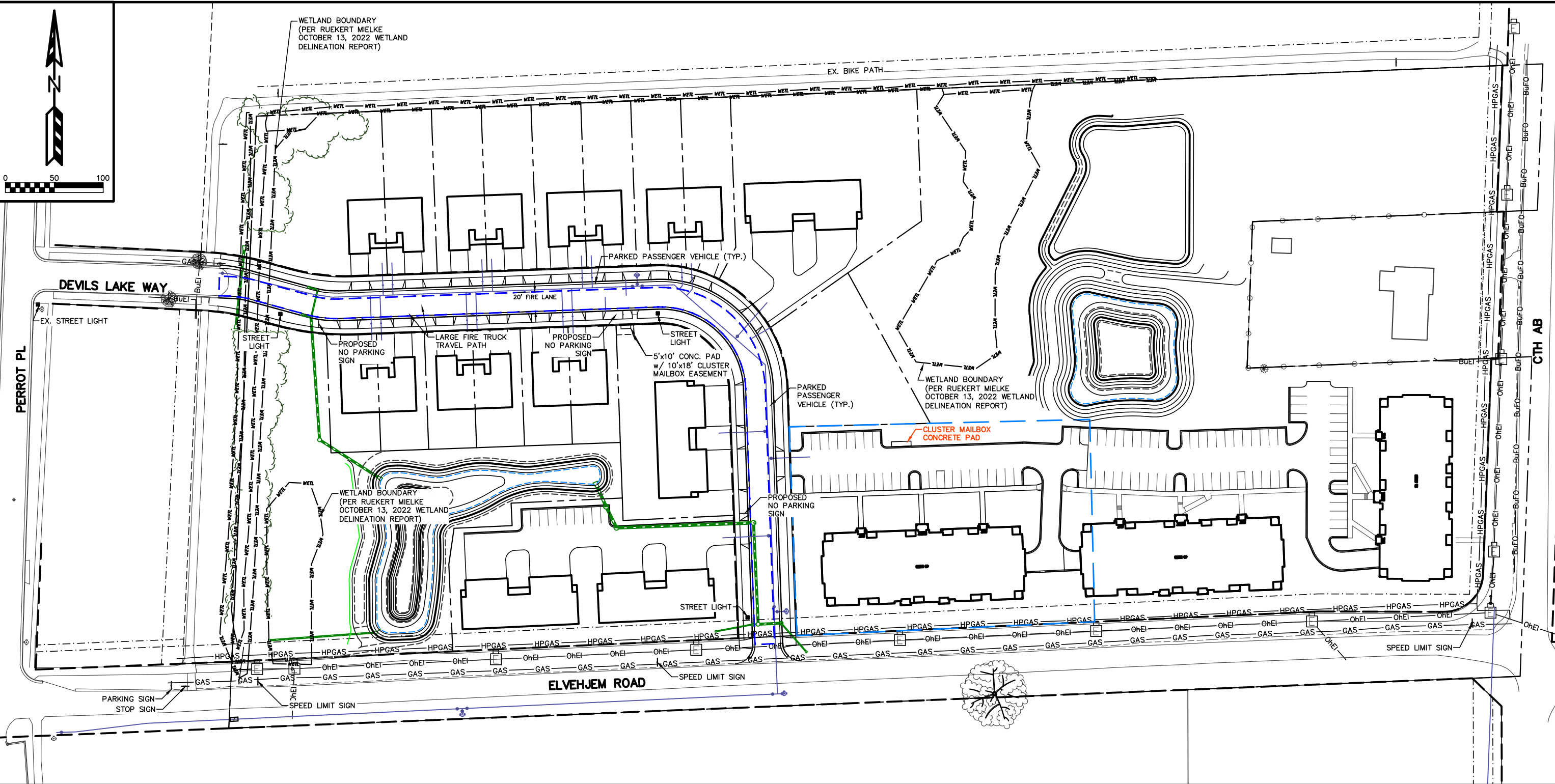
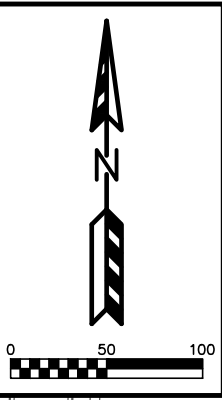
STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.

STREET NAME SIGNS SHALL BE PLACED ABOVE STOP SIGNS AT INTERSECTIONS THAT REQUIRE STOP SIGNS.

SIGN POSTS SHALL BE 1.75" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3" DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE POURING IS AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8".

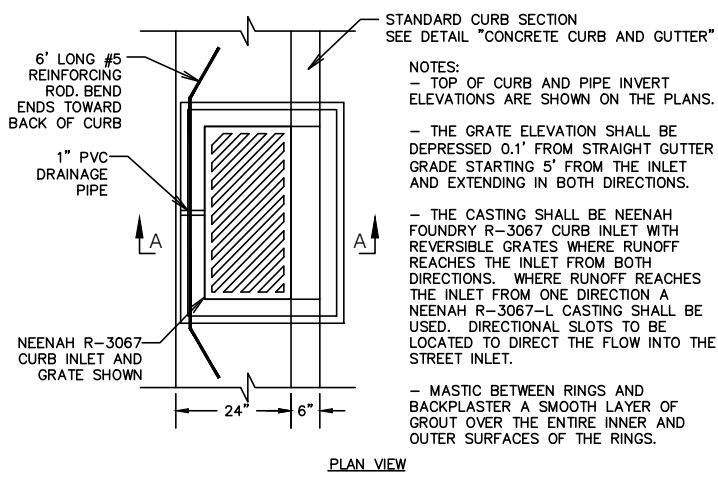
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
SIGN AND LIGHTING PLAN  
SHEET: C-12  
DATED: SEPTEMBER 22, 2025

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**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 FIRE LANE PLAN  
 SHEET: 1 OF 1  
 DATED: SEPTEMBER 30, 2025

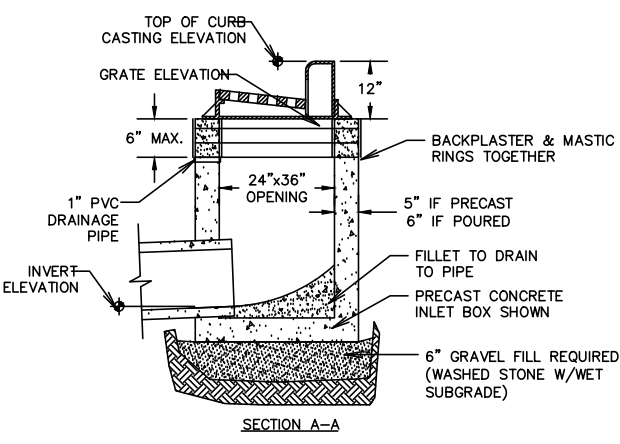
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**STANDARD CURB SECTION**  
SEE DETAIL "CONCRETE CURB AND GUTTER"

NOTES:  
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.  
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.  
- THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.  
- MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

PLAN VIEW

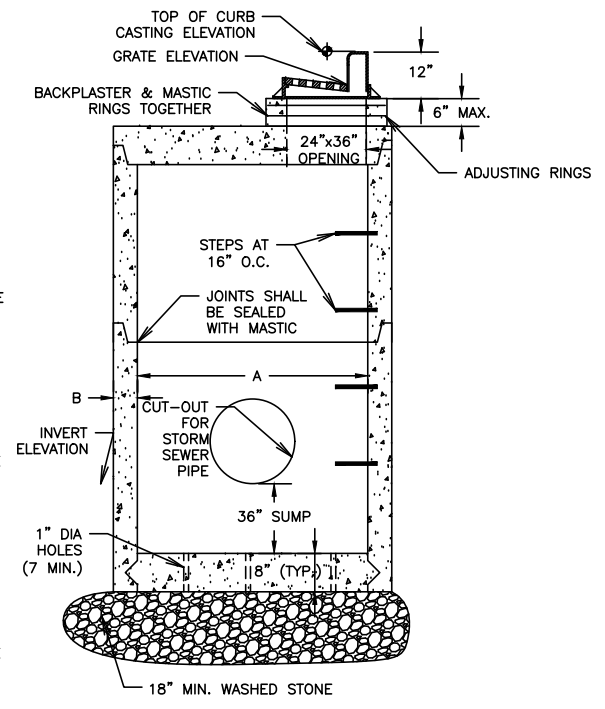


SECTION A-A

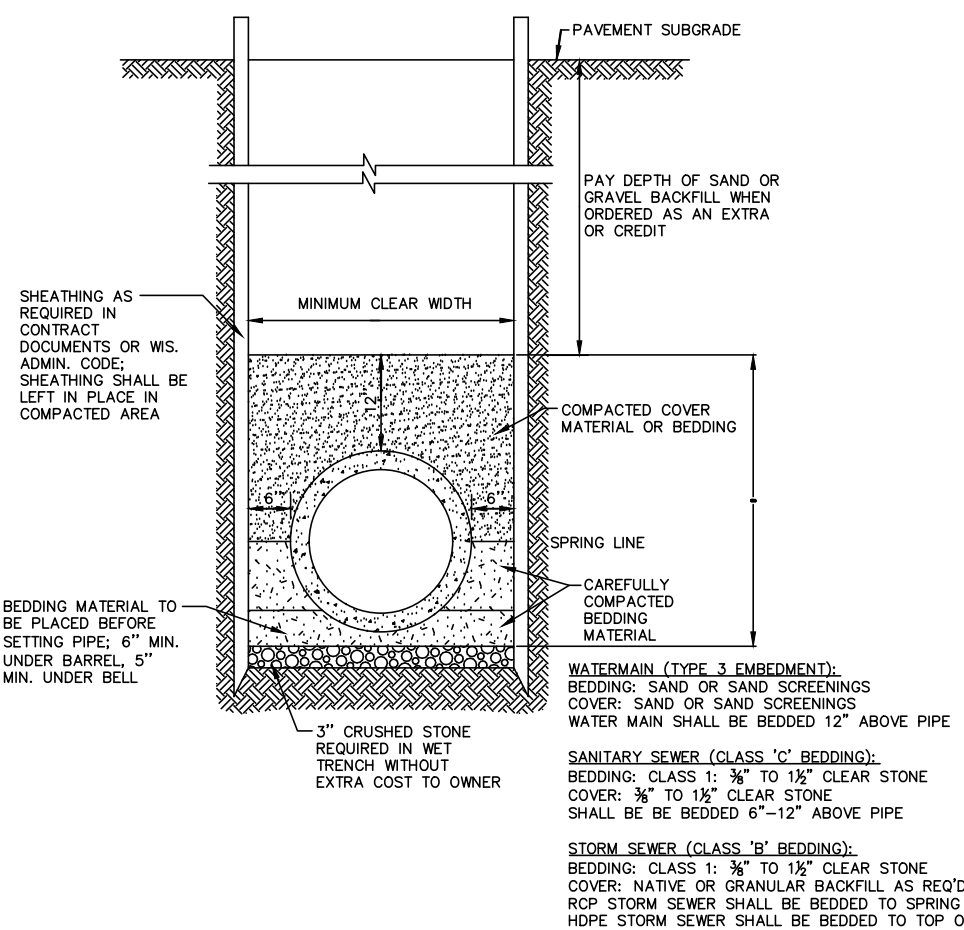
**STORM MANHOLE DIMENSIONS**

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

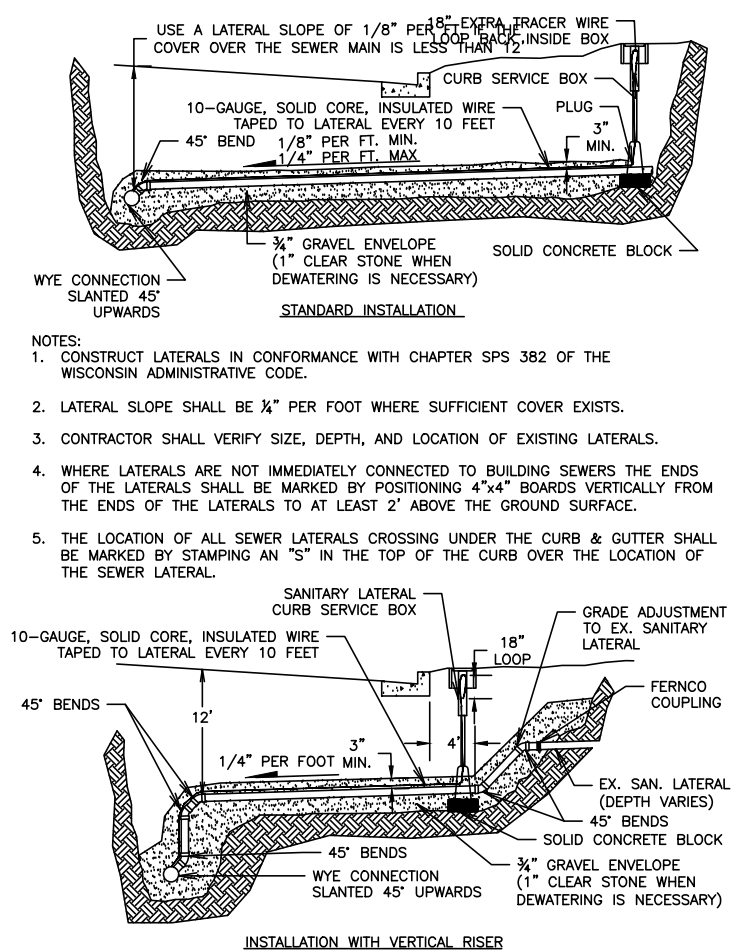
NOTES:  
CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.  
MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.  
A MAXIMUM OF 6" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE-TYPE CURB CATCH BASIN CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.  
THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.  
MANHOLE-TYPE CURB CATCH BASIN CASTING SHALL BE NEENAH FOUNDRY R-3067 WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.  
A 2x3 LID OPENING IS REQUIRED FOR MANHOLE-TYPE CURB CATCH BASINS.



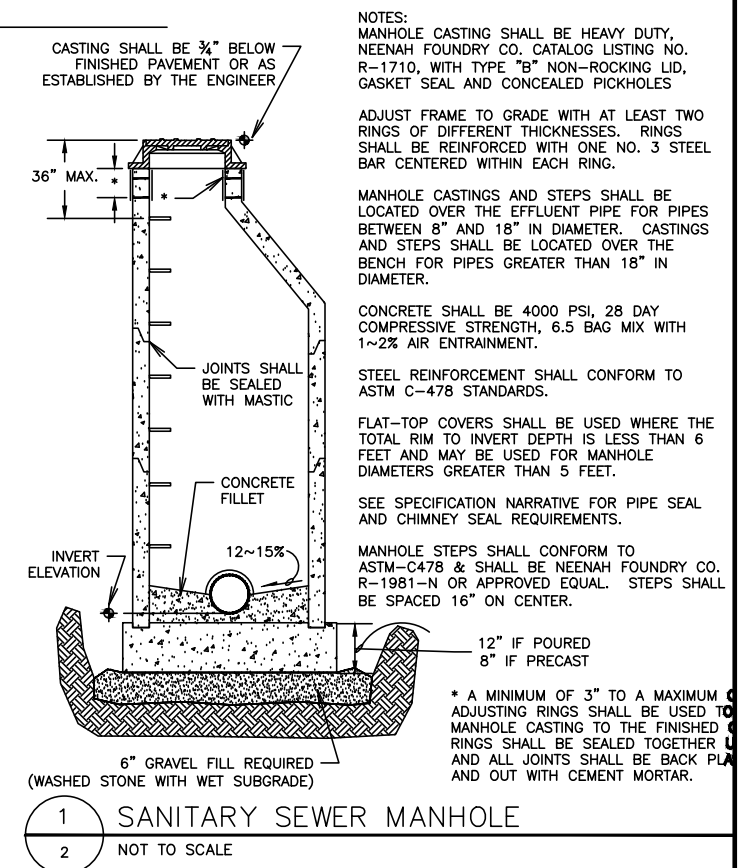
1 **STORM SEWER MANHOLE**  
2 NOT TO SCALE



1 **STANDARD TRENCH SECTION**  
2 NOT TO SCALE



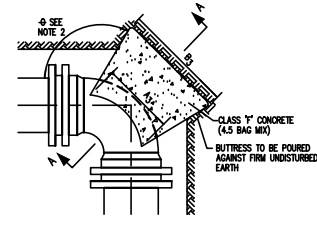
1 **LATERAL WITH TRACER WIRE**  
2 NOT TO SCALE



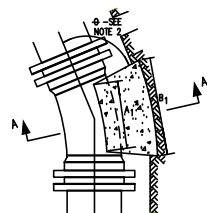
1 **SANITARY SEWER MANHOLE**  
2 NOT TO SCALE

NOTES:  
MANHOLE CASTING SHALL BE HEAVY DUTY, NEENAH FOUNDRY CO, CATALOG LISTING NO. R-1710, WITH TYPE "B" NON-ROCKING LID, GASKET SEAL AND CONCEALED PICKHOLES  
ADJUST FRAME TO GRADE WITH AT LEAST TWO RINGS OF DIFFERENT THICKNESSES. RINGS SHALL BE REINFORCED WITH ONE NO. 3 STEEL BAR CENTERED WITHIN EACH RING.  
MANHOLE CASTINGS AND STEPS SHALL BE LOCATED OVER THE EFFLUENT PIPE FOR PIPES BETWEEN 8" AND 18" IN DIAMETER. CASTINGS AND STEPS SHALL BE LOCATED OVER THE BENCH FOR PIPES GREATER THAN 18" IN DIAMETER.  
CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.  
STEEL REINFORCEMENT SHALL CONFORM TO ASTM C-478 STANDARDS.  
FLAT-TOP COVERS SHALL BE USED WHERE THE TOTAL RIM TO INVERT DEPTH IS LESS THAN 6 FEET AND MAY BE USED FOR MANHOLE DIAMETERS GREATER THAN 5 FEET.  
SEE SPECIFICATION NARRATIVE FOR PIPE SEAL AND CHIMNEY SEAL REQUIREMENTS.  
MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY CO. R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.  
\* A MINIMUM OF 3" TO A MAXIMUM OF 6" ADJUSTING RINGS SHALL BE USED TO ADJUST MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

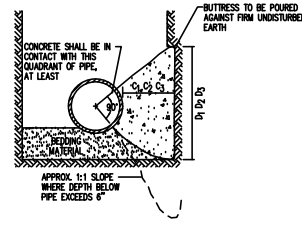
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
DETAILS  
SHEET: C-14  
DATED: SEPTEMBER 22, 2025  
**QUAM ENGINEERING, LLC**  
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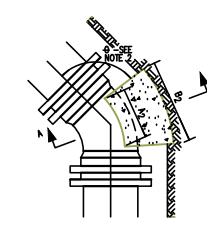
PLAN - 90° BEND



PLAN - 22 1/2° BEND



SECTION A-A

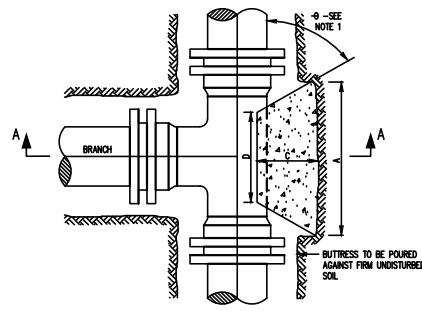


PLAN - 45° BEND

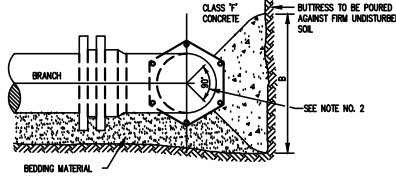
PIPE SIZE	22 1/2° BENDS			45° BENDS			90° BENDS		
	B <sub>1</sub>	D <sub>1</sub>	B <sub>2</sub>	B <sub>2</sub>	D <sub>2</sub>	B <sub>3</sub>	D <sub>3</sub>	D <sub>3</sub>	
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"	1'-2"	
8"	1'-0"	1'-0"	1'-4"	1'-4"	1'-2"	1'-10"	1'-4"	1'-4"	
12"	1'-4"	1'-4"	1'-10"	1'-10"	1'-10"	2'-8"	2'-3"	2'-3"	
16"	1'-10"	1'-4"	2'-4"	2'-4"	2'-4"	3'-10"	2'-10"	2'-10"	
20"	2'-4"	2'-4"	3'-3"	2'-10"	3'-0"	5'-0"	3'-4"	3'-4"	
24"	2'-10"	2'-4"	4'-0"	3'-3"	3'-3"	6'-4"	3'-10"	3'-10"	
30"	3'-6"	3'-0"	5'-4"	3'-10"	3'-10"	8'-0"	4'-8"	4'-8"	

**NOTES**

- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND ON EARTH RESISTANCE OF 2 TONS PER SQUARE FOOT.
- DIMENSION C1 C2 C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE  $\theta$  EQUAL TO OR LARGER THAN 45°.
- DIMENSION A1 A2 A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
- SHAPE OF BACK OF BUTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
- ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.



PLAN



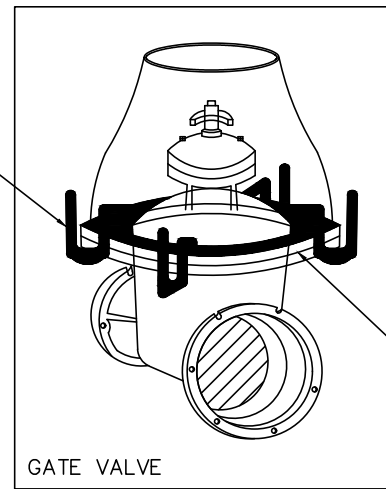
SECTION A-A

B.D.	BUTRESS DIMENSIONS			
	A	B	C	D
6"	1'-3"	1'-0"	-	-
8"	1'-4"	1'-4"	-	-
12"	2'-3"	2'-0"	-	-
16"	3'-2"	2'-4"	-	-
20"	4'-0"	3'-0"	-	-
24"	5'-3"	3'-4"	-	-
30"	6'-3"	4'-3"	-	-

B.D. = BRANCH DIAMETER

**NOTES**

- DIMENSION 'C' SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
- CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AS A MINIMUM.
- DIMENSION 'D' SHOULD BE AS LARGE AS POSSIBLE BUT CONCRETE SHOULD NOT INTERFERE WITH MECHANICAL JOINTS.
- BUTRESS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.
- ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

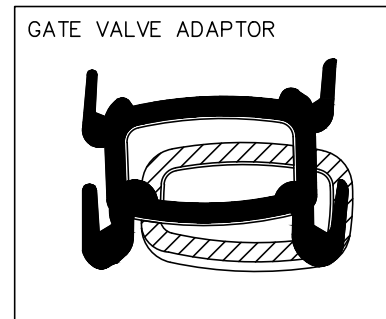


GATE VALVE

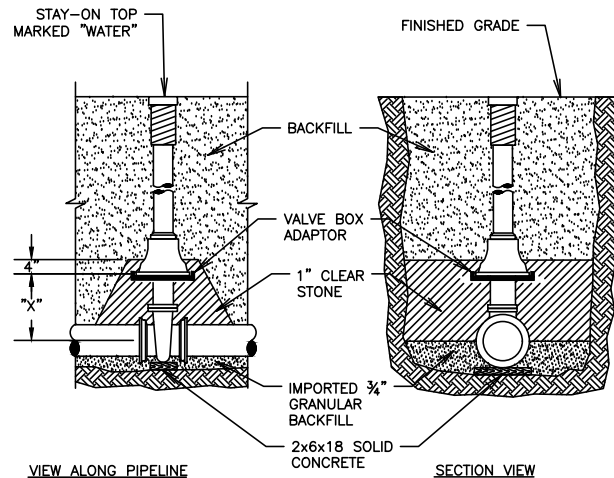
NOTE: GATE VALVE ADAPTORS ARE MANDATORY IN THE VILLAGE OF DEFOREST

1/2" NEO-PRENE GASKET INSTALLED BETWEEN THE GATE VALVE AND GATE VALVE ADAPTOR TO ABSORB ANY PRESSURE OR MOVEMENT CAUSED BY ROAD TRAFFIC

MANUFACTURED BY ADAPTOR, INC. 3642 E. AMERICAN AVE. MILWAUKEE, WI 53154



GATE VALVE ADAPTOR



VIEW ALONG PIPELINE

SECTION VIEW

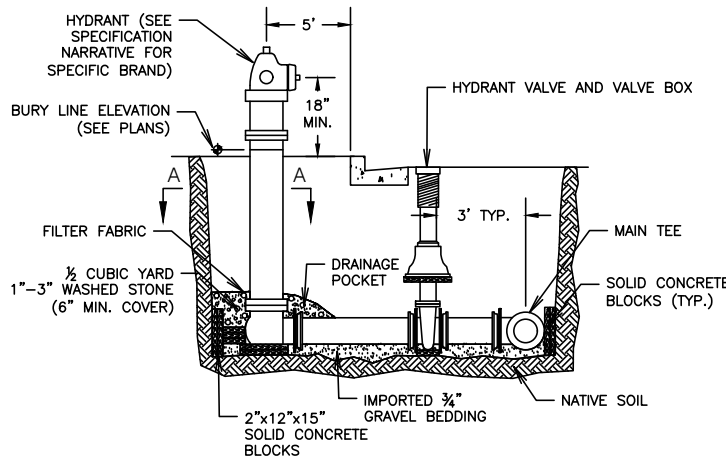
PIPE DIA., INCHES	6	8	10	12	14	16
"X" DIMENSION, INCHES	12	13	17	21	25	30

**NOTES:**

- VALVES SHALL BE SECURED WITH RODDING OR MEGALUGS TO THE NEAREST "TEE" FITTING OR TO THE FIRST JOINT CONNECTING A FULL SECTION OF WATER MAIN PIPE. SEE RODDING DETAIL "OFFSET AND RODDING".

DETAIL VALVE BOX SETTING

**1 GATE VALVE AND GATE VALVE ADAPTOR NOT TO SCALE**



VIEW ALONG PIPELINE

SECTION VIEW

**NOTES:**

- THE HYDRANT AND HYDRANT VALVE SHALL BE CONNECTED TO THE MAIN TEE BY MEGALUGS.
- FILTER FABRIC SHALL BE WRAPPED AROUND THE DRAIN POCKET.
- WHERE THE HYDRANT IS INSTALLED AT THE HIGH POINT OF THE WATER MAIN ON MAINS 10 INCHES IN DIAMETER AND LARGER, THE CONTRACTOR SHALL TIP THE MAIN TEE UPWARDS 45 DEGREES AND USE A 45 DEGREE FITTING TO ALLOW AIR TO ESCAPE FROM THE MAIN.
- WHERE THE LOCATION OF THE HYDRANT VALVE BOX WOULD BE IN ANY PORTION OF THE CURB AND GUTTER, THE CONTRACTOR SHALL PLACE THE VALVE IN THE TERRACE AREA.

SECTION A-A

**2 STANDARD HYDRANT SETTING NOT TO SCALE**

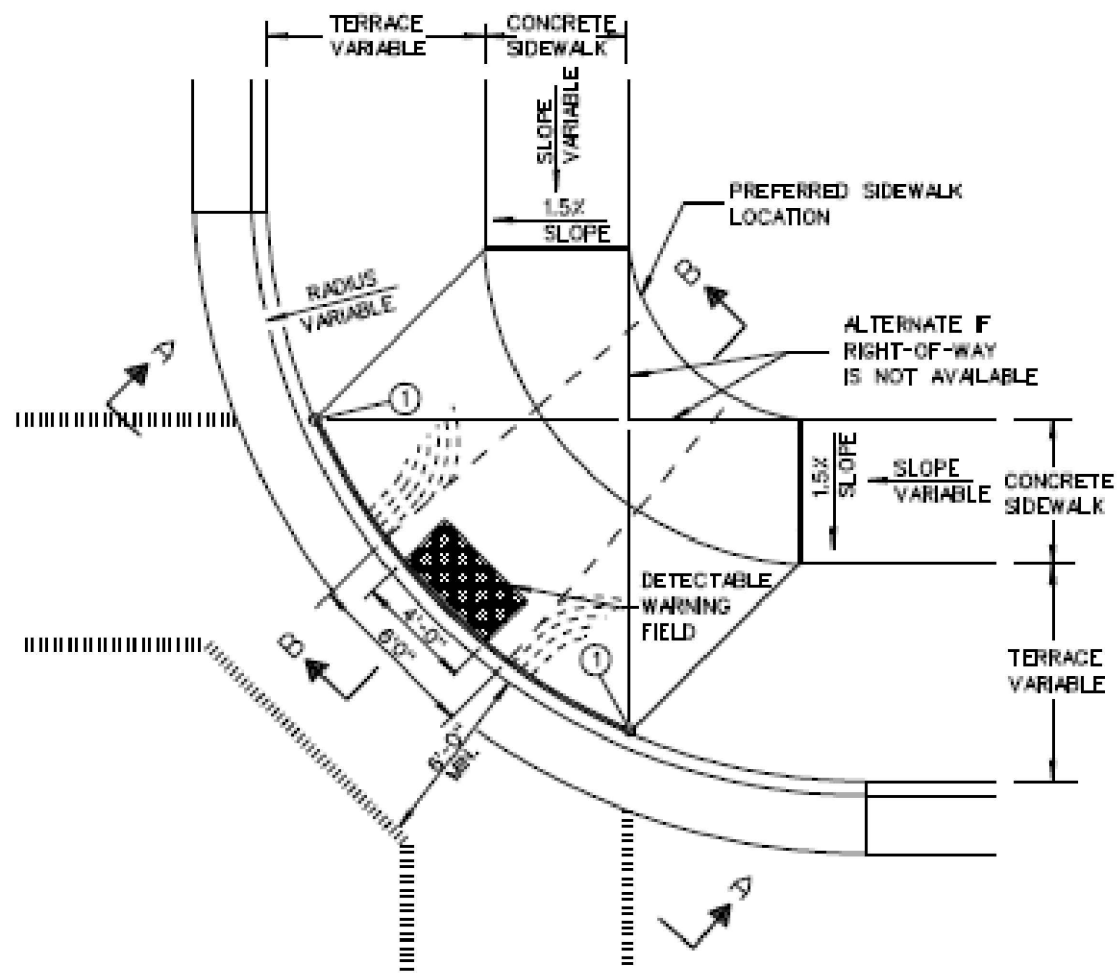
**SPERLE CORNERS - VILLAGE OF MCFARLAND DETAILS**

SHEET: C-15  
DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants

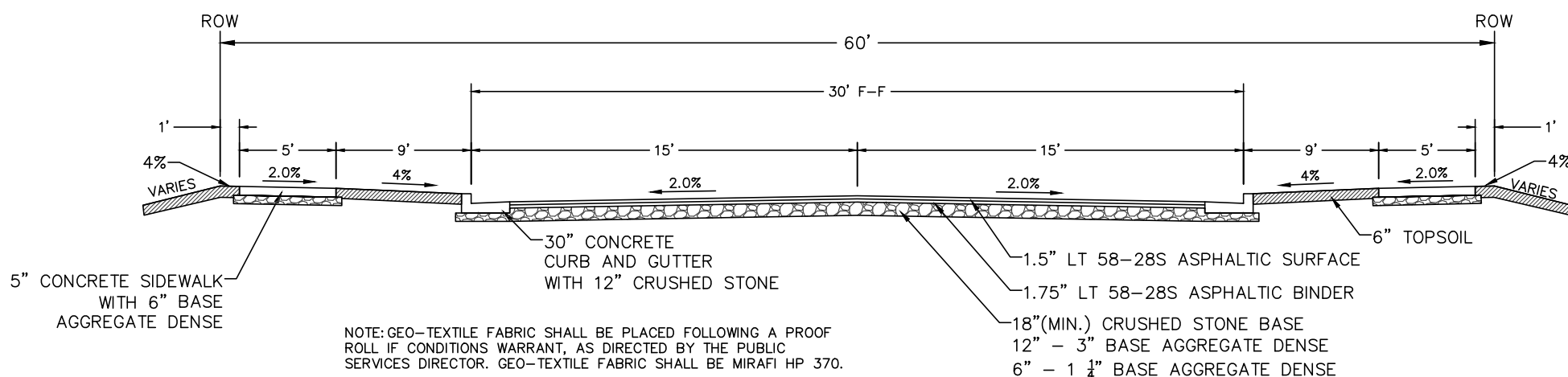
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Phone (608) 838-7750; Fax (608) 838-7752



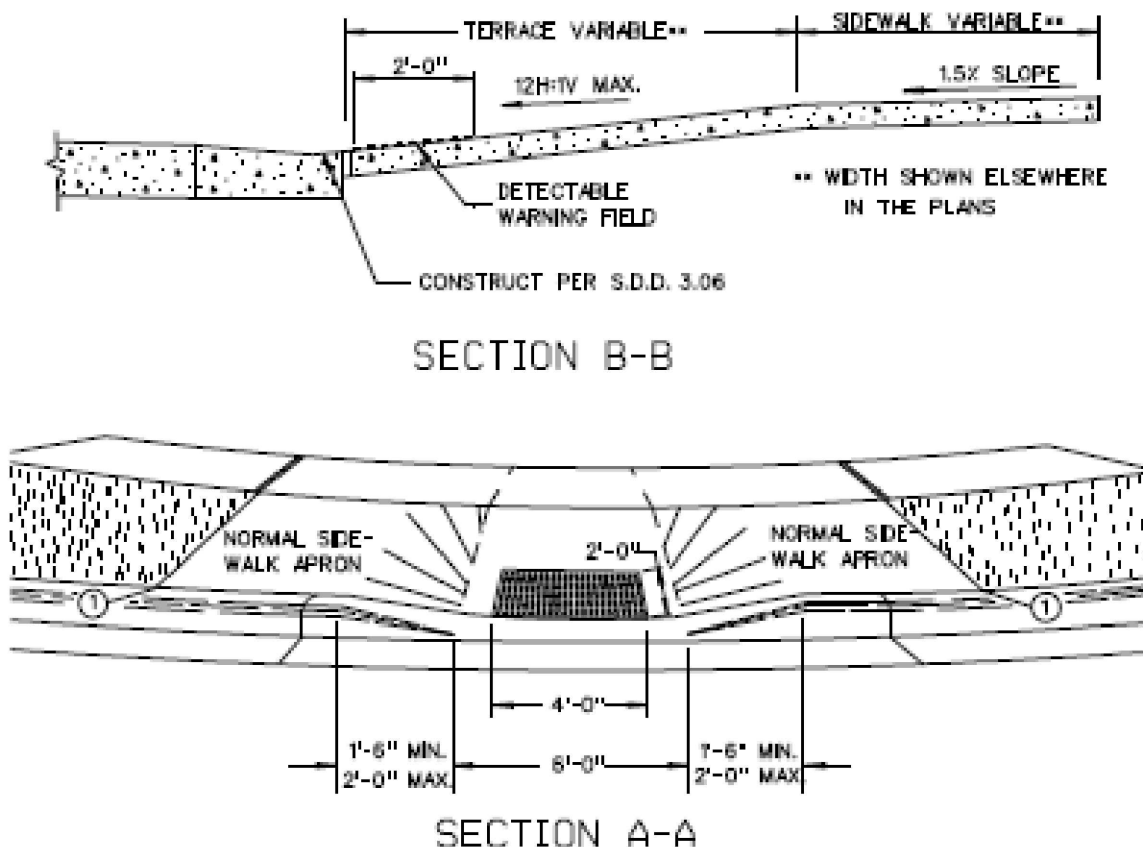
**PLAN VIEW  
TYPE 1 RAMP  
(CENTER OF CORNER RADIUS)**

**2 STANDARD CURB RAMP - TYPE 1**  
2 NOT TO SCALE



NOTE: GEO-TEXTILE FABRIC SHALL BE PLACED FOLLOWING A PROOF ROLL IF CONDITIONS WARRANT, AS DIRECTED BY THE PUBLIC SERVICES DIRECTOR. GEO-TEXTILE FABRIC SHALL BE MIRAFI HP 370.

**TYPICAL ROADWAY CROSS-SECTIONS**



**SECTION B-B**

**SECTION A-A**

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

DETECTABLE WARNING FIELD SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS "CURB RAMP DETECTABLE WARNING FIELD".

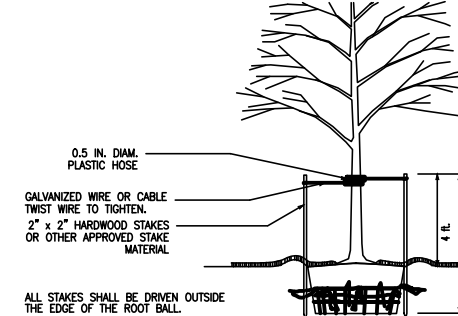
SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.

① THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB.

DETECTABLE WARNING FIELDS SHALL BE METAPANEL BY METADOME, LLC OR NEENAH 4984 PLATES.

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:  
 4 INCH CALIPER - 11-12 GAUGE  
 LARGER THAN 4 INCH CALIPER - 9-10 GAUGE  
 TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.  
 TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.  
 ALL BURLAP AND WIRE CAGES SHALL BE REMOVED FROM ROOTS PRIOR TO PLANTING.  
 PLANTING DEPTH OF TREE SHALL BE SUCH THAT ROOT FLAIR IS VISIBLE JUST ABOVE GRADE.



PROVIDE 4" THICKNESS OF ORGANIC MULCH AROUND ALL TREES. MULCH SHOULD NOT REST AGAINST THE TREE TRUNK. LEAVE 3" AROUND THE TRUNK FREE OF MULCH.

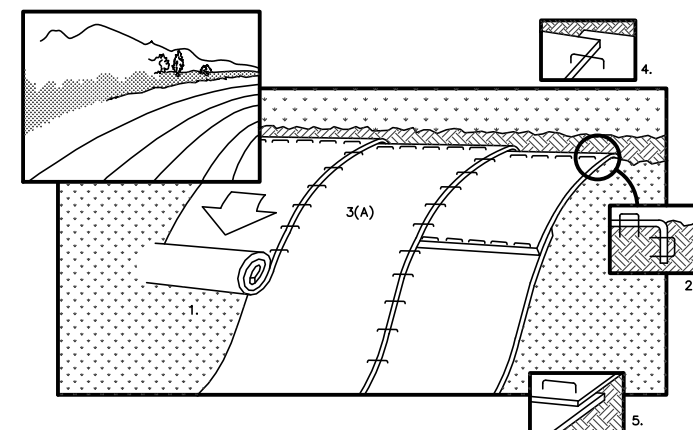
ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 0.5 INCH.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:

- o TREES WITH POOR - QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
- o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- o PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE.
- o ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
- o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.

**TREE PLANTING DETAIL**



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
7. SLOPES 5:1 SHOULD BE COVERED WITH CLASS I TYPE A AT A MINIMUM.

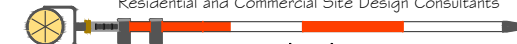
**EROSION CONTROL MAT - SLOPE INSTALLATION**

**SPERLE CORNERS - VILLAGE OF MCFARLAND**

DETAILS

SHEET: C-16  
 DATED: SEPTEMBER 22, 2025

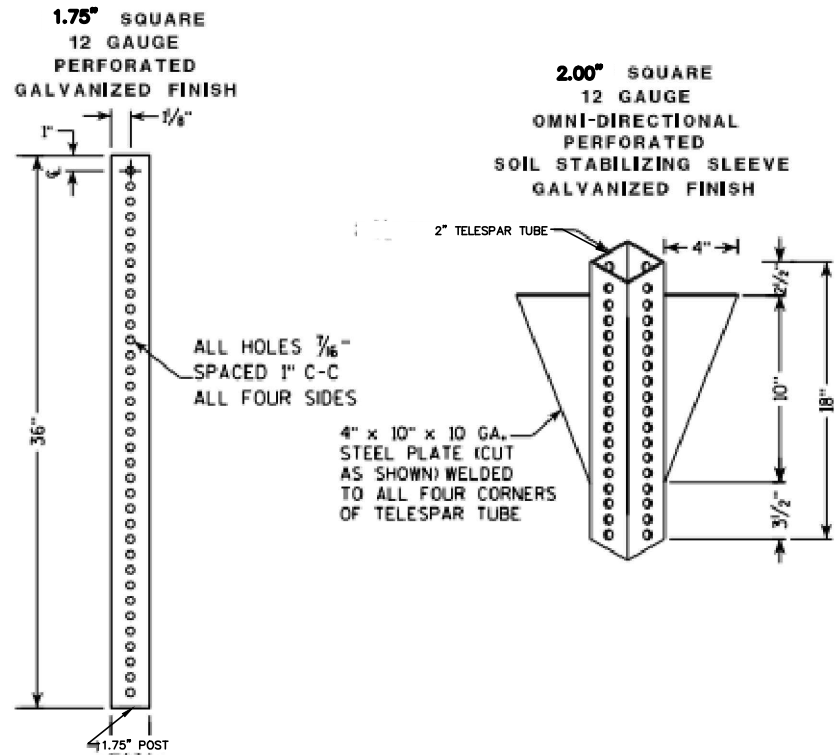
**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants



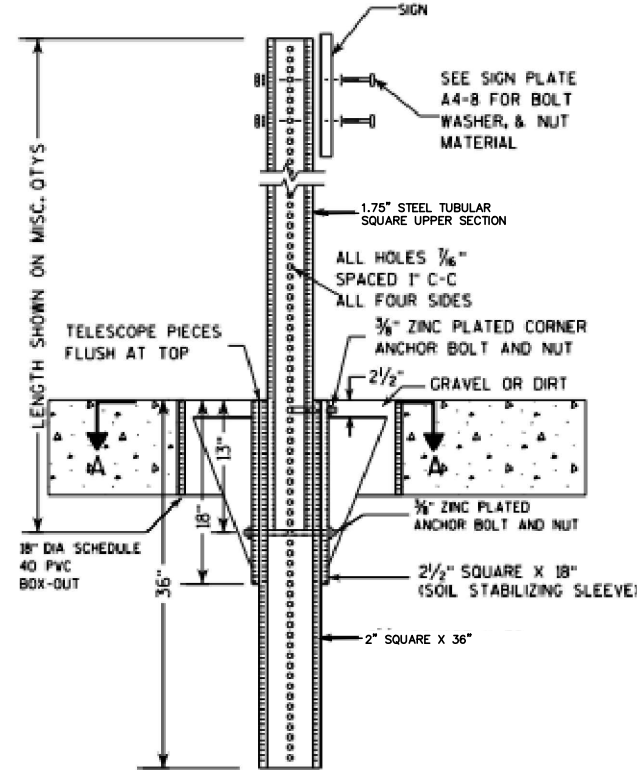
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 Phone (608) 838-7750; Fax (608) 838-7752

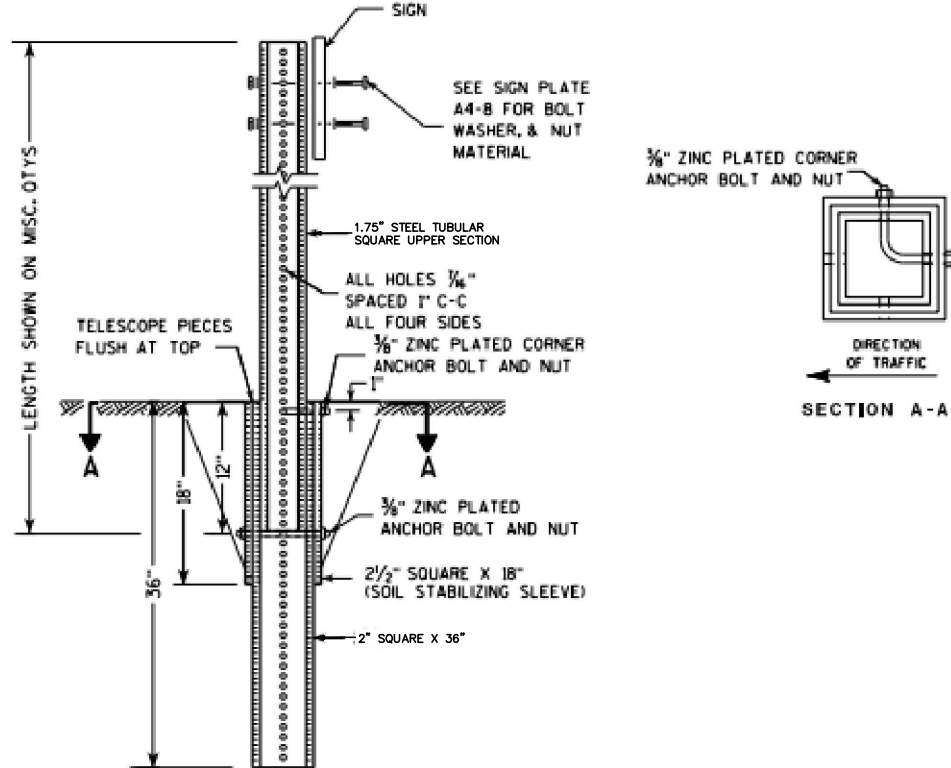
**TELESCOPIC TUBING ANCHORS  
TWO PIECE SYSTEM**



**DETAIL OF TUBULAR STEEL SIGN POST  
(IN POURED CONCRETE OR ASPHALT)**

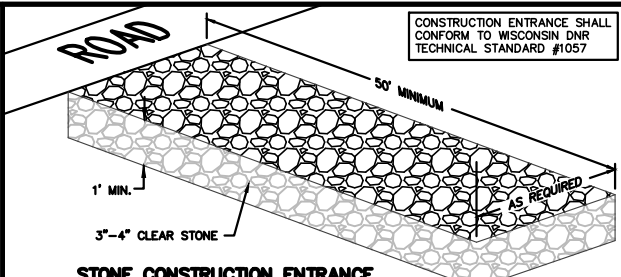
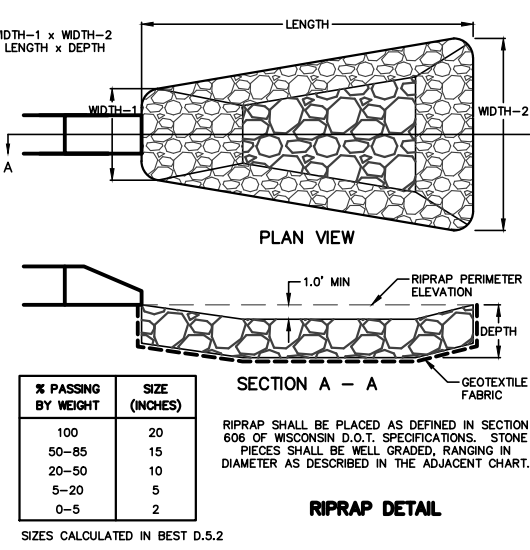
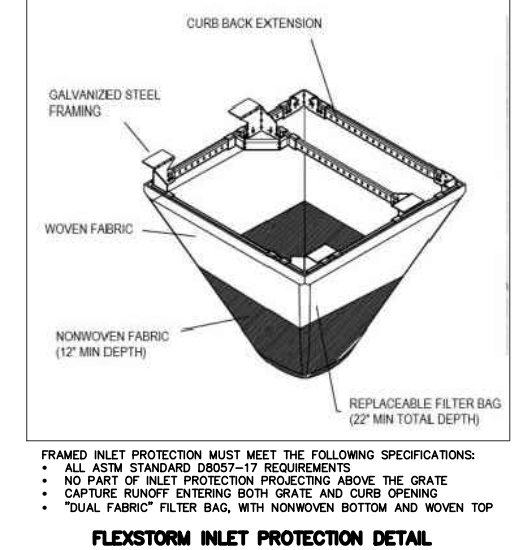
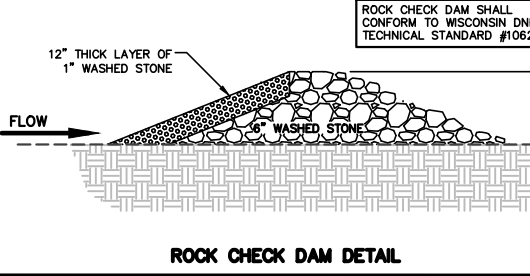
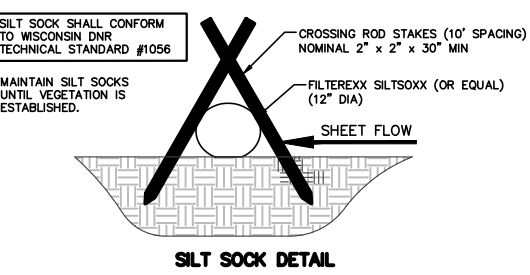
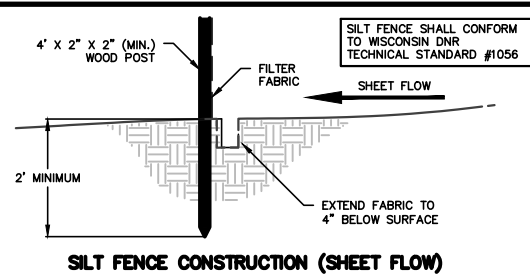
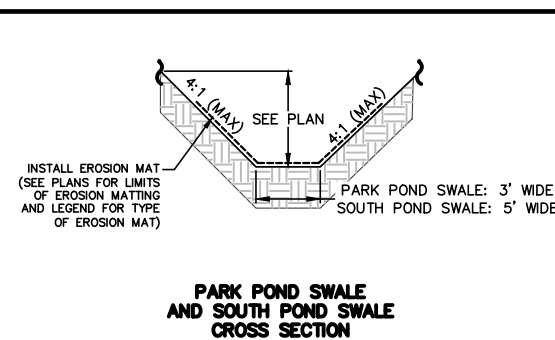


**DETAIL OF TUBULAR STEEL SIGN POST  
(IN LOCATIONS OTHER THAN POURED CONCRETE OR ASPHALT)**



Area of Sign Installation (Sq. Ft.)	Number of Required Posts
9 or less	1
Greater than 9 less than or equal to 18	2
Greater than 18 less than or equal to 27	3

Signs wider than 3 feet or larger than 9 sq. ft shall be mounted on multiple posts (see above table).



**EROSION NOTES:**

THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE STONE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE PUBLIC STREET. SEDIMENT REACHING PUBLIC STREET SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

PERIMETER CONTROL SHALL BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHALL BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**TIME SCHEDULE:**

OCTOBER 15 - NOVEMBER 1, 2025 INSTALL INITIAL EROSION CONTROL DEVICES AND ROUGH GRADE SITE.

NOVEMBER 1, 2025 - MAY 15, 2026 CONSTRUCT UTILITIES AND STREETS. RESTORE ALL PVIOUSLY DISTURBED AREAS.

**RESTORATION NOTES:**

RESTORATION SHALL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL.

ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. ALL SEED MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER. FERTILIZER SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURE 40 SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM SEPTEMBER 16 THROUGH NOVEMBER 15 IS TO BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. DORMANT SEEDING, IF NECESSARY, SHALL BE COMPLETED AFTER NOVEMBER 15. DORMANT SEEDING SHALL NOT BE APPLIED ON TOP OF SNOW. DISTURBED AREAS SHALL HAVE EROSION MAT APPLIED OVER DORMANT SEEDING. IF DORMANT SEEDING DOES NOT RESULT IN AT LEAST 70% COVER BY MAY 15, ADDITIONAL SEEDING SHALL BE REQUIRED.

**OWNER:**  
LAKESTONE PROPERTIES & MANAGEMENT, LLC  
ATTN: BRETT RIEMEN  
BRIAN SPANOS  
5910 MAIN STREET, SUITE 1  
MCFARLAND, WI 53558

**ENGINEER:**  
QUAM ENGINEERING, LLC  
ATTN: RYAN QUAM  
4604 SIGELKOW ROAD, SUITE A  
MCFARLAND, WI 53558

- EXCAVATED MATERIAL FROM THE UTILITY TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
- ALL SILT FENCE SHALL BE PROPERLY INSTALLED, MAINTAINED, AND REMOVED UPON ESTABLISHMENT OF TURF.
- ALL SITES SHALL BE ADEQUATELY PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE STONE ENTRANCE PADS SHOWN ON THE PLANS.
- STREETS SHALL BE SWEEP CLEAN EVERY DAY.
- EROSION MAT IS REQUIRED FOR ALL RESTORATION ON SLOPES AT OR GREATER THAN 5:1, AND IN AREAS THAT CHANNEL WATER. EROSION MAT SHALL ALSO BE PROVIDED IN ALL STREET TERRACES WITHIN THE ROW.
- EROSION MAT AND STAPLES SHALL BE BIODEGRADABLE (CURLEX NET FREE OR APPROVED EQUAL).
- ALL STORM WATER MANAGEMENT FACILITIES SHALL BE SEEDDED WITH A NATIVE SEED MIXTURE WITHIN THE LIMITS OF THE OUTLOT OR EASEMENT. THE NATIVE SEED MIXTURE SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC SERVICES.
- ANY PROPOSED CHANGES TO THE GRADING AND EROSION CONTROL PLAN MUST BE SUBMITTED TO THE VILLAGE ENGINEER AND APPROVED.

**SPELRE CORNERS - VILLAGE OF MCFARLAND**

DETAILS

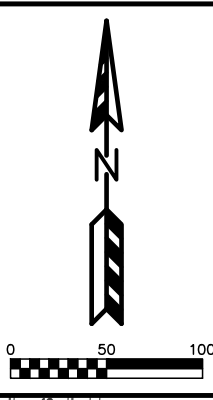
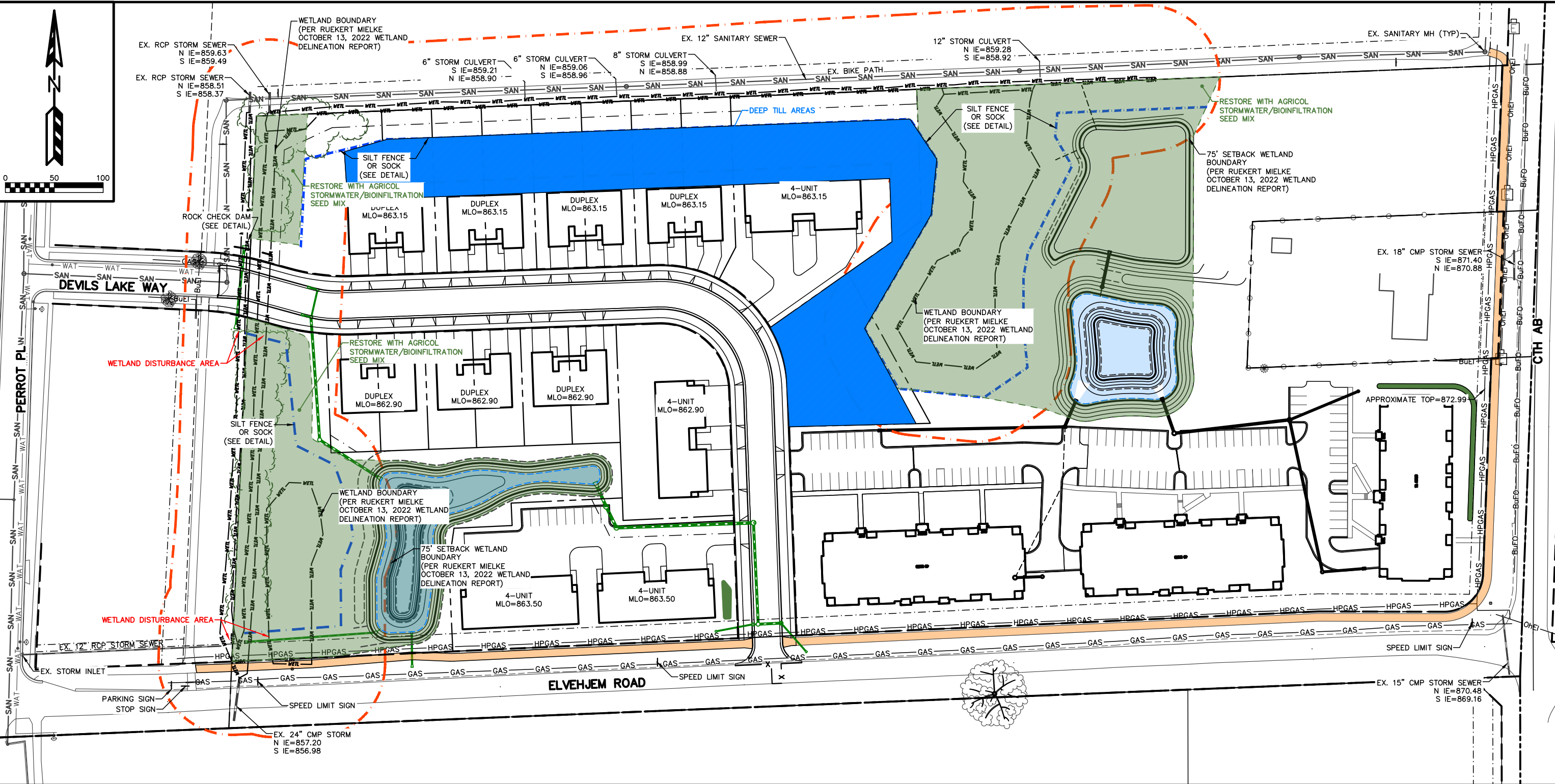
SHEET: C-17

DATED: SEPTEMBER 22, 2025

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Residential and Commercial Site Design Consultants

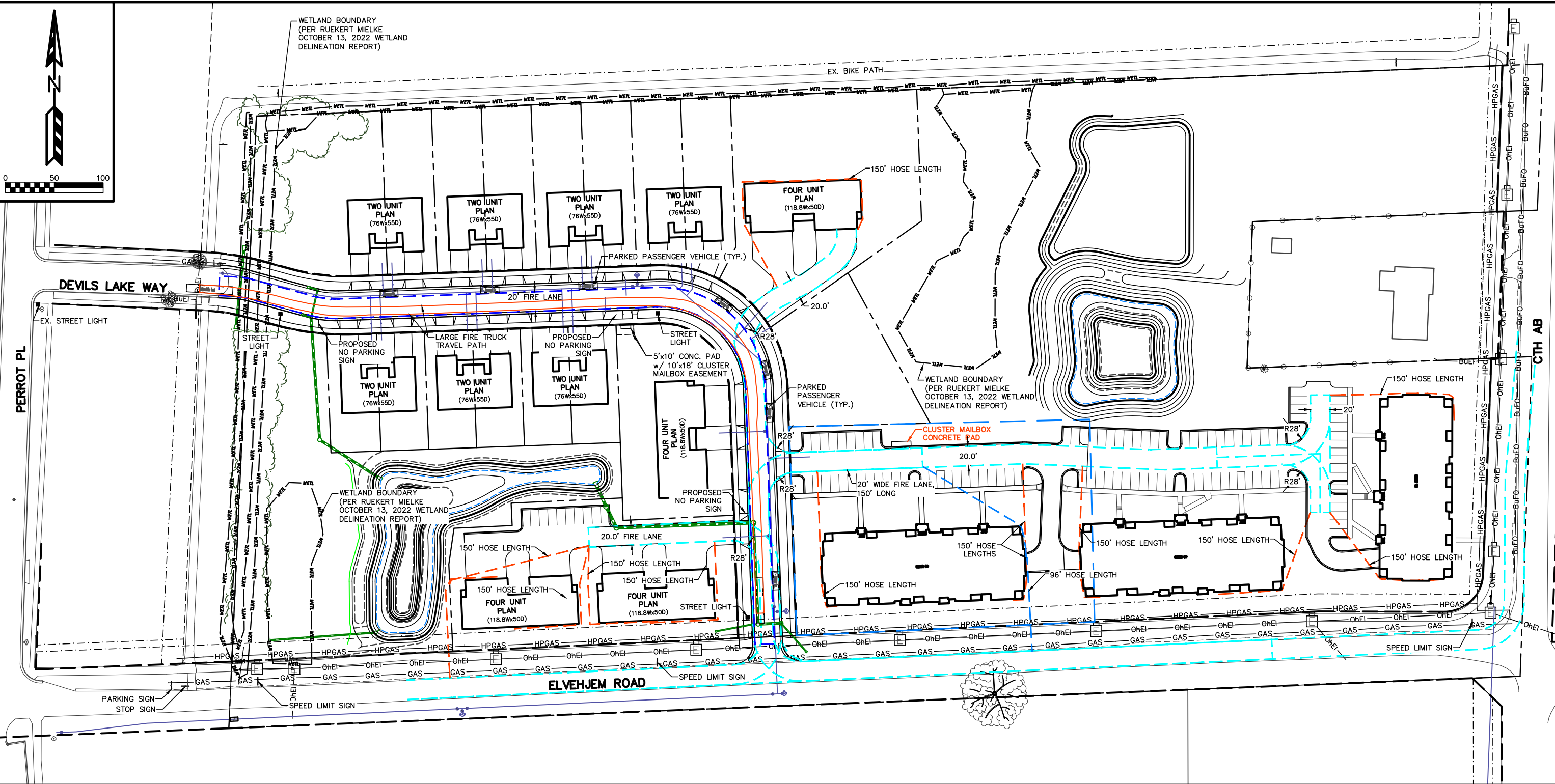
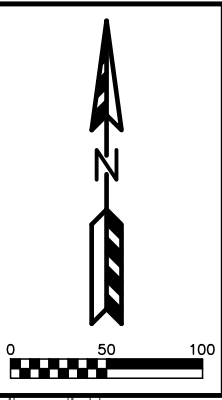
www.quamengineering.com

4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
**WETLAND AND POND RESTORATION PLAN**  
 SHEET: C-1  
 DATED: AUGUST 5, 2025

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 Residential and Commercial Site Design Consultants  
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 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 FIRE LANE PLAN  
 SHEET: 1 OF 1  
 DATED: OCTOBER 3, 2025

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 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



August 18, 2025

**Community & Economic Development Department**

Attn: Andrew Bremer  
5915 Milwaukee Street  
McFarland, WI 53558

Re: Sperle Corners – Village of McFarland

Enclosed are the following documents for the above referenced project:

1. Sperle Corners – Village of McFarland Plan Set (17 Pages)
2. Universal Soil Loss Equation (USLE) worksheet
3. Existing Drainage Plan
4. Pre-Development HydroCAD Report
5. Proposed Drainage Plan
6. Post-Development HydroCAD Reports
7. Phase 1 Storm Sewer Drainage Plan
8. Phase 1 Rational Method Worksheets
9. WinSLAMM Drainage Plan
10. Sediment Control Calculations
11. Hydrologic Soil Information;
12. Soil and Site Evaluation – Storm (2024)
13. Stormwater Management Maintenance Agreement;

The proposed development includes the construction of several new duplexes and 4-unit homes, as well as the construction of larger apartment buildings in phase 2. Phase 1 of the development includes the extension of Devils Lake Way to connect with Elvehjem Road and the construction of seven duplexes and four four-unit buildings as well as a wet pond to meet rate and sediment control standards. Phase 2 includes the construction of three apartment buildings along with the adjacent parking lots. An additional wet pond and infiltration basin are proposed to meet rate, sediment, and infiltration standards.

Runoff to the existing wetlands is being maintained by routing half of the water from the infiltration basin to the central wetland. In addition, the runoff from the back of the north, phase 1 lots is being directed to the northern wetland which is adjacent to the existing bike path along the north side of the property.

The documents are being submitted to address erosion control and stormwater management requirements for the proposed combination of new development for all phases and will meet the following performance standards as defined in the Village of McFarland Ordinance as follows:

**Erosion Control**

***The proposed construction shall include erosion control measures to prevent gully and bank erosion and limit total off-site erosion to less than 5.0 tons per acre per year.***

All runoff during construction shall be directed to flow through erosion control measures as shown on the Grading and Erosion Control Plan. The USLE calculation worksheet is included and indicates that soil loss will be less than 5.0 tons per acre per year.

**Sediment Control**

*For new development, the proposed construction shall include design practices to retain soil particles greater than five microns (80% reduction) on the entire site resulting from the one-year 24-hour storm event. For redevelopment resulting in exposed surface parking and drive areas, design practices to retain soil particles greater than twenty microns (40% reduction) resulting from a one-year 24-hour storm event shall be included.*

The proposed wet ponds and infiltration basin are designed to retain soil particles greater than five microns (80% reduction) on the entire site resulting from the one-year 24-hour storm event. The sediment control calculations include treatment of the existing roadway as a substitution for portions of the proposed roadway and roof area that will not be treated by the proposed wet ponds and infiltration basin. The detailed sediment control calculations are included as Exhibit #10.

**Oil and Grease Control**

*The first ½” runoff shall be treated using oil and grease removal technology.*

Oil and grease control is not required for phase 1 of the site because the driveways and streets will contain minimal vehicle parking, and the proposed use does not include drive-through or vehicle maintenance. Therefore, the site is not a significant contributor of oil and grease.

On phase 2 of the site contains oil and grease control will be provided by the FlexStorm PCP inlet filter.

**Runoff Rate Control**

*All stormwater facilities shall be designed, installed and maintained to effectively maintain pre-development peak runoff rates for the 1, 2, 10, 100, and 200-year, 24-hour storm event.*

The proposed wet pond, infiltration basin, wetland seeding, and deep tilling will effectively maintain pre-development peak runoff rates for the 2, 10, 100, and 200 year, 24-hour storm event. The following table summarizes how the proposed stormwater management practices meet standards for peak flow rates. The 1-year rain event is being managed to the greatest extent possible while maintaining drainage to existing wetlands.

Storm Event (Year)	Total Existing Flow Rate (cfs)	Total Proposed Flow Rate Without Pond (cfs)	Total Proposed Flow Rate With Pond (cfs)
1	1.12	24.16	1.42
2	1.86	28.87	1.86
10	6.31	48.23	4.59
100	23.49	92.72	18.74
200	30.50	108.49	29.46

**Outlets**

***Discharges from the site must have a stable outlet capable of carrying the designed flow at a non-erosive velocity.***

The wet ponds, infiltration basin, riprap pads, and restored lawn area will provide a stable outlet for the site.

**Infiltration**

***All downspouts, driveways, and other impervious areas shall be directed to pervious areas, where feasible. Additionally, for residential and non-residential developments design practices to infiltrate sufficient runoff volume so that post-development infiltration volume shall be at least 90% of the pre-development infiltration volume, based on average annual rainfall per Dane County Ordinance. If entire site has 5+ feet of clay-textured soils dedicate 2% of the site to infiltration practices that maximize infiltration and conform to applicable standards.***

Due to the clayey soils throughout the site, 2% of the site has been proposed for an infiltration basin and a phase 2 infiltration swale while maintaining the design draw down depth of the infiltration basin.

If the documents are satisfactory, please approve the erosion control and storm water management permits. If you have any questions or comments, please feel free to contact me.

Sincerely,



Mark Fendry, P.E.

CC: Brian Berquist, Town and County Engineering  
Brett Riemen, Lakestone Properties and Management

FN: LS-03-19

# SPERLE CORNERS RESIDENTIAL SUBDIVISION STREET AND UTILITY CONSTRUCTION

## VILLAGE OF MCFARLAND DANE COUNTY, WISCONSIN

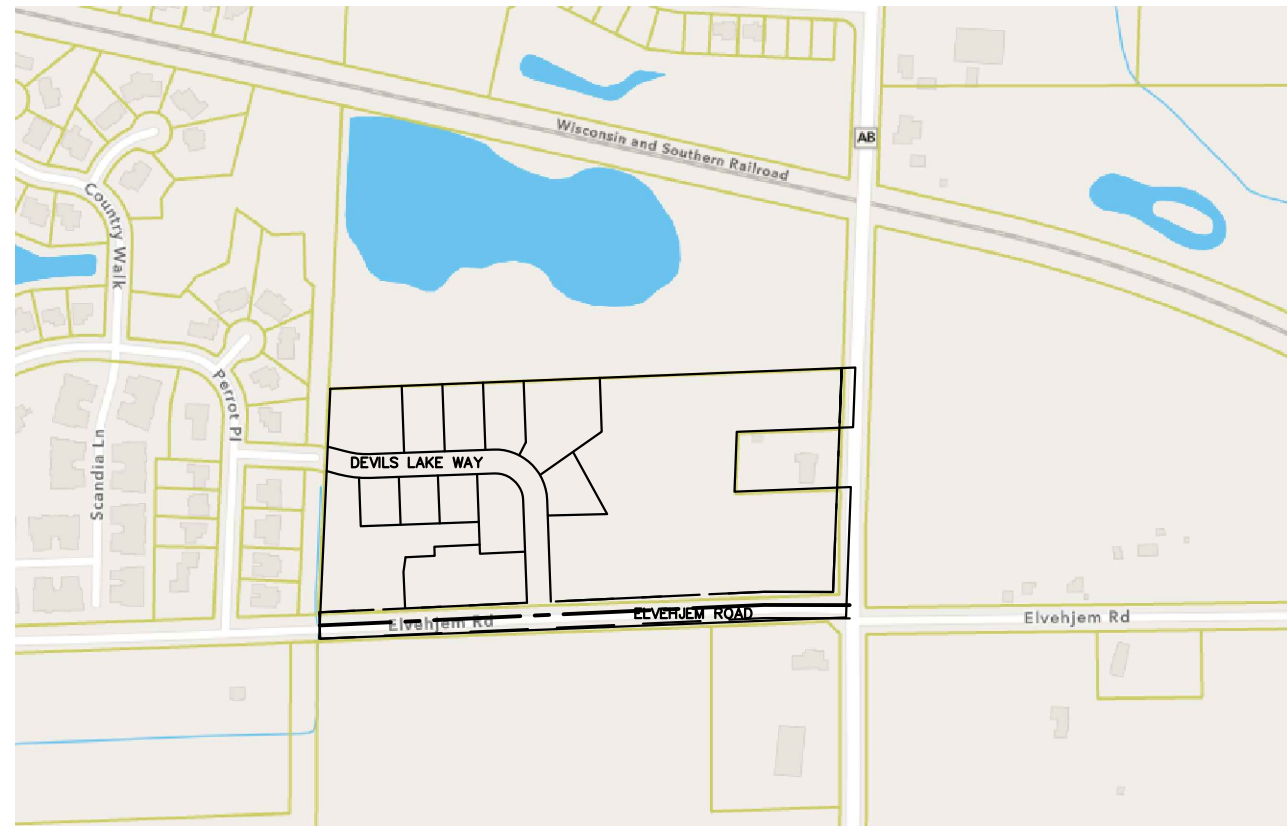
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WI 53558

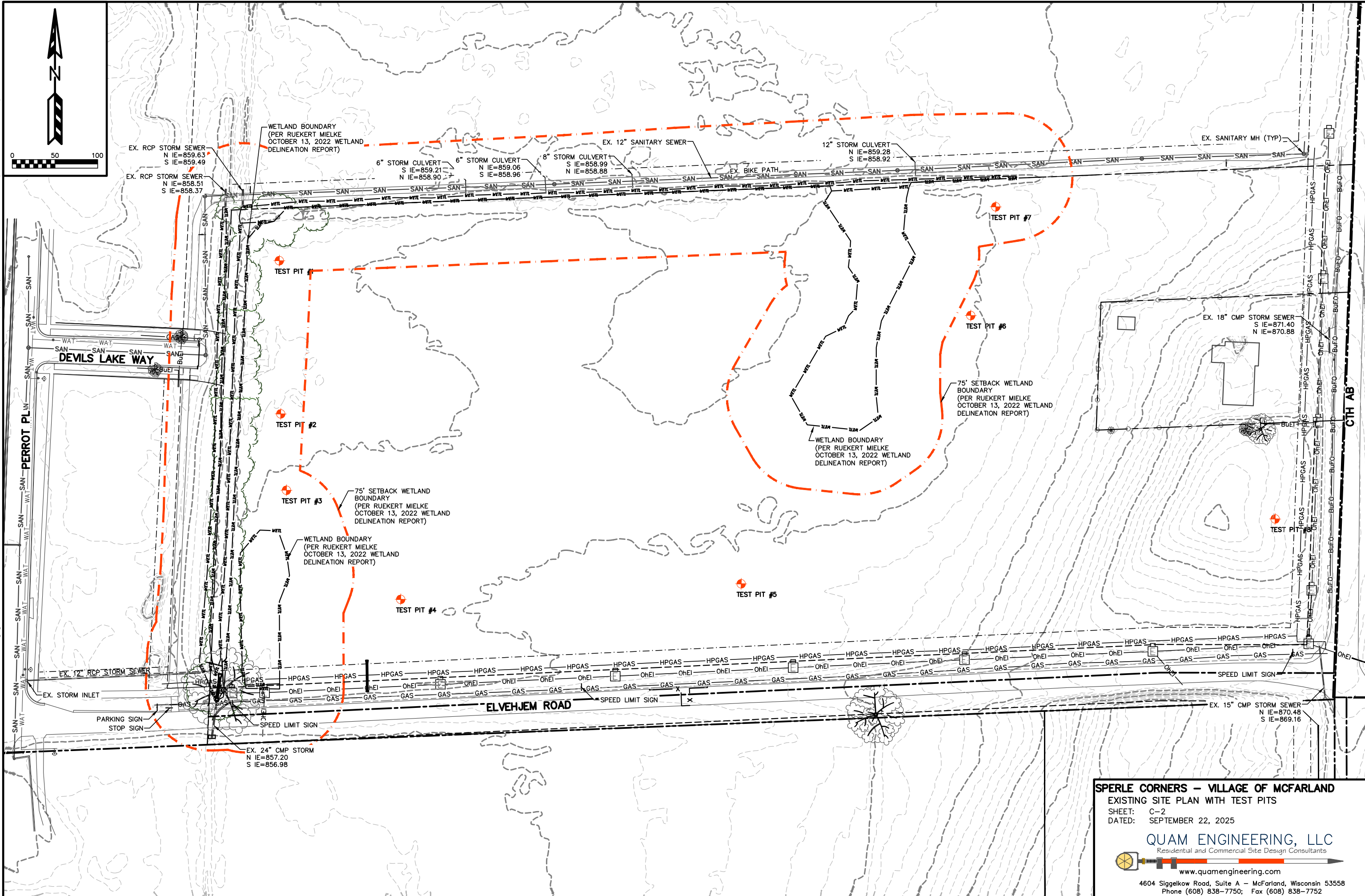
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QUAM ENGINEERING, LLC

INDEX		
SHEET	STATIONS	DESCRIPTION
1		COVER PAGE
2		EXISTING SITE PLAN
3		OVERALL GRADING AND STORM WATER MANAGEMENT PLAN
4		WEST POND PLAN
5		EAST POND PLAN
6	0+00 - 6+00	DEVILS LAKE WAY - PLAN AND PROFILE
7	6+00 - 10+00	DEVILS LAKE WAY - PLAN AND PROFILE
8	20+00 - 27+50	STORM SEWER - PLAN AND PROFILE
9	29+00 - 35+00	STORM SEWER - PLAN AND PROFILE
10	50+00 - 56+00	WATER MAIN - PLAN AND PROFILE
11	56+00 - 62+00	WATER MAIN - PLAN AND PROFILE
12		SIGN & LIGHTING PLAN
13		STREET TREE PLAN
14		DETAILS #1
15		DETAILS #2
16		DETAILS #3
17		DETAILS #4

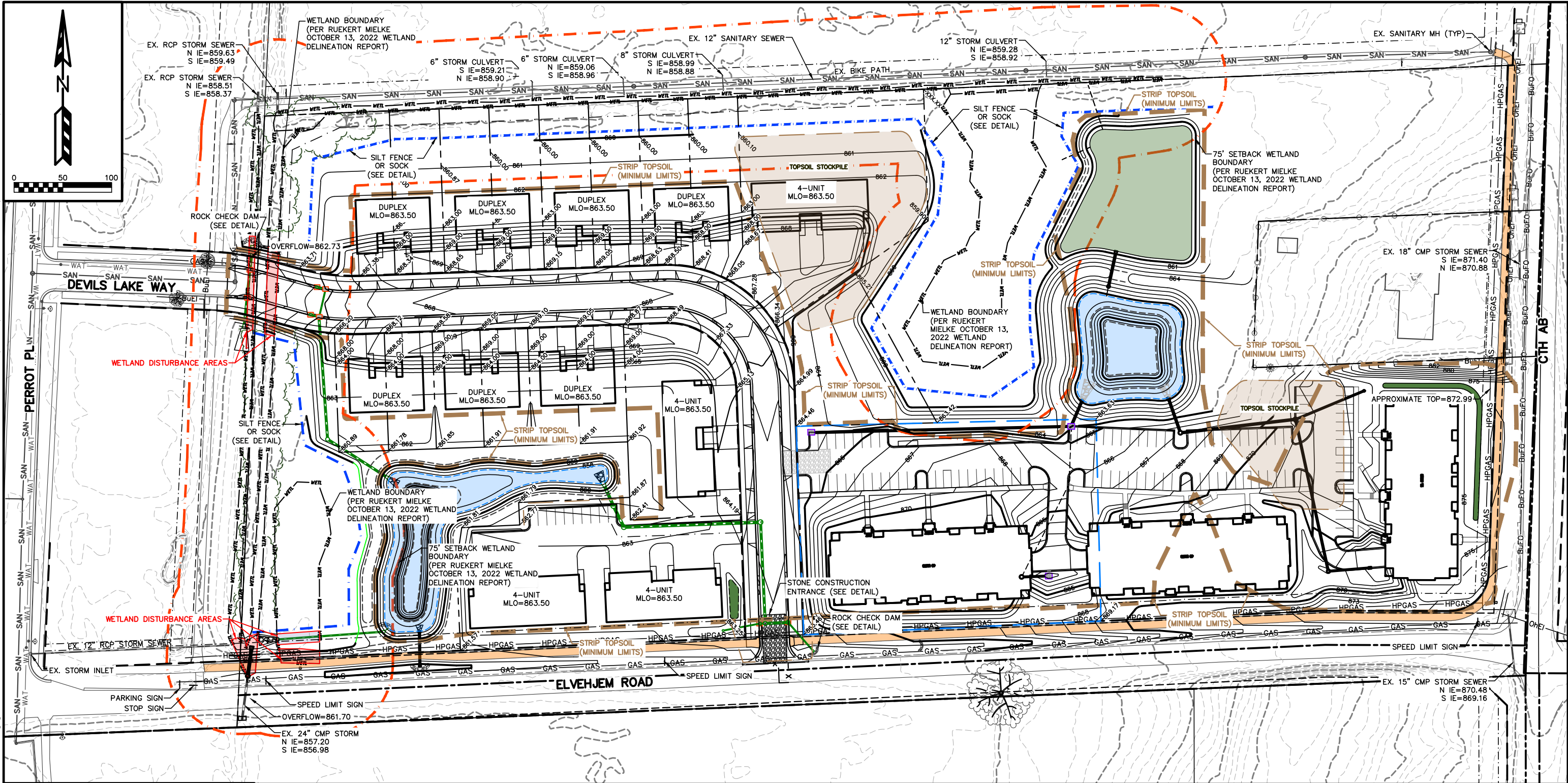



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 Phone (608) 838-7750; Fax (608) 838-7752



**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 EXISTING SITE PLAN WITH TEST PITS  
 SHEET: C-2  
 DATED: SEPTEMBER 22, 2025

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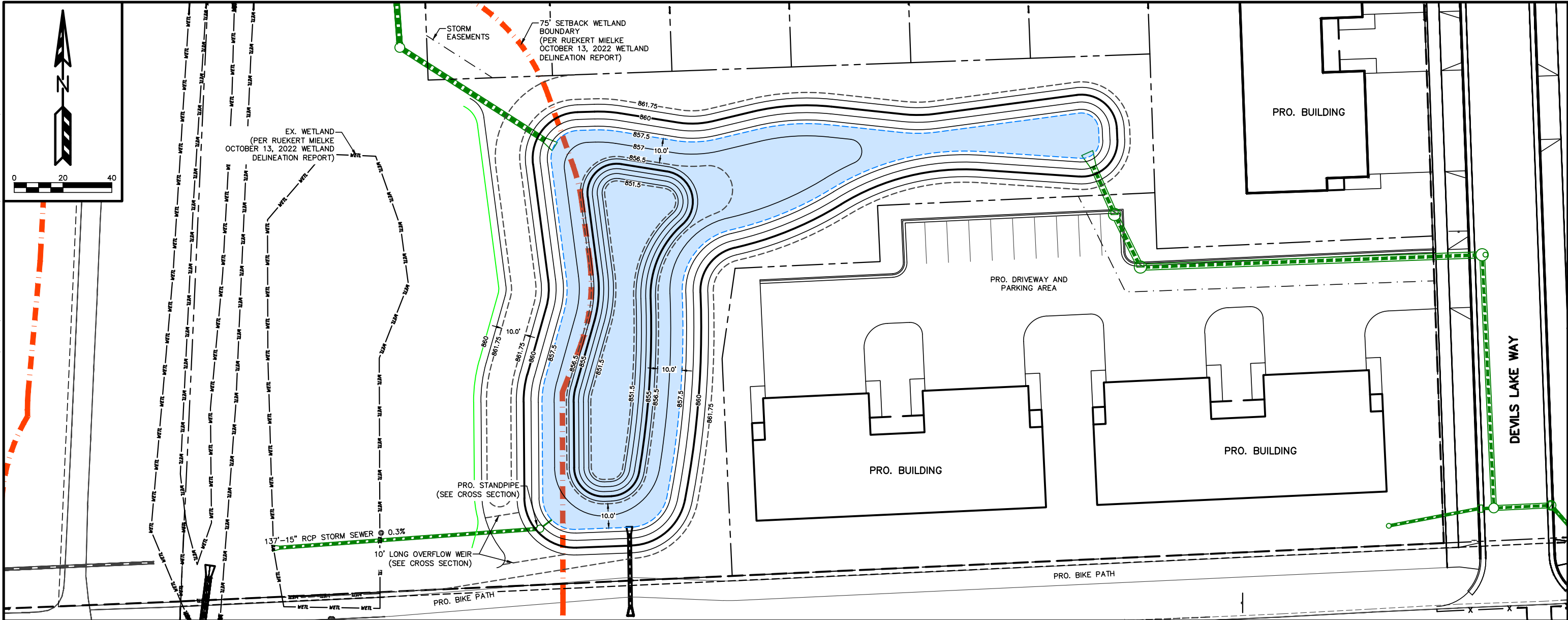


**LEGEND FOR COMMON LINES:**

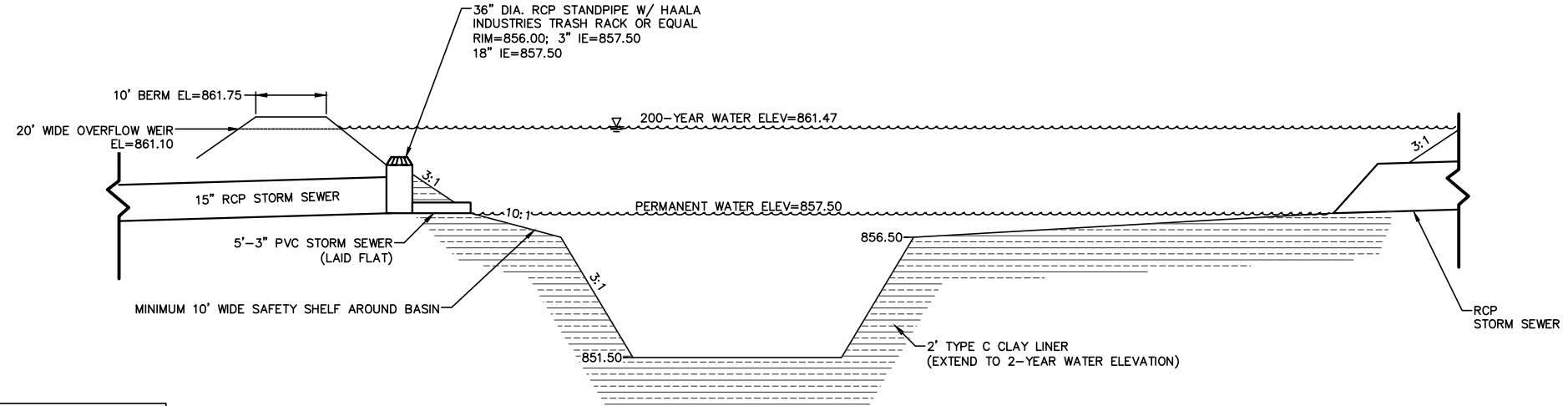
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--- 965	EXISTING MAJOR CONTOUR
--- 964	PROPOSED MINOR CONTOUR
--- 965	PROPOSED MAJOR CONTOUR
---	PROPERTY LINE
---	ROAD RIGHT-OF-WAY
---	EASEMENT LINE
---	75 FT SHORELINE SETBACK
---	EXISTING FENCE
WAT	EXISTING BURIED WATER MAIN/SERVICE
SAN	EXISTING BURIED SANITARY SEWER/LATERAL
GAS	EXISTING BURIED GAS LINE
BuCom	EXISTING BURIED COMMUNICATION LINE
BuFO	EXISTING BURIED FIBER OPTIC LINE
BuTel	EXISTING BURIED TELEPHONE LINE
BuEl	EXISTING BURIED ELECTRIC LINE
OhUt	EXISTING OVERHEAD UTILITY LINE
OhEl	EXISTING OVERHEAD ELECTRIC LINE
---	PROPOSED SILT FENCE/SOCK (SEE DETAIL)
---	PROPOSED LIMITS OF DISTURBANCE
MLO	MINIMUM LOWEST OPENING
---	FLEXSTORM INLET PROTECTION (SEE DETAIL)

**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 OVERALL GRADING & STORM WATER MANAGEMENT PLAN  
 SHEET: C-3  
 DATED: SEPTEMBER 22, 2025

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WEST WET POND PEAK ELEVATIONS	
STORM	ELEV
1-YR	859.42
2-YR	859.73
10-YR	860.21
100-YR	861.25
200-YR	861.47



WEST WET DETENTION POND CROSS SECTION

CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

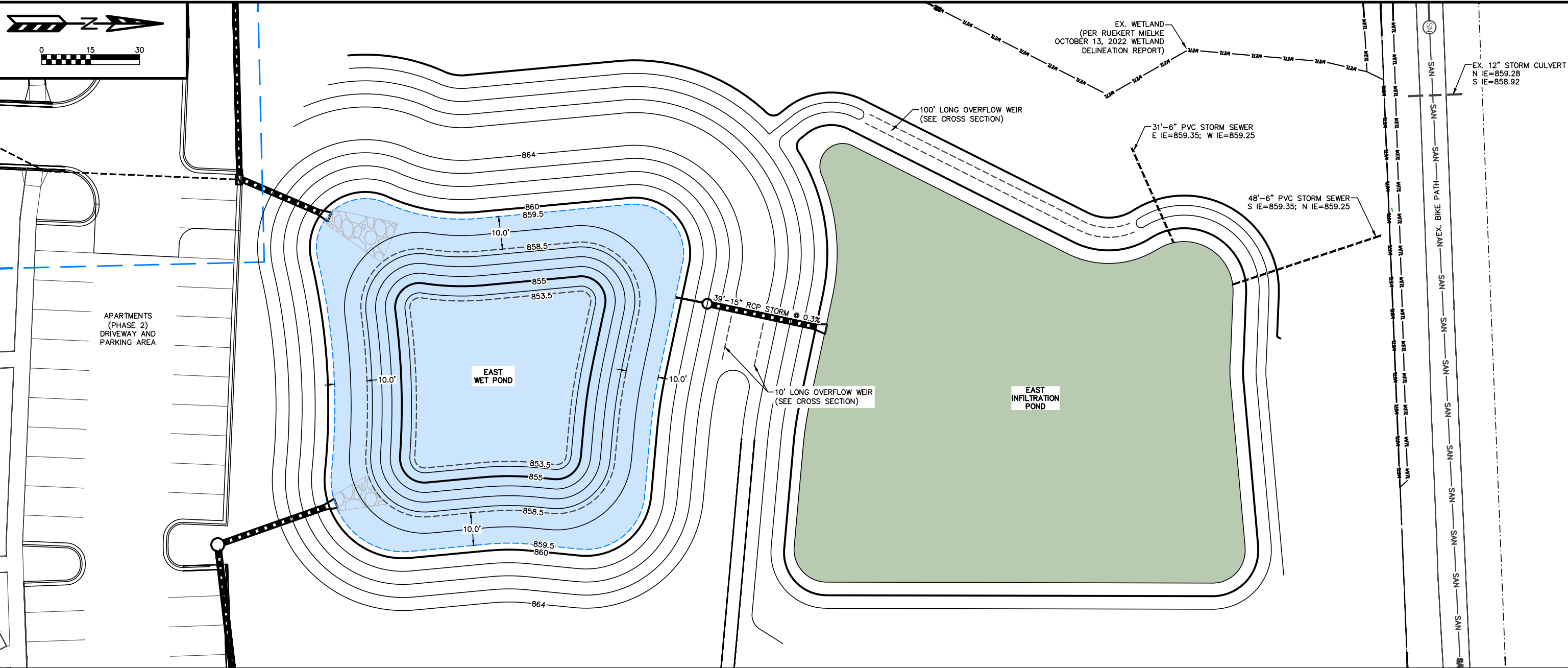
SPERLE CORNERS - VILLAGE OF MCFARLAND

WEST POND PLAN  
SHEET: C-4  
DATED: SEPTEMBER 22, 2025

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Residential and Commercial Site Design Consultants



www.quamengineering.com  
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

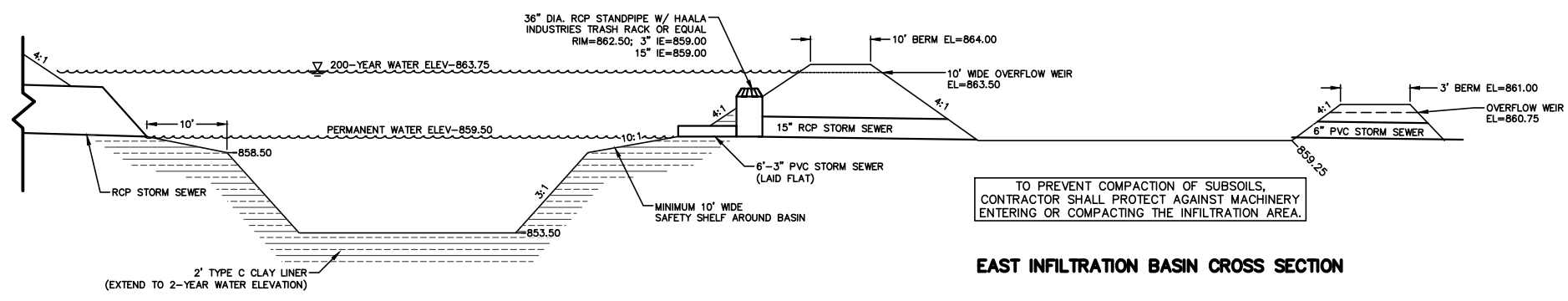
THE SEED MIXTURE FOR THE INFILTRATION BASIN BOTTOM SHALL BE RAINWATER RENEWAL SEED MIX SUPPLIED BY AGRECOL OR EQUIVALENT. MIX 80% SAND, 20% COMPOST WITH THE NATIVE LOAMY FINE SAND SOIL.

WET DETENTION POND CONSTRUCTION SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD #1001

INFILTRATION BASIN CONSTRUCTION SHALL CONFORM TO WISCONSIN DNR TECHNICAL STANDARD #1003

EAST WET POND PEAK ELEVATIONS	
STORM	ELEV
1-YR	861.48
2-YR	861.80
10-YR	862.61
100-YR	863.42
200-YR	863.75

EAST INFILTRATION BASIN PEAK ELEVATIONS	
STORM	ELEV
1-YR	859.65
2-YR	859.67
10-YR	859.96
100-YR	860.96
200-YR	861.00



EAST WET DETENTION POND CROSS SECTION

EAST INFILTRATION BASIN CROSS SECTION

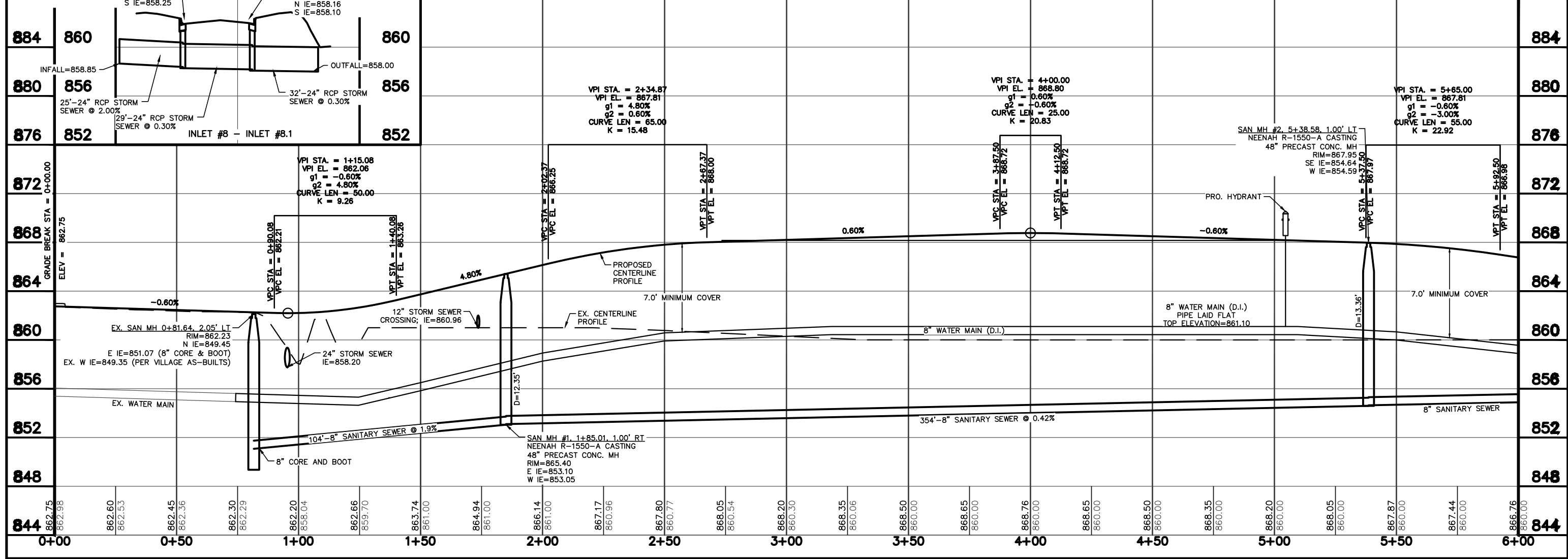
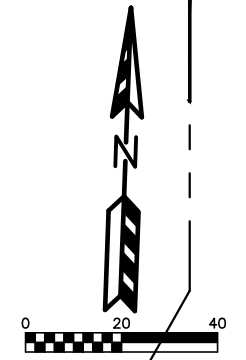
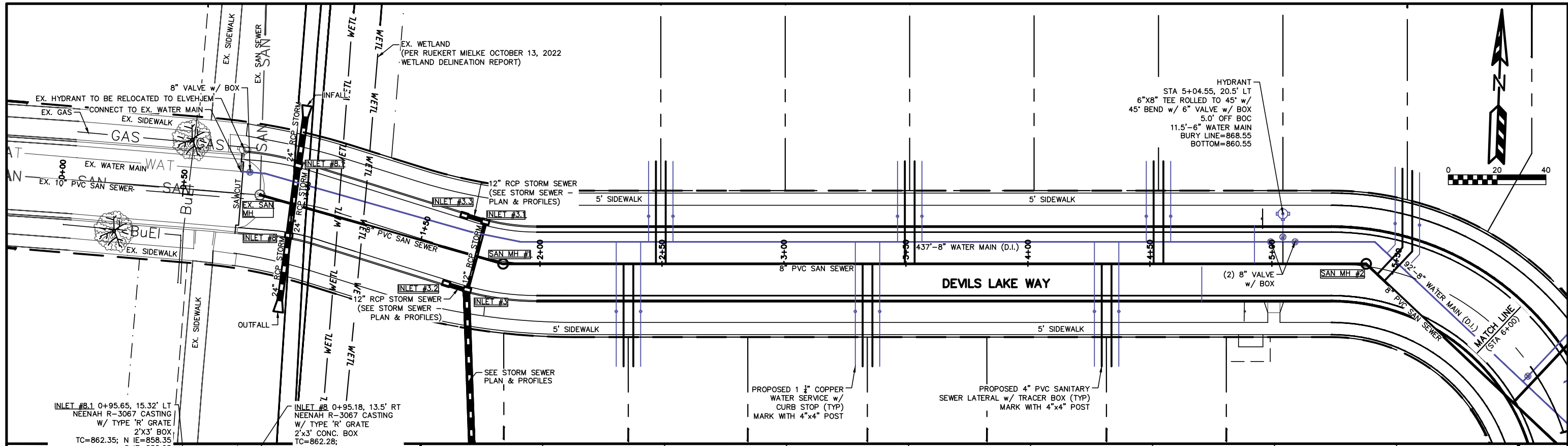
TO PREVENT COMPACTION OF SUBSOILS, CONTRACTOR SHALL PROTECT AGAINST MACHINERY ENTERING OR COMPACTING THE INFILTRATION AREA.

CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

LAKESTONE PROPERTIES - VILLAGE OF MCFARLAND  
 EAST POND PLAN  
 SHEET: C-5  
 DATED: SEPTEMBER 22, 2025

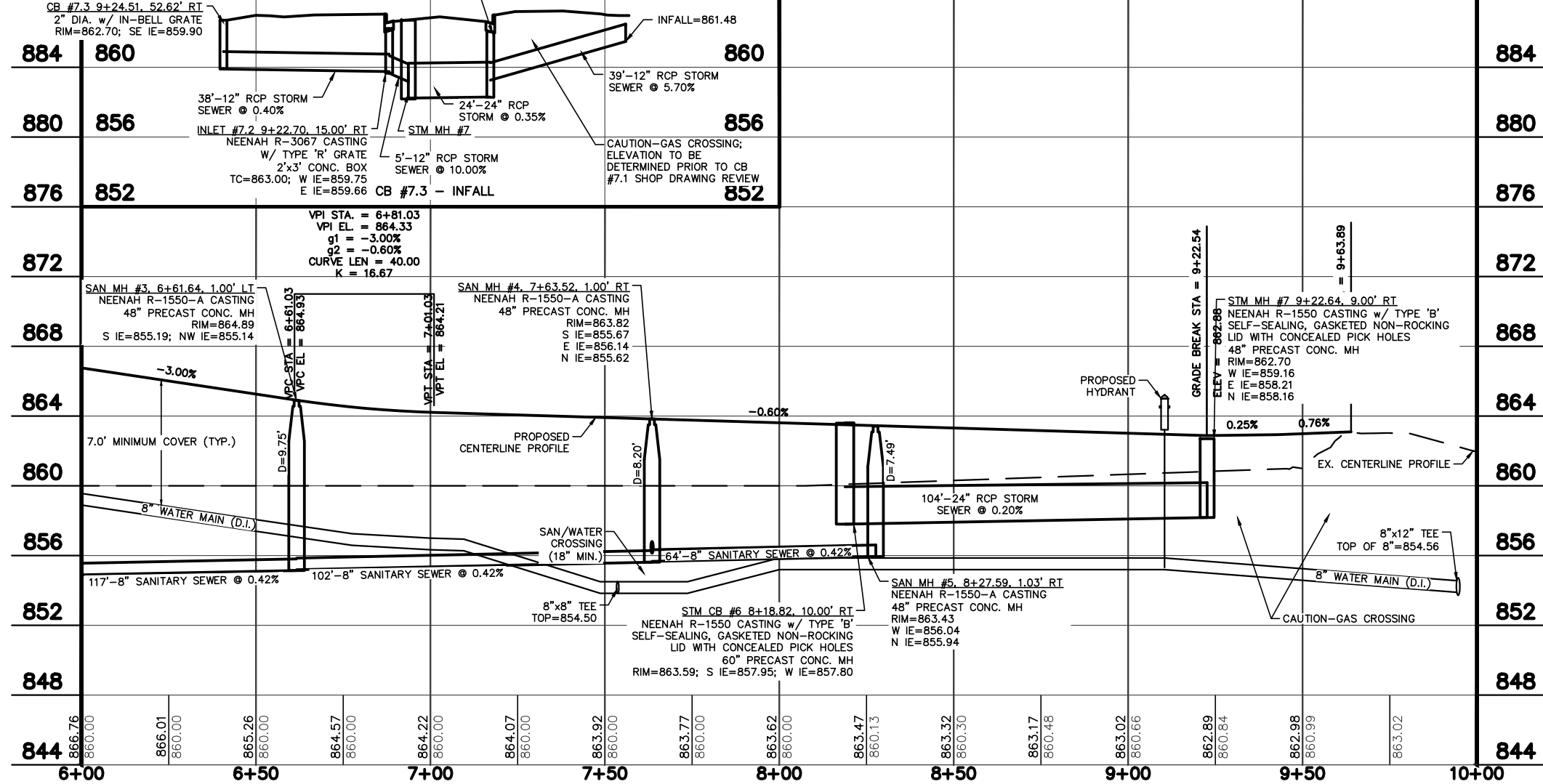
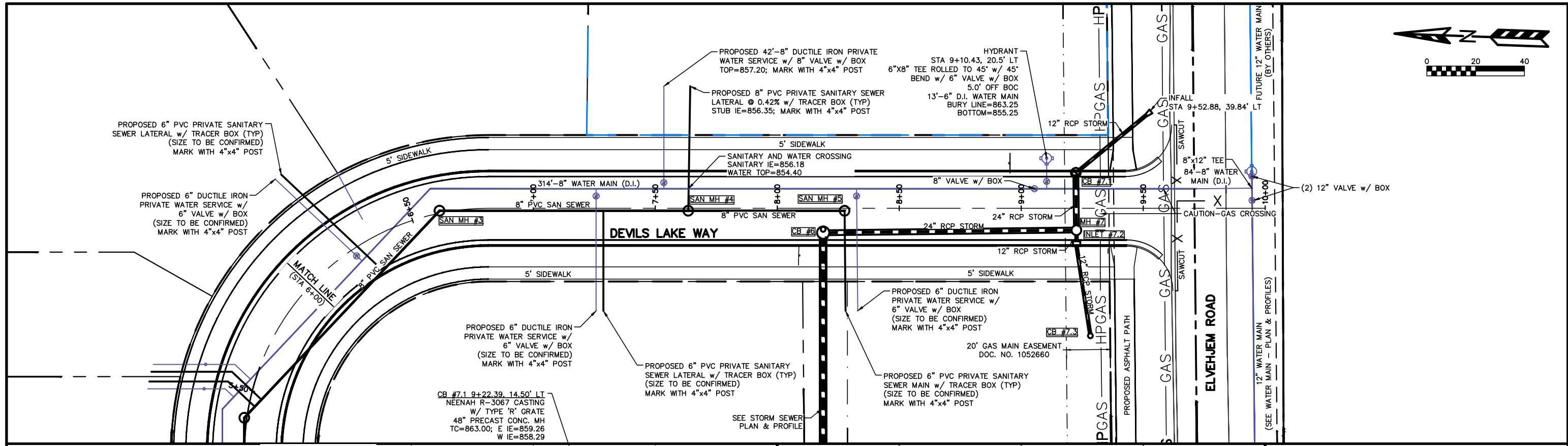
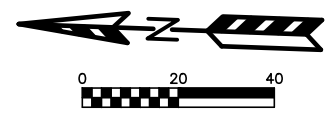
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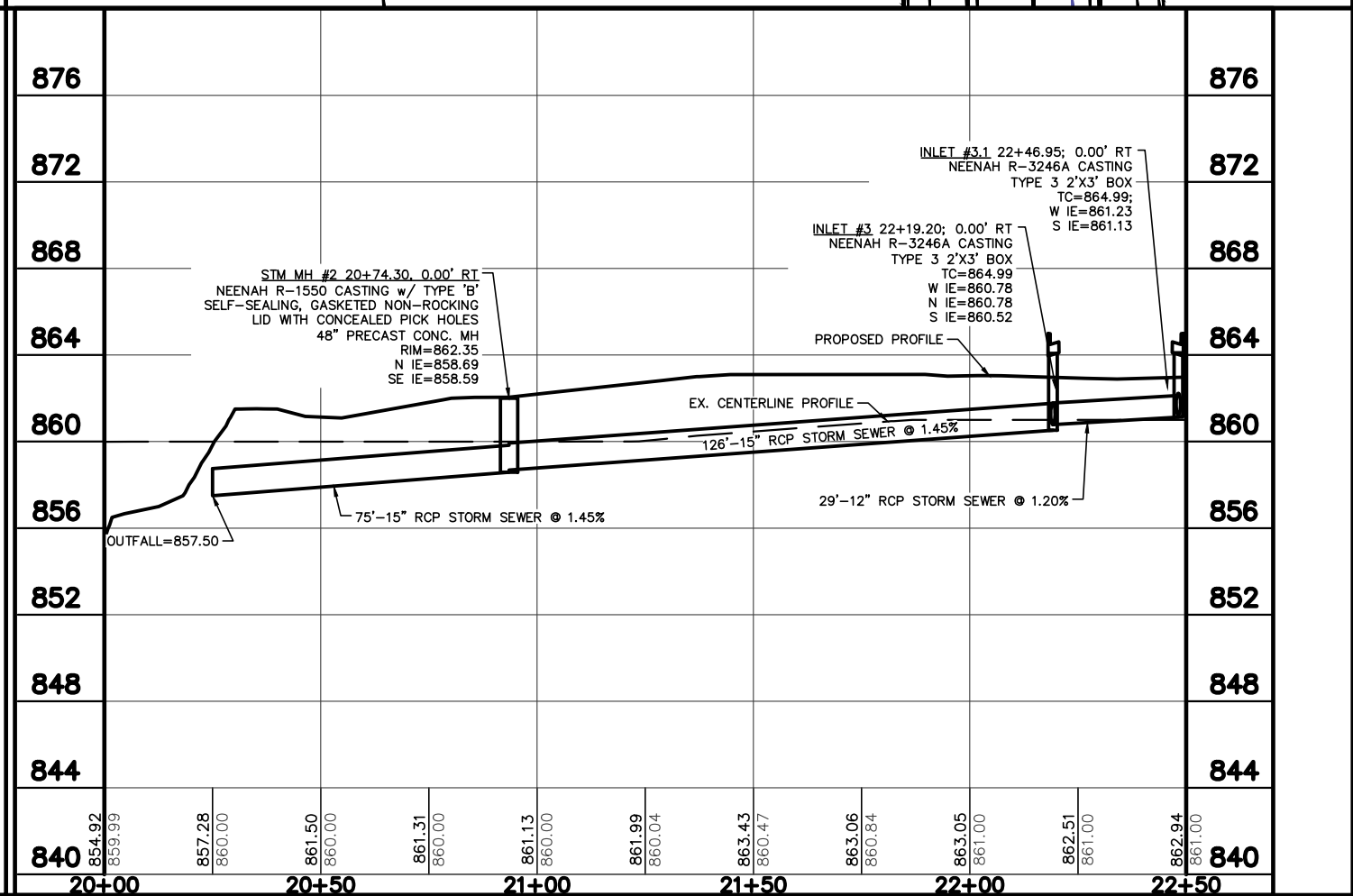
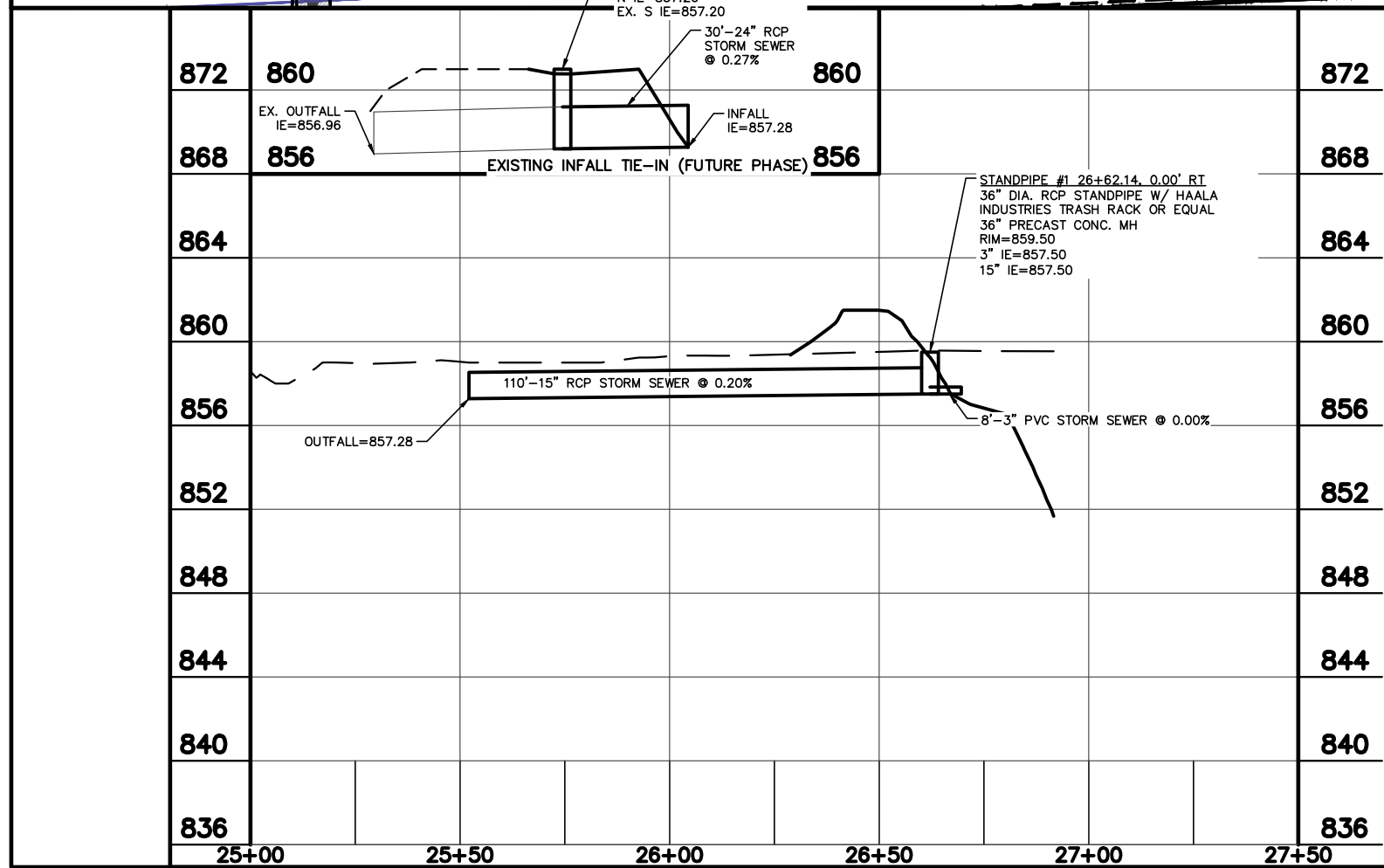
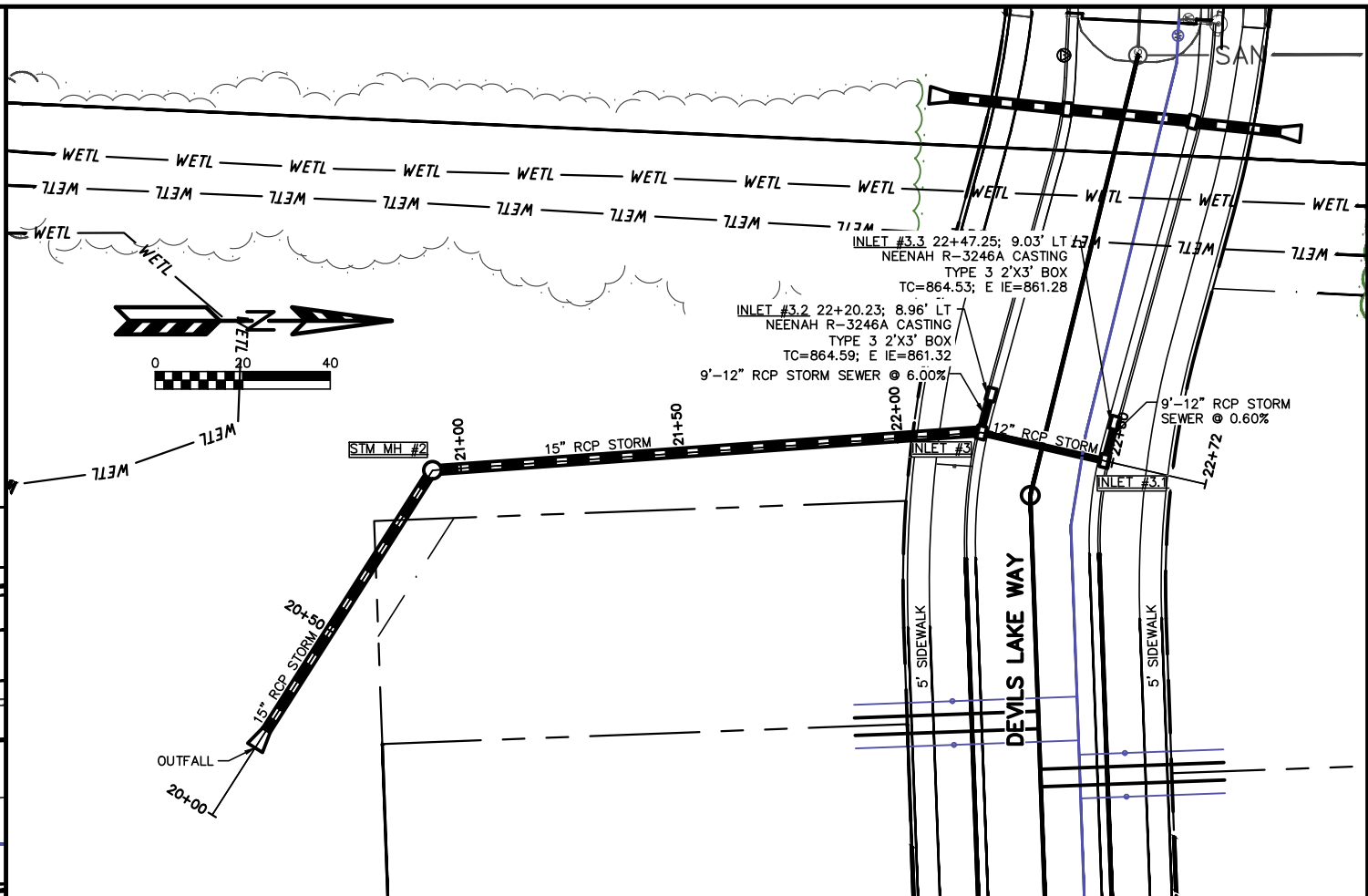
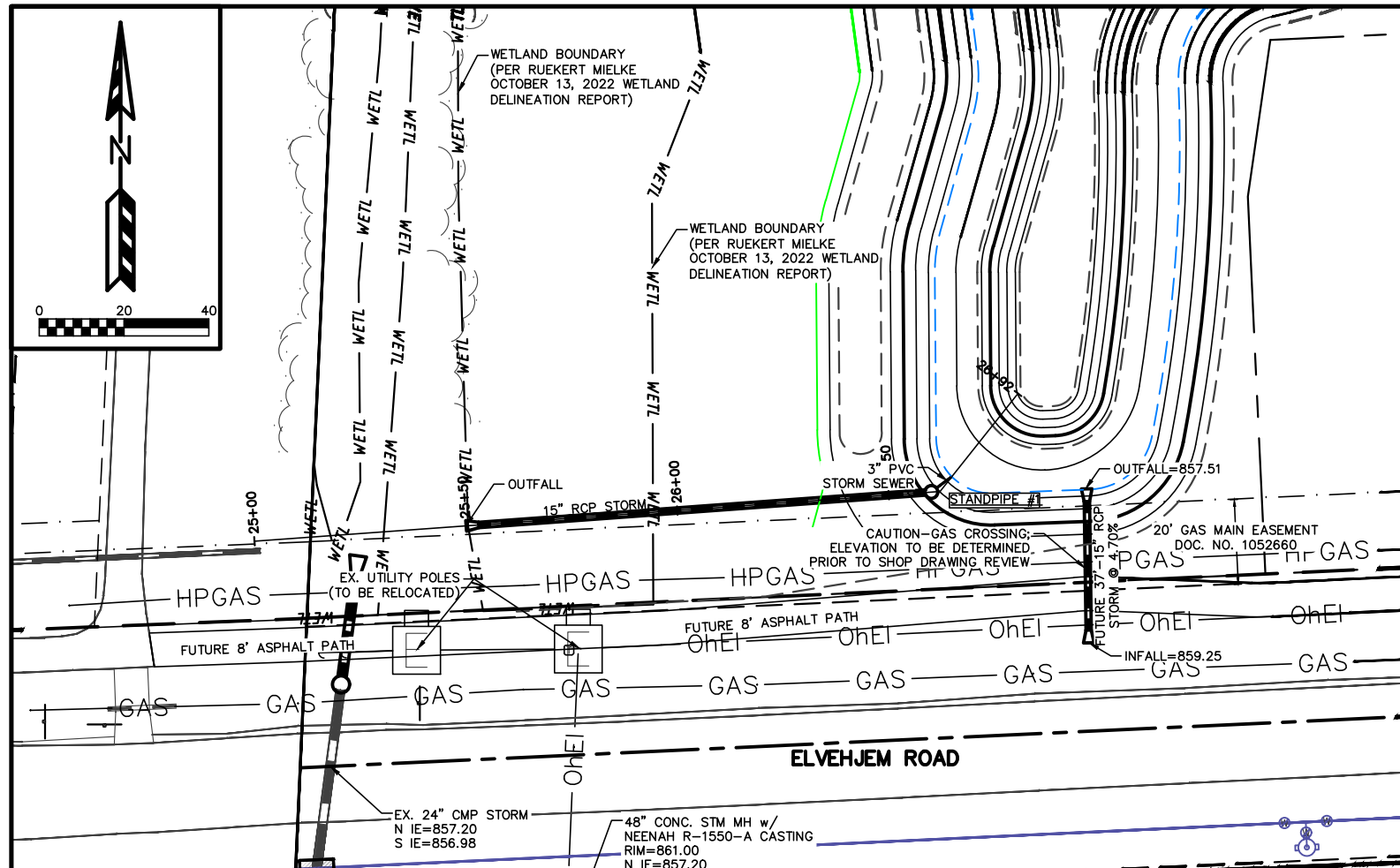


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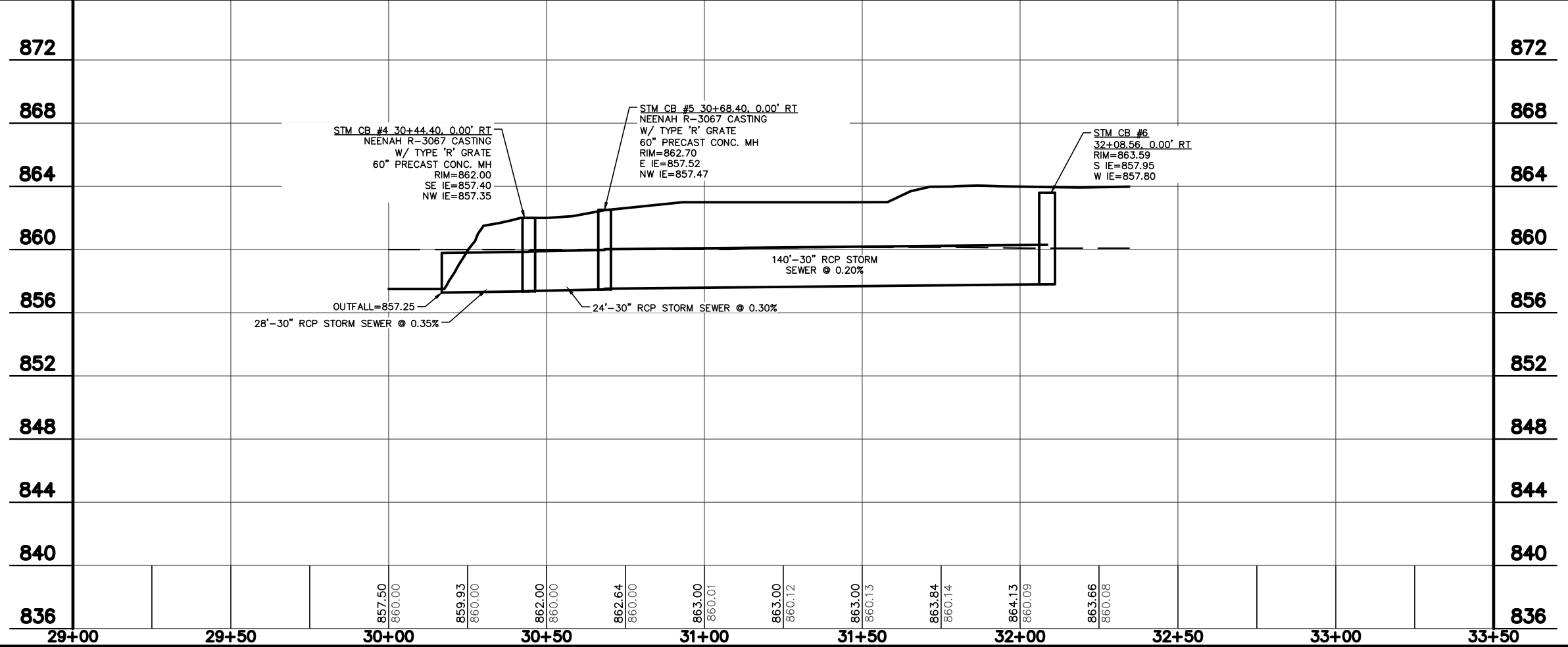
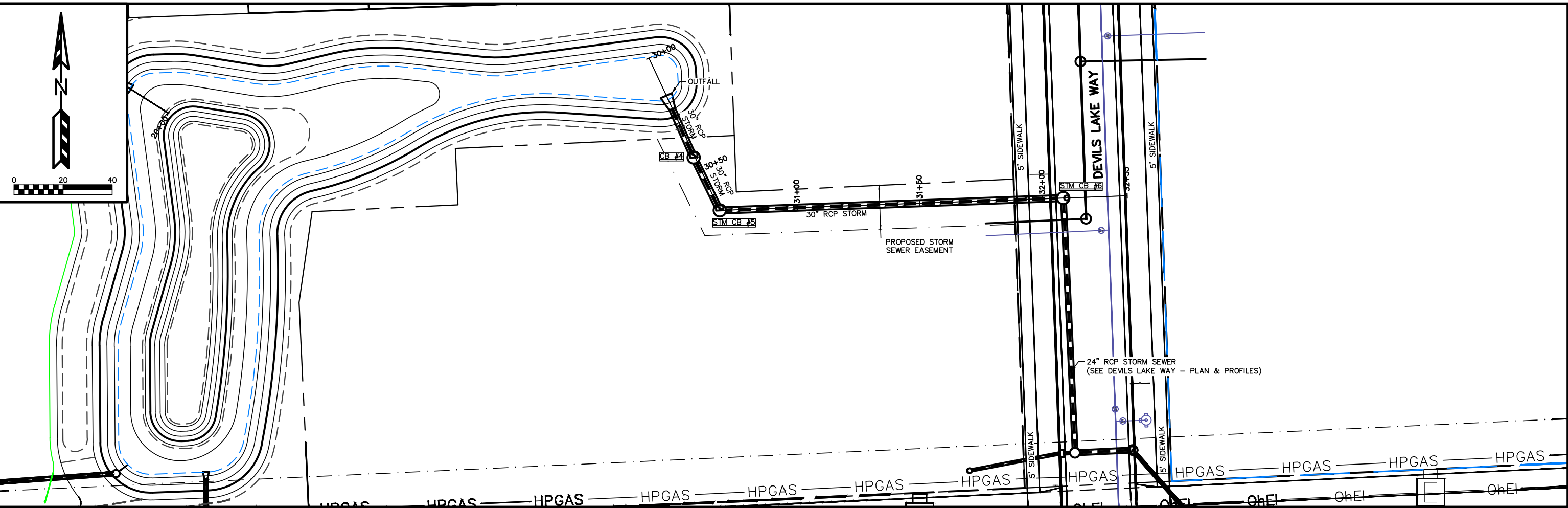
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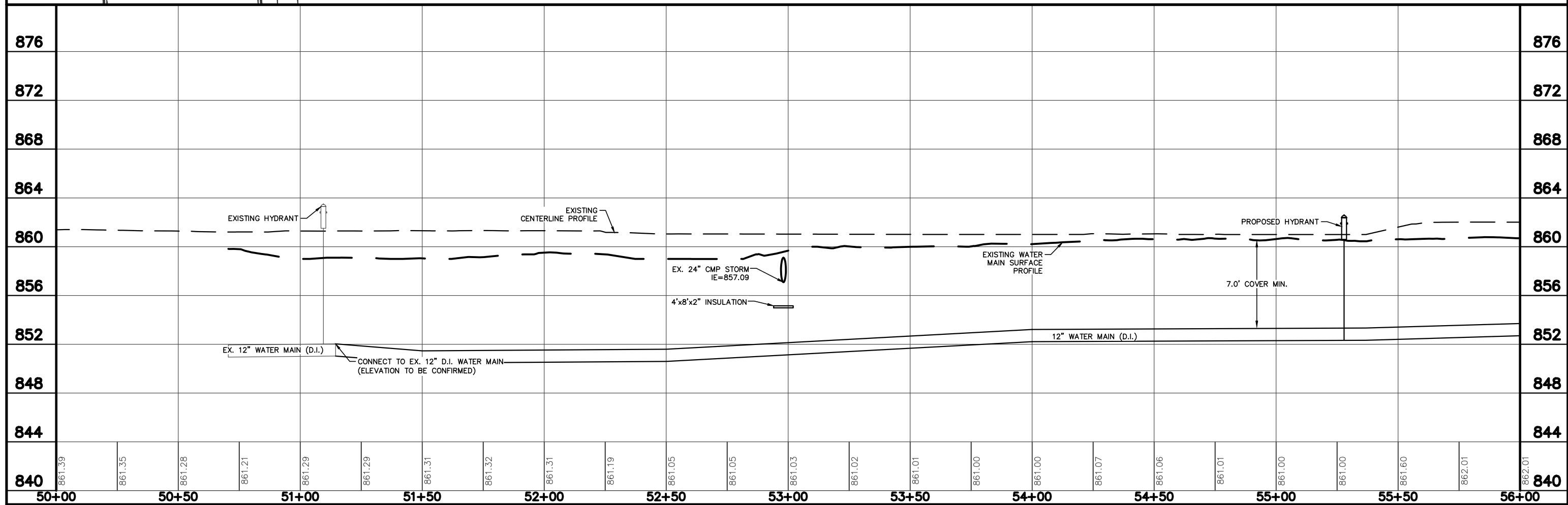
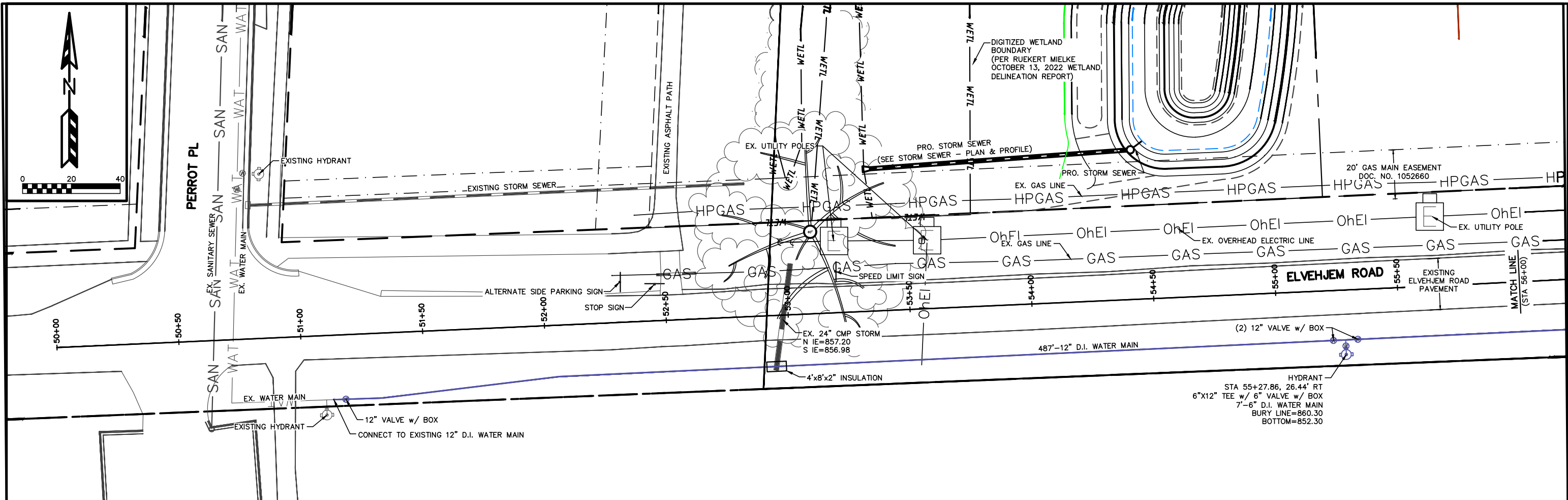
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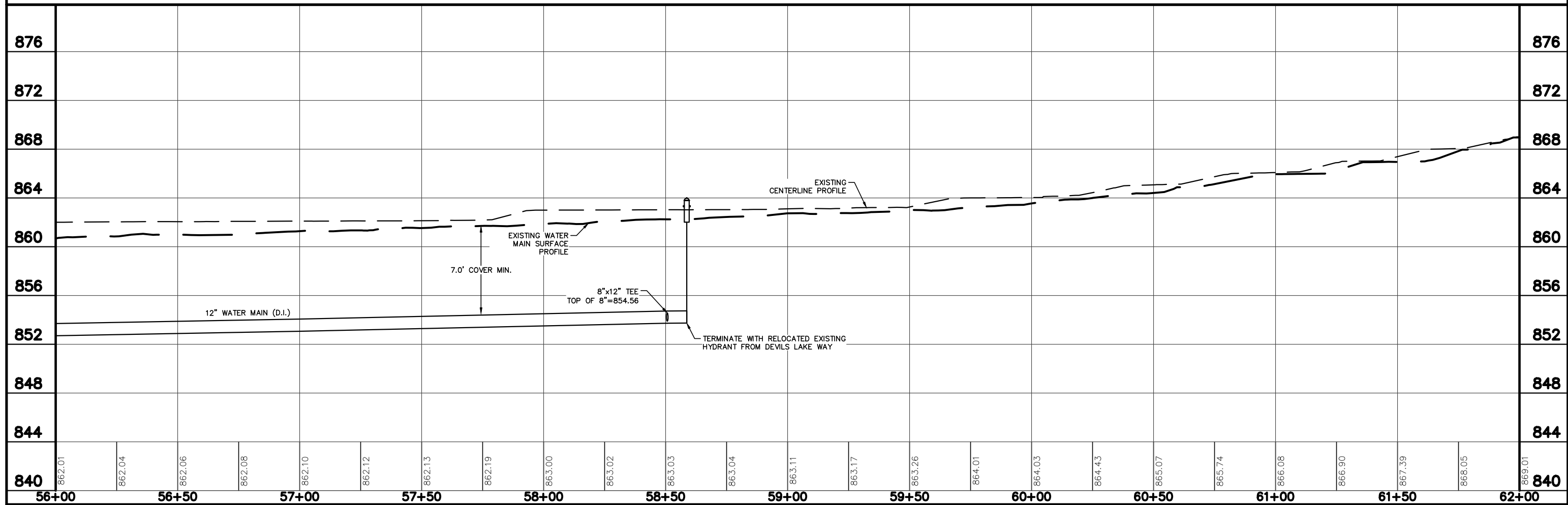
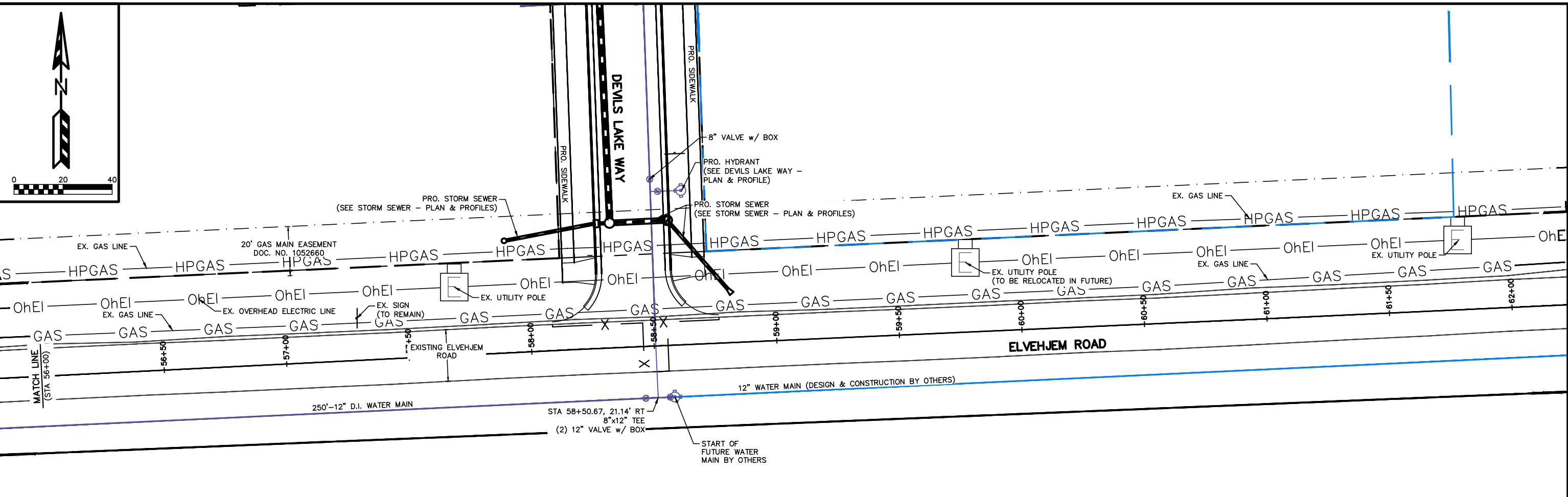
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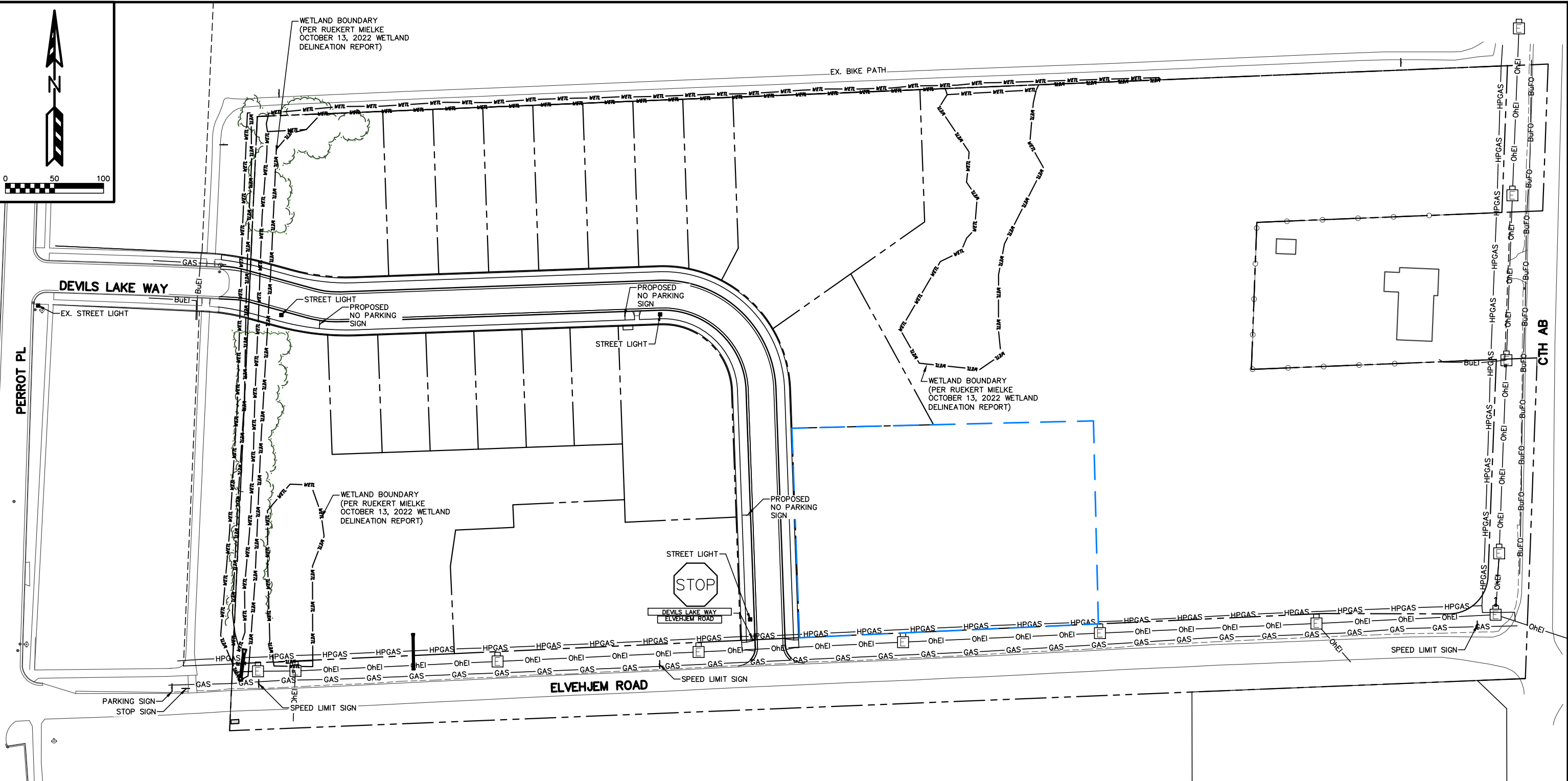


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**SIGNING AND LIGHTING LEGEND**

STOP SIGN - SIGN DESIGNATION R1-1

STREET SIGNS

**DEVILS LAKE WAY** STREET NAME SIGNS

STREET LIGHT (DESIGN BY OTHERS)

**SIGNAGE NOTES:**

ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SIGNS SHALL BE A DISTANCE OF 7" FROM GROUND LEVEL TO THE BOTTOM OF THE SIGN MOUNTED ON THE POST AND LOCATED 3' BEHIND THE BACK OF CURB.

STREET NAME SIGNS SHALL HAVE WHITE LETTERS AND GREEN BACKGROUND.

STREET NAME SIGNS SHALL BE PLACED ABOVE STOP SIGNS AT INTERSECTIONS THAT REQUIRE STOP SIGNS.

SIGN POSTS SHALL BE 1.75" O.D., GALVANIZED 10 FT LONG, 13 GAUGE, AND 0.095 WALL THICKNESS. MOUNT SIGN AT TOP OF THE POST, AND INSTALL POSTS 3" DEEP AND MIX 1/2 BAG OF 80 LB SAKRETE CONCRETE POURING IS AROUND THE POST BELOW THE GROUND BEFORE COVERING WITH 8".

**SPERLE CORNERS - VILLAGE OF MCFARLAND**

SIGN AND LIGHTING PLAN

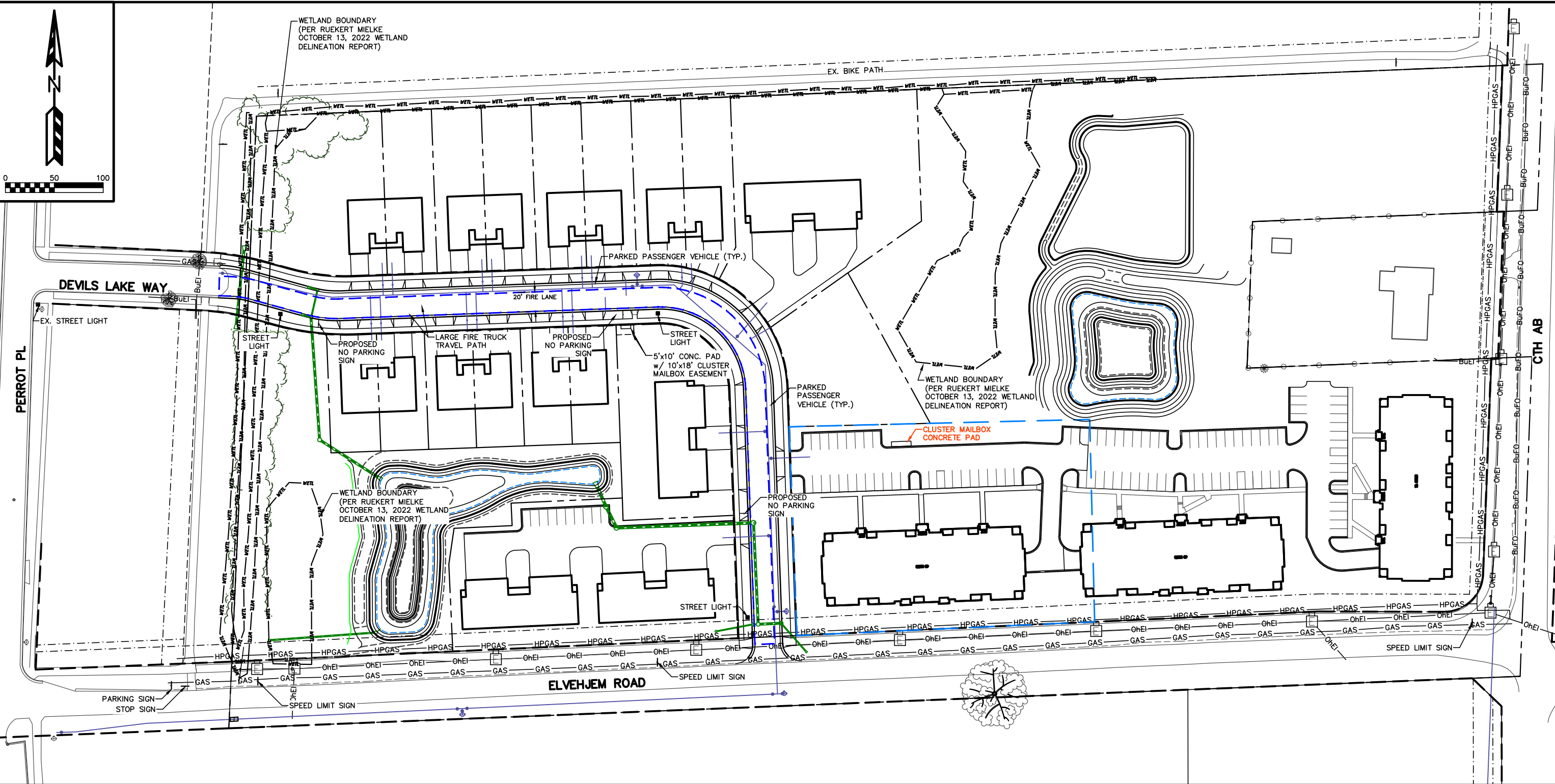
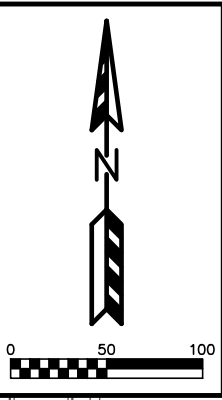
SHEET: C-12

DATED: SEPTEMBER 22, 2025

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Residential and Commercial Site Design Consultants

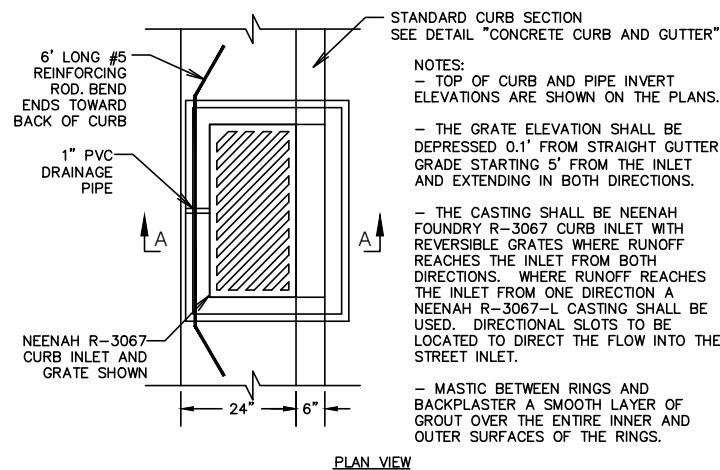
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Phone (608) 838-7750; Fax (608) 838-7752



**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 FIRE LANE PLAN  
 SHEET: 1 OF 1  
 DATED: SEPTEMBER 30, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

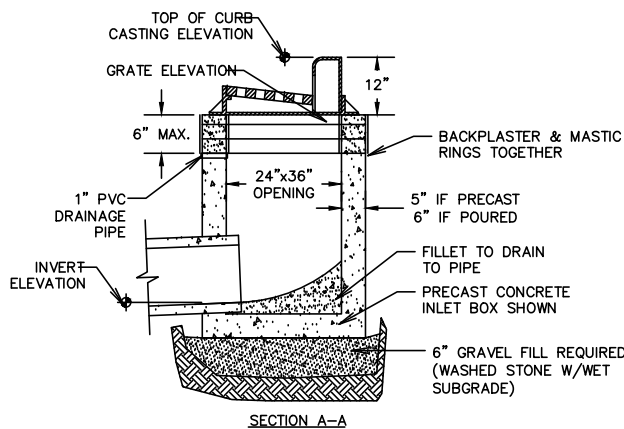


PLAN VIEW

STANDARD CURB SECTION  
SEE DETAIL "CONCRETE CURB AND GUTTER"

NOTES:  
- TOP OF CURB AND PIPE INVERT ELEVATIONS ARE SHOWN ON THE PLANS.  
- THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.  
- THE CASTING SHALL BE NEENAH FOUNDRY R-3067 CURB INLET WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.  
- MASTIC BETWEEN RINGS AND BACKPLASTER A SMOOTH LAYER OF GROUT OVER THE ENTIRE INNER AND OUTER SURFACES OF THE RINGS.

1 RECTANGULAR STREET INLET  
2 NOT TO SCALE

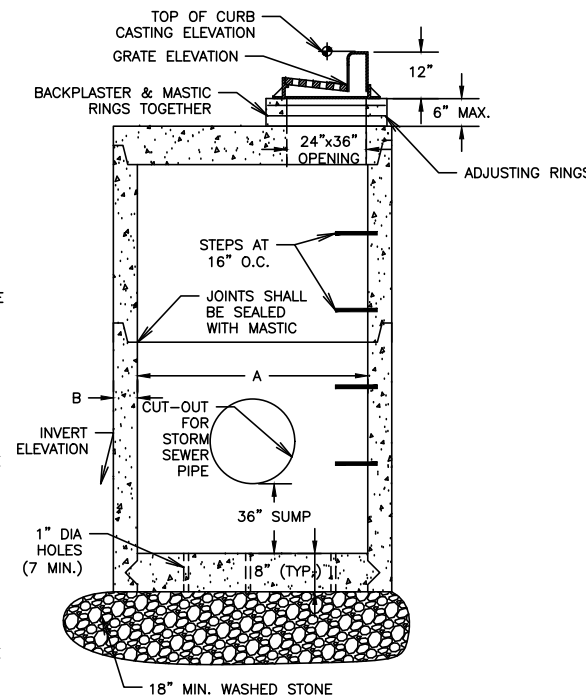


SECTION A-A

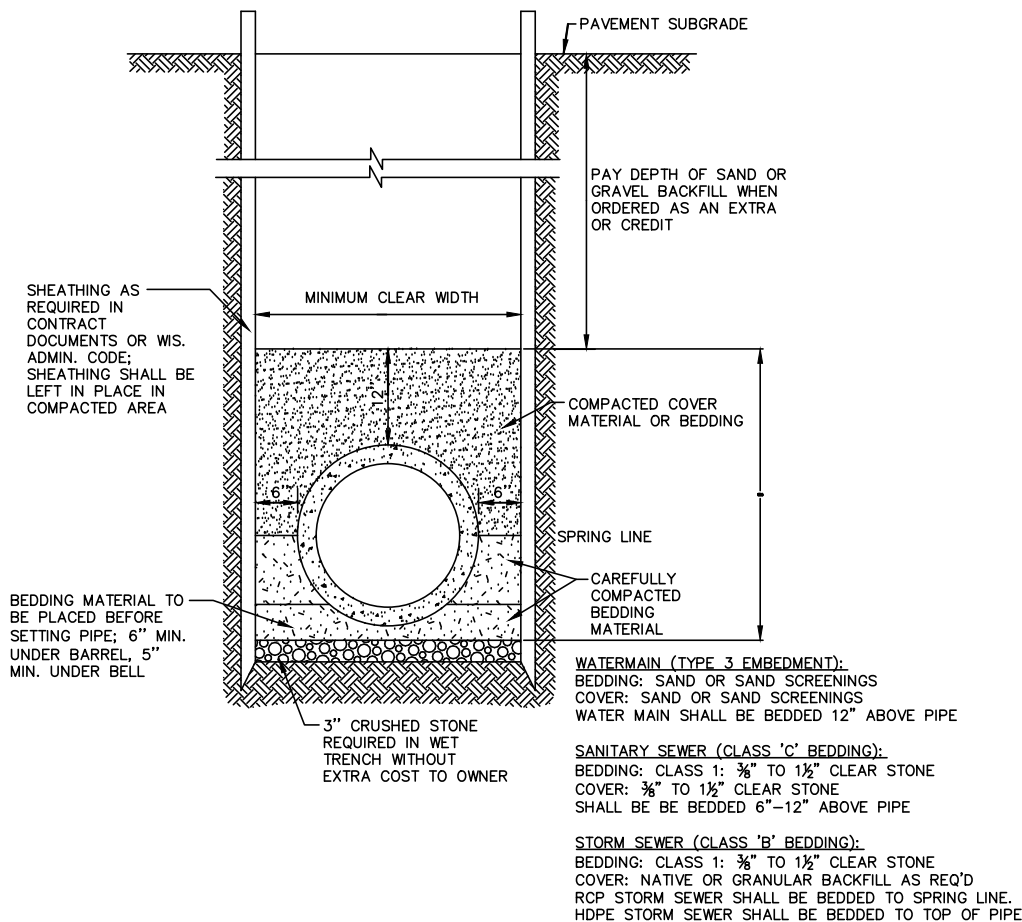
STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

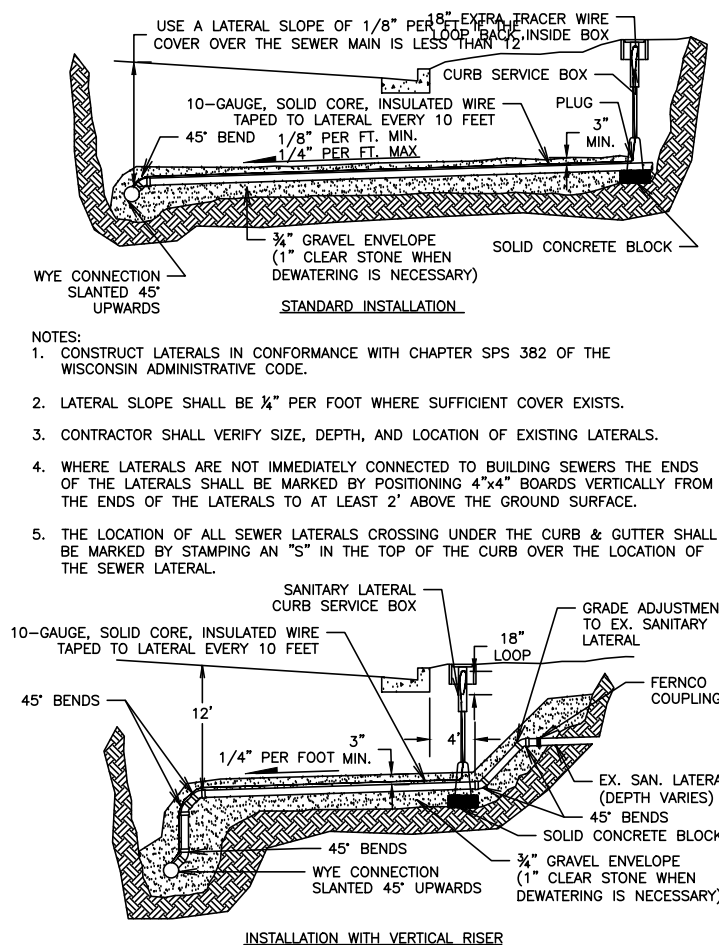
NOTES:  
CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.  
MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.  
A MAXIMUM OF 6" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE-TYPE CURB CATCH BASIN CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.  
THE GRATE ELEVATION SHALL BE DEPRESSED 0.1' FROM STRAIGHT GUTTER GRADE STARTING 5' FROM THE INLET AND EXTENDING IN BOTH DIRECTIONS.  
MANHOLE-TYPE CURB CATCH BASIN CASTING SHALL BE NEENAH FOUNDRY R-3067 WITH REVERSIBLE GRATES WHERE RUNOFF REACHES THE INLET FROM BOTH DIRECTIONS. WHERE RUNOFF REACHES THE INLET FROM ONE DIRECTION A NEENAH R-3067-L CASTING SHALL BE USED. DIRECTIONAL SLOTS TO BE LOCATED TO DIRECT THE FLOW INTO THE STREET INLET.  
A 2x3 LID OPENING IS REQUIRED FOR MANHOLE-TYPE CURB CATCH BASINS.



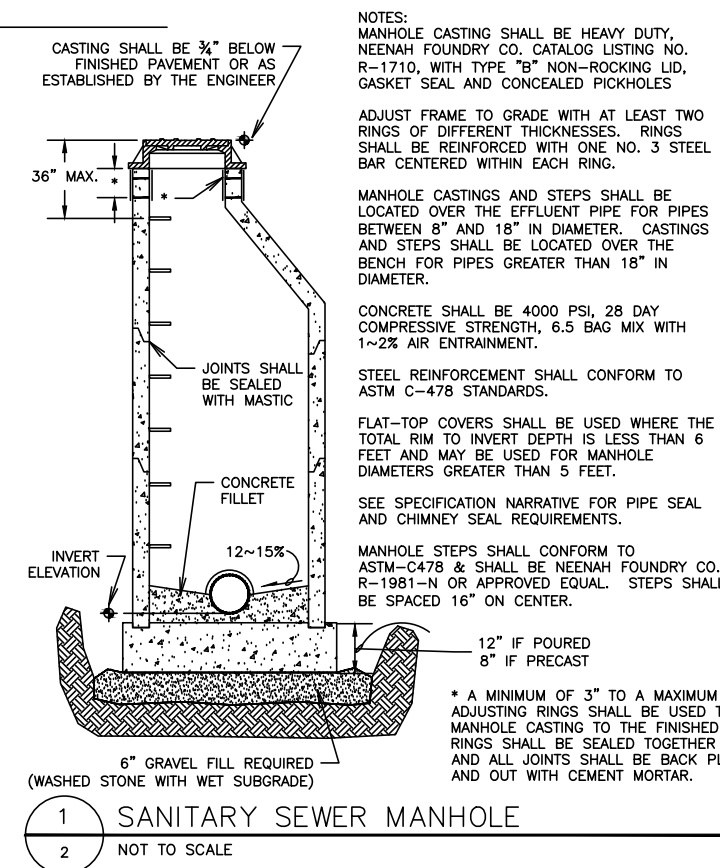
1 STORM SEWER MANHOLE  
2 NOT TO SCALE



1 STANDARD TRENCH SECTION  
2 NOT TO SCALE



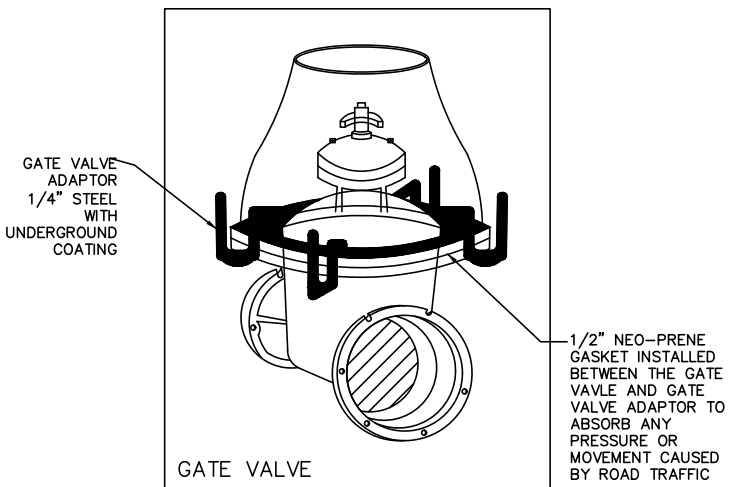
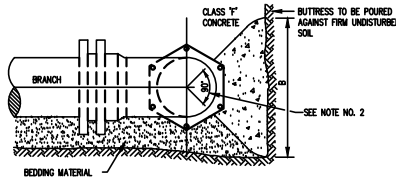
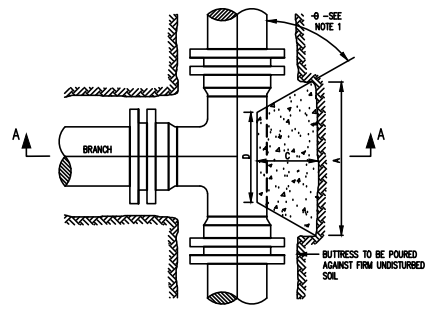
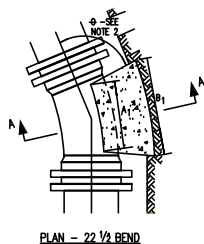
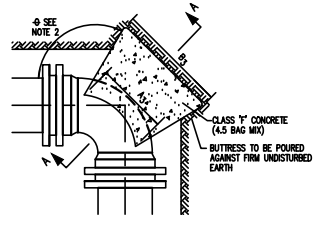
1 LATERAL WITH TRACER WIRE  
2 NOT TO SCALE



1 SANITARY SEWER MANHOLE  
2 NOT TO SCALE

NOTES:  
MANHOLE CASTING SHALL BE HEAVY DUTY, NEENAH FOUNDRY CO, CATALOG LISTING NO. R-1710, WITH TYPE "B" NON-ROCKING LID, GASKET SEAL AND CONCEALED PICKHOLES  
ADJUST FRAME TO GRADE WITH AT LEAST TWO RINGS OF DIFFERENT THICKNESSES. RINGS SHALL BE REINFORCED WITH ONE NO. 3 STEEL BAR CENTERED WITHIN EACH RING.  
MANHOLE CASTINGS AND STEPS SHALL BE LOCATED OVER THE EFFLUENT PIPE FOR PIPES BETWEEN 8" AND 18" IN DIAMETER. CASTINGS AND STEPS SHALL BE LOCATED OVER THE BENCH FOR PIPES GREATER THAN 18" IN DIAMETER.  
CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.  
STEEL REINFORCEMENT SHALL CONFORM TO ASTM C-478 STANDARDS.  
FLAT-TOP COVERS SHALL BE USED WHERE THE TOTAL RIM TO INVERT DEPTH IS LESS THAN 6 FEET AND MAY BE USED FOR MANHOLE DIAMETERS GREATER THAN 5 FEET.  
SEE SPECIFICATION NARRATIVE FOR PIPE SEAL AND CHIMNEY SEAL REQUIREMENTS.  
MANHOLE STEPS SHALL CONFORM TO ASTM-C478 & SHALL BE NEENAH FOUNDRY CO. R-1981-N OR APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.  
\* A MINIMUM OF 3" TO A MAXIMUM OF 6" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE-TYPE CURB CATCH BASIN CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

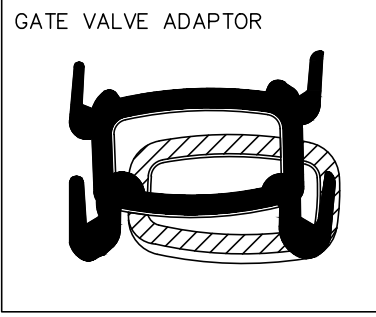
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
DETAILS  
SHEET: C-14  
DATED: SEPTEMBER 22, 2025  
**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
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4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



1/2" NEO-PRENE GASKET INSTALLED BETWEEN THE GATE VALVE AND GATE VALVE ADAPTOR TO ABSORB ANY PRESSURE OR MOVEMENT CAUSED BY ROAD TRAFFIC

MANUFACTURED BY ADAPTOR, INC. 3642 E. AMERICAN AVE. MILWAUKEE, WI 53154

NOTE: GATE VALVE ADAPTORS ARE MANDATORY IN THE VILLAGE OF DEFOREST



PLAN - 90° BEND

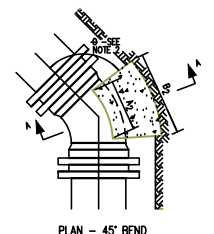
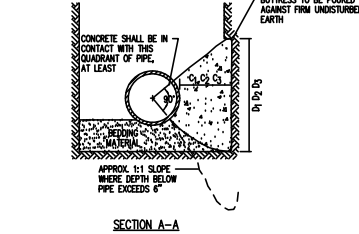
PLAN - 22 1/2° BEND

PLAN

SECTION A-A

GATE VALVE

GATE VALVE ADAPTOR



PIPE SIZE	22 1/2° BENDS			45° BENDS			90° BENDS		
	B <sub>1</sub>	D <sub>1</sub>	B <sub>2</sub>	B <sub>2</sub>	D <sub>2</sub>	B <sub>3</sub>	D <sub>3</sub>	D <sub>3</sub>	
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"	1'-2"	
8"	1'-0"	1'-0"	1'-4"	1'-4"	1'-2"	1'-10"	1'-4"	1'-4"	
12"	1'-4"	1'-4"	1'-10"	1'-10"	1'-10"	2'-8"	2'-3"	2'-3"	
16"	1'-10"	1'-4"	2'-4"	2'-4"	2'-4"	3'-10"	2'-10"	2'-10"	
20"	2'-4"	2'-4"	3'-3"	2'-10"	2'-10"	5'-0"	3'-4"	3'-4"	
24"	2'-10"	2'-4"	4'-0"	3'-3"	3'-3"	6'-4"	3'-10"	3'-10"	
30"	3'-6"	3'-0"	5'-4"	3'-10"	3'-10"	8'-0"	4'-8"	4'-8"	

**NOTES**

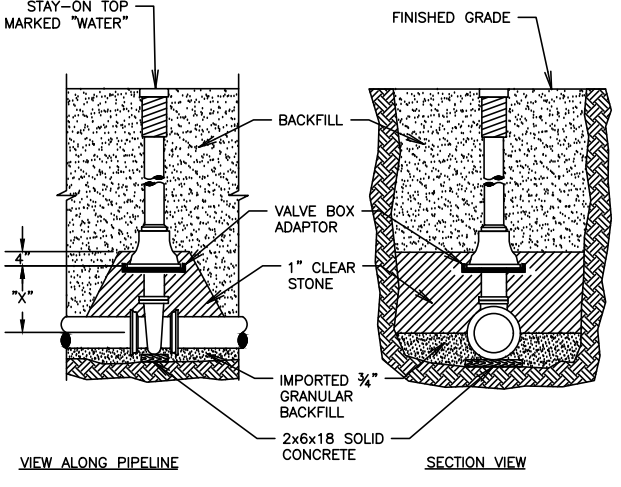
- DIMENSIONS IN TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND ON EARTH RESISTANCE OF 2 TONS PER SQUARE FOOT.
- DIMENSION C1 C2 C3 SHOULD BE LARGE ENOUGH TO MAKE ANGLE  $\theta$  EQUAL TO OR LARGER THAN 45°.
- DIMENSION A1 A2 A3 SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH M.J. BOLTS.
- SHAPE OF BACK OF BUTTRISS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH.
- ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.

B.D.	BUTTRISS DIMENSIONS			
	A	B	C	D
6"	1'-3"	1'-0"	-	-
8"	1'-4"	1'-4"	-	-
12"	2'-3"	2'-0"	-	-
16"	3'-2"	2'-4"	-	-
20"	4'-0"	3'-0"	-	-
24"	5'-3"	3'-4"	-	-
30"	6'-3"	4'-3"	-	-

B.D. = BRANCH DIAMETER

**NOTES**

- DIMENSION 'C' SHOULD BE LARGE ENOUGH TO MAKE ANGLE EQUAL TO OR LARGER THAN 45°.
- CONCRETE SHOULD BEAR ON THIS QUADRANT OF PIPE AS A MINIMUM.
- DIMENSION 'D' SHOULD BE AS LARGE AS POSSIBLE BUT CONCRETE SHOULD NOT INTERFERE WITH MECHANICAL JOINTS.
- BUTTRISS DIMENSIONS ARE BASED ON A SOIL RESISTANCE OF TWO TONS PER SQ. FT. AND A WATER PRESSURE OF 150 PSI.
- ALL IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.



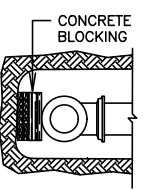
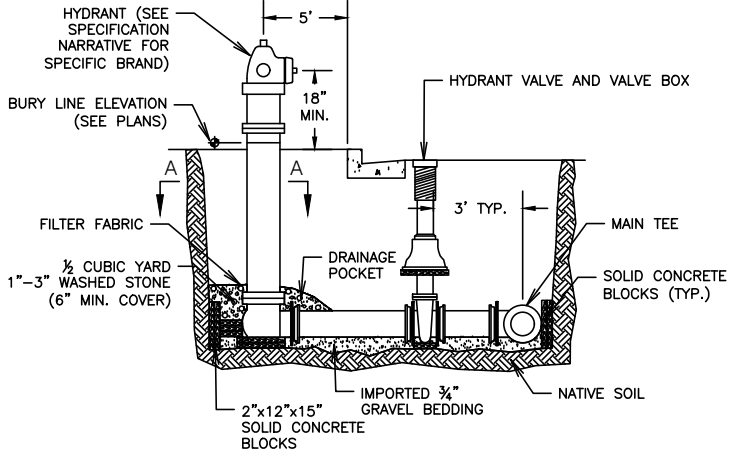
PIPE DIA., INCHES	6	8	10	12	14	16
"X" DIMENSION, INCHES	12	13	17	21	25	30

**NOTES:**

- VALVES SHALL BE SECURED WITH RODDING OR MEGALUGS TO THE NEAREST "TEE" FITTING OR TO THE FIRST JOINT CONNECTING A FULL SECTION OF WATER MAIN PIPE. SEE RODDING DETAIL "OFFSET AND RODDING".

DETAIL VALVE BOX SETTING

**1 GATE VALVE AND GATE VALVE ADAPTOR**  
NOT TO SCALE



SECTION A-A

**NOTES:**

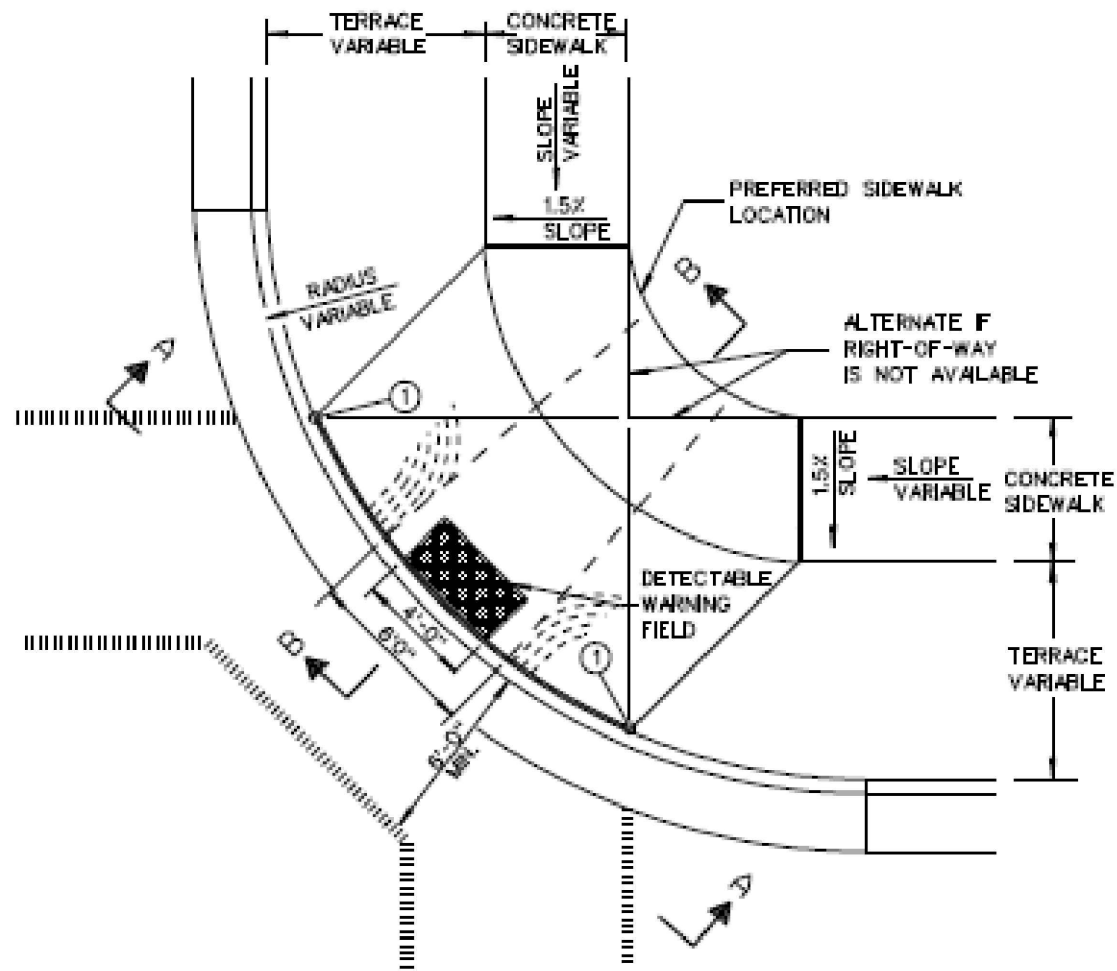
- THE HYDRANT AND HYDRANT VALVE SHALL BE CONNECTED TO THE MAIN TEE BY MEGALUGS.
- FILTER FABRIC SHALL BE WRAPPED AROUND THE DRAIN POCKET.
- WHERE THE HYDRANT IS INSTALLED AT THE HIGH POINT OF THE WATER MAIN ON MAINS 10 INCHES IN DIAMETER AND LARGER, THE CONTRACTOR SHALL TIP THE MAIN TEE UPWARDS 45 DEGREES AND USE A 45 DEGREE FITTING TO ALLOW AIR TO ESCAPE FROM THE MAIN.
- WHERE THE LOCATION OF THE HYDRANT VALVE BOX WOULD BE IN ANY PORTION OF THE CURB AND GUTTER, THE CONTRACTOR SHALL PLACE THE VALVE IN THE TERRACE AREA.

**2 STANDARD HYDRANT SETTING**  
NOT TO SCALE

**2 STANDARD GATE VALVE BOX SETTING**  
NOT TO SCALE

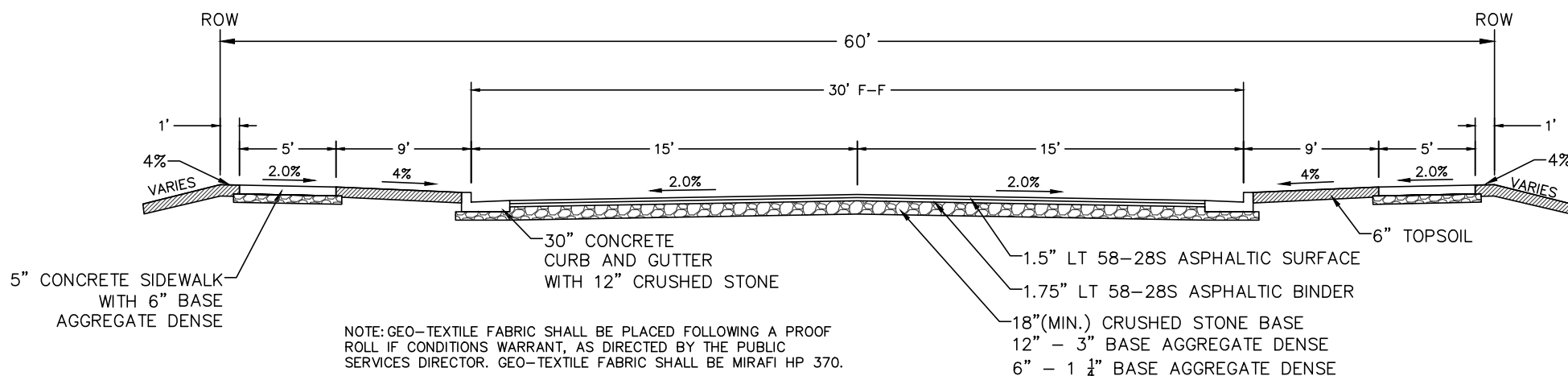
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
DETAILS  
SHEET: C-15  
DATED: SEPTEMBER 22, 2025

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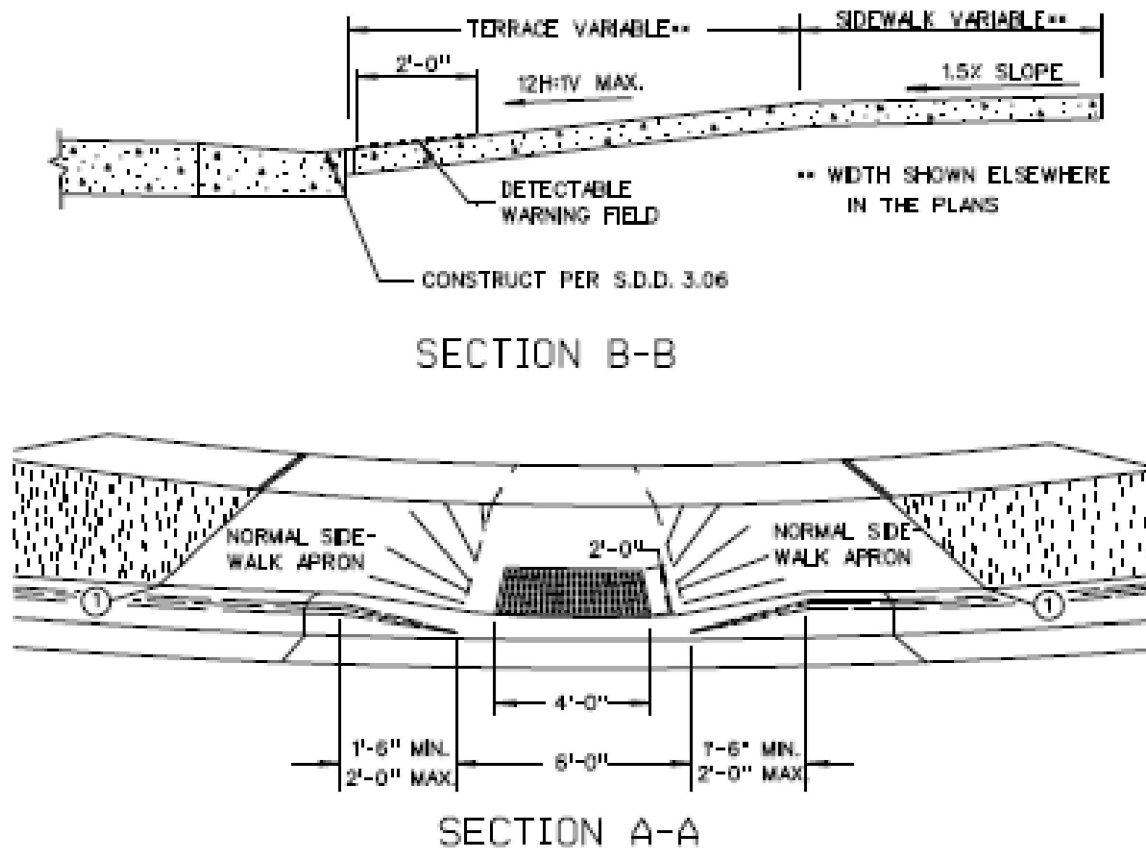
PLAN VIEW  
TYPE 1 RAMP  
(CENTER OF CORNER RADIUS)

2 STANDARD CURB RAMP - TYPE 1  
2 NOT TO SCALE



NOTE: GEO-TEXTILE FABRIC SHALL BE PLACED FOLLOWING A PROOF ROLL IF CONDITIONS WARRANT, AS DIRECTED BY THE PUBLIC SERVICES DIRECTOR. GEO-TEXTILE FABRIC SHALL BE MIRAFI HP 370.

TYPICAL ROADWAY CROSS-SECTIONS



DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

DETECTABLE WARNING FIELD SHALL BE MEASURED AND PAID BY THE SQUARE FOOT AS "CURB RAMP DETECTABLE WARNING FIELD".

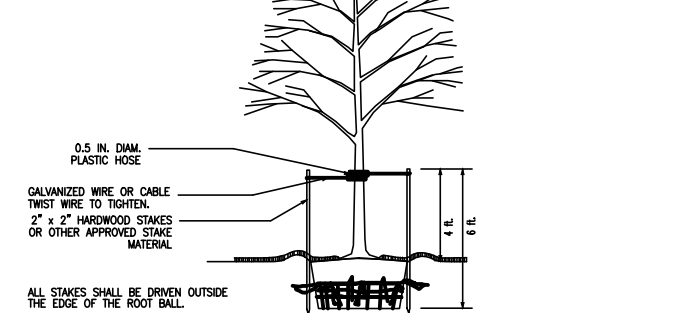
SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.

① THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB.

DETECTABLE WARNING FIELDS SHALL BE METAPANEL BY METADOME, LLC OR NEENAH 4984 PLATES.

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:  
 4 INCH CALIPER - 11-12 GAUGE  
 LARGER THAN 4 INCH CALIPER - 9-10 GAUGE  
 TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.  
 TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.  
 ALL BURLAP AND WIRE CAGES SHALL BE REMOVED FROM ROOTS PRIOR TO PLANTING.  
 PLANTING DEPTH OF TREE SHALL BE SUCH THAT ROOT FLAIR IS VISIBLE JUST ABOVE GRADE.



PROVIDE 4" THICKNESS OF ORGANIC MULCH AROUND ALL TREES. MULCH SHOULD NOT REST AGAINST THE TREE TRUNK. LEAVE 3" AROUND THE TRUNK FREE OF MULCH.

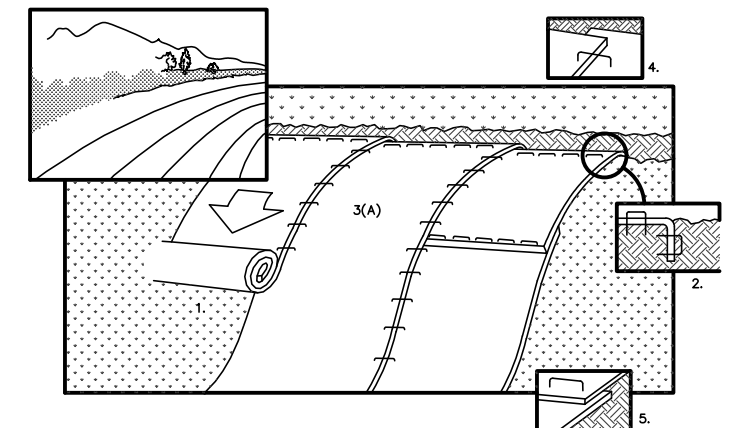
ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 0.5 INCH.

REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.

TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT.

- TREES WITH POOR - QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
- TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
- PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE.
- ROOT BALLS PLACED ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
- ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
- TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.

TREE PLANTING DETAIL



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
7. SLOPES 5:1 SHOULD BE COVERED WITH CLASS I TYPE A AT A MINIMUM.

EROSION CONTROL MAT - SLOPE INSTALLATION

SPERLE CORNERS - VILLAGE OF MCFARLAND

DETAILS

SHEET: C-16

DATED: SEPTEMBER 22, 2025

QUAM ENGINEERING, LLC

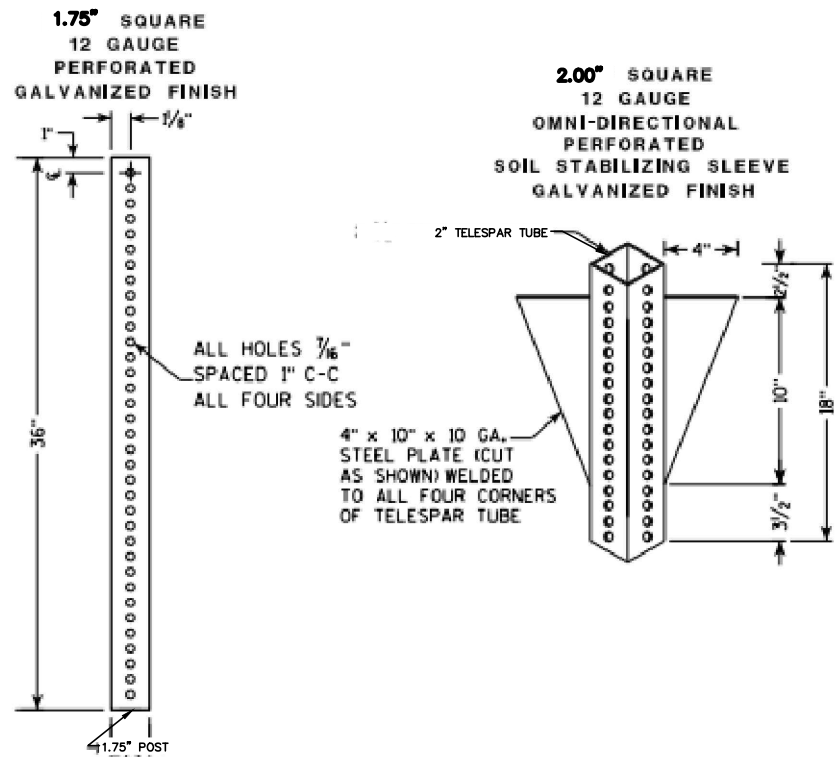
Residential and Commercial Site Design Consultants



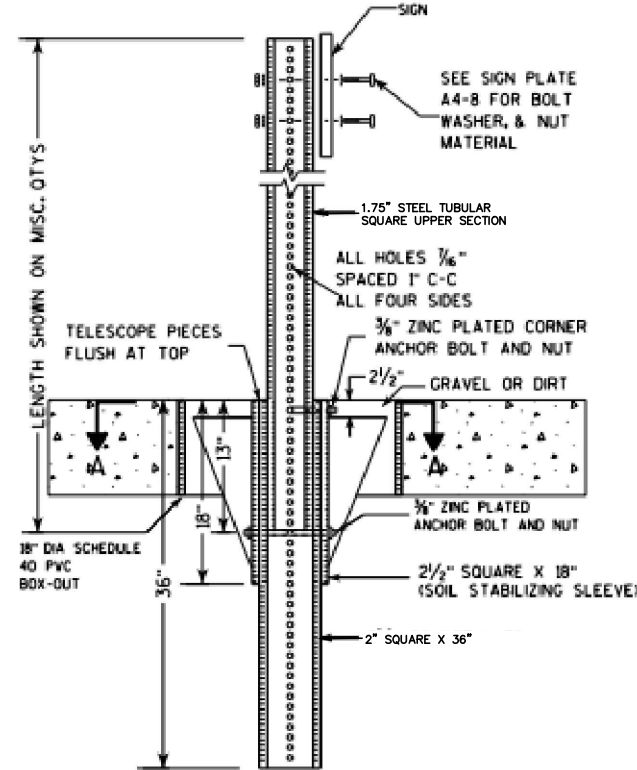
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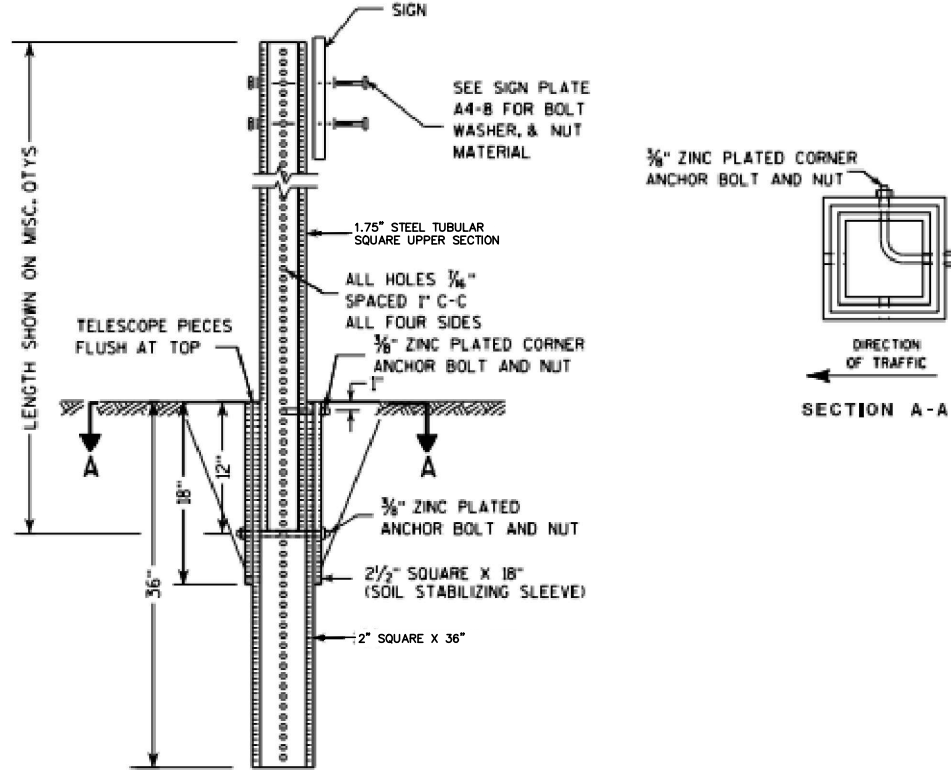
**TELESCOPIC TUBING ANCHORS  
TWO PIECE SYSTEM**



**DETAIL OF TUBULAR STEEL SIGN POST  
(IN POURED CONCRETE OR ASPHALT)**

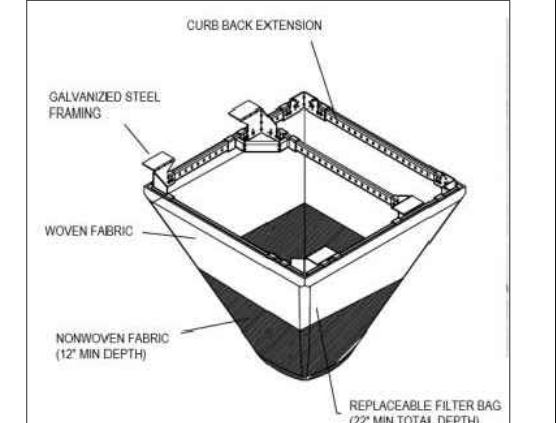
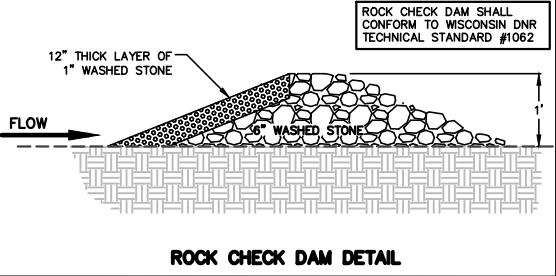
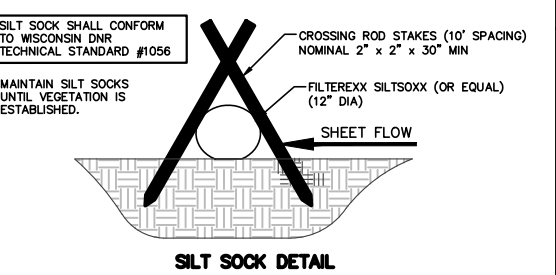
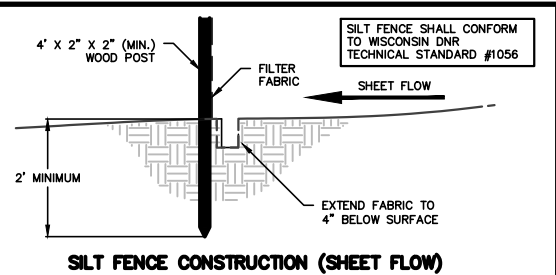
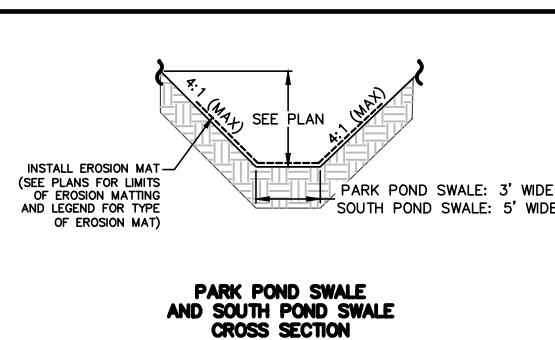


**DETAIL OF TUBULAR STEEL SIGN POST  
(IN LOCATIONS OTHER THAN POURED CONCRETE OR ASPHALT)**

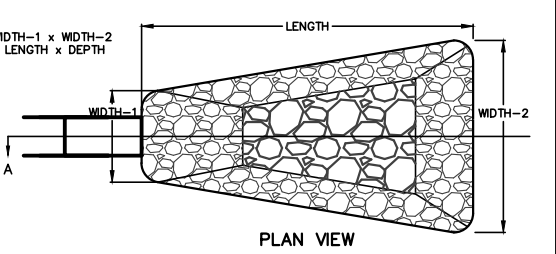


Area of Sign Installation (Sq. Ft.)	Number of Required Posts
9 or less	1
Greater than 9 less than or equal to 18	2
Greater than 18 less than or equal to 27	3

Signs wider than 3 feet or larger than 9 sq. ft shall be mounted on multiple posts (see above table).



- FRAMED INLET PROTECTION MUST MEET THE FOLLOWING SPECIFICATIONS:
- ALL ASTM STANDARD D8057-17 REQUIREMENTS
  - NO PART OF INLET PROTECTION PROJECTING ABOVE THE GRATE
  - CAPTURE RUNOFF ENTERING BOTH GRATE AND CURB OPENING
  - "DUAL FABRIC" FILTER BAG, WITH NONWOVEN BOTTOM AND WOVEN TOP

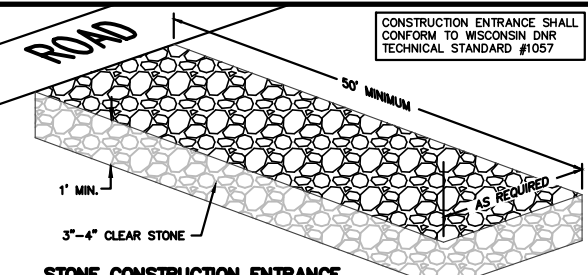


**SECTION A - A**

RIPRAP SHALL BE PLACED AS DEFINED IN SECTION 606 OF WISCONSIN D.O.T. SPECIFICATIONS. STONE PIECES SHALL BE WELL GRADED, RANGING IN DIAMETER AS DESCRIBED IN THE ADJACENT CHART.

% PASSING BY WEIGHT	SIZE (INCHES)
100	20
50-85	15
20-50	10
5-20	5
0-5	2

SIZES CALCULATED IN BEST D.5.2



**EROSION NOTES:**  
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE STONE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE PUBLIC STREET. SEDIMENT REACHING PUBLIC STREET SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

OUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.  
ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

PERIMETER CONTROL SHALL BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHALL BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**TIME SCHEDULE:**  
OCTOBER 15 - NOVEMBER 1, 2025 INSTALL INITIAL EROSION CONTROL DEVICES AND ROUGH GRADE SITE.  
NOVEMBER 1, 2025 - MAY 15, 2026 CONSTRUCT UTILITIES AND STREETS. RESTORE ALL PVIOUSLY DISTURBED AREAS.

**RESTORATION NOTES:**

RESTORATION SHALL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL.  
ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. ALL SEED MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER. FERTILIZER SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURE 40 SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM SEPTEMBER 16 THROUGH NOVEMBER 15 IS TO BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. DORMANT SEEDING, IF NECESSARY, SHALL BE COMPLETED AFTER NOVEMBER 15. DORMANT SEEDING SHALL NOT BE APPLIED ON TOP OF SNOW. DISTURBED AREAS SHALL HAVE EROSION MAT APPLIED OVER DORMANT SEEDING. IF DORMANT SEEDING DOES NOT RESULT IN AT LEAST 70% COVER BY MAY 15, ADDITIONAL SEEDING SHALL BE REQUIRED.

**OWNER:** LAKESTONE PROPERTIES & MANAGEMENT, LLC  
ATTN: BRETT RIEMEN  
BRIAN SPANOS  
5910 MAIN STREET, SUITE 1  
MCFARLAND, WI 53558

**ENGINEER:** QUAM ENGINEERING, LLC  
ATTN: RYAN QUAM  
4604 SIGELKOW ROAD, SUITE A  
MCFARLAND, WI 53558

1. EXCAVATED MATERIAL FROM THE UTILITY TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR SHALL BE REMOVED AND REPLACED WITH SELECT TRENCH BACKFILL.
2. ALL SILT FENCE SHALL BE PROPERLY INSTALLED, MAINTAINED, AND REMOVED UPON ESTABLISHMENT OF TURF.
3. ALL SITES SHALL BE ADEQUATELY PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE STONE ENTRANCE PADS SHOWN ON THE PLANS.
5. STREETS SHALL BE SWEEP CLEAN EVERY DAY.
6. EROSION MAT IS REQUIRED FOR ALL RESTORATION ON SLOPES AT OR GREATER THAN 5:1, AND IN AREAS THAT CHANNEL WATER. EROSION MAT SHALL ALSO BE PROVIDED IN ALL STREET TERRACES WITHIN THE ROW.
7. EROSION MAT AND STAPLES SHALL BE BIODEGRADABLE (CURLEX NET FREE OR APPROVED EQUAL).
8. ALL STORM WATER MANAGEMENT FACILITIES SHALL BE SEEDDED WITH A NATIVE SEED MIXTURE WITHIN THE LIMITS OF THE OUTLOT OR EASEMENT. THE NATIVE SEED MIXTURE SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC SERVICES.
9. ANY PROPOSED CHANGES TO THE GRADING AND EROSION CONTROL PLAN MUST BE SUBMITTED TO THE VILLAGE ENGINEER AND APPROVED.

**SPELRE CORNERS - VILLAGE OF MCFARLAND**

DETAILS  
SHEET: C-17  
DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



# Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.0 (06-29-2017)



YEAR 1

Developer: Lakestone Properties and Management

Project: Sperle Corners - Village of McFarland (Phase 1)

Date: 04/08/25

County: Dane

Version 1.0

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)
Bare Ground	09/15/25	10/01/25	4.0%	150	Silt Loam	0.43	0.2%	300	0.10	1.00	0.3	0.284	Silt Fence	0.0
Bare Ground	10/01/25	05/15/26	22.8%	150	Silt Loam	0.43	7.0%	30	0.45	1.00	6.7	0.750	Silt Fence	3.0
Seed with Mulch or Er	05/15/26	07/14/26	37.1%	150	Silt Loam	0.43	7.0%	30	0.45	0.10	1.1	0.750	Silt Fence	0.5
End	07/14/26	----	----	----	-----	----	----	----	----	-----	----	0.000		0.0
		----	----	----	-----	----	----	----	----	-----	----	0.000		0.0
		----	----	----	-----	----	----	----	----	-----	----	0.000		0.0
<b>TOTAL</b>											<b>8.0</b>		<b>TOTAL</b>	<b>3.5</b>
													<b>% Reduction Required</b>	<b>NONE</b>

**Notes:**

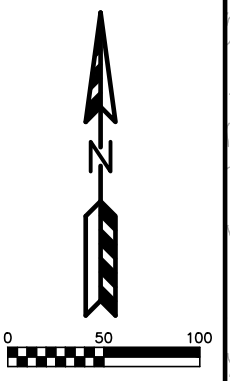
See Help Page for further descriptions of variables and items in drop-down boxes.  
 The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.  
 For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

**Recommended Permanent Seeding Dates:**

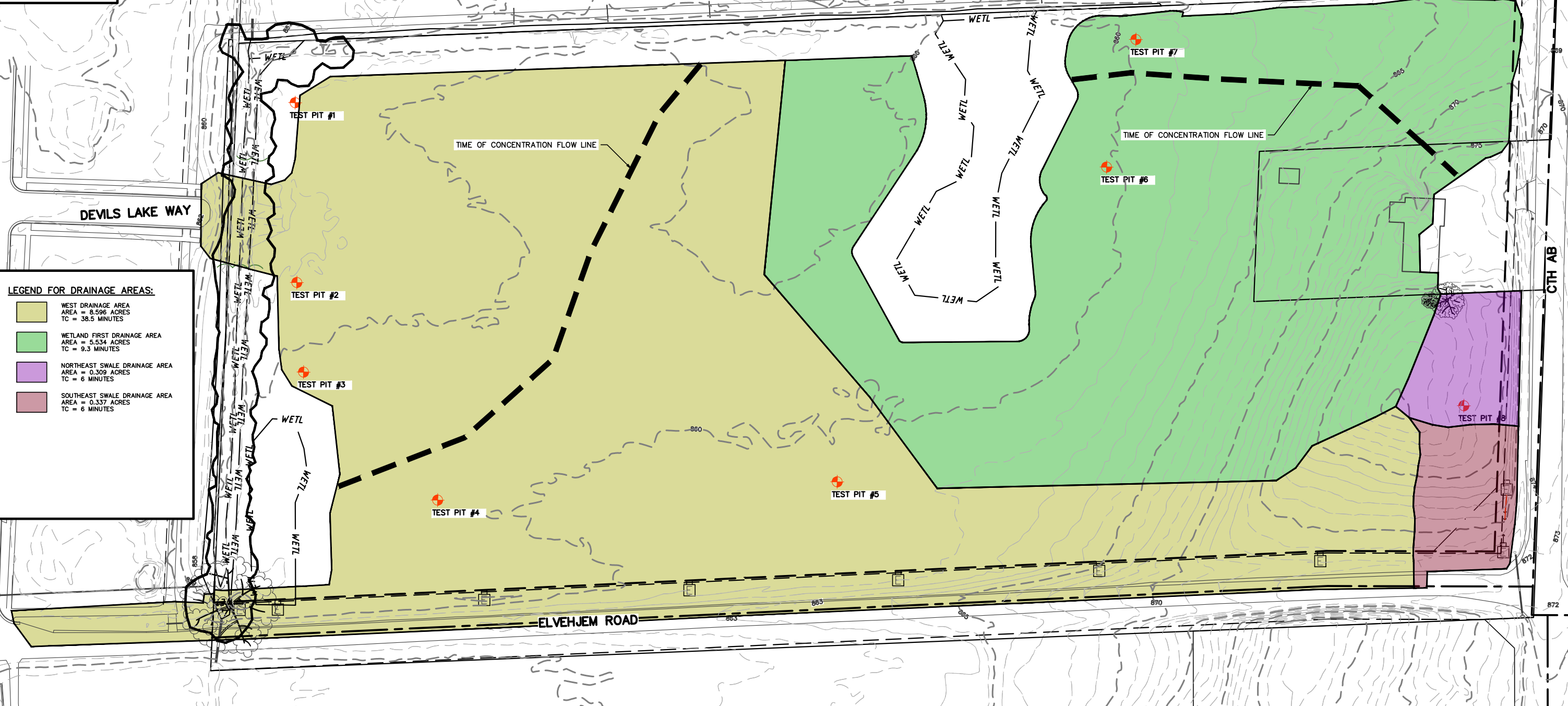
4/1-5/15 and 8/7-8/29 Turf, introduced grasses and legumes  
 Thaw-6/30 Native Grasses, forbs, and legumes

Designed By:	MAF
Date	4/8/2025



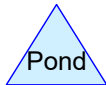
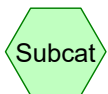
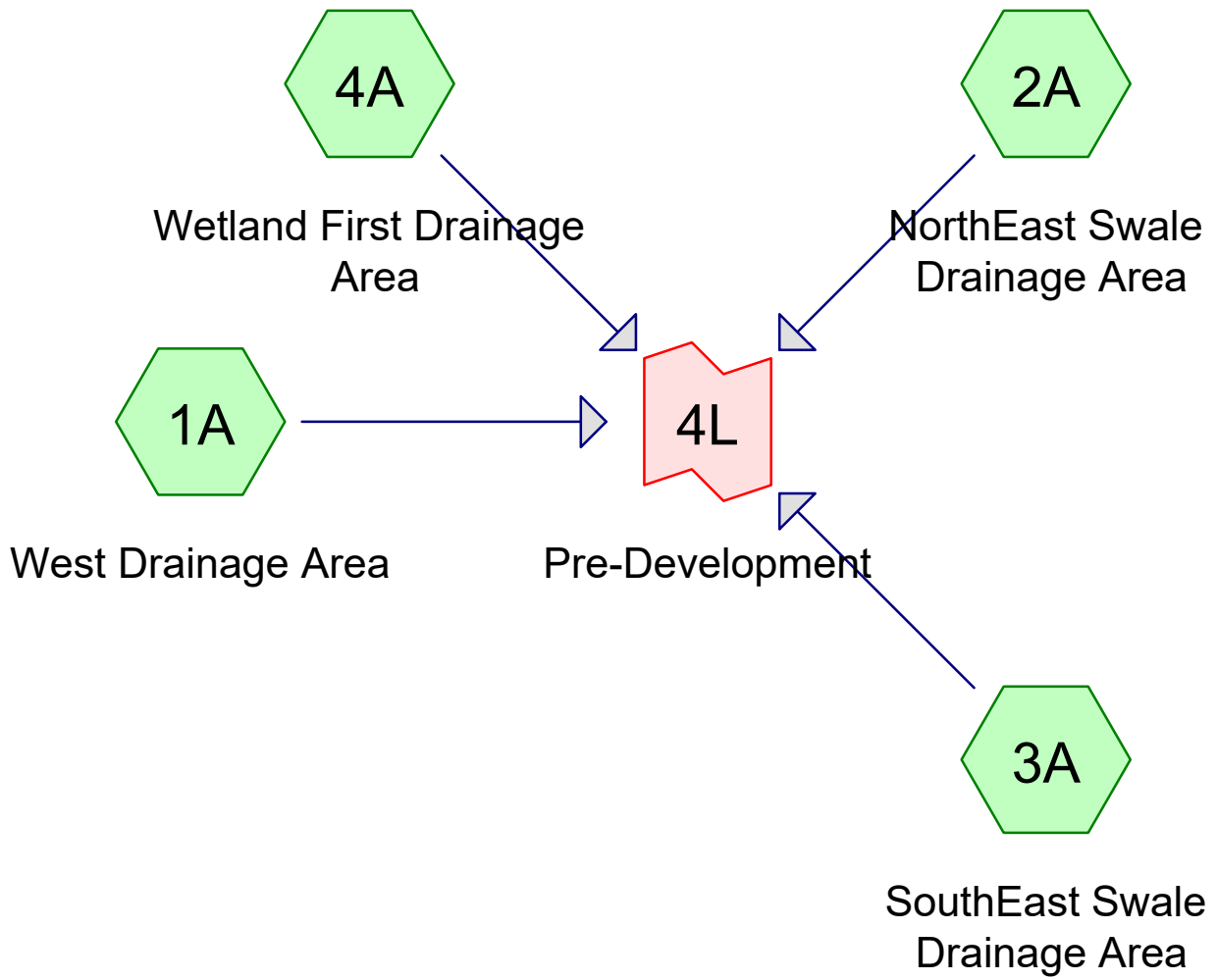
**LEGEND FOR DRAINAGE AREAS:**

	WEST DRAINAGE AREA AREA = 8.596 ACRES TC = 38.5 MINUTES
	WETLAND FIRST DRAINAGE AREA AREA = 5.534 ACRES TC = 9.3 MINUTES
	NORTHEAST SWALE DRAINAGE AREA AREA = 0.309 ACRES TC = 6 MINUTES
	SOUTHEAST SWALE DRAINAGE AREA AREA = 0.337 ACRES TC = 6 MINUTES



**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 EXISTING DRAINAGE PLAN  
 EXHIBIT: #3  
 DATED: AUGUST 5, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
[www.quamengineering.com](http://www.quamengineering.com)  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**Routing Diagram for PreDevelopment**  
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## PreDevelopment

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Page 2

### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
12.686	58	Ag, HSG B (1A, 2A, 3A, 4A)
0.060	58	Grass, HSG B (2A, 3A)
1.424	58	Offsite Grass, HSG B (1A, 2A, 3A, 4A)
0.054	98	Offsite Roof (4A)
0.044	98	Offsite Sidewalk (1A)
0.406	98	Offsite Street (1A)
0.102	58	Woods, HSG B (4A)
<b>14.776</b>	<b>59</b>	<b>TOTAL AREA</b>

**PreDevelopment**

MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 3

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Drainage Area** Runoff Area=8.596 ac 5.23% Impervious Runoff Depth=0.24"  
Flow Length=600' Slope=0.0020 '/' Tc=33.3 min CN=WQ Runoff=0.83 cfs 0.174 af

**Subcatchment 2A: NorthEast Swale** Runoff Area=0.309 ac 0.00% Impervious Runoff Depth=0.13"  
Tc=6.0 min CN=WQ Runoff=0.01 cfs 0.003 af

**Subcatchment 3A: SouthEast Swale** Runoff Area=0.337 ac 0.00% Impervious Runoff Depth=0.13"  
Tc=6.0 min CN=WQ Runoff=0.02 cfs 0.004 af

**Subcatchment 4A: Wetland First Drainage** Runoff Area=5.534 ac 0.98% Impervious Runoff Depth=0.15"  
Flow Length=380' Tc=9.3 min CN=WQ Runoff=0.29 cfs 0.070 af

**Link 4L: Pre-Development** Inflow=1.12 cfs 0.251 af  
Primary=1.12 cfs 0.251 af

**Total Runoff Area = 14.776 ac Runoff Volume = 0.251 af Average Runoff Depth = 0.20"**  
**96.59% Pervious = 14.272 ac 3.41% Impervious = 0.504 ac**

**PreDevelopment**

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 4

**Summary for Subcatchment 1A: West Drainage Area**

Runoff = 0.83 cfs @ 12.53 hrs, Volume= 0.174 af, Depth= 0.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 7.375	58	Ag, HSG B
* 0.406	98	Offsite Street
* 0.044	98	Offsite Sidewalk
* 0.771	58	Offsite Grass, HSG B
8.596		Weighted Average
8.146		94.77% Pervious Area
0.450		5.23% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.6	100	0.0020	0.13		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
20.7	500	0.0020	0.40		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
33.3	600	Total			

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 5

**Summary for Subcatchment 2A: NorthEast Swale Drainage Area**

Runoff = 0.01 cfs @ 12.36 hrs, Volume= 0.003 af, Depth= 0.13"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.021	58	Grass, HSG B
* 0.232	58	Ag, HSG B
* 0.056	58	Offsite Grass, HSG B
0.309		Weighted Average
0.309		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 6

**Summary for Subcatchment 3A: SouthEast Swale Drainage Area**

Runoff = 0.02 cfs @ 12.36 hrs, Volume= 0.004 af, Depth= 0.13"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.039	58	Grass, HSG B
* 0.195	58	Ag, HSG B
* 0.103	58	Offsite Grass, HSG B
0.337		Weighted Average
0.337		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 7

**Summary for Subcatchment 4A: Wetland First Drainage Area**

Runoff = 0.29 cfs @ 12.38 hrs, Volume= 0.070 af, Depth= 0.15"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.102	58	Woods, HSG B
* 4.884	58	Ag, HSG B
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
5.534		Weighted Average
5.480		99.02% Pervious Area
0.054		0.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
4.4	280	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
9.3	380	Total			

## PreDevelopment

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 8

### Summary for Link 4L: Pre-Development

Inflow Area = 14.776 ac, 3.41% Impervious, Inflow Depth = 0.20" for 1-Year event  
Inflow = 1.12 cfs @ 12.49 hrs, Volume= 0.251 af  
Primary = 1.12 cfs @ 12.49 hrs, Volume= 0.251 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PreDevelopment**

MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 9

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Drainage Area** Runoff Area=8.596 ac 5.23% Impervious Runoff Depth=0.35"  
Flow Length=600' Slope=0.0020 '/' Tc=33.3 min CN=WQ Runoff=1.32 cfs 0.250 af

**Subcatchment 2A: NorthEast Swale** Runoff Area=0.309 ac 0.00% Impervious Runoff Depth=0.22"  
Tc=6.0 min CN=WQ Runoff=0.04 cfs 0.006 af

**Subcatchment 3A: SouthEast Swale** Runoff Area=0.337 ac 0.00% Impervious Runoff Depth=0.22"  
Tc=6.0 min CN=WQ Runoff=0.04 cfs 0.006 af

**Subcatchment 4A: Wetland First Drainage** Runoff Area=5.534 ac 0.98% Impervious Runoff Depth=0.25"  
Flow Length=380' Tc=9.3 min CN=WQ Runoff=0.76 cfs 0.114 af

**Link 4L: Pre-Development** Inflow=1.86 cfs 0.376 af  
Primary=1.86 cfs 0.376 af

**Total Runoff Area = 14.776 ac Runoff Volume = 0.376 af Average Runoff Depth = 0.31"**  
**96.59% Pervious = 14.272 ac 3.41% Impervious = 0.504 ac**

**PreDevelopment**

Prepared by Quam Engineering, LLC

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MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 10

**Summary for Subcatchment 1A: West Drainage Area**

Runoff = 1.32 cfs @ 12.57 hrs, Volume= 0.250 af, Depth= 0.35"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 7.375	58	Ag, HSG B
* 0.406	98	Offsite Street
* 0.044	98	Offsite Sidewalk
* 0.771	58	Offsite Grass, HSG B
8.596		Weighted Average
8.146		94.77% Pervious Area
0.450		5.23% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.6	100	0.0020	0.13		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
20.7	500	0.0020	0.40		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
33.3	600	Total			

**PreDevelopment**

MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 11

**Summary for Subcatchment 2A: NorthEast Swale Drainage Area**

Runoff = 0.04 cfs @ 12.20 hrs, Volume= 0.006 af, Depth= 0.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.021	58	Grass, HSG B
* 0.232	58	Ag, HSG B
* 0.056	58	Offsite Grass, HSG B
0.309		Weighted Average
0.309		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PreDevelopment**

Prepared by Quam Engineering, LLC

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MSE 24-hr 4 2-Year Rainfall=2.84"

Printed 8/1/2025

Page 12

**Summary for Subcatchment 3A: SouthEast Swale Drainage Area**

Runoff = 0.04 cfs @ 12.20 hrs, Volume= 0.006 af, Depth= 0.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.039	58	Grass, HSG B
* 0.195	58	Ag, HSG B
* 0.103	58	Offsite Grass, HSG B
0.337		Weighted Average
0.337		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PreDevelopment**

Prepared by Quam Engineering, LLC

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MSE 24-hr 4 2-Year Rainfall=2.84"

Printed 8/1/2025

Page 13

**Summary for Subcatchment 4A: Wetland First Drainage Area**

Runoff = 0.76 cfs @ 12.24 hrs, Volume= 0.114 af, Depth= 0.25"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.102	58	Woods, HSG B
* 4.884	58	Ag, HSG B
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
5.534		Weighted Average
5.480		99.02% Pervious Area
0.054		0.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
4.4	280	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
9.3	380	Total			

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MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 14

### Summary for Link 4L: Pre-Development

Inflow Area = 14.776 ac, 3.41% Impervious, Inflow Depth = 0.31" for 2-Year event  
Inflow = 1.86 cfs @ 12.49 hrs, Volume= 0.376 af  
Primary = 1.86 cfs @ 12.49 hrs, Volume= 0.376 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PreDevelopment**

MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 15

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Drainage Area** Runoff Area=8.596 ac 5.23% Impervious Runoff Depth=0.87"  
Flow Length=600' Slope=0.0020 '/' Tc=33.3 min CN=WQ Runoff=4.45 cfs 0.624 af

**Subcatchment 2A: NorthEast Swale** Runoff Area=0.309 ac 0.00% Impervious Runoff Depth=0.71"  
Tc=6.0 min CN=WQ Runoff=0.29 cfs 0.018 af

**Subcatchment 3A: SouthEast Swale** Runoff Area=0.337 ac 0.00% Impervious Runoff Depth=0.71"  
Tc=6.0 min CN=WQ Runoff=0.31 cfs 0.020 af

**Subcatchment 4A: Wetland First Drainage** Runoff Area=5.534 ac 0.98% Impervious Runoff Depth=0.74"  
Flow Length=380' Tc=9.3 min CN=WQ Runoff=4.50 cfs 0.340 af

**Link 4L: Pre-Development** Inflow=6.31 cfs 1.002 af  
Primary=6.31 cfs 1.002 af

**Total Runoff Area = 14.776 ac Runoff Volume = 1.002 af Average Runoff Depth = 0.81"**  
**96.59% Pervious = 14.272 ac 3.41% Impervious = 0.504 ac**

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 16

**Summary for Subcatchment 1A: West Drainage Area**

Runoff = 4.45 cfs @ 12.54 hrs, Volume= 0.624 af, Depth= 0.87"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 7.375	58	Ag, HSG B
* 0.406	98	Offsite Street
* 0.044	98	Offsite Sidewalk
* 0.771	58	Offsite Grass, HSG B
8.596		Weighted Average
8.146		94.77% Pervious Area
0.450		5.23% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.6	100	0.0020	0.13		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
20.7	500	0.0020	0.40		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
33.3	600	Total			

**PreDevelopment**

MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 17

**Summary for Subcatchment 2A: NorthEast Swale Drainage Area**

Runoff = 0.29 cfs @ 12.15 hrs, Volume= 0.018 af, Depth= 0.71"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.021	58	Grass, HSG B
* 0.232	58	Ag, HSG B
* 0.056	58	Offsite Grass, HSG B
0.309		Weighted Average
0.309		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PreDevelopment**

MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 18

**Summary for Subcatchment 3A: SouthEast Swale Drainage Area**

Runoff = 0.31 cfs @ 12.15 hrs, Volume= 0.020 af, Depth= 0.71"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.039	58	Grass, HSG B
* 0.195	58	Ag, HSG B
* 0.103	58	Offsite Grass, HSG B
0.337		Weighted Average
0.337		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 19

**Summary for Subcatchment 4A: Wetland First Drainage Area**

Runoff = 4.50 cfs @ 12.19 hrs, Volume= 0.340 af, Depth= 0.74"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.102	58	Woods, HSG B
* 4.884	58	Ag, HSG B
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
5.534		Weighted Average
5.480		99.02% Pervious Area
0.054		0.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
4.4	280	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
9.3	380	Total			

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 20

### Summary for Link 4L: Pre-Development

Inflow Area = 14.776 ac, 3.41% Impervious, Inflow Depth = 0.81" for 10-Year event  
Inflow = 6.31 cfs @ 12.21 hrs, Volume= 1.002 af  
Primary = 6.31 cfs @ 12.21 hrs, Volume= 1.002 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

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MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 21

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Drainage Area** Runoff Area=8.596 ac 5.23% Impervious Runoff Depth=2.40"  
Flow Length=600' Slope=0.0020 '/' Tc=33.3 min CN=WQ Runoff=14.62 cfs 1.721 af

**Subcatchment 2A: NorthEast Swale** Runoff Area=0.309 ac 0.00% Impervious Runoff Depth=2.18"  
Tc=6.0 min CN=WQ Runoff=1.04 cfs 0.056 af

**Subcatchment 3A: SouthEast Swale** Runoff Area=0.337 ac 0.00% Impervious Runoff Depth=2.18"  
Tc=6.0 min CN=WQ Runoff=1.13 cfs 0.061 af

**Subcatchment 4A: Wetland First Drainage** Runoff Area=5.534 ac 0.98% Impervious Runoff Depth=2.22"  
Flow Length=380' Tc=9.3 min CN=WQ Runoff=16.22 cfs 1.025 af

**Link 4L: Pre-Development** Inflow=23.49 cfs 2.864 af  
Primary=23.49 cfs 2.864 af

**Total Runoff Area = 14.776 ac Runoff Volume = 2.864 af Average Runoff Depth = 2.33"**  
**96.59% Pervious = 14.272 ac 3.41% Impervious = 0.504 ac**

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MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 22

**Summary for Subcatchment 1A: West Drainage Area**

Runoff = 14.62 cfs @ 12.50 hrs, Volume= 1.721 af, Depth= 2.40"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 7.375	58	Ag, HSG B
* 0.406	98	Offsite Street
* 0.044	98	Offsite Sidewalk
* 0.771	58	Offsite Grass, HSG B
8.596		Weighted Average
8.146		94.77% Pervious Area
0.450		5.23% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.6	100	0.0020	0.13		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
20.7	500	0.0020	0.40		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
33.3	600	Total			

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MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 23

**Summary for Subcatchment 2A: NorthEast Swale Drainage Area**

Runoff = 1.04 cfs @ 12.14 hrs, Volume= 0.056 af, Depth= 2.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.021	58	Grass, HSG B
* 0.232	58	Ag, HSG B
* 0.056	58	Offsite Grass, HSG B
0.309		Weighted Average
0.309		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PreDevelopment**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 24

**Summary for Subcatchment 3A: SouthEast Swale Drainage Area**

Runoff = 1.13 cfs @ 12.14 hrs, Volume= 0.061 af, Depth= 2.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.039	58	Grass, HSG B
* 0.195	58	Ag, HSG B
* 0.103	58	Offsite Grass, HSG B
0.337		Weighted Average
0.337		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 25

**Summary for Subcatchment 4A: Wetland First Drainage Area**

Runoff = 16.22 cfs @ 12.18 hrs, Volume= 1.025 af, Depth= 2.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.102	58	Woods, HSG B
* 4.884	58	Ag, HSG B
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
5.534		Weighted Average
5.480		99.02% Pervious Area
0.054		0.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
4.4	280	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
9.3	380	Total			

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MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 26

### Summary for Link 4L: Pre-Development

Inflow Area = 14.776 ac, 3.41% Impervious, Inflow Depth = 2.33" for 100-Year event  
Inflow = 23.49 cfs @ 12.19 hrs, Volume= 2.864 af  
Primary = 23.49 cfs @ 12.19 hrs, Volume= 2.864 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PreDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 27

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Drainage Area** Runoff Area=8.596 ac 5.23% Impervious Runoff Depth=3.01"  
Flow Length=600' Slope=0.0020 '/' Tc=33.3 min CN=WQ Runoff=18.68 cfs 2.158 af

**Subcatchment 2A: NorthEast Swale** Runoff Area=0.309 ac 0.00% Impervious Runoff Depth=2.78"  
Tc=6.0 min CN=WQ Runoff=1.34 cfs 0.071 af

**Subcatchment 3A: SouthEast Swale** Runoff Area=0.337 ac 0.00% Impervious Runoff Depth=2.78"  
Tc=6.0 min CN=WQ Runoff=1.46 cfs 0.078 af

**Subcatchment 4A: Wetland First Drainage** Runoff Area=5.534 ac 0.98% Impervious Runoff Depth=2.82"  
Flow Length=380' Tc=9.3 min CN=WQ Runoff=21.04 cfs 1.301 af

**Link 4L: Pre-Development** Inflow=30.50 cfs 3.608 af  
Primary=30.50 cfs 3.608 af

**Total Runoff Area = 14.776 ac Runoff Volume = 3.608 af Average Runoff Depth = 2.93"**  
**96.59% Pervious = 14.272 ac 3.41% Impervious = 0.504 ac**

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MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 28

**Summary for Subcatchment 1A: West Drainage Area**

Runoff = 18.68 cfs @ 12.49 hrs, Volume= 2.158 af, Depth= 3.01"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 7.375	58	Ag, HSG B
* 0.406	98	Offsite Street
* 0.044	98	Offsite Sidewalk
* 0.771	58	Offsite Grass, HSG B
8.596		Weighted Average
8.146		94.77% Pervious Area
0.450		5.23% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.6	100	0.0020	0.13		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
20.7	500	0.0020	0.40		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
33.3	600	Total			

**PreDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 29

**Summary for Subcatchment 2A: NorthEast Swale Drainage Area**

Runoff = 1.34 cfs @ 12.14 hrs, Volume= 0.071 af, Depth= 2.78"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.021	58	Grass, HSG B
* 0.232	58	Ag, HSG B
* 0.056	58	Offsite Grass, HSG B
0.309		Weighted Average
0.309		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PreDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 30

**Summary for Subcatchment 3A: SouthEast Swale Drainage Area**

Runoff = 1.46 cfs @ 12.14 hrs, Volume= 0.078 af, Depth= 2.78"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.039	58	Grass, HSG B
* 0.195	58	Ag, HSG B
* 0.103	58	Offsite Grass, HSG B
0.337		Weighted Average
0.337		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 31

**Summary for Subcatchment 4A: Wetland First Drainage Area**

Runoff = 21.04 cfs @ 12.17 hrs, Volume= 1.301 af, Depth= 2.82"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.102	58	Woods, HSG B
* 4.884	58	Ag, HSG B
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
5.534		Weighted Average
5.480		99.02% Pervious Area
0.054		0.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
4.4	280	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
9.3	380	Total			

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MSE 24-hr 4 200-Year Rainfall=7.53"

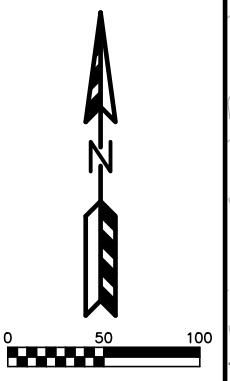
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Page 32

### Summary for Link 4L: Pre-Development

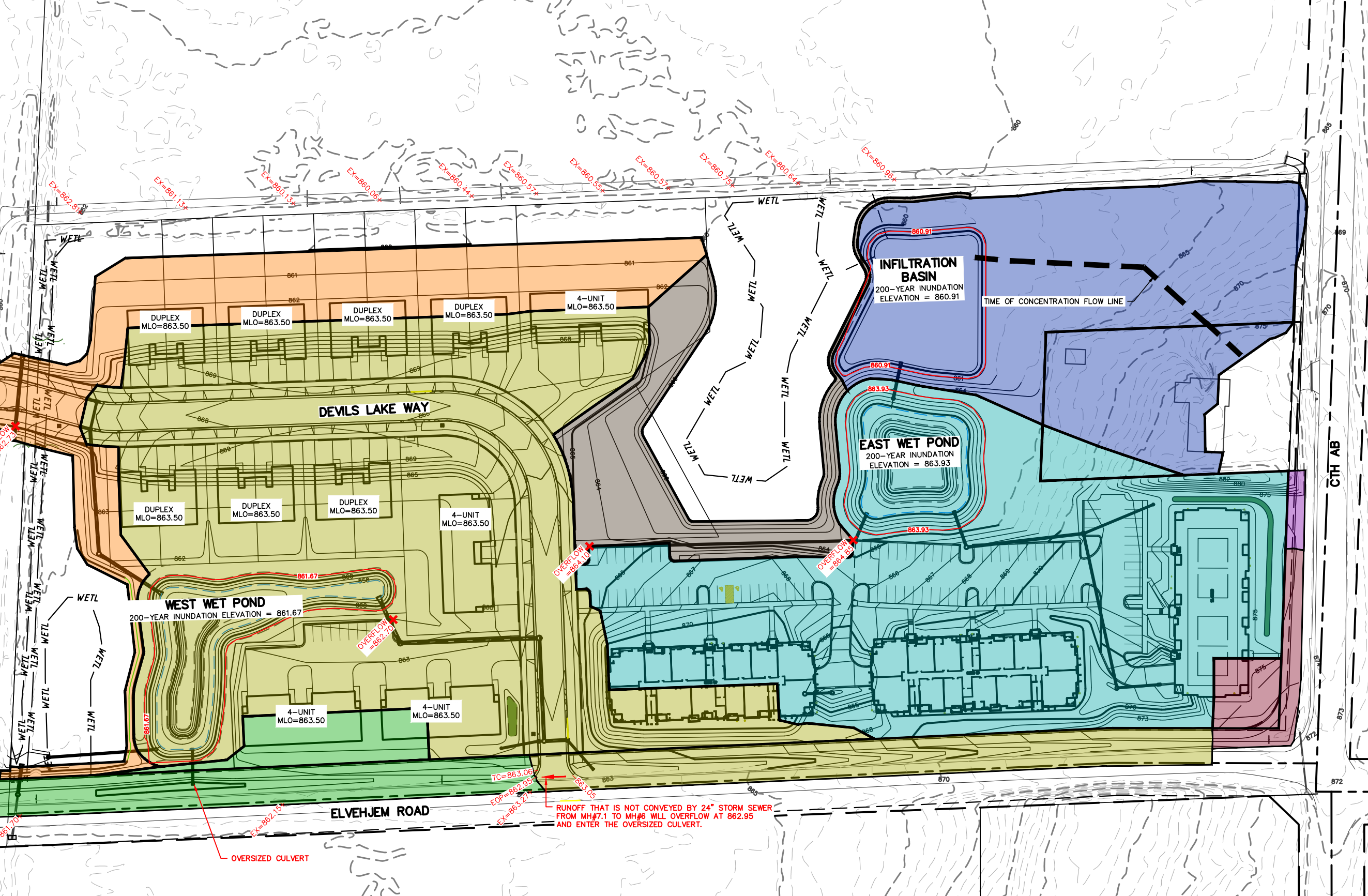
Inflow Area = 14.776 ac, 3.41% Impervious, Inflow Depth = 2.93" for 200-Year event  
Inflow = 30.50 cfs @ 12.19 hrs, Volume= 3.608 af  
Primary = 30.50 cfs @ 12.19 hrs, Volume= 3.608 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs



**LEGEND FOR DRAINAGE AREAS:**

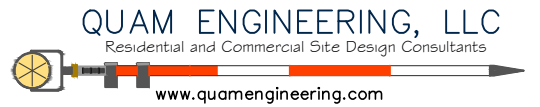
	WEST WET POND DRAINAGE AREA AREA = 5.460 ACRES TC = 6 MINUTES
	ELVEHJEM ROAD CULVERT DRAINAGE AREA AREA = 0.872 ACRES TC = 6 MINUTES
	EAST WET POND DRAINAGE AREA AREA = 3.805 ACRES TC = 6 MINUTES
	INFILTRATION BASIN DRAINAGE AREA AREA = 2.236 ACRES TC = 7.7 MINUTES
	NORTHEAST SWALE DRAINAGE AREA AREA = 0.032 ACRES TC = 6 MINUTES
	SOUTHEAST SWALE DRAINAGE AREA AREA = 0.224 ACRES TC = 6 MINUTES
	UNCONTROLLED DRAINAGE AREA AREA = 1.375 ACRES TC = 6 MINUTES
	WETLAND FIRST DRAINAGE AREA AREA = 0.702 ACRES TC = 6 MINUTES



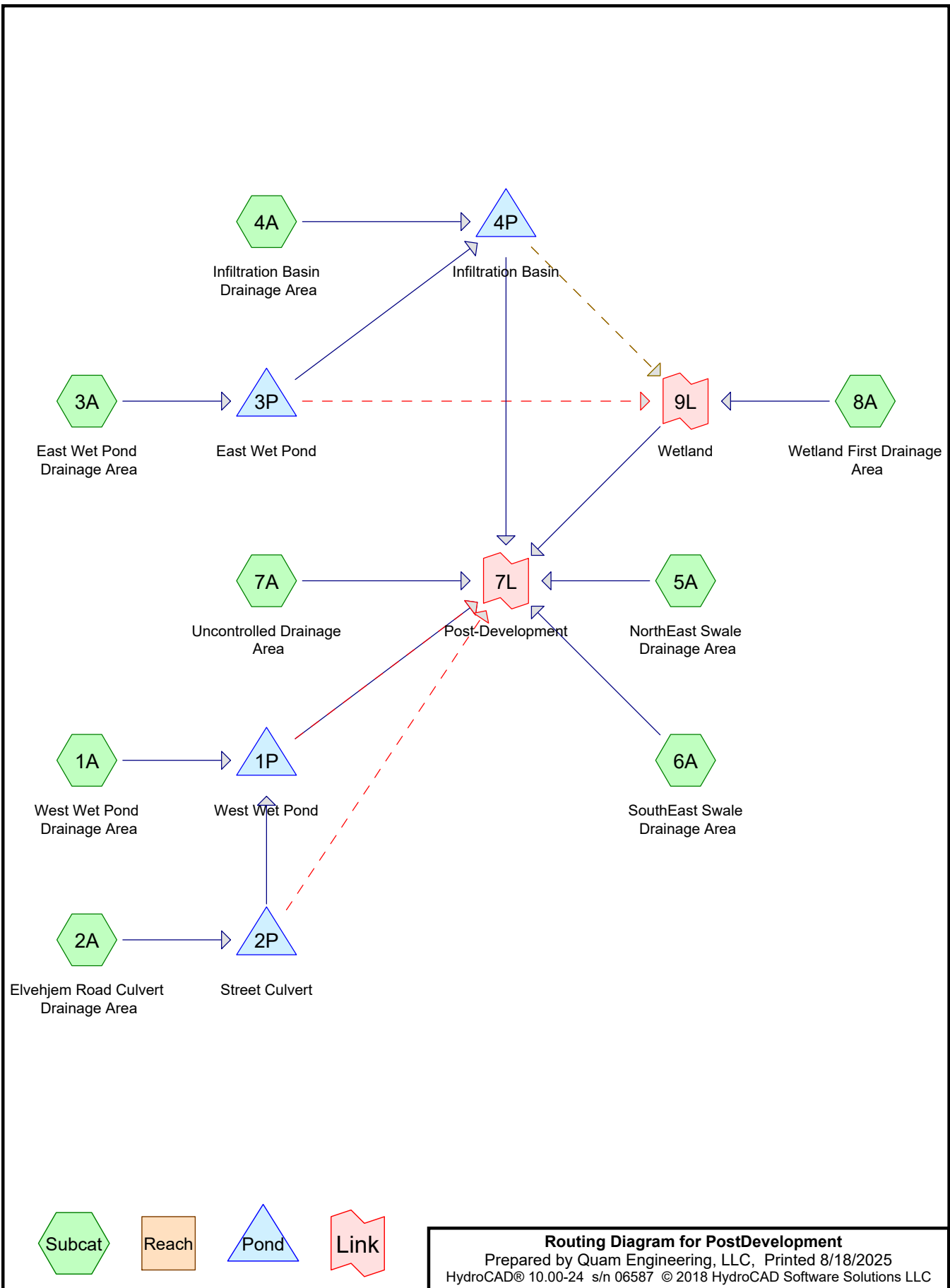
RUNOFF THAT IS NOT CONVEYED BY 24" STORM SEWER FROM MH#7.1 TO MH#6 WILL OVERFLOW AT 862.95 AND ENTER THE OVERSIZED CULVERT.

INUNDATION EVENT WAS MODELED ASSUMING THAT ALL WATER REACHED THE POND AS DESIGNED BUT ONLY LEFT THE POND THROUGH THE OVERFLOW WEIR.

**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 PROPOSED DRAINAGE PLAN  
 EXHIBIT: #5  
 DATED: SEPTEMBER 23, 2025



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## PostDevelopment

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Page 2

### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.702	58	>75% Grass cover, Good, HSG B (8A)
4.312	74	>75% Grass cover, Good, HSG C (1A, 2A, 3A, 4A, 6A, 7A)
1.000	58	Deep Tilled HSG C Soils (7A)
0.633	58	Offsite Grass, HSG B (3A, 4A, 5A, 6A)
0.054	98	Offsite Roof (4A)
0.329	98	Offsite Sidewalk (1A, 2A, 5A, 6A)
0.429	98	Offsite Street (1A, 2A)
1.632	98	Proposed Pavement (1A, 3A)
2.512	98	Proposed Roof (1A, 2A, 3A, 6A, 7A)
0.277	98	Proposed Sidewalk (1A, 2A, 3A, 7A)
0.566	98	Proposed Street (1A, 7A)
1.522	58	Undisturbed Grass, HSG B (3A, 4A)
0.808	100	Water/Infiltration Area (1A, 3A, 4A)
<b>14.776</b>	<b>81</b>	<b>TOTAL AREA</b>

**PostDevelopment**

MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 3

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Wet Pond** Runoff Area=5.530 ac 59.82% Impervious Runoff Depth=1.61"  
Tc=6.0 min CN=WQ Runoff=12.17 cfs 0.740 af

**Pond 1P: West Wet Pond** Peak Elev=859.42' Storage=27,058 cf Inflow=13.74 cfs 0.851 af  
Primary=0.32 cfs 0.820 af Secondary=0.00 cfs 0.000 af Outflow=0.32 cfs 0.820 af

**Subcatchment 2A: Elvehjem Road Culvert** Runoff Area=0.872 ac 55.85% Impervious Runoff Depth=1.53"  
Tc=6.0 min CN=WQ Runoff=1.84 cfs 0.111 af

**Pond 2P: Street Culvert** Peak Elev=859.87' Storage=270 cf Inflow=1.84 cfs 0.111 af  
Primary=1.64 cfs 0.111 af Secondary=0.00 cfs 0.000 af Outflow=1.64 cfs 0.111 af

**Subcatchment 3A: East Wet Pond Drainage** Runoff Area=3.805 ac 55.98% Impervious Runoff Depth=1.50"  
Tc=6.0 min CN=WQ Runoff=7.76 cfs 0.476 af

**Pond 3P: East Wet Pond** Peak Elev=861.48' Storage=13,280 cf Inflow=7.76 cfs 0.476 af  
Primary=0.32 cfs 0.471 af Secondary=0.00 cfs 0.000 af Outflow=0.32 cfs 0.471 af

**Subcatchment 4A: Infiltration Basin** Runoff Area=2.236 ac 16.77% Impervious Runoff Depth=0.55"  
Flow Length=280' Tc=7.7 min CN=WQ Runoff=1.23 cfs 0.102 af

**Pond 4P: Infiltration Basin** Peak Elev=859.65' Storage=5,870 cf Inflow=1.49 cfs 0.573 af  
Primary=0.14 cfs 0.205 af Secondary=0.00 cfs 0.000 af Tertiary=0.16 cfs 0.234 af Outflow=0.32 cfs 0.567 af

**Subcatchment 5A: NorthEast Swale** Runoff Area=0.032 ac 53.13% Impervious Runoff Depth=1.26"  
Tc=6.0 min CN=WQ Runoff=0.05 cfs 0.003 af

**Subcatchment 6A: SouthEast Swale** Runoff Area=0.224 ac 36.16% Impervious Runoff Depth=1.06"  
Tc=6.0 min CN=WQ Runoff=0.32 cfs 0.020 af

**Subcatchment 7A: Uncontrolled Drainage** Runoff Area=1.375 ac 15.20% Impervious Runoff Depth=0.51"  
Tc=6.0 min CN=WQ Runoff=0.80 cfs 0.059 af

**Link 7L: Post-Development** Inflow=1.42 cfs 1.349 af  
Primary=1.42 cfs 1.349 af

**Subcatchment 8A: Wetland First Drainage** Runoff Area=0.702 ac 0.00% Impervious Runoff Depth=0.13"  
Tc=6.0 min CN=58 Runoff=0.03 cfs 0.008 af

**Link 9L: Wetland** Inflow=0.17 cfs 0.242 af  
Primary=0.17 cfs 0.242 af

**Total Runoff Area = 14.776 ac Runoff Volume = 1.519 af Average Runoff Depth = 1.23"**  
**55.29% Pervious = 8.169 ac 44.71% Impervious = 6.607 ac**

**PostDevelopment**

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Page 4

**Summary for Subcatchment 1A: West Wet Pond Drainage Area**

Runoff = 12.17 cfs @ 12.13 hrs, Volume= 0.740 af, Depth= 1.61"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 1.252	98	Proposed Roof
* 0.759	98	Proposed Pavement
* 0.143	98	Proposed Sidewalk
* 0.529	98	Proposed Street
* 1.977	74	>75% Grass cover, Good, HSG C
* 0.280	100	Water/Infiltration Area
* 0.120	98	Offsite Sidewalk
* 0.225	98	Offsite Street
0.245	74	>75% Grass cover, Good, HSG C
5.530		Weighted Average
2.222		40.18% Pervious Area
3.308		59.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 5

**Summary for Pond 1P: West Wet Pond**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 1.60" for 1-Year event  
 Inflow = 13.74 cfs @ 12.13 hrs, Volume= 0.851 af  
 Outflow = 0.32 cfs @ 15.16 hrs, Volume= 0.820 af, Atten= 98%, Lag= 181.7 min  
 Primary = 0.32 cfs @ 15.16 hrs, Volume= 0.820 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.42' @ 15.16 hrs Surf.Area= 16,270 sf Storage= 27,058 cf

Plug-Flow detention time= 1,033.2 min calculated for 0.820 af (96% of inflow)  
 Center-of-Mass det. time= 1,012.7 min ( 1,785.4 - 772.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	857.50'	71,963 cf	<b>Surface (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
857.50	12,000	0	0
858.00	13,000	6,250	6,250
859.00	15,300	14,150	20,400
860.00	17,600	16,450	36,850
861.00	20,000	18,800	55,650
861.75	23,500	16,313	71,963

Device	Routing	Invert	Outlet Devices
#1	Primary	857.50'	<b>15.0" Round Outlet Culvert</b> L= 136.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.23' S= 0.0020 '/ n= 0.013, Flow Area= 1.23 sf
#2	Device 1	857.50'	<b>3.0" Round Culvert</b> L= 5.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.50' S= 0.0000 '/ n= 0.010, Flow Area= 0.05 sf
#3	Device 1	860.00'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	861.10'	<b>20.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=0.32 cfs @ 15.16 hrs HW=859.42' TW=0.00' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Passes 0.32 cfs of 4.42 cfs potential flow)  
 ↑ **2=Culvert** (Inlet Controls 0.32 cfs @ 6.45 fps)  
 ↑ **3=Standpipe** ( Controls 0.00 cfs)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=857.50' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

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Page 6

**Summary for Subcatchment 2A: Elvehjem Road Culvert Drainage Area**

Runoff = 1.84 cfs @ 12.13 hrs, Volume= 0.111 af, Depth= 1.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.124	98	Proposed Roof
* 0.014	98	Proposed Sidewalk
0.106	74	>75% Grass cover, Good, HSG C
* 0.145	98	Offsite Sidewalk
* 0.204	98	Offsite Street
0.279	74	>75% Grass cover, Good, HSG C
0.872		Weighted Average
0.385		44.15% Pervious Area
0.487		55.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 7

**Summary for Pond 2P: Street Culvert**

Inflow Area = 0.872 ac, 55.85% Impervious, Inflow Depth = 1.53" for 1-Year event  
 Inflow = 1.84 cfs @ 12.13 hrs, Volume= 0.111 af  
 Outflow = 1.64 cfs @ 12.16 hrs, Volume= 0.111 af, Atten= 11%, Lag= 1.9 min  
 Primary = 1.64 cfs @ 12.16 hrs, Volume= 0.111 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.87' @ 12.16 hrs Surf.Area= 765 sf Storage= 270 cf

Plug-Flow detention time= 6.4 min calculated for 0.111 af (100% of inflow)  
 Center-of-Mass det. time= 6.4 min ( 782.6 - 776.1 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	12,325 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	100	0	0
860.00	900	375	375
861.00	4,000	2,450	2,825
862.00	15,000	9,500	12,325

Device	Routing	Invert	Outlet Devices
#1	Primary	859.25'	<b>15.0" Round Culvert</b> L= 37.0' Ke= 0.500 Inlet / Outlet Invert= 859.25' / 857.51' S= 0.0470 ' S Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Secondary	861.50'	<b>100.0' long x 20.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.68 2.70 2.70 2.64 2.63 2.64 2.64 2.63

**Primary OutFlow** Max=1.60 cfs @ 12.16 hrs HW=859.86' TW=858.73' (Dynamic Tailwater)  
 ↑1=Culvert (Inlet Controls 1.60 cfs @ 2.67 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↑2=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

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Page 8

**Summary for Subcatchment 3A: East Wet Pond Drainage Area**

Runoff = 7.76 cfs @ 12.13 hrs, Volume= 0.476 af, Depth= 1.50"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.942	98	Proposed Roof
* 0.873	98	Proposed Pavement
* 0.108	98	Proposed Sidewalk
* 0.277	58	Undisturbed Grass, HSG B
1.342	74	>75% Grass cover, Good, HSG C
* 0.207	100	Water/Infiltration Area
* 0.056	58	Offsite Grass, HSG B
3.805		Weighted Average
1.675		44.02% Pervious Area
2.130		55.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 9

**Summary for Pond 3P: East Wet Pond**

Inflow Area = 3.805 ac, 55.98% Impervious, Inflow Depth = 1.50" for 1-Year event  
 Inflow = 7.76 cfs @ 12.13 hrs, Volume= 0.476 af  
 Outflow = 0.32 cfs @ 13.64 hrs, Volume= 0.471 af, Atten= 96%, Lag= 90.4 min  
 Primary = 0.32 cfs @ 13.64 hrs, Volume= 0.471 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.48' @ 13.64 hrs Surf.Area= 7,854 sf Storage= 13,280 cf

Plug-Flow detention time= 540.8 min calculated for 0.471 af (99% of inflow)  
 Center-of-Mass det. time= 533.9 min ( 1,305.3 - 771.4 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.50'	37,100 cf	<b>Surface (Prismatic)</b> Listed below (Recalc) x 0.8
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.50	7,000	0	0
860.00	7,700	3,675	3,675
861.00	9,100	8,400	12,075
862.00	10,600	9,850	21,925
863.00	12,200	11,400	33,325
864.00	13,900	13,050	46,375

Device	Routing	Invert	Outlet Devices
#1	Primary	859.50'	<b>15.0" Round Outlet Culvert</b> L= 39.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.38' S= 0.0031 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	859.50'	<b>3.0" Round Culvert</b> L= 6.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.50' S= 0.0000 '/' Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	862.50'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	863.50'	<b>10.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=0.32 cfs @ 13.64 hrs HW=861.48' TW=859.57' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Passes 0.32 cfs of 5.84 cfs potential flow)  
 ↑ **2=Culvert** (Inlet Controls 0.32 cfs @ 6.55 fps)  
 ↑ **3=Standpipe** ( Controls 0.00 cfs)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.50' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

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Page 10

**Summary for Subcatchment 4A: Infiltration Basin Drainage Area**

Runoff = 1.23 cfs @ 12.15 hrs, Volume= 0.102 af, Depth= 0.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 1.245	58	Undisturbed Grass, HSG B
0.122	74	>75% Grass cover, Good, HSG C
* 0.321	100	Water/Infiltration Area
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
2.236		Weighted Average
1.861		83.23% Pervious Area
0.375		16.77% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
2.8	180	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
7.7	280	Total			

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Page 11

**Summary for Pond 4P: Infiltration Basin**

Inflow Area = 6.041 ac, 41.47% Impervious, Inflow Depth > 1.14" for 1-Year event  
 Inflow = 1.49 cfs @ 12.15 hrs, Volume= 0.573 af  
 Outflow = 0.32 cfs @ 18.49 hrs, Volume= 0.567 af, Atten= 78%, Lag= 380.4 min  
 Discarded = 0.02 cfs @ 9.75 hrs, Volume= 0.128 af  
 Primary = 0.14 cfs @ 18.49 hrs, Volume= 0.205 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af  
 Tertiary = 0.16 cfs @ 18.49 hrs, Volume= 0.234 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.65' @ 18.49 hrs Surf.Area= 15,587 sf Storage= 5,870 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)  
 Center-of-Mass det. time= 404.8 min ( 1,616.9 - 1,212.1 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	29,625 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	14,000	0	0
860.00	17,000	11,625	11,625
861.00	19,000	18,000	29,625

Device	Routing	Invert	Outlet Devices
#1	Primary	859.35'	<b>6.0" Round Culvert</b> L= 48.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0021 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#2	Tertiary	859.35'	<b>6.0" Round Culvert</b> L= 31.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0032 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#3	Secondary	860.75'	<b>30.0' long x 3.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 Coef. (English) 2.44 2.58 2.68 2.67 2.65 2.64 2.64 2.68 2.68 2.72 2.81 2.92 2.97 3.07 3.32
#4	Discarded	859.25'	<b>0.070 in/hr Exfiltration over Surface area from 859.24' - 859.26'</b> Excluded Surface area = 0 sf

**Discarded OutFlow** Max=0.02 cfs @ 9.75 hrs HW=859.27' (Free Discharge)  
 ↳4=Exfiltration (Exfiltration Controls 0.02 cfs)

**Primary OutFlow** Max=0.14 cfs @ 18.49 hrs HW=859.65' TW=0.00' (Dynamic Tailwater)  
 ↳1=Culvert (Barrel Controls 0.14 cfs @ 1.68 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↳3=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**Tertiary OutFlow** Max=0.16 cfs @ 18.49 hrs HW=859.65' TW=0.00' (Dynamic Tailwater)  
 ↳2=Culvert (Barrel Controls 0.16 cfs @ 1.90 fps)

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Page 12

**Summary for Subcatchment 5A: NorthEast Swale Drainage Area**

Runoff = 0.05 cfs @ 12.13 hrs, Volume= 0.003 af, Depth= 1.26"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.017	98	Offsite Sidewalk
* 0.015	58	Offsite Grass, HSG B
0.032		Weighted Average
0.015		46.87% Pervious Area
0.017		53.13% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 13

**Summary for Subcatchment 6A: SouthEast Swale Drainage Area**

Runoff = 0.32 cfs @ 12.13 hrs, Volume= 0.020 af, Depth= 1.06"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.034	98	Proposed Roof
0.075	74	>75% Grass cover, Good, HSG C
* 0.047	98	Offsite Sidewalk
* 0.068	58	Offsite Grass, HSG B
0.224		Weighted Average
0.143		63.84% Pervious Area
0.081		36.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 14

**Summary for Subcatchment 7A: Uncontrolled Drainage Area**

Runoff = 0.80 cfs @ 12.13 hrs, Volume= 0.059 af, Depth= 0.51"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.160	98	Proposed Roof
* 0.012	98	Proposed Sidewalk
* 0.037	98	Proposed Street
* 1.000	58	Deep Tilled HSG C Soils
0.166	74	>75% Grass cover, Good, HSG C
1.375		Weighted Average
1.166		84.80% Pervious Area
0.209		15.20% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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*MSE 24-hr 4 1-Year Rainfall=2.49"*

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Page 15

**Summary for Link 7L: Post-Development**

Inflow Area = 14.776 ac, 44.71% Impervious, Inflow Depth > 1.10" for 1-Year event  
Inflow = 1.42 cfs @ 12.14 hrs, Volume= 1.349 af  
Primary = 1.42 cfs @ 12.14 hrs, Volume= 1.349 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 16

**Summary for Subcatchment 8A: Wetland First Drainage Area**

Runoff = 0.03 cfs @ 12.36 hrs, Volume= 0.008 af, Depth= 0.13"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 1-Year Rainfall=2.49"

Area (ac)	CN	Description
* 0.702	58	>75% Grass cover, Good, HSG B
0.702		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 1-Year Rainfall=2.49"

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Page 17

**Summary for Link 9L: Wetland**

Inflow Area = 0.702 ac, 0.00% Impervious, Inflow Depth = 4.14" for 1-Year event  
Inflow = 0.17 cfs @ 18.33 hrs, Volume= 0.242 af  
Primary = 0.17 cfs @ 18.33 hrs, Volume= 0.242 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

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Page 18

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Wet Pond** Runoff Area=5.530 ac 59.82% Impervious Runoff Depth=1.90"  
Tc=6.0 min CN=WQ Runoff=14.41 cfs 0.874 af

**Pond 1P: West Wet Pond** Peak Elev=859.73' Storage=32,183 cf Inflow=16.27 cfs 1.006 af  
Primary=0.34 cfs 0.969 af Secondary=0.00 cfs 0.000 af Outflow=0.34 cfs 0.969 af

**Subcatchment 2A: Elvehjem Road Culvert** Runoff Area=0.872 ac 55.85% Impervious Runoff Depth=1.81"  
Tc=6.0 min CN=WQ Runoff=2.19 cfs 0.132 af

**Pond 2P: Street Culvert** Peak Elev=859.94' Storage=321 cf Inflow=2.19 cfs 0.132 af  
Primary=1.95 cfs 0.132 af Secondary=0.00 cfs 0.000 af Outflow=1.95 cfs 0.132 af

**Subcatchment 3A: East Wet Pond Drainage** Runoff Area=3.805 ac 55.98% Impervious Runoff Depth=1.78"  
Tc=6.0 min CN=WQ Runoff=9.21 cfs 0.564 af

**Pond 3P: East Wet Pond** Peak Elev=861.80' Storage=15,875 cf Inflow=9.21 cfs 0.564 af  
Primary=0.35 cfs 0.558 af Secondary=0.00 cfs 0.000 af Outflow=0.35 cfs 0.558 af

**Subcatchment 4A: Infiltration Basin** Runoff Area=2.236 ac 16.77% Impervious Runoff Depth=0.69"  
Flow Length=280' Tc=7.7 min CN=WQ Runoff=1.57 cfs 0.128 af

**Pond 4P: Infiltration Basin** Peak Elev=859.67' Storage=6,282 cf Inflow=1.85 cfs 0.687 af  
Primary=0.17 cfs 0.256 af Secondary=0.00 cfs 0.000 af Tertiary=0.19 cfs 0.292 af Outflow=0.37 cfs 0.677 af

**Subcatchment 5A: NorthEast Swale** Runoff Area=0.032 ac 53.13% Impervious Runoff Depth=1.49"  
Tc=6.0 min CN=WQ Runoff=0.06 cfs 0.004 af

**Subcatchment 6A: SouthEast Swale** Runoff Area=0.224 ac 36.16% Impervious Runoff Depth=1.28"  
Tc=6.0 min CN=WQ Runoff=0.38 cfs 0.024 af

**Subcatchment 7A: Uncontrolled Drainage** Runoff Area=1.375 ac 15.20% Impervious Runoff Depth=0.66"  
Tc=6.0 min CN=WQ Runoff=1.04 cfs 0.075 af

**Link 7L: Post-Development** Inflow=1.86 cfs 1.633 af  
Primary=1.86 cfs 1.633 af

**Subcatchment 8A: Wetland First Drainage** Runoff Area=0.702 ac 0.00% Impervious Runoff Depth=0.22"  
Tc=6.0 min CN=58 Runoff=0.09 cfs 0.013 af

**Link 9L: Wetland** Inflow=0.20 cfs 0.305 af  
Primary=0.20 cfs 0.305 af

**Total Runoff Area = 14.776 ac Runoff Volume = 1.815 af Average Runoff Depth = 1.47"**  
**55.29% Pervious = 8.169 ac 44.71% Impervious = 6.607 ac**

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Page 19

**Summary for Subcatchment 1A: West Wet Pond Drainage Area**

Runoff = 14.41 cfs @ 12.13 hrs, Volume= 0.874 af, Depth= 1.90"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 1.252	98	Proposed Roof
* 0.759	98	Proposed Pavement
* 0.143	98	Proposed Sidewalk
* 0.529	98	Proposed Street
* 1.977	74	>75% Grass cover, Good, HSG C
* 0.280	100	Water/Infiltration Area
* 0.120	98	Offsite Sidewalk
* 0.225	98	Offsite Street
0.245	74	>75% Grass cover, Good, HSG C
5.530		Weighted Average
2.222		40.18% Pervious Area
3.308		59.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 20

**Summary for Pond 1P: West Wet Pond**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 1.89" for 2-Year event  
 Inflow = 16.27 cfs @ 12.13 hrs, Volume= 1.006 af  
 Outflow = 0.34 cfs @ 15.26 hrs, Volume= 0.969 af, Atten= 98%, Lag= 187.7 min  
 Primary = 0.34 cfs @ 15.26 hrs, Volume= 0.969 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.73' @ 15.26 hrs Surf.Area= 16,979 sf Storage= 32,183 cf

Plug-Flow detention time= 1,111.1 min calculated for 0.969 af (96% of inflow)  
 Center-of-Mass det. time= 1,091.4 min ( 1,864.4 - 773.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	857.50'	71,963 cf	<b>Surface (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
857.50	12,000	0	0
858.00	13,000	6,250	6,250
859.00	15,300	14,150	20,400
860.00	17,600	16,450	36,850
861.00	20,000	18,800	55,650
861.75	23,500	16,313	71,963

Device	Routing	Invert	Outlet Devices
#1	Primary	857.50'	<b>15.0" Round Outlet Culvert</b> L= 136.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.23' S= 0.0020 '/ n= 0.013, Flow Area= 1.23 sf
#2	Device 1	857.50'	<b>3.0" Round Culvert</b> L= 5.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.50' S= 0.0000 '/ n= 0.010, Flow Area= 0.05 sf
#3	Device 1	860.00'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	861.10'	<b>20.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=0.34 cfs @ 15.26 hrs HW=859.73' TW=0.00' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Passes 0.34 cfs of 5.09 cfs potential flow)  
 ↑ **2=Culvert** (Inlet Controls 0.34 cfs @ 6.99 fps)  
 ↑ **3=Standpipe** ( Controls 0.00 cfs)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=857.50' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

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Page 21

**Summary for Subcatchment 2A: Elvehjem Road Culvert Drainage Area**

Runoff = 2.19 cfs @ 12.13 hrs, Volume= 0.132 af, Depth= 1.81"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.124	98	Proposed Roof
* 0.014	98	Proposed Sidewalk
0.106	74	>75% Grass cover, Good, HSG C
* 0.145	98	Offsite Sidewalk
* 0.204	98	Offsite Street
0.279	74	>75% Grass cover, Good, HSG C
0.872		Weighted Average
0.385		44.15% Pervious Area
0.487		55.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 22

**Summary for Pond 2P: Street Culvert**

Inflow Area = 0.872 ac, 55.85% Impervious, Inflow Depth = 1.81" for 2-Year event  
 Inflow = 2.19 cfs @ 12.13 hrs, Volume= 0.132 af  
 Outflow = 1.95 cfs @ 12.16 hrs, Volume= 0.132 af, Atten= 11%, Lag= 2.0 min  
 Primary = 1.95 cfs @ 12.16 hrs, Volume= 0.132 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.94' @ 12.16 hrs Surf.Area= 833 sf Storage= 321 cf

Plug-Flow detention time= 19.7 min calculated for 0.132 af (100% of inflow)  
 Center-of-Mass det. time= 18.8 min ( 793.4 - 774.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	12,325 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	100	0	0
860.00	900	375	375
861.00	4,000	2,450	2,825
862.00	15,000	9,500	12,325

Device	Routing	Invert	Outlet Devices
#1	Primary	859.25'	<b>15.0" Round Culvert</b> L= 37.0' Ke= 0.500 Inlet / Outlet Invert= 859.25' / 857.51' S= 0.0470 ' S= 0.0470 ' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Secondary	861.50'	<b>100.0' long x 20.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.68 2.70 2.70 2.64 2.63 2.64 2.64 2.63

**Primary OutFlow** Max=1.90 cfs @ 12.16 hrs HW=859.93' TW=858.93' (Dynamic Tailwater)  
 ↑1=Culvert (Inlet Controls 1.90 cfs @ 2.80 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↑2=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

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Page 23

**Summary for Subcatchment 3A: East Wet Pond Drainage Area**

Runoff = 9.21 cfs @ 12.13 hrs, Volume= 0.564 af, Depth= 1.78"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.942	98	Proposed Roof
* 0.873	98	Proposed Pavement
* 0.108	98	Proposed Sidewalk
* 0.277	58	Undisturbed Grass, HSG B
1.342	74	>75% Grass cover, Good, HSG C
* 0.207	100	Water/Infiltration Area
* 0.056	58	Offsite Grass, HSG B
3.805		Weighted Average
1.675		44.02% Pervious Area
2.130		55.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 24

**Summary for Pond 3P: East Wet Pond**

Inflow Area = 3.805 ac, 55.98% Impervious, Inflow Depth = 1.78" for 2-Year event  
 Inflow = 9.21 cfs @ 12.13 hrs, Volume= 0.564 af  
 Outflow = 0.35 cfs @ 13.72 hrs, Volume= 0.558 af, Atten= 96%, Lag= 95.6 min  
 Primary = 0.35 cfs @ 13.72 hrs, Volume= 0.558 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.80' @ 13.72 hrs Surf.Area= 8,241 sf Storage= 15,875 cf

Plug-Flow detention time= 583.0 min calculated for 0.558 af (99% of inflow)  
 Center-of-Mass det. time= 578.4 min ( 1,348.8 - 770.4 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.50'	37,100 cf	<b>Surface (Prismatic)</b> Listed below (Recalc) x 0.8
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.50	7,000	0	0
860.00	7,700	3,675	3,675
861.00	9,100	8,400	12,075
862.00	10,600	9,850	21,925
863.00	12,200	11,400	33,325
864.00	13,900	13,050	46,375

Device	Routing	Invert	Outlet Devices
#1	Primary	859.50'	<b>15.0" Round Outlet Culvert</b> L= 39.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.38' S= 0.0031 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	859.50'	<b>3.0" Round Culvert</b> L= 6.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.50' S= 0.0000 '/' Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	862.50'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	863.50'	<b>10.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=0.35 cfs @ 13.72 hrs HW=861.80' TW=859.62' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Passes 0.35 cfs of 6.87 cfs potential flow)  
 ↑ **2=Culvert** (Inlet Controls 0.35 cfs @ 7.10 fps)  
 ↑ **3=Standpipe** ( Controls 0.00 cfs)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.50' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

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Page 25

**Summary for Subcatchment 4A: Infiltration Basin Drainage Area**

Runoff = 1.57 cfs @ 12.15 hrs, Volume= 0.128 af, Depth= 0.69"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 1.245	58	Undisturbed Grass, HSG B
0.122	74	>75% Grass cover, Good, HSG C
* 0.321	100	Water/Infiltration Area
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
2.236		Weighted Average
1.861		83.23% Pervious Area
0.375		16.77% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
2.8	180	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
7.7	280	Total			

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Page 26

**Summary for Pond 4P: Infiltration Basin**

Inflow Area = 6.041 ac, 41.47% Impervious, Inflow Depth > 1.36" for 2-Year event  
 Inflow = 1.85 cfs @ 12.16 hrs, Volume= 0.687 af  
 Outflow = 0.37 cfs @ 17.64 hrs, Volume= 0.677 af, Atten= 80%, Lag= 328.7 min  
 Discarded = 0.02 cfs @ 9.20 hrs, Volume= 0.129 af  
 Primary = 0.17 cfs @ 17.64 hrs, Volume= 0.256 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af  
 Tertiary = 0.19 cfs @ 17.64 hrs, Volume= 0.292 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.67' @ 17.64 hrs Surf.Area= 15,693 sf Storage= 6,282 cf

Plug-Flow detention time= 387.8 min calculated for 0.676 af (98% of inflow)  
 Center-of-Mass det. time= 359.6 min ( 1,603.5 - 1,244.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	29,625 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	14,000	0	0
860.00	17,000	11,625	11,625
861.00	19,000	18,000	29,625

Device	Routing	Invert	Outlet Devices
#1	Primary	859.35'	<b>6.0" Round Culvert</b> L= 48.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0021 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#2	Tertiary	859.35'	<b>6.0" Round Culvert</b> L= 31.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0032 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#3	Secondary	860.75'	<b>30.0' long x 3.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 Coef. (English) 2.44 2.58 2.68 2.67 2.65 2.64 2.64 2.68 2.68 2.72 2.81 2.92 2.97 3.07 3.32
#4	Discarded	859.25'	<b>0.070 in/hr Exfiltration over Surface area from 859.24' - 859.26'</b> Excluded Surface area = 0 sf

**Discarded OutFlow** Max=0.02 cfs @ 9.20 hrs HW=859.27' (Free Discharge)  
 ↑4=Exfiltration (Exfiltration Controls 0.02 cfs)

**Primary OutFlow** Max=0.17 cfs @ 17.64 hrs HW=859.67' TW=0.00' (Dynamic Tailwater)  
 ↑1=Culvert (Barrel Controls 0.17 cfs @ 1.75 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↑3=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**Tertiary OutFlow** Max=0.19 cfs @ 17.64 hrs HW=859.67' TW=0.00' (Dynamic Tailwater)  
 ↑2=Culvert (Barrel Controls 0.19 cfs @ 1.97 fps)

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Page 27

**Summary for Subcatchment 5A: NorthEast Swale Drainage Area**

Runoff = 0.06 cfs @ 12.13 hrs, Volume= 0.004 af, Depth= 1.49"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.017	98	Offsite Sidewalk
* 0.015	58	Offsite Grass, HSG B
0.032		Weighted Average
0.015		46.87% Pervious Area
0.017		53.13% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 28

**Summary for Subcatchment 6A: SouthEast Swale Drainage Area**

Runoff = 0.38 cfs @ 12.13 hrs, Volume= 0.024 af, Depth= 1.28"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.034	98	Proposed Roof
0.075	74	>75% Grass cover, Good, HSG C
* 0.047	98	Offsite Sidewalk
* 0.068	58	Offsite Grass, HSG B
0.224		Weighted Average
0.143		63.84% Pervious Area
0.081		36.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 29

**Summary for Subcatchment 7A: Uncontrolled Drainage Area**

Runoff = 1.04 cfs @ 12.14 hrs, Volume= 0.075 af, Depth= 0.66"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.160	98	Proposed Roof
* 0.012	98	Proposed Sidewalk
* 0.037	98	Proposed Street
* 1.000	58	Deep Tilled HSG C Soils
0.166	74	>75% Grass cover, Good, HSG C
1.375		Weighted Average
1.166		84.80% Pervious Area
0.209		15.20% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

## PostDevelopment

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MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 30

### Summary for Link 7L: Post-Development

Inflow Area = 14.776 ac, 44.71% Impervious, Inflow Depth > 1.33" for 2-Year event  
Inflow = 1.86 cfs @ 12.14 hrs, Volume= 1.633 af  
Primary = 1.86 cfs @ 12.14 hrs, Volume= 1.633 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PostDevelopment**

MSE 24-hr 4 2-Year Rainfall=2.84"

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Page 31

**Summary for Subcatchment 8A: Wetland First Drainage Area**

Runoff = 0.09 cfs @ 12.20 hrs, Volume= 0.013 af, Depth= 0.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 2-Year Rainfall=2.84"

Area (ac)	CN	Description
* 0.702	58	>75% Grass cover, Good, HSG B
0.702		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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*MSE 24-hr 4 2-Year Rainfall=2.84"*

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Page 32

**Summary for Link 9L: Wetland**

Inflow Area = 0.702 ac, 0.00% Impervious, Inflow Depth = 5.21" for 2-Year event  
Inflow = 0.20 cfs @ 17.25 hrs, Volume= 0.305 af  
Primary = 0.20 cfs @ 17.25 hrs, Volume= 0.305 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

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Page 33

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Wet Pond** Runoff Area=5.530 ac 59.82% Impervious Runoff Depth=2.99"  
Tc=6.0 min CN=WQ Runoff=22.76 cfs 1.376 af

**Pond 1P: West Wet Pond** Peak Elev=860.21' Storage=40,651 cf Inflow=25.43 cfs 1.586 af  
Primary=3.41 cfs 1.539 af Secondary=0.00 cfs 0.000 af Outflow=3.41 cfs 1.539 af

**Subcatchment 2A: Elvehjem Road Culvert** Runoff Area=0.872 ac 55.85% Impervious Runoff Depth=2.89"  
Tc=6.0 min CN=WQ Runoff=3.50 cfs 0.210 af

**Pond 2P: Street Culvert** Peak Elev=860.23' Storage=659 cf Inflow=3.50 cfs 0.210 af  
Primary=2.70 cfs 0.210 af Secondary=0.00 cfs 0.000 af Outflow=2.70 cfs 0.210 af

**Subcatchment 3A: East Wet Pond Drainage** Runoff Area=3.805 ac 55.98% Impervious Runoff Depth=2.82"  
Tc=6.0 min CN=WQ Runoff=14.72 cfs 0.894 af

**Pond 3P: East Wet Pond** Peak Elev=862.61' Storage=22,930 cf Inflow=14.72 cfs 0.894 af  
Primary=1.49 cfs 0.888 af Secondary=0.00 cfs 0.000 af Outflow=1.49 cfs 0.888 af

**Subcatchment 4A: Infiltration Basin** Runoff Area=2.236 ac 16.77% Impervious Runoff Depth=1.32"  
Flow Length=280' Tc=7.7 min CN=WQ Runoff=3.60 cfs 0.246 af

**Pond 4P: Infiltration Basin** Peak Elev=859.96' Storage=10,995 cf Inflow=3.95 cfs 1.134 af  
Primary=0.42 cfs 0.461 af Secondary=0.00 cfs 0.000 af Tertiary=0.47 cfs 0.520 af Outflow=0.91 cfs 1.113 af

**Subcatchment 5A: NorthEast Swale** Runoff Area=0.032 ac 53.13% Impervious Runoff Depth=2.38"  
Tc=6.0 min CN=WQ Runoff=0.10 cfs 0.006 af

**Subcatchment 6A: SouthEast Swale** Runoff Area=0.224 ac 36.16% Impervious Runoff Depth=2.17"  
Tc=6.0 min CN=WQ Runoff=0.67 cfs 0.040 af

**Subcatchment 7A: Uncontrolled Drainage** Runoff Area=1.375 ac 15.20% Impervious Runoff Depth=1.30"  
Tc=6.0 min CN=WQ Runoff=2.42 cfs 0.149 af

**Link 7L: Post-Development** Inflow=4.59 cfs 2.758 af  
Primary=4.59 cfs 2.758 af

**Subcatchment 8A: Wetland First Drainage** Runoff Area=0.702 ac 0.00% Impervious Runoff Depth=0.71"  
Tc=6.0 min CN=58 Runoff=0.65 cfs 0.041 af

**Link 9L: Wetland** Inflow=0.76 cfs 0.562 af  
Primary=0.76 cfs 0.562 af

**Total Runoff Area = 14.776 ac Runoff Volume = 2.963 af Average Runoff Depth = 2.41"**  
**55.29% Pervious = 8.169 ac 44.71% Impervious = 6.607 ac**

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Page 34

**Summary for Subcatchment 1A: West Wet Pond Drainage Area**

Runoff = 22.76 cfs @ 12.13 hrs, Volume= 1.376 af, Depth= 2.99"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 1.252	98	Proposed Roof
* 0.759	98	Proposed Pavement
* 0.143	98	Proposed Sidewalk
* 0.529	98	Proposed Street
* 1.977	74	>75% Grass cover, Good, HSG C
* 0.280	100	Water/Infiltration Area
* 0.120	98	Offsite Sidewalk
* 0.225	98	Offsite Street
0.245	74	>75% Grass cover, Good, HSG C
5.530		Weighted Average
2.222		40.18% Pervious Area
3.308		59.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 35

**Summary for Pond 1P: West Wet Pond**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 2.97" for 10-Year event  
 Inflow = 25.43 cfs @ 12.13 hrs, Volume= 1.586 af  
 Outflow = 3.41 cfs @ 12.59 hrs, Volume= 1.539 af, Atten= 87%, Lag= 27.8 min  
 Primary = 3.41 cfs @ 12.59 hrs, Volume= 1.539 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 860.21' @ 12.59 hrs Surf.Area= 18,111 sf Storage= 40,651 cf

Plug-Flow detention time= 909.5 min calculated for 1.539 af (97% of inflow)  
 Center-of-Mass det. time= 890.9 min ( 1,662.8 - 771.9 )

Volume	Invert	Avail.Storage	Storage Description
#1	857.50'	71,963 cf	<b>Surface (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
857.50	12,000	0	0
858.00	13,000	6,250	6,250
859.00	15,300	14,150	20,400
860.00	17,600	16,450	36,850
861.00	20,000	18,800	55,650
861.75	23,500	16,313	71,963

Device	Routing	Invert	Outlet Devices
#1	Primary	857.50'	<b>15.0" Round Outlet Culvert</b> L= 136.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.23' S= 0.0020 '/ n= 0.013, Flow Area= 1.23 sf
#2	Device 1	857.50'	<b>3.0" Round Culvert</b> L= 5.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.50' S= 0.0000 '/ n= 0.010, Flow Area= 0.05 sf
#3	Device 1	860.00'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	861.10'	<b>20.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=3.40 cfs @ 12.59 hrs HW=860.21' TW=0.00' (Dynamic Tailwater)

↑ **1=Outlet Culvert** (Passes 3.40 cfs of 6.00 cfs potential flow)

↑ **2=Culvert** (Inlet Controls 0.38 cfs @ 7.75 fps)

↑ **3=Standpipe** (Weir Controls 3.02 cfs @ 1.51 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=857.50' TW=0.00' (Dynamic Tailwater)

↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

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Page 36

**Summary for Subcatchment 2A: Elvehjem Road Culvert Drainage Area**

Runoff = 3.50 cfs @ 12.13 hrs, Volume= 0.210 af, Depth= 2.89"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.124	98	Proposed Roof
* 0.014	98	Proposed Sidewalk
0.106	74	>75% Grass cover, Good, HSG C
* 0.145	98	Offsite Sidewalk
* 0.204	98	Offsite Street
0.279	74	>75% Grass cover, Good, HSG C
0.872		Weighted Average
0.385		44.15% Pervious Area
0.487		55.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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Page 37

**Summary for Pond 2P: Street Culvert**

Inflow Area = 0.872 ac, 55.85% Impervious, Inflow Depth = 2.89" for 10-Year event  
 Inflow = 3.50 cfs @ 12.13 hrs, Volume= 0.210 af  
 Outflow = 2.70 cfs @ 12.14 hrs, Volume= 0.210 af, Atten= 23%, Lag= 0.9 min  
 Primary = 2.70 cfs @ 12.14 hrs, Volume= 0.210 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 860.23' @ 12.58 hrs Surf.Area= 1,603 sf Storage= 659 cf

Plug-Flow detention time= 39.7 min calculated for 0.210 af (100% of inflow)  
 Center-of-Mass det. time= 38.9 min ( 809.2 - 770.3 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	12,325 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	100	0	0
860.00	900	375	375
861.00	4,000	2,450	2,825
862.00	15,000	9,500	12,325

Device	Routing	Invert	Outlet Devices
#1	Primary	859.25'	<b>15.0" Round Culvert</b> L= 37.0' Ke= 0.500 Inlet / Outlet Invert= 859.25' / 857.51' S= 0.0470 ' S= 0.0470 ' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Secondary	861.50'	<b>100.0' long x 20.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.68 2.70 2.70 2.64 2.63 2.64 2.64 2.63

**Primary OutFlow** Max=2.68 cfs @ 12.14 hrs HW=860.14' TW=859.56' (Dynamic Tailwater)  
 ↑1=Culvert (Outlet Controls 2.68 cfs @ 4.02 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↑2=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

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Page 38

**Summary for Subcatchment 3A: East Wet Pond Drainage Area**

Runoff = 14.72 cfs @ 12.13 hrs, Volume= 0.894 af, Depth= 2.82"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.942	98	Proposed Roof
* 0.873	98	Proposed Pavement
* 0.108	98	Proposed Sidewalk
* 0.277	58	Undisturbed Grass, HSG B
1.342	74	>75% Grass cover, Good, HSG C
* 0.207	100	Water/Infiltration Area
* 0.056	58	Offsite Grass, HSG B
3.805		Weighted Average
1.675		44.02% Pervious Area
2.130		55.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 39

**Summary for Pond 3P: East Wet Pond**

Inflow Area = 3.805 ac, 55.98% Impervious, Inflow Depth = 2.82" for 10-Year event  
 Inflow = 14.72 cfs @ 12.13 hrs, Volume= 0.894 af  
 Outflow = 1.49 cfs @ 12.76 hrs, Volume= 0.888 af, Atten= 90%, Lag= 38.0 min  
 Primary = 1.49 cfs @ 12.76 hrs, Volume= 0.888 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 862.61' @ 12.77 hrs Surf.Area= 9,258 sf Storage= 22,930 cf

Plug-Flow detention time= 611.3 min calculated for 0.887 af (99% of inflow)  
 Center-of-Mass det. time= 608.4 min ( 1,375.8 - 767.4 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.50'	37,100 cf	<b>Surface (Prismatic)</b> Listed below (Recalc) x 0.8
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.50	7,000	0	0
860.00	7,700	3,675	3,675
861.00	9,100	8,400	12,075
862.00	10,600	9,850	21,925
863.00	12,200	11,400	33,325
864.00	13,900	13,050	46,375

Device	Routing	Invert	Outlet Devices
#1	Primary	859.50'	<b>15.0" Round Outlet Culvert</b> L= 39.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.38' S= 0.0031 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	859.50'	<b>3.0" Round Culvert</b> L= 6.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.50' S= 0.0000 '/' Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	862.50'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	863.50'	<b>10.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=1.48 cfs @ 12.76 hrs HW=862.61' TW=859.81' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Passes 1.48 cfs of 8.92 cfs potential flow)  
 ↑ **2=Culvert** (Inlet Controls 0.40 cfs @ 8.05 fps)  
 ↑ **3=Standpipe** (Weir Controls 1.09 cfs @ 1.07 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.50' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

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Page 40

**Summary for Subcatchment 4A: Infiltration Basin Drainage Area**

Runoff = 3.60 cfs @ 12.16 hrs, Volume= 0.246 af, Depth= 1.32"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 1.245	58	Undisturbed Grass, HSG B
0.122	74	>75% Grass cover, Good, HSG C
* 0.321	100	Water/Infiltration Area
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
2.236		Weighted Average
1.861		83.23% Pervious Area
0.375		16.77% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
2.8	180	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
7.7	280	Total			

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Page 41

**Summary for Pond 4P: Infiltration Basin**

Inflow Area = 6.041 ac, 41.47% Impervious, Inflow Depth > 2.25" for 10-Year event  
 Inflow = 3.95 cfs @ 12.16 hrs, Volume= 1.134 af  
 Outflow = 0.91 cfs @ 13.78 hrs, Volume= 1.113 af, Atten= 77%, Lag= 97.3 min  
 Discarded = 0.02 cfs @ 7.40 hrs, Volume= 0.131 af  
 Primary = 0.42 cfs @ 13.78 hrs, Volume= 0.461 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af  
 Tertiary = 0.47 cfs @ 13.78 hrs, Volume= 0.520 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 859.96' @ 13.78 hrs Surf.Area= 16,851 sf Storage= 10,995 cf

Plug-Flow detention time= 302.2 min calculated for 1.113 af (98% of inflow)  
 Center-of-Mass det. time= 268.1 min ( 1,518.7 - 1,250.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	29,625 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	14,000	0	0
860.00	17,000	11,625	11,625
861.00	19,000	18,000	29,625

Device	Routing	Invert	Outlet Devices
#1	Primary	859.35'	<b>6.0" Round Culvert</b> L= 48.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0021 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#2	Tertiary	859.35'	<b>6.0" Round Culvert</b> L= 31.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0032 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#3	Secondary	860.75'	<b>30.0' long x 3.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 Coef. (English) 2.44 2.58 2.68 2.67 2.65 2.64 2.64 2.68 2.68 2.72 2.81 2.92 2.97 3.07 3.32
#4	Discarded	859.25'	<b>0.070 in/hr Exfiltration over Surface area from 859.24' - 859.26'</b> Excluded Surface area = 0 sf

**Discarded OutFlow** Max=0.02 cfs @ 7.40 hrs HW=859.27' (Free Discharge)  
 ↳4=Exfiltration (Exfiltration Controls 0.02 cfs)

**Primary OutFlow** Max=0.42 cfs @ 13.78 hrs HW=859.96' TW=0.00' (Dynamic Tailwater)  
 ↳1=Culvert (Barrel Controls 0.42 cfs @ 2.22 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↳3=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**Tertiary OutFlow** Max=0.47 cfs @ 13.78 hrs HW=859.96' TW=0.00' (Dynamic Tailwater)  
 ↳2=Culvert (Barrel Controls 0.47 cfs @ 2.47 fps)

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Page 42

**Summary for Subcatchment 5A: NorthEast Swale Drainage Area**

Runoff = 0.10 cfs @ 12.13 hrs, Volume= 0.006 af, Depth= 2.38"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.017	98	Offsite Sidewalk
* 0.015	58	Offsite Grass, HSG B
0.032		Weighted Average
0.015		46.87% Pervious Area
0.017		53.13% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 43

**Summary for Subcatchment 6A: SouthEast Swale Drainage Area**

Runoff = 0.67 cfs @ 12.13 hrs, Volume= 0.040 af, Depth= 2.17"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.034	98	Proposed Roof
0.075	74	>75% Grass cover, Good, HSG C
* 0.047	98	Offsite Sidewalk
* 0.068	58	Offsite Grass, HSG B
0.224		Weighted Average
0.143		63.84% Pervious Area
0.081		36.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 44

**Summary for Subcatchment 7A: Uncontrolled Drainage Area**

Runoff = 2.42 cfs @ 12.14 hrs, Volume= 0.149 af, Depth= 1.30"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.160	98	Proposed Roof
* 0.012	98	Proposed Sidewalk
* 0.037	98	Proposed Street
* 1.000	58	Deep Tilled HSG C Soils
0.166	74	>75% Grass cover, Good, HSG C
1.375		Weighted Average
1.166		84.80% Pervious Area
0.209		15.20% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

## PostDevelopment

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MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 45

### Summary for Link 7L: Post-Development

Inflow Area = 14.776 ac, 44.71% Impervious, Inflow Depth > 2.24" for 10-Year event  
Inflow = 4.59 cfs @ 12.56 hrs, Volume= 2.758 af  
Primary = 4.59 cfs @ 12.56 hrs, Volume= 2.758 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PostDevelopment**

MSE 24-hr 4 10-Year Rainfall=4.09"

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Page 46

**Summary for Subcatchment 8A: Wetland First Drainage Area**

Runoff = 0.65 cfs @ 12.15 hrs, Volume= 0.041 af, Depth= 0.71"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 10-Year Rainfall=4.09"

Area (ac)	CN	Description
* 0.702	58	>75% Grass cover, Good, HSG B
0.702		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

MSE 24-hr 4 10-Year Rainfall=4.09"

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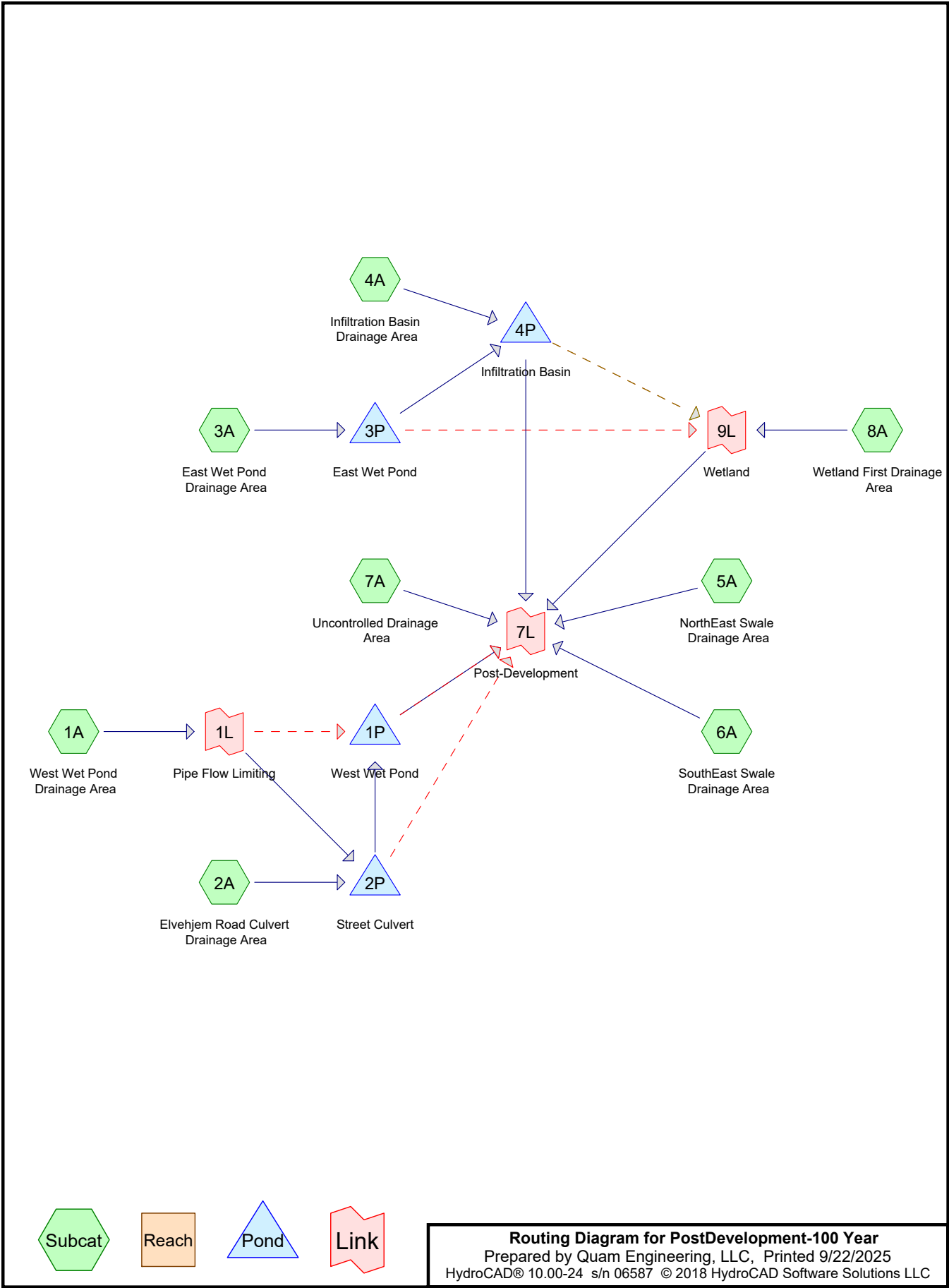
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Page 47

**Summary for Link 9L: Wetland**

Inflow Area = 0.702 ac, 0.00% Impervious, Inflow Depth = 9.60" for 10-Year event  
Inflow = 0.76 cfs @ 12.15 hrs, Volume= 0.562 af  
Primary = 0.76 cfs @ 12.15 hrs, Volume= 0.562 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs



## PostDevelopment-100 Year

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Page 2

### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.702	58	>75% Grass cover, Good, HSG B (8A)
4.312	74	>75% Grass cover, Good, HSG C (1A, 2A, 3A, 4A, 6A, 7A)
1.000	58	Deep Tilled HSG C Soils (7A)
0.633	58	Offsite Grass, HSG B (3A, 4A, 5A, 6A)
0.054	98	Offsite Roof (4A)
0.329	98	Offsite Sidewalk (1A, 2A, 5A, 6A)
0.429	98	Offsite Street (1A, 2A)
1.632	98	Proposed Pavement (1A, 3A)
2.512	98	Proposed Roof (1A, 2A, 3A, 6A, 7A)
0.277	98	Proposed Sidewalk (1A, 2A, 3A, 7A)
0.566	98	Proposed Street (1A, 7A)
1.522	58	Undisturbed Grass, HSG B (3A, 4A)
0.808	100	Water/Infiltration Area (1A, 3A, 4A)
<b>14.776</b>	<b>81</b>	<b>TOTAL AREA</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 3

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Wet Pond** Runoff Area=5.530 ac 59.82% Impervious Runoff Depth=5.36"  
Tc=6.0 min CN=WQ Runoff=40.75 cfs 2.470 af

**Link 1L: Pipe Flow Limiting** above 7.93 cfs below 7.93 cfs delayed by 6.0 min Inflow=40.75 cfs 2.470 af  
Primary=7.93 cfs 0.288 af Secondary=32.82 cfs 2.182 af

**Pond 1P: West Wet Pond** Peak Elev=861.21' Storage=59,885 cf Inflow=38.49 cfs 2.839 af  
Primary=7.52 cfs 2.743 af Secondary=1.74 cfs 0.045 af Outflow=9.26 cfs 2.789 af

**Subcatchment 2A: Elvehjem Road Culvert** Runoff Area=0.872 ac 55.85% Impervious Runoff Depth=5.24"  
Tc=6.0 min CN=WQ Runoff=6.33 cfs 0.381 af

**Pond 2P: Street Culvert** Peak Elev=861.74' Storage=8,756 cf Inflow=14.26 cfs 0.669 af  
Primary=6.32 cfs 0.657 af Secondary=1.81 cfs 0.011 af Outflow=6.64 cfs 0.669 af

**Subcatchment 3A: East Wet Pond Drainage** Runoff Area=3.805 ac 55.98% Impervious Runoff Depth=5.12"  
Tc=6.0 min CN=WQ Runoff=26.83 cfs 1.623 af

**Pond 3P: East Wet Pond** Peak Elev=862.94' Storage=35,117 cf Inflow=26.83 cfs 1.623 af  
Primary=9.52 cfs 1.607 af Secondary=0.00 cfs 0.000 af Outflow=9.52 cfs 1.607 af

**Subcatchment 4A: Infiltration Basin** Runoff Area=2.236 ac 16.77% Impervious Runoff Depth=3.01"  
Flow Length=280' Tc=7.7 min CN=WQ Runoff=9.16 cfs 0.561 af

**Pond 4P: Infiltration Basin** Peak Elev=860.85' Storage=26,790 cf Inflow=14.61 cfs 2.169 af  
Primary=0.85 cfs 0.867 af Secondary=2.30 cfs 0.148 af Tertiary=0.96 cfs 0.979 af Outflow=4.14 cfs 2.127 af

**Subcatchment 5A: NorthEast Swale** Runoff Area=0.032 ac 53.13% Impervious Runoff Depth=4.43"  
Tc=6.0 min CN=WQ Runoff=0.19 cfs 0.012 af

**Subcatchment 6A: SouthEast Swale** Runoff Area=0.224 ac 36.16% Impervious Runoff Depth=4.24"  
Tc=6.0 min CN=WQ Runoff=1.34 cfs 0.079 af

**Subcatchment 7A: Uncontrolled Drainage** Runoff Area=1.375 ac 15.20% Impervious Runoff Depth=3.01"  
Tc=6.0 min CN=WQ Runoff=6.08 cfs 0.345 af

**Link 7L: Post-Development** Inflow=13.92 cfs 5.358 af  
Primary=13.92 cfs 5.358 af

**Subcatchment 8A: Wetland First Drainage** Runoff Area=0.702 ac 0.00% Impervious Runoff Depth=2.18"  
Tc=6.0 min CN=58 Runoff=2.36 cfs 0.128 af

**Link 9L: Wetland** Inflow=3.55 cfs 1.255 af  
Primary=3.55 cfs 1.255 af

**Total Runoff Area = 14.776 ac Runoff Volume = 5.599 af Average Runoff Depth = 4.55"**  
**55.29% Pervious = 8.169 ac 44.71% Impervious = 6.607 ac**

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 4

**Summary for Subcatchment 1A: West Wet Pond Drainage Area**

Runoff = 40.75 cfs @ 12.13 hrs, Volume= 2.470 af, Depth= 5.36"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 1.252	98	Proposed Roof
* 0.759	98	Proposed Pavement
* 0.143	98	Proposed Sidewalk
* 0.529	98	Proposed Street
* 1.977	74	>75% Grass cover, Good, HSG C
* 0.280	100	Water/Infiltration Area
* 0.120	98	Offsite Sidewalk
* 0.225	98	Offsite Street
0.245	74	>75% Grass cover, Good, HSG C
5.530		Weighted Average
2.222		40.18% Pervious Area
3.308		59.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**Summary for Link 1L: Pipe Flow Limiting**

Inflow Area = 5.530 ac, 59.82% Impervious, Inflow Depth = 5.36" for 100-Year event  
Inflow = 40.75 cfs @ 12.13 hrs, Volume= 2.470 af  
Primary = 7.93 cfs @ 12.10 hrs, Volume= 0.288 af, Atten= 81%, Lag= 0.0 min  
Secondary = 32.82 cfs @ 12.23 hrs, Volume= 2.182 af

Primary outflow = Inflow above 7.93 cfs below 7.93 cfs delayed by 6.0 min, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 6

**Summary for Pond 1P: West Wet Pond**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 5.32" for 100-Year event  
 Inflow = 38.49 cfs @ 12.23 hrs, Volume= 2.839 af  
 Outflow = 9.26 cfs @ 12.65 hrs, Volume= 2.789 af, Atten= 76%, Lag= 25.7 min  
 Primary = 7.52 cfs @ 12.65 hrs, Volume= 2.743 af  
 Secondary = 1.74 cfs @ 12.65 hrs, Volume= 0.045 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.21' @ 12.65 hrs Surf.Area= 20,965 sf Storage= 59,885 cf

Plug-Flow detention time= 554.1 min calculated for 2.787 af (98% of inflow)  
 Center-of-Mass det. time= 544.0 min ( 1,317.6 - 773.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	857.50'	71,963 cf	<b>Surface (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
857.50	12,000	0	0
858.00	13,000	6,250	6,250
859.00	15,300	14,150	20,400
860.00	17,600	16,450	36,850
861.00	20,000	18,800	55,650
861.75	23,500	16,313	71,963

Device	Routing	Invert	Outlet Devices
#1	Primary	857.50'	<b>15.0" Round Outlet Culvert</b> L= 136.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.23' S= 0.0020 '/ Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	857.50'	<b>3.0" Round Culvert</b> L= 5.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.50' S= 0.0000 '/ Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	860.00'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	861.10'	<b>20.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=7.52 cfs @ 12.65 hrs HW=861.21' TW=0.00' (Dynamic Tailwater)  
 1=Outlet Culvert (Barrel Controls 7.52 cfs @ 6.13 fps)  
 2=Culvert (Passes < 0.45 cfs potential flow)  
 3=Standpipe (Passes < 37.38 cfs potential flow)

**Secondary OutFlow** Max=1.73 cfs @ 12.65 hrs HW=861.21' TW=0.00' (Dynamic Tailwater)  
 4=Broad-Crested Rectangular Weir (Weir Controls 1.73 cfs @ 0.81 fps)

**PostDevelopment-100 Year**

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Page 7

**Summary for Subcatchment 2A: Elvehjem Road Culvert Drainage Area**

Runoff = 6.33 cfs @ 12.13 hrs, Volume= 0.381 af, Depth= 5.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.124	98	Proposed Roof
* 0.014	98	Proposed Sidewalk
0.106	74	>75% Grass cover, Good, HSG C
* 0.145	98	Offsite Sidewalk
* 0.204	98	Offsite Street
0.279	74	>75% Grass cover, Good, HSG C
0.872		Weighted Average
0.385		44.15% Pervious Area
0.487		55.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 8

**Summary for Pond 2P: Street Culvert**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 1.25" for 100-Year event  
 Inflow = 14.26 cfs @ 12.13 hrs, Volume= 0.669 af  
 Outflow = 6.64 cfs @ 12.41 hrs, Volume= 0.669 af, Atten= 53%, Lag= 16.7 min  
 Primary = 6.32 cfs @ 12.14 hrs, Volume= 0.657 af  
 Secondary = 1.81 cfs @ 12.41 hrs, Volume= 0.011 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.74' @ 12.41 hrs Surf.Area= 12,103 sf Storage= 8,756 cf

Plug-Flow detention time= 30.5 min calculated for 0.669 af (100% of inflow)  
 Center-of-Mass det. time= 29.7 min ( 780.4 - 750.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	12,325 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	100	0	0
860.00	900	375	375
861.00	4,000	2,450	2,825
862.00	15,000	9,500	12,325

Device	Routing	Invert	Outlet Devices
#1	Primary	859.25'	<b>15.0" Round Culvert</b> L= 37.0' Ke= 0.500 Inlet / Outlet Invert= 859.25' / 857.51' S= 0.0470 ' S= 0.0470 ' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Secondary	861.70'	<b>100.0' long x 20.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.68 2.70 2.70 2.64 2.63 2.64 2.64 2.63

**Primary OutFlow** Max=6.28 cfs @ 12.14 hrs HW=861.20' TW=860.07' (Dynamic Tailwater)  
 ↑1=Culvert (Inlet Controls 6.28 cfs @ 5.12 fps)

**Secondary OutFlow** Max=1.60 cfs @ 12.41 hrs HW=861.73' TW=0.00' (Dynamic Tailwater)  
 ↑2=Broad-Crested Rectangular Weir (Weir Controls 1.60 cfs @ 0.49 fps)

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 9

**Summary for Subcatchment 3A: East Wet Pond Drainage Area**

Runoff = 26.83 cfs @ 12.13 hrs, Volume= 1.623 af, Depth= 5.12"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.942	98	Proposed Roof
* 0.873	98	Proposed Pavement
* 0.108	98	Proposed Sidewalk
* 0.277	58	Undisturbed Grass, HSG B
1.342	74	>75% Grass cover, Good, HSG C
* 0.207	100	Water/Infiltration Area
* 0.056	58	Offsite Grass, HSG B
3.805		Weighted Average
1.675		44.02% Pervious Area
2.130		55.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 10

**Summary for Pond 3P: East Wet Pond**

Inflow Area = 3.805 ac, 55.98% Impervious, Inflow Depth = 5.12" for 100-Year event  
 Inflow = 26.83 cfs @ 12.13 hrs, Volume= 1.623 af  
 Outflow = 9.52 cfs @ 12.29 hrs, Volume= 1.607 af, Atten= 65%, Lag= 9.8 min  
 Primary = 9.52 cfs @ 12.29 hrs, Volume= 1.607 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 862.94' @ 12.29 hrs Surf.Area= 12,640 sf Storage= 35,117 cf

Plug-Flow detention time= 619.9 min calculated for 1.607 af (99% of inflow)  
 Center-of-Mass det. time= 613.6 min ( 1,376.5 - 762.9 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.50'	49,300 cf	<b>Surface (Prismatic)</b> Listed below (Recalc) x 0.8
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.50	10,000	0	0
860.00	10,700	5,175	5,175
861.00	12,200	11,450	16,625
862.00	14,100	13,150	29,775
863.00	15,900	15,000	44,775
864.00	17,800	16,850	61,625

Device	Routing	Invert	Outlet Devices
#1	Primary	859.50'	<b>15.0" Round Outlet Culvert</b> L= 39.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.38' S= 0.0031 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	859.50'	<b>3.0" Round Culvert</b> L= 6.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.50' S= 0.0000 '/' Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	862.50'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	863.50'	<b>10.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=9.47 cfs @ 12.29 hrs HW=862.94' TW=860.26' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Passes 9.47 cfs of 9.65 cfs potential flow)  
 ↑ **2=Culvert** (Inlet Controls 0.39 cfs @ 7.89 fps)  
 ↑ **3=Standpipe** (Weir Controls 9.08 cfs @ 2.18 fps)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.50' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** ( Controls 0.00 cfs)

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 11

**Summary for Subcatchment 4A: Infiltration Basin Drainage Area**

Runoff = 9.16 cfs @ 12.15 hrs, Volume= 0.561 af, Depth= 3.01"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 1.245	58	Undisturbed Grass, HSG B
0.122	74	>75% Grass cover, Good, HSG C
* 0.321	100	Water/Infiltration Area
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
2.236		Weighted Average
1.861		83.23% Pervious Area
0.375		16.77% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
2.8	180	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
7.7	280	Total			

**Summary for Pond 4P: Infiltration Basin**

Inflow Area = 6.041 ac, 41.47% Impervious, Inflow Depth > 4.31" for 100-Year event  
 Inflow = 14.61 cfs @ 12.24 hrs, Volume= 2.169 af  
 Outflow = 4.14 cfs @ 12.87 hrs, Volume= 2.127 af, Atten= 72%, Lag= 37.9 min  
 Discarded = 0.02 cfs @ 5.90 hrs, Volume= 0.133 af  
 Primary = 0.85 cfs @ 12.87 hrs, Volume= 0.867 af  
 Secondary = 2.30 cfs @ 12.87 hrs, Volume= 0.148 af  
 Tertiary = 0.96 cfs @ 12.87 hrs, Volume= 0.979 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 860.85' @ 12.87 hrs Surf.Area= 18,699 sf Storage= 26,790 cf

Plug-Flow detention time= 249.8 min calculated for 2.126 af (98% of inflow)  
 Center-of-Mass det. time= 206.2 min ( 1,433.4 - 1,227.3 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	29,625 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	14,000	0	0
860.00	17,000	11,625	11,625
861.00	19,000	18,000	29,625

Device	Routing	Invert	Outlet Devices
#1	Primary	859.35'	<b>6.0" Round Culvert</b> L= 48.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0021 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#2	Tertiary	859.35'	<b>6.0" Round Culvert</b> L= 31.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0032 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#3	Secondary	860.75'	<b>30.0' long x 3.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 Coef. (English) 2.44 2.58 2.68 2.67 2.65 2.64 2.64 2.68 2.68 2.72 2.81 2.92 2.97 3.07 3.32
#4	Discarded	859.25'	<b>0.070 in/hr Exfiltration over Surface area from 859.24' - 859.26'</b> Excluded Surface area = 0 sf

**Discarded OutFlow** Max=0.02 cfs @ 5.90 hrs HW=859.27' (Free Discharge)  
 ↑4=Exfiltration (Exfiltration Controls 0.02 cfs)

**Primary OutFlow** Max=0.85 cfs @ 12.87 hrs HW=860.85' TW=0.00' (Dynamic Tailwater)  
 ↑1=Culvert (Barrel Controls 0.85 cfs @ 4.35 fps)

**Secondary OutFlow** Max=2.29 cfs @ 12.87 hrs HW=860.85' TW=0.00' (Dynamic Tailwater)  
 ↑3=Broad-Crested Rectangular Weir (Weir Controls 2.29 cfs @ 0.77 fps)

**Tertiary OutFlow** Max=0.96 cfs @ 12.87 hrs HW=860.85' TW=0.00' (Dynamic Tailwater)  
 ↑2=Culvert (Barrel Controls 0.96 cfs @ 4.90 fps)

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 13

**Summary for Subcatchment 5A: NorthEast Swale Drainage Area**

Runoff = 0.19 cfs @ 12.13 hrs, Volume= 0.012 af, Depth= 4.43"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.017	98	Offsite Sidewalk
* 0.015	58	Offsite Grass, HSG B
0.032		Weighted Average
0.015		46.87% Pervious Area
0.017		53.13% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 14

**Summary for Subcatchment 6A: SouthEast Swale Drainage Area**

Runoff = 1.34 cfs @ 12.13 hrs, Volume= 0.079 af, Depth= 4.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.034	98	Proposed Roof
0.075	74	>75% Grass cover, Good, HSG C
* 0.047	98	Offsite Sidewalk
* 0.068	58	Offsite Grass, HSG B
0.224		Weighted Average
0.143		63.84% Pervious Area
0.081		36.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 15

**Summary for Subcatchment 7A: Uncontrolled Drainage Area**

Runoff = 6.08 cfs @ 12.13 hrs, Volume= 0.345 af, Depth= 3.01"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.160	98	Proposed Roof
* 0.012	98	Proposed Sidewalk
* 0.037	98	Proposed Street
* 1.000	58	Deep Tilled HSG C Soils
0.166	74	>75% Grass cover, Good, HSG C
1.375		Weighted Average
1.166		84.80% Pervious Area
0.209		15.20% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 16

**Summary for Link 7L: Post-Development**

Inflow Area = 14.776 ac, 44.71% Impervious, Inflow Depth > 4.35" for 100-Year event  
Inflow = 13.92 cfs @ 12.20 hrs, Volume= 5.358 af  
Primary = 13.92 cfs @ 12.20 hrs, Volume= 5.358 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 17

**Summary for Subcatchment 8A: Wetland First Drainage Area**

Runoff = 2.36 cfs @ 12.14 hrs, Volume= 0.128 af, Depth= 2.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 100-Year Rainfall=6.66"

Area (ac)	CN	Description
* 0.702	58	>75% Grass cover, Good, HSG B
0.702		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment-100 Year**

MSE 24-hr 4 100-Year Rainfall=6.66"

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Page 18

**Summary for Link 9L: Wetland**

Inflow Area = 0.702 ac, 0.00% Impervious, Inflow Depth > 21.45" for 100-Year event  
Inflow = 3.55 cfs @ 12.87 hrs, Volume= 1.255 af  
Primary = 3.55 cfs @ 12.87 hrs, Volume= 1.255 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 63

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Wet Pond** Runoff Area=5.530 ac 59.82% Impervious Runoff Depth=6.18"  
Tc=6.0 min CN=WQ Runoff=46.94 cfs 2.850 af

**Pond 1P: West Wet Pond** Peak Elev=861.47' Storage=65,549 cf Inflow=49.59 cfs 3.311 af  
Primary=7.88 cfs 2.939 af Secondary=11.42 cfs 0.321 af Outflow=19.30 cfs 3.260 af

**Subcatchment 2A: Elvehjem Road Culvert** Runoff Area=0.872 ac 55.85% Impervious Runoff Depth=6.06"  
Tc=6.0 min CN=WQ Runoff=7.31 cfs 0.440 af

**Pond 2P: Street Culvert** Peak Elev=861.47' Storage=5,965 cf Inflow=7.31 cfs 0.440 af  
Primary=3.05 cfs 0.461 af Secondary=0.00 cfs 0.000 af Outflow=2.18 cfs 0.440 af

**Subcatchment 3A: East Wet Pond Drainage** Runoff Area=3.805 ac 55.98% Impervious Runoff Depth=5.93"  
Tc=6.0 min CN=WQ Runoff=31.04 cfs 1.879 af

**Pond 3P: East Wet Pond** Peak Elev=863.75' Storage=34,392 cf Inflow=31.04 cfs 1.879 af  
Primary=10.69 cfs 1.827 af Secondary=3.18 cfs 0.045 af Outflow=13.66 cfs 1.873 af

**Subcatchment 4A: Infiltration Basin** Runoff Area=2.236 ac 16.77% Impervious Runoff Depth=3.66"  
Flow Length=280' Tc=7.7 min CN=WQ Runoff=11.28 cfs 0.682 af

**Pond 4P: Infiltration Basin** Peak Elev=861.00' Storage=29,539 cf Inflow=21.94 cfs 2.510 af  
Primary=0.91 cfs 0.848 af Secondary=9.02 cfs 0.546 af Tertiary=1.02 cfs 0.957 af Outflow=10.97 cfs 2.484 af

**Subcatchment 5A: NorthEast Swale** Runoff Area=0.032 ac 53.13% Impervious Runoff Depth=5.17"  
Tc=6.0 min CN=WQ Runoff=0.23 cfs 0.014 af

**Subcatchment 6A: SouthEast Swale** Runoff Area=0.224 ac 36.16% Impervious Runoff Depth=4.99"  
Tc=6.0 min CN=WQ Runoff=1.59 cfs 0.093 af

**Subcatchment 7A: Uncontrolled Drainage** Runoff Area=1.375 ac 15.20% Impervious Runoff Depth=3.67"  
Tc=6.0 min CN=WQ Runoff=7.46 cfs 0.421 af

**Link 7L: Post-Development** Inflow=29.46 cfs 6.346 af  
Primary=29.46 cfs 6.346 af

**Subcatchment 8A: Wetland First Drainage** Runoff Area=0.702 ac 0.00% Impervious Runoff Depth=2.78"  
Tc=6.0 min CN=58 Runoff=3.04 cfs 0.162 af

**Link 9L: Wetland** Inflow=10.55 cfs 1.711 af  
Primary=10.55 cfs 1.711 af

**Total Runoff Area = 14.776 ac Runoff Volume = 6.542 af Average Runoff Depth = 5.31"**  
**55.29% Pervious = 8.169 ac 44.71% Impervious = 6.607 ac**

**PostDevelopment**

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MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 64

**Summary for Subcatchment 1A: West Wet Pond Drainage Area**

Runoff = 46.94 cfs @ 12.13 hrs, Volume= 2.850 af, Depth= 6.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 1.252	98	Proposed Roof
* 0.759	98	Proposed Pavement
* 0.143	98	Proposed Sidewalk
* 0.529	98	Proposed Street
* 1.977	74	>75% Grass cover, Good, HSG C
* 0.280	100	Water/Infiltration Area
* 0.120	98	Offsite Sidewalk
* 0.225	98	Offsite Street
0.245	74	>75% Grass cover, Good, HSG C
5.530		Weighted Average
2.222		40.18% Pervious Area
3.308		59.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

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Page 65

**Summary for Pond 1P: West Wet Pond**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 6.21" for 200-Year event  
 Inflow = 49.59 cfs @ 12.13 hrs, Volume= 3.311 af  
 Outflow = 19.30 cfs @ 12.27 hrs, Volume= 3.260 af, Atten= 61%, Lag= 8.1 min  
 Primary = 7.88 cfs @ 12.27 hrs, Volume= 2.939 af  
 Secondary = 11.42 cfs @ 12.27 hrs, Volume= 0.321 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.47' @ 12.27 hrs Surf.Area= 22,190 sf Storage= 65,549 cf

Plug-Flow detention time= 486.1 min calculated for 3.260 af (98% of inflow)  
 Center-of-Mass det. time= 475.8 min ( 1,240.9 - 765.2 )

Volume	Invert	Avail.Storage	Storage Description
#1	857.50'	71,963 cf	<b>Surface (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
857.50	12,000	0	0
858.00	13,000	6,250	6,250
859.00	15,300	14,150	20,400
860.00	17,600	16,450	36,850
861.00	20,000	18,800	55,650
861.75	23,500	16,313	71,963

Device	Routing	Invert	Outlet Devices
#1	Primary	857.50'	<b>15.0" Round Outlet Culvert</b> L= 136.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.23' S= 0.0020 '/ Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	857.50'	<b>3.0" Round Culvert</b> L= 5.0' Ke= 0.500 Inlet / Outlet Invert= 857.50' / 857.50' S= 0.0000 '/ Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	860.00'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	861.10'	<b>20.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=7.87 cfs @ 12.27 hrs HW=861.46' TW=0.00' (Dynamic Tailwater)

- ↑ 1=Outlet Culvert (Barrel Controls 7.87 cfs @ 6.41 fps)
- ↑ 2=Culvert (Passes < 0.46 cfs potential flow)
- ↑ 3=Standpipe (Passes < 41.12 cfs potential flow)

**Secondary OutFlow** Max=11.00 cfs @ 12.27 hrs HW=861.46' TW=0.00' (Dynamic Tailwater)

- ↑ 4=Broad-Crested Rectangular Weir (Weir Controls 11.00 cfs @ 1.53 fps)

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 66

**Summary for Subcatchment 2A: Elvehjem Road Culvert Drainage Area**

Runoff = 7.31 cfs @ 12.13 hrs, Volume= 0.440 af, Depth= 6.06"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.124	98	Proposed Roof
* 0.014	98	Proposed Sidewalk
0.106	74	>75% Grass cover, Good, HSG C
* 0.145	98	Offsite Sidewalk
* 0.204	98	Offsite Street
0.279	74	>75% Grass cover, Good, HSG C
0.872		Weighted Average
0.385		44.15% Pervious Area
0.487		55.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 67

**Summary for Pond 2P: Street Culvert**

Inflow Area = 0.872 ac, 55.85% Impervious, Inflow Depth = 6.06" for 200-Year event  
 Inflow = 7.31 cfs @ 12.13 hrs, Volume= 0.440 af  
 Outflow = 2.18 cfs @ 12.62 hrs, Volume= 0.440 af, Atten= 70%, Lag= 29.4 min  
 Primary = 3.05 cfs @ 12.16 hrs, Volume= 0.461 af  
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.47' @ 12.40 hrs Surf.Area= 9,224 sf Storage= 5,965 cf

Plug-Flow detention time= 40.8 min calculated for 0.440 af (100% of inflow)  
 Center-of-Mass det. time= 41.2 min ( 803.9 - 762.7 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	12,325 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	100	0	0
860.00	900	375	375
861.00	4,000	2,450	2,825
862.00	15,000	9,500	12,325

Device	Routing	Invert	Outlet Devices
#1	Primary	859.25'	<b>15.0" Round Culvert</b> L= 37.0' Ke= 0.500 Inlet / Outlet Invert= 859.25' / 857.51' S= 0.0470 ' S= 0.0470 ' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Secondary	861.50'	<b>100.0' long x 20.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.68 2.70 2.70 2.64 2.63 2.64 2.64 2.63

**Primary OutFlow** Max=0.00 cfs @ 12.16 hrs HW=861.14' TW=861.19' (Dynamic Tailwater)  
 ↑1=Culvert ( Controls 0.00 cfs)

**Secondary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=859.25' TW=0.00' (Dynamic Tailwater)  
 ↑2=Broad-Crested Rectangular Weir ( Controls 0.00 cfs)

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 68

**Summary for Subcatchment 3A: East Wet Pond Drainage Area**

Runoff = 31.04 cfs @ 12.13 hrs, Volume= 1.879 af, Depth= 5.93"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.942	98	Proposed Roof
* 0.873	98	Proposed Pavement
* 0.108	98	Proposed Sidewalk
* 0.277	58	Undisturbed Grass, HSG B
1.342	74	>75% Grass cover, Good, HSG C
* 0.207	100	Water/Infiltration Area
* 0.056	58	Offsite Grass, HSG B
3.805		Weighted Average
1.675		44.02% Pervious Area
2.130		55.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 69

**Summary for Pond 3P: East Wet Pond**

Inflow Area = 3.805 ac, 55.98% Impervious, Inflow Depth = 5.93" for 200-Year event  
 Inflow = 31.04 cfs @ 12.13 hrs, Volume= 1.879 af  
 Outflow = 13.66 cfs @ 12.25 hrs, Volume= 1.873 af, Atten= 56%, Lag= 7.3 min  
 Primary = 10.69 cfs @ 12.18 hrs, Volume= 1.827 af  
 Secondary = 3.18 cfs @ 12.26 hrs, Volume= 0.045 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 863.75' @ 12.26 hrs Surf.Area= 10,784 sf Storage= 34,392 cf

Plug-Flow detention time= 363.9 min calculated for 1.873 af (100% of inflow)  
 Center-of-Mass det. time= 361.5 min ( 1,123.1 - 761.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.50'	37,100 cf	<b>Surface (Prismatic)</b> Listed below (Recalc) x 0.8
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.50	7,000	0	0
860.00	7,700	3,675	3,675
861.00	9,100	8,400	12,075
862.00	10,600	9,850	21,925
863.00	12,200	11,400	33,325
864.00	13,900	13,050	46,375

Device	Routing	Invert	Outlet Devices
#1	Primary	859.50'	<b>15.0" Round Outlet Culvert</b> L= 39.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.38' S= 0.0031 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	859.50'	<b>3.0" Round Culvert</b> L= 6.0' Ke= 0.500 Inlet / Outlet Invert= 859.50' / 859.50' S= 0.0000 '/' Cc= 0.900 n= 0.010, Flow Area= 0.05 sf
#3	Device 1	862.50'	<b>36.0" Horiz. Standpipe</b> C= 0.600 Limited to weir flow at low heads
#4	Secondary	863.50'	<b>10.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Primary OutFlow** Max=10.67 cfs @ 12.18 hrs HW=863.62' TW=860.36' (Dynamic Tailwater)  
 ↑ **1=Outlet Culvert** (Inlet Controls 10.67 cfs @ 8.69 fps)  
 ↑ **2=Culvert** (Passes < 0.43 cfs potential flow)  
 ↑ **3=Standpipe** (Passes < 36.07 cfs potential flow)

**Secondary OutFlow** Max=3.08 cfs @ 12.26 hrs HW=863.75' TW=0.00' (Dynamic Tailwater)  
 ↑ **4=Broad-Crested Rectangular Weir** (Weir Controls 3.08 cfs @ 1.25 fps)

**PostDevelopment**

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MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 70

**Summary for Subcatchment 4A: Infiltration Basin Drainage Area**

Runoff = 11.28 cfs @ 12.15 hrs, Volume= 0.682 af, Depth= 3.66"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 1.245	58	Undisturbed Grass, HSG B
0.122	74	>75% Grass cover, Good, HSG C
* 0.321	100	Water/Infiltration Area
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
2.236		Weighted Average
1.861		83.23% Pervious Area
0.375		16.77% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
2.8	180	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
7.7	280	Total			

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 71

**Summary for Pond 4P: Infiltration Basin**

Inflow Area = 6.041 ac, 41.47% Impervious, Inflow Depth > 4.99" for 200-Year event  
 Inflow = 21.94 cfs @ 12.15 hrs, Volume= 2.510 af  
 Outflow = 10.97 cfs @ 12.59 hrs, Volume= 2.484 af, Atten= 50%, Lag= 26.0 min  
 Discarded = 0.02 cfs @ 5.05 hrs, Volume= 0.134 af  
 Primary = 0.91 cfs @ 12.59 hrs, Volume= 0.848 af  
 Secondary = 9.02 cfs @ 12.59 hrs, Volume= 0.546 af  
 Tertiary = 1.02 cfs @ 12.59 hrs, Volume= 0.957 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.00' @ 12.59 hrs Surf.Area= 18,991 sf Storage= 29,539 cf

Plug-Flow detention time= 210.7 min calculated for 2.484 af (99% of inflow)  
 Center-of-Mass det. time= 188.9 min ( 1,230.8 - 1,041.8 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	29,625 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	14,000	0	0
860.00	17,000	11,625	11,625
861.00	19,000	18,000	29,625

Device	Routing	Invert	Outlet Devices
#1	Primary	859.35'	<b>6.0" Round Culvert</b> L= 48.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0021 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#2	Tertiary	859.35'	<b>6.0" Round Culvert</b> L= 31.0' Ke= 0.500 Inlet / Outlet Invert= 859.35' / 859.25' S= 0.0032 '/' Cc= 0.900 n= 0.010, Flow Area= 0.20 sf
#3	Secondary	860.75'	<b>30.0' long x 3.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 Coef. (English) 2.44 2.58 2.68 2.67 2.65 2.64 2.64 2.68 2.68 2.72 2.81 2.92 2.97 3.07 3.32
#4	Discarded	859.25'	<b>0.070 in/hr Exfiltration over Surface area from 859.24' - 859.26'</b> Excluded Surface area = 0 sf

**Discarded OutFlow** Max=0.02 cfs @ 5.05 hrs HW=859.27' (Free Discharge)  
 ↳4=Exfiltration (Exfiltration Controls 0.02 cfs)

**Primary OutFlow** Max=0.91 cfs @ 12.59 hrs HW=861.00' TW=0.00' (Dynamic Tailwater)  
 ↳1=Culvert (Barrel Controls 0.91 cfs @ 4.63 fps)

**Secondary OutFlow** Max=9.00 cfs @ 12.59 hrs HW=861.00' TW=0.00' (Dynamic Tailwater)  
 ↳3=Broad-Crested Rectangular Weir (Weir Controls 9.00 cfs @ 1.22 fps)

**Tertiary OutFlow** Max=1.02 cfs @ 12.59 hrs HW=861.00' TW=0.00' (Dynamic Tailwater)  
 ↳2=Culvert (Barrel Controls 1.02 cfs @ 5.21 fps)

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 72

**Summary for Subcatchment 5A: NorthEast Swale Drainage Area**

Runoff = 0.23 cfs @ 12.13 hrs, Volume= 0.014 af, Depth= 5.17"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.017	98	Offsite Sidewalk
* 0.015	58	Offsite Grass, HSG B
0.032		Weighted Average
0.015		46.87% Pervious Area
0.017		53.13% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 73

**Summary for Subcatchment 6A: SouthEast Swale Drainage Area**

Runoff = 1.59 cfs @ 12.13 hrs, Volume= 0.093 af, Depth= 4.99"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.034	98	Proposed Roof
0.075	74	>75% Grass cover, Good, HSG C
* 0.047	98	Offsite Sidewalk
* 0.068	58	Offsite Grass, HSG B
0.224		Weighted Average
0.143		63.84% Pervious Area
0.081		36.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 74

**Summary for Subcatchment 7A: Uncontrolled Drainage Area**

Runoff = 7.46 cfs @ 12.13 hrs, Volume= 0.421 af, Depth= 3.67"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.160	98	Proposed Roof
* 0.012	98	Proposed Sidewalk
* 0.037	98	Proposed Street
* 1.000	58	Deep Tilled HSG C Soils
0.166	74	>75% Grass cover, Good, HSG C
1.375		Weighted Average
1.166		84.80% Pervious Area
0.209		15.20% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

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MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 75

### Summary for Link 7L: Post-Development

Inflow Area = 14.776 ac, 44.71% Impervious, Inflow Depth > 5.15" for 200-Year event  
Inflow = 29.46 cfs @ 12.25 hrs, Volume= 6.346 af  
Primary = 29.46 cfs @ 12.25 hrs, Volume= 6.346 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 76

**Summary for Subcatchment 8A: Wetland First Drainage Area**

Runoff = 3.04 cfs @ 12.14 hrs, Volume= 0.162 af, Depth= 2.78"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.702	58	>75% Grass cover, Good, HSG B
0.702		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**PostDevelopment**

MSE 24-hr 4 200-Year Rainfall=7.53"

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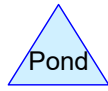
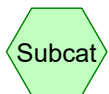
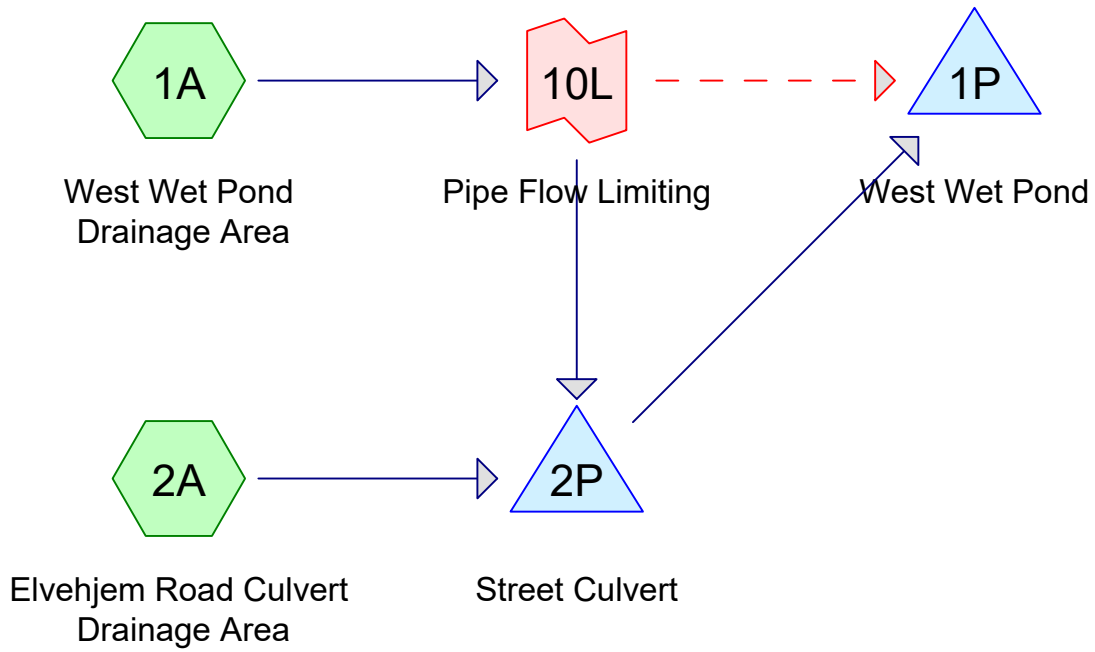
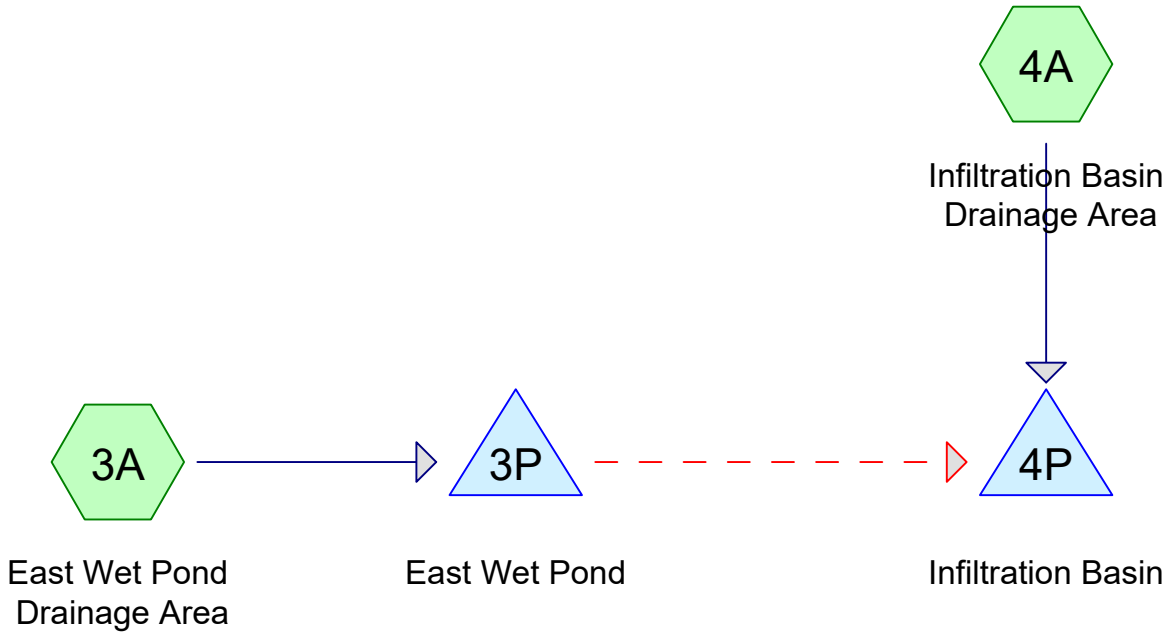
Page 77

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**Summary for Link 9L: Wetland**

Inflow Area = 0.702 ac, 0.00% Impervious, Inflow Depth = 29.24" for 200-Year event  
Inflow = 10.55 cfs @ 12.57 hrs, Volume= 1.711 af  
Primary = 10.55 cfs @ 12.57 hrs, Volume= 1.711 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs



**Routing Diagram for Inundation**  
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## Inundation

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Page 2

### Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
4.071	74	>75% Grass cover, Good, HSG C (1A, 2A, 3A, 4A)
0.550	58	Offsite Grass, HSG B (3A, 4A)
0.054	98	Offsite Roof (4A)
0.265	98	Offsite Sidewalk (1A, 2A)
0.429	98	Offsite Street (1A, 2A)
1.632	98	Proposed Pavement (1A, 3A)
2.318	98	Proposed Roof (1A, 2A, 3A)
0.265	98	Proposed Sidewalk (1A, 2A, 3A)
0.529	98	Proposed Street (1A)
1.522	58	Undisturbed Grass, HSG B (3A, 4A)
0.808	100	Water/Infiltration Area (1A, 3A, 4A)
<b>12.443</b>	<b>84</b>	<b>TOTAL AREA</b>

# Inundation

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 3

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points x 3  
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q  
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment 1A: West Wet Pond** Runoff Area=5.530 ac 59.82% Impervious Runoff Depth=6.18"  
Tc=6.0 min CN=WQ Runoff=46.94 cfs 2.850 af

**Pond 1P: West Wet Pond** Peak Elev=861.54' Storage=67,073 cf Inflow=41.99 cfs 3.082 af  
Outflow=14.96 cfs 1.758 af

**Subcatchment 2A: Elvehjem Road Culvert** Runoff Area=0.872 ac 55.85% Impervious Runoff Depth=6.06"  
Tc=6.0 min CN=WQ Runoff=7.31 cfs 0.440 af

**Pond 2P: Street Culvert** Peak Elev=861.80' Storage=9,551 cf Inflow=16.68 cfs 0.772 af  
Primary=5.42 cfs 0.563 af Secondary=8.53 cfs 0.133 af Outflow=11.63 cfs 0.697 af

**Subcatchment 3A: East Wet Pond Drainage** Runoff Area=3.805 ac 55.98% Impervious Runoff Depth=5.93"  
Tc=6.0 min CN=WQ Runoff=31.04 cfs 1.879 af

**Pond 3P: East Wet Pond** Peak Elev=863.93' Storage=48,242 cf Inflow=31.04 cfs 1.879 af  
Outflow=7.15 cfs 0.907 af

**Subcatchment 4A: Infiltration Basin** Runoff Area=2.236 ac 16.77% Impervious Runoff Depth=3.66"  
Flow Length=280' Tc=7.7 min CN=WQ Runoff=11.28 cfs 0.682 af

**Pond 4P: Infiltration Basin** Peak Elev=860.91' Storage=27,920 cf Inflow=11.34 cfs 1.589 af  
Discarded=0.02 cfs 0.134 af Secondary=4.68 cfs 0.966 af Outflow=4.70 cfs 1.100 af

**Link 10L: Pipe Flow Limiting** above 9.37 cfs below 9.37 cfs delayed by 6.0 min Inflow=46.94 cfs 2.850 af  
Primary=9.37 cfs 0.331 af Secondary=37.57 cfs 2.519 af

**Total Runoff Area = 12.443 ac Runoff Volume = 5.852 af Average Runoff Depth = 5.64"**  
**49.37% Pervious = 6.143 ac 50.63% Impervious = 6.300 ac**

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 4

**Summary for Subcatchment 1A: West Wet Pond Drainage Area**

Runoff = 46.94 cfs @ 12.13 hrs, Volume= 2.850 af, Depth= 6.18"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 1.252	98	Proposed Roof
* 0.759	98	Proposed Pavement
* 0.143	98	Proposed Sidewalk
* 0.529	98	Proposed Street
* 1.977	74	>75% Grass cover, Good, HSG C
* 0.280	100	Water/Infiltration Area
* 0.120	98	Offsite Sidewalk
* 0.225	98	Offsite Street
0.245	74	>75% Grass cover, Good, HSG C
5.530		Weighted Average
2.222		40.18% Pervious Area
3.308		59.82% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 5

**Summary for Pond 1P: West Wet Pond**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 5.78" for 200-Year event  
 Inflow = 41.99 cfs @ 12.23 hrs, Volume= 3.082 af  
 Outflow = 14.96 cfs @ 12.36 hrs, Volume= 1.758 af, Atten= 64%, Lag= 8.3 min  
 Secondary = 14.96 cfs @ 12.36 hrs, Volume= 1.758 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.54' @ 12.36 hrs Surf.Area= 22,508 sf Storage= 67,073 cf

Plug-Flow detention time= 226.2 min calculated for 1.758 af (57% of inflow)  
 Center-of-Mass det. time= 118.2 min ( 889.7 - 771.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	857.50'	71,963 cf	<b>Surface (Prismatic)</b> Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
857.50	12,000	0	0
858.00	13,000	6,250	6,250
859.00	15,300	14,150	20,400
860.00	17,600	16,450	36,850
861.00	20,000	18,800	55,650
861.75	23,500	16,313	71,963

Device	Routing	Invert	Outlet Devices
#1	Secondary	861.10'	<b>20.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Secondary OutFlow** Max=14.69 cfs @ 12.36 hrs HW=861.53' (Free Discharge)  
 ↑1=**Broad-Crested Rectangular Weir** (Weir Controls 14.69 cfs @ 1.70 fps)

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 6

**Summary for Subcatchment 2A: Elvehjem Road Culvert Drainage Area**

Runoff = 7.31 cfs @ 12.13 hrs, Volume= 0.440 af, Depth= 6.06"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.124	98	Proposed Roof
* 0.014	98	Proposed Sidewalk
0.106	74	>75% Grass cover, Good, HSG C
* 0.145	98	Offsite Sidewalk
* 0.204	98	Offsite Street
0.279	74	>75% Grass cover, Good, HSG C
0.872		Weighted Average
0.385		44.15% Pervious Area
0.487		55.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 7

**Summary for Pond 2P: Street Culvert**

Inflow Area = 6.402 ac, 59.28% Impervious, Inflow Depth = 1.45" for 200-Year event  
 Inflow = 16.68 cfs @ 12.13 hrs, Volume= 0.772 af  
 Outflow = 11.63 cfs @ 12.33 hrs, Volume= 0.697 af, Atten= 30%, Lag= 11.9 min  
 Primary = 5.42 cfs @ 12.13 hrs, Volume= 0.563 af  
 Secondary = 8.53 cfs @ 12.33 hrs, Volume= 0.133 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 861.80' @ 12.33 hrs Surf.Area= 12,805 sf Storage= 9,551 cf

Plug-Flow detention time= 57.8 min calculated for 0.697 af (90% of inflow)  
 Center-of-Mass det. time= 22.1 min ( 771.9 - 749.9 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	12,325 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	100	0	0
860.00	900	375	375
861.00	4,000	2,450	2,825
862.00	15,000	9,500	12,325

Device	Routing	Invert	Outlet Devices
#1	Primary	859.25'	<b>15.0" Round Culvert</b> L= 37.0' Ke= 0.500 Inlet / Outlet Invert= 859.25' / 857.51' S= 0.0470 ' S= 0.0470 ' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Secondary	861.70'	<b>100.0' long x 20.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.68 2.70 2.70 2.64 2.63 2.64 2.64 2.63

**Primary OutFlow** Max=5.36 cfs @ 12.13 hrs HW=861.40' TW=860.58' (Dynamic Tailwater)  
 ↑1=Culvert (Inlet Controls 5.36 cfs @ 4.36 fps)

**Secondary OutFlow** Max=8.27 cfs @ 12.33 hrs HW=861.80' (Free Discharge)  
 ↑2=Broad-Crested Rectangular Weir (Weir Controls 8.27 cfs @ 0.84 fps)

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Page 8

**Summary for Subcatchment 3A: East Wet Pond Drainage Area**

Runoff = 31.04 cfs @ 12.13 hrs, Volume= 1.879 af, Depth= 5.93"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 0.942	98	Proposed Roof
* 0.873	98	Proposed Pavement
* 0.108	98	Proposed Sidewalk
* 0.277	58	Undisturbed Grass, HSG B
1.342	74	>75% Grass cover, Good, HSG C
* 0.207	100	Water/Infiltration Area
* 0.056	58	Offsite Grass, HSG B
3.805		Weighted Average
1.675		44.02% Pervious Area
2.130		55.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					<b>Direct Entry,</b>

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 9

**Summary for Pond 3P: East Wet Pond**

Inflow Area = 3.805 ac, 55.98% Impervious, Inflow Depth = 5.93" for 200-Year event  
 Inflow = 31.04 cfs @ 12.13 hrs, Volume= 1.879 af  
 Outflow = 7.15 cfs @ 12.40 hrs, Volume= 0.907 af, Atten= 77%, Lag= 16.2 min  
 Secondary = 7.15 cfs @ 12.40 hrs, Volume= 0.907 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 863.93' @ 12.40 hrs Surf.Area= 14,127 sf Storage= 48,242 cf

Plug-Flow detention time= 250.0 min calculated for 0.906 af (48% of inflow)  
 Center-of-Mass det. time= 139.0 min ( 900.6 - 761.6 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.50'	49,300 cf	<b>Surface (Prismatic)</b> Listed below (Recalc) x 0.8

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.50	10,000	0	0
860.00	10,700	5,175	5,175
861.00	12,200	11,450	16,625
862.00	14,100	13,150	29,775
863.00	15,900	15,000	44,775
864.00	17,800	16,850	61,625

Device	Routing	Invert	Outlet Devices
#1	Secondary	863.50'	<b>10.0' long x 10.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

**Secondary OutFlow** Max=7.15 cfs @ 12.40 hrs HW=863.93' TW=860.41' (Dynamic Tailwater)  
 ↳1=Broad-Crested Rectangular Weir (Weir Controls 7.15 cfs @ 1.68 fps)

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 10

**Summary for Subcatchment 4A: Infiltration Basin Drainage Area**

Runoff = 11.28 cfs @ 12.15 hrs, Volume= 0.682 af, Depth= 3.66"

Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 MSE 24-hr 4 200-Year Rainfall=7.53"

Area (ac)	CN	Description
* 1.245	58	Undisturbed Grass, HSG B
0.122	74	>75% Grass cover, Good, HSG C
* 0.321	100	Water/Infiltration Area
* 0.054	98	Offsite Roof
* 0.494	58	Offsite Grass, HSG B
2.236		Weighted Average
1.861		83.23% Pervious Area
0.375		16.77% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
3.4	50	0.0800	0.24		<b>Sheet Flow,</b> Grass: Short n= 0.150 P2= 2.84"
1.5	50	0.1000	0.55		<b>Sheet Flow,</b> Cultivated: Residue<=20% n= 0.060 P2= 2.84"
2.8	180	0.0140	1.06		<b>Shallow Concentrated Flow,</b> Cultivated Straight Rows Kv= 9.0 fps
7.7	280	Total			

**Inundation**

MSE 24-hr 4 200-Year Rainfall=7.53"

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Page 11

**Summary for Pond 4P: Infiltration Basin**

Inflow Area = 2.236 ac, 16.77% Impervious, Inflow Depth = 8.53" for 200-Year event  
 Inflow = 11.34 cfs @ 12.16 hrs, Volume= 1.589 af  
 Outflow = 4.70 cfs @ 12.92 hrs, Volume= 1.100 af, Atten= 59%, Lag= 45.4 min  
 Discarded = 0.02 cfs @ 7.00 hrs, Volume= 0.134 af  
 Secondary = 4.68 cfs @ 12.92 hrs, Volume= 0.966 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs / 3  
 Peak Elev= 860.91' @ 12.92 hrs Surf.Area= 18,820 sf Storage= 27,920 cf

Plug-Flow detention time= 351.8 min calculated for 1.100 af (69% of inflow)  
 Center-of-Mass det. time= 246.2 min ( 1,103.0 - 856.8 )

Volume	Invert	Avail.Storage	Storage Description
#1	859.25'	29,625 cf	<b>Custom Stage Data (Prismatic)</b> Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
859.25	14,000	0	0
860.00	17,000	11,625	11,625
861.00	19,000	18,000	29,625

Device	Routing	Invert	Outlet Devices
#1	Secondary	860.75'	<b>30.0' long x 3.0' breadth Broad-Crested Rectangular Weir</b> Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 Coef. (English) 2.44 2.58 2.68 2.67 2.65 2.64 2.64 2.68 2.68 2.72 2.81 2.92 2.97 3.07 3.32
#2	Discarded	859.25'	<b>0.070 in/hr Exfiltration over Surface area from 859.24' - 859.26'</b> Excluded Surface area = 0 sf

**Discarded OutFlow** Max=0.02 cfs @ 7.00 hrs HW=859.27' (Free Discharge)  
 ↳ **2=Exfiltration** (Exfiltration Controls 0.02 cfs)

**Secondary OutFlow** Max=4.66 cfs @ 12.92 hrs HW=860.91' (Free Discharge)  
 ↳ **1=Broad-Crested Rectangular Weir** (Weir Controls 4.66 cfs @ 0.97 fps)

## Inundation

Prepared by Quam Engineering, LLC

HydroCAD® 10.00-24 s/n 06587 © 2018 HydroCAD Software Solutions LLC

MSE 24-hr 4 200-Year Rainfall=7.53"

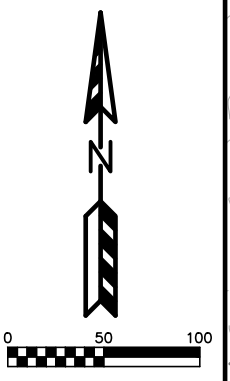
Printed 9/23/2025

Page 12

### Summary for Link 10L: Pipe Flow Limiting

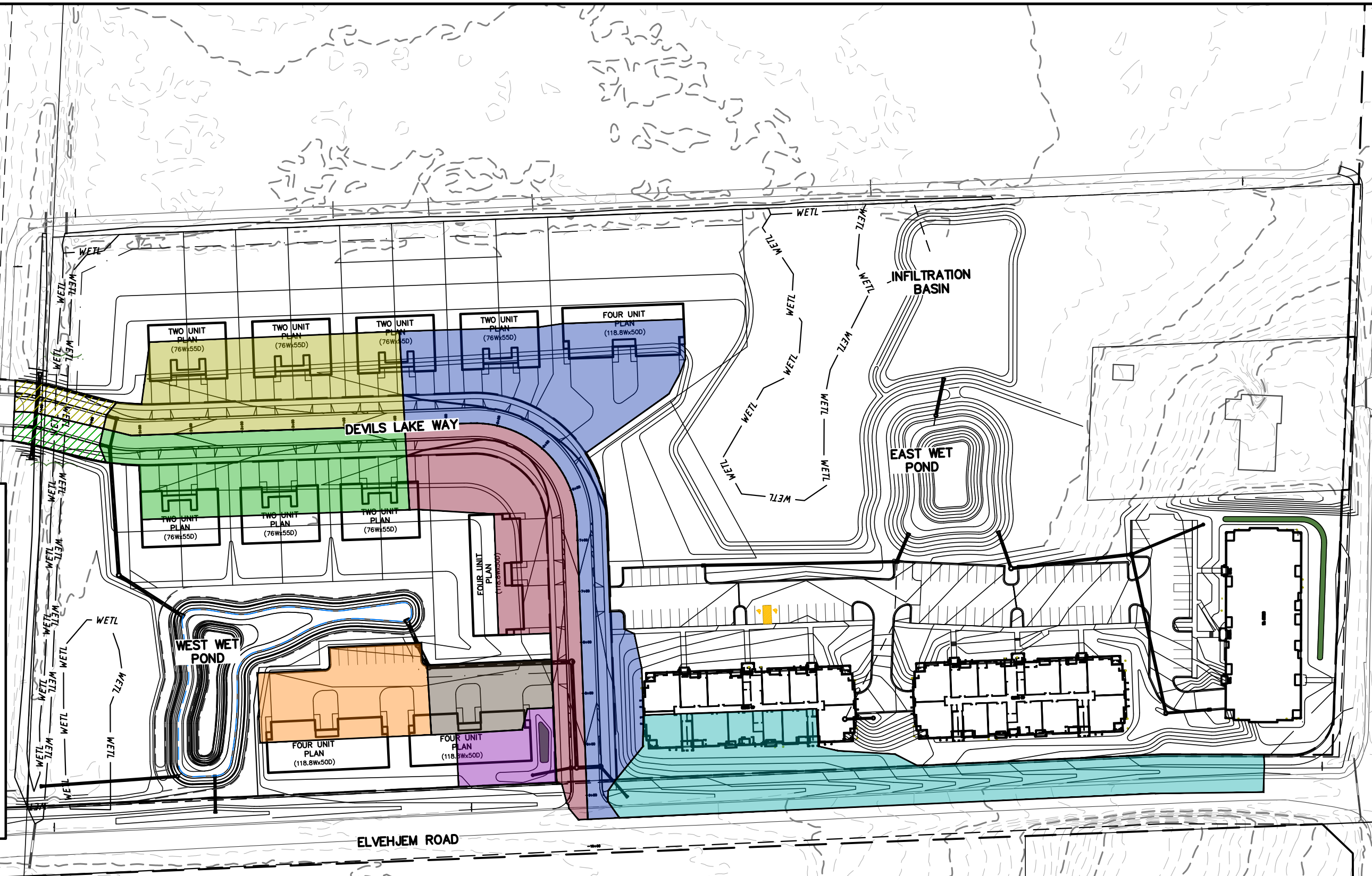
Inflow Area = 5.530 ac, 59.82% Impervious, Inflow Depth = 6.18" for 200-Year event  
Inflow = 46.94 cfs @ 12.13 hrs, Volume= 2.850 af  
Primary = 9.37 cfs @ 12.10 hrs, Volume= 0.331 af, Atten= 80%, Lag= 0.0 min  
Secondary = 37.57 cfs @ 12.23 hrs, Volume= 2.519 af

Primary outflow = Inflow above 9.37 cfs below 9.37 cfs delayed by 6.0 min, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs



**LEGEND FOR DRAINAGE AREAS:**

	DOUBLE INLET #3.1 & #3.3 AREA = 0.533 ACRES
	DOUBLE INLET #3 & 3.2 AREA = 0.537 ACRES
	INLET #8.1 AREA = 0.050 ACRES
	INLET #8 AREA = 0.050 ACRES
	INFALL AREA = 0.835 ACRES
	INLET #7.1 AREA = 0.921 ACRES
	CATCH BASIN #7.3 AREA = 0.130 ACRES
	INLET #7.2 AREA = 0.618 ACRES
	CATCH BASIN #5 AREA = 0.176 ACRES
	CATCH BASIN #4 AREA = 0.309 ACRES



CTH AB

**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 PHASE 1 STORM SEWER DRAINAGE PLAN  
 EXHIBIT: #7  
 DATED: AUGUST 5, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

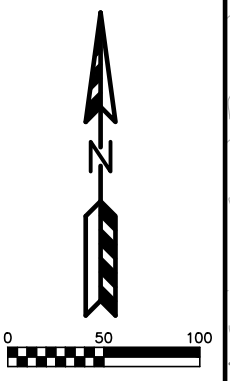
## Phase 1 Rational Method Worksheet - Storm Sewer Sizing

PROJECT: Sperle Corners - Village of McFarland

Computed by: MAF

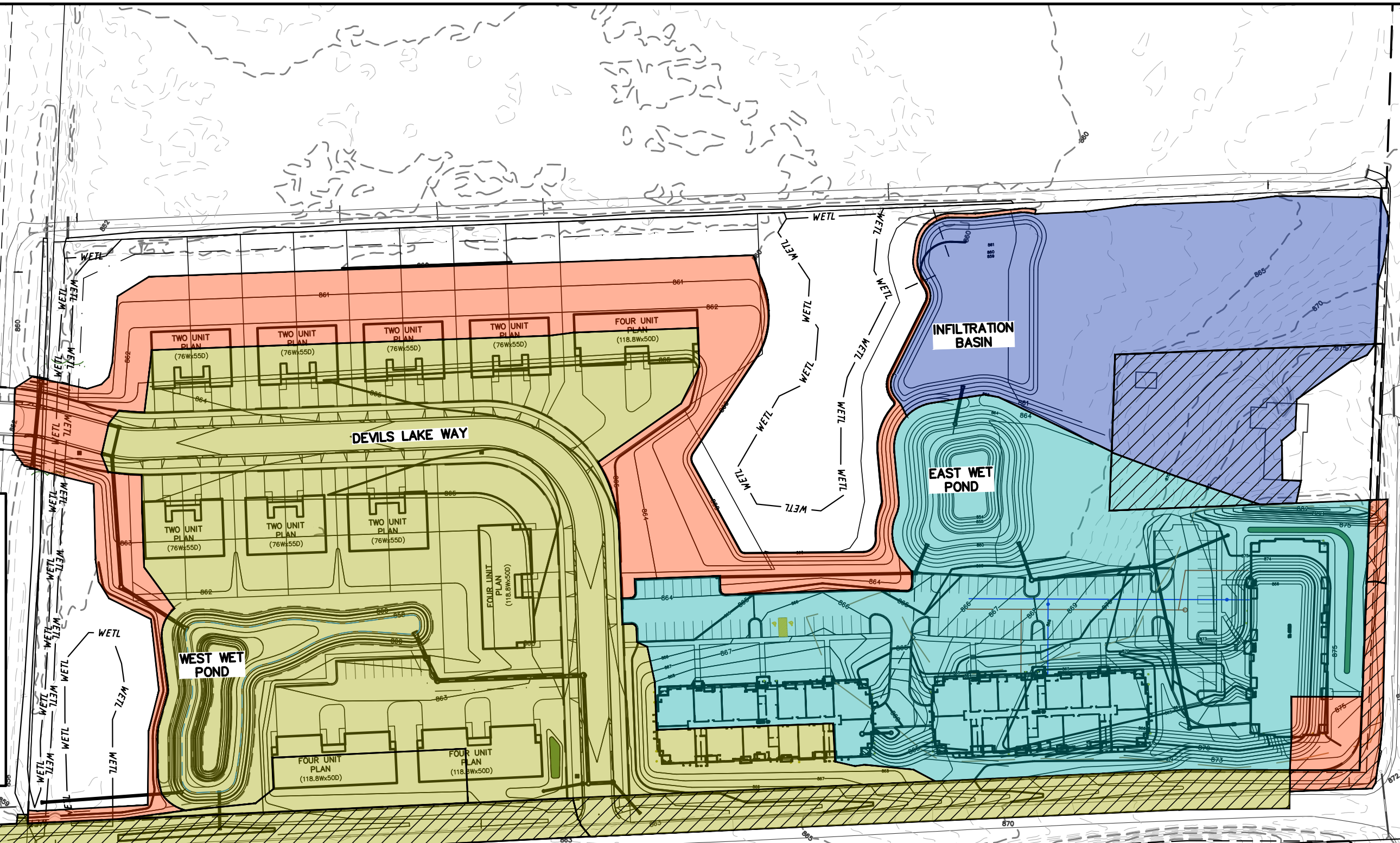
DATE: 8/1/2025

LOCATION		BASIN		RAINFALL - RUNOFF					SEWER			
Upstream Structure	Downstream Structure	Runoff Coefficient C (C)	Area (acres) A	Design Storm (Yr)	Rain Intensity (in/hr) I	Direct Runoff (cfs) Q=C*I*A	Other Runoff (cfs)	Design Runoff (cfs)	Sewer Size (in)	Min Slope of Sewer (%)	Manning's Number n	Capacity Flowing Full (cfs)
		C	A		I	Q=C*I*A					n	
Dbl Inlet #3.1/3	Dbl Inlet #3/3.2	0.66	0.533	100	10.92	3.84	----	3.84	15	1.30%	0.013	7.37
Dbl Inlet #3/3.2	MH #2	0.66	0.537	100	10.92	3.87	3.84	7.71	24	0.40%	0.013	14.31
MH #2	West Wet Pond	----	----	100	10.92	----	7.71	7.71	24	0.60%	0.013	17.52
Infall	Inlet #7.1	0.66	0.835	100	10.92	6.02	----	6.02	12	7.70%	0.013	9.89
Inlet #7.1	MH #7	0.66	0.921	100	10.92	6.64	6.02	12.66	24	0.20%	0.013	10.12
CB #7.3	Inlet #7.2	0.66	0.130	100	10.92	0.94	----	0.94	12	0.40%	0.013	2.25
Inlet #7.2	MH #7	0.66	0.618	100	10.92	4.45	0.94	5.39	12	10.00%	0.013	11.27
MH #7	MH #6	----	----	100	10.92	----	18.05	18.05	24	0.20%	0.013	10.12
MH #6	CB #5	----	----	100	10.92	----	18.05	18.05	30	0.20%	0.013	18.34
CB #5	CB #4	0.95	0.176	100	10.92	1.83	18.05	19.88	30	0.30%	0.013	22.47
CB #4	West Wet Pond	0.95	0.309	100	10.92	3.21	19.88	23.09	30	0.35%	0.013	24.27
C <sub>100</sub> =0.66; High Density Residential with HSG C soils and slopes greater than 6% from FDM Procedure 13-10-5, Figure 2												
C <sub>100</sub> =0.95; Impervious from FDM Procedure 13-10-5, Figure 2												
I <sub>100</sub> = rainfall intensity in Dane County for a time of concentration of 5 minutes from FDM Procedure 13-10, Attachment 5.4												
Capacity Flowing Full was determined using Manning's Equation												



**LEGEND FOR DRAINAGE AREAS:**

	ONSITE TO WEST WET POND AREA = 5.427 ACRES
	OFFSITE TO WEST WET POND AREA = 0.975 ACRES
	ONSITE TO EAST WET POND AREA = 3.749 ACRES
	OFFSITE TO EAST WET POND AREA = 0.056 ACRES
	ONSITE TO INFILTRATION BASIN AREA = 1.688 ACRES
	OFFSITE TO INFILTRATION BASIN AREA = 0.548 ACRES
	ONSITE UNCONTROLLED AREA AREA = 2.186 ACRES
	OFFSITE UNCONTROLLED AREA AREA = 0.147 ACRES



CTH AB

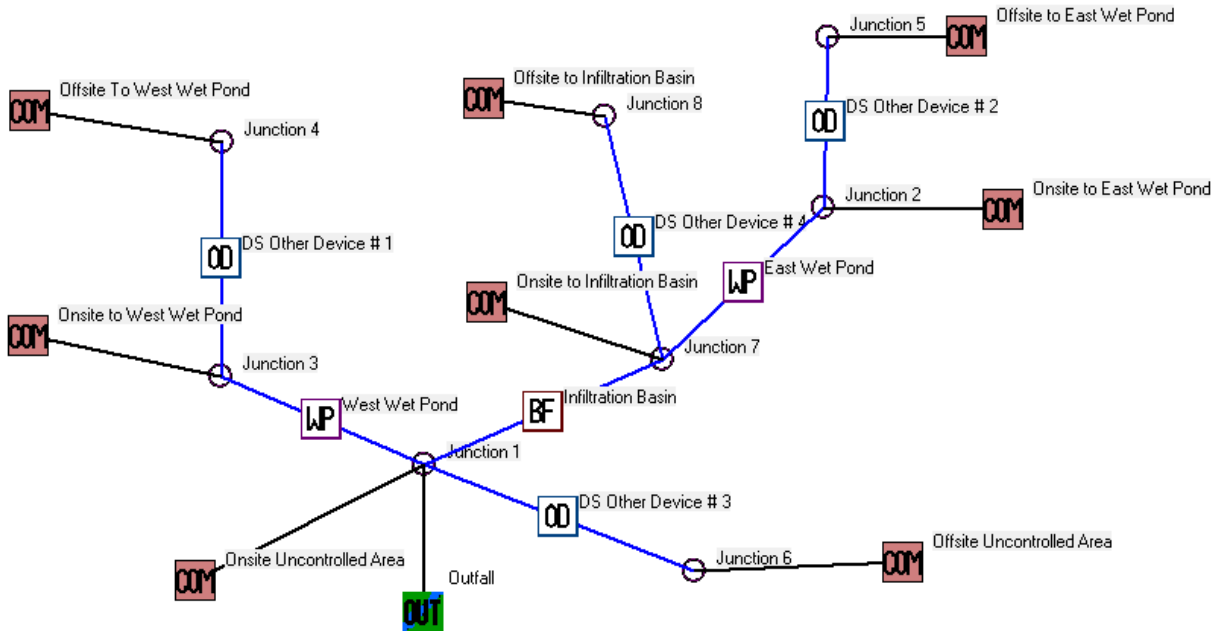
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 WINSLAMM DRAINAGE PLAN  
 EXHIBIT: #9  
 DATED: AUGUST 5, 2025

**QUAM ENGINEERING, LLC**  
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 Phone (608) 838-7750; Fax (608) 838-7752

## SEDIMENT CONTROL CALCULATIONS

The following calculations using the WinSLAMM output indicates that the proposed development will remove 80% of total suspended solids (TSS). 0.357 acres of the off-site street area was substituted from the off-site area to the West Wet Pond to the Onsite Area to West Wet pond as a substitution for not treating 0.357 acres of uncontrolled roof, street and sidewalk around the northwest side of the site. This area is included as source area 38 in "Onsite to West Wet Pond."

### WinSLAMM Model Summary:



Land Use:					
Onsite to East Wet Pond					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.942			
1	Roofs 1	0.942	Entered	--	--
	<b>Parking</b>	0.873			
13	Paved Parking 1	0.873	Entered	--	--
	<b>Driveways/Sidewalks</b>	0.108			
31	Sidewalks 1	0.108	Entered	--	--
	<b>Streets</b>	0.000			
	<b>Landscaped Areas</b>	1.619			
45	Large Landscaped Areas 1	0.277	Entered	--	--
46	Large Landscaped Areas 2	1.342	Entered	--	--
	<b>Other Areas</b>	0.207			
70	Water Body Areas	0.207	Entered	--	--

Land Use:					
Onsite to West Wet Pond					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	1.376			
1	Roofs 1	1.376	Entered	--	--
	<b>Parking</b>	0.759			
13	Paved Parking 1	0.759	Entered	--	--
	<b>Driveways/Sidewalks</b>	0.157			
31	Sidewalks 1	0.157	Entered	--	--
	<b>Streets</b>	0.772			
37	Streets 1	0.529	Entered	--	--
38	Street Swapped for Uncontr	0.243	Entered	--	--
	<b>Landscaped Areas</b>	2.083			
45	Large Landscaped Areas 1	2.083	Entered	--	--
	<b>Other Areas</b>	0.280			
70	Water Body Areas	0.280	Entered	--	--

## SEDIMENT CONTROL CALCULATIONS

Land Use:					
Offsite To West Wet Pond					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.000			
	<b>Parking</b>	0.000			
	<b>Driveways/Sidewalks</b>	0.265			
31	Sidewalks 1	0.265	Entered	-- ▾	-- ▾
	<b>Streets</b>	0.186			
37	Streets 1	0.186	Entered	-- ▾	-- ▾
	<b>Landscaped Areas</b>	0.524			
45	Large Landscaped Areas 1	0.524	Entered	-- ▾	-- ▾
	<b>Other Areas</b>	0.000			

Land Use:					
Offsite to East Wet Pond					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.000			
	<b>Parking</b>	0.000			
	<b>Driveways/Sidewalks</b>	0.000			
	<b>Streets</b>	0.000			
	<b>Landscaped Areas</b>	0.056			
45	Large Landscaped Areas 1	0.056	Entered	-- ▾	-- ▾
	<b>Other Areas</b>	0.000			

Land Use:					
Onsite Uncontrolled Area					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.000			
	<b>Parking</b>	0.000			
	<b>Driveways/Sidewalks</b>	0.000			
	<b>Streets</b>	0.000			
	<b>Landscaped Areas</b>	2.186			
45	Large Landscaped Areas 1	1.702	Entered	-- ▾	-- ▾
46	Large Landscaped Areas 2	0.241	Entered	-- ▾	-- ▾
57	Area swapped to Wet Wet P	0.243	Entered	-- ▾	-- ▾
	<b>Other Areas</b>	0.000			

Land Use:					
Offsite Uncontrolled Area					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.000			
	<b>Parking</b>	0.000			
	<b>Driveways/Sidewalks</b>	0.064			
31	Sidewalks 1	0.064	Entered	-- ▾	-- ▾
	<b>Streets</b>	0.000			
	<b>Landscaped Areas</b>	0.083			
45	Large Landscaped Areas 1	0.083	Entered	-- ▾	-- ▾
	<b>Other Areas</b>	0.000			

Land Use:					
Onsite to Infiltration Basin					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.000			
	<b>Parking</b>	0.000			
	<b>Driveways/Sidewalks</b>	0.000			
	<b>Streets</b>	0.000			
	<b>Landscaped Areas</b>	1.367			
45	Large Landscaped Areas 1	1.245	Entered	-- ▾	-- ▾
46	Large Landscaped Areas 2	0.122	Entered	-- ▾	-- ▾
	<b>Other Areas</b>	0.321			
70	Water Body Areas	0.321	Entered	--	--

Land Use:					
Offsite to Infiltration Basin					
Source Area #	Source Area	Area (acres)	Source Area Parameters	First Control Practice	Second Control Practice
	<b>Roofs</b>	0.054			
1	Roofs 1	0.054	Entered	-- ▾	-- ▾
	<b>Parking</b>	0.000			
	<b>Driveways/Sidewalks</b>	0.000			
	<b>Streets</b>	0.000			
	<b>Landscaped Areas</b>	0.494			
45	Large Landscaped Areas 1	0.494	Entered	-- ▾	-- ▾
	<b>Other Areas</b>	0.000			

# SEDIMENT CONTROL CALCULATIONS

## West Wet Pond

Wet Detention Control Device

Pond Number 2

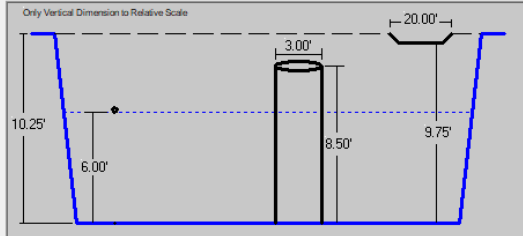
Drainage System Control Practice

Initial Stage Elevation (ft):

Maximum Inflow into Pond (cfs)  
Enter 0 or leave blank for no limit:

Enter fraction (greater than 0) that you want to modify all pond areas by and then select 'Modify Pond Areas' button

Stage (ft)	Area (acres)	Cumulative Volume (ac-ft)
0	0.00	0.000
1	0.01	0.0440
2	0.50	0.0480
3	1.50	0.0620
4	2.50	0.0760
5	3.50	0.0920
6	4.50	0.1060
7	5.50	0.1910
8	6.00	0.2750
9	6.50	0.2980
10	7.50	0.3510
11	8.50	0.4020
12	9.50	0.4570
13	10.25	0.4960
14		
15		
16		
17		



Control Practice #: 2 CP Index #: 2

**Sharp Crested Weir**

Weir Length (ft)   
Height from datum to bottom of weir opening (ft)

**V-Notch Weir**

Weir Angle (<180 degrees)   
Height from datum to bottom of weir opening (ft)   
Number of V-Notch weirs

**Orifice Set 1**

Orifice Diameter (ft)   
Invert elevation above datum (ft)   
Number of orifices in set

**Orifice Set 2**

Orifice Diameter (ft)   
Invert elevation above datum (ft)   
Number of orifices in set

**Orifice Set 3**

Orifice Diameter (ft)   
Invert elevation above datum (ft)   
Number of orifices in set

**Stone Weeper**

Width at bottom of weeper (ft)   
Weeper side slope (L:H:TV)   
Upstream side slope (L:H:TV)   
Downstream side slope (L:H:TV)   
Horizontal flow path length at top of weeper (ft)   
Average rock diameter (ft)   
Distance from bottom to top of weeper (ft)   
Height from datum to bottom of weeper (ft)

**Vertical Stand Pipe**

Pipe diameter (ft)   
Height above datum (ft)

Month	Evaporation (in/day)	Water Withdraw Rate (ac-ft/day)
Jan	0.00	0.000
Feb	0.00	0.000
Mar	0.00	0.000
Apr	0.00	0.000
May	0.00	0.000
Jun	0.00	0.000
Jul	0.00	0.000
Aug	0.00	0.000
Sep	0.00	0.000
Oct	0.00	0.000
Nov	0.00	0.000
Dec	0.00	0.000

Stage (ft)	Natural Seepage Rate (in/hr)	Other Outflow Rate (cfs)
0.00	0.00	0.000
0.01	0.00	0.000
0.50	0.00	0.000
1.50	0.00	0.000
2.50	0.00	0.000
3.50	0.00	0.000
4.50	0.00	0.000

**Broad Crested Weir (Required)**

Weir crest length (ft)   
Weir crest width (ft)   
Height from datum to bottom of weir opening (ft)

**Seepage Basin**

Infiltration rate (in/hr)   
Width of device (ft)   
Length of device (ft)   
Invert elevation of seepage basin inlet above datum (ft)

**Pump**

## East Wet Pond

Wet Detention Control Device

Pond Number 1

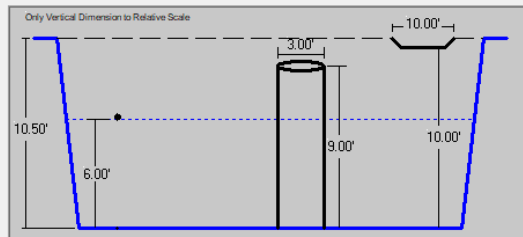
Drainage System Control Practice

Initial Stage Elevation (ft):

Maximum Inflow into Pond (cfs)  
Enter 0 or leave blank for no limit:

Enter fraction (greater than 0) that you want to modify all pond areas by and then select 'Modify Pond Areas' button

Stage (ft)	Area (acres)	Cumulative Volume (ac-ft)
0	0.00	0.000
1	0.01	0.0440
2	0.50	0.0510
3	1.50	0.0640
4	2.50	0.0780
5	3.50	0.0940
6	4.50	0.1120
7	5.50	0.1630
8	6.00	0.2070
9	6.50	0.2230
10	7.50	0.2590
11	8.50	0.2960
12	9.50	0.3370
13	10.50	0.3790
14		
15		
16		
17		



Control Practice #: 1 CP Index #: 1

**Sharp Crested Weir**

Weir Length (ft)   
Height from datum to bottom of weir opening (ft)

**V-Notch Weir**

Weir Angle (<180 degrees)   
Height from datum to bottom of weir opening (ft)   
Number of V-Notch weirs

**Orifice Set 1**

Orifice Diameter (ft)   
Invert elevation above datum (ft)   
Number of orifices in set

**Orifice Set 2**

Orifice Diameter (ft)   
Invert elevation above datum (ft)   
Number of orifices in set

**Orifice Set 3**

Orifice Diameter (ft)   
Invert elevation above datum (ft)   
Number of orifices in set

**Stone Weeper**

Width at bottom of weeper (ft)   
Weeper side slope (L:H:TV)   
Upstream side slope (L:H:TV)   
Downstream side slope (L:H:TV)   
Horizontal flow path length at top of weeper (ft)   
Average rock diameter (ft)   
Distance from bottom to top of weeper (ft)   
Height from datum to bottom of weeper (ft)

**Vertical Stand Pipe**

Pipe diameter (ft)   
Height above datum (ft)

Month	Evaporation (in/day)	Water Withdraw Rate (ac-ft/day)
Jan	0.00	0.000
Feb	0.00	0.000
Mar	0.00	0.000
Apr	0.00	0.000
May	0.00	0.000
Jun	0.00	0.000
Jul	0.00	0.000
Aug	0.00	0.000
Sep	0.00	0.000
Oct	0.00	0.000
Nov	0.00	0.000
Dec	0.00	0.000

Stage (ft)	Natural Seepage Rate (in/hr)	Other Outflow Rate (cfs)
0.00	0.00	0.000
0.01	0.00	0.000
0.50	0.00	0.000
1.50	0.00	0.000
2.50	0.00	0.000
3.50	0.00	0.000
4.50	0.00	0.000

**Broad Crested Weir (Required)**

Weir crest length (ft)   
Weir crest width (ft)   
Height from datum to bottom of weir opening (ft)

**Seepage Basin**

Infiltration rate (in/hr)   
Width of device (ft)   
Length of device (ft)   
Invert elevation of seepage basin inlet above datum (ft)

**Pump**

# SEDIMENT CONTROL CALCULATIONS

## Infiltration Basin

Biofiltration Control Device

**Drainage System Control Practice**

**Device Properties Biofilter Number 1**

Top Area (sf)	19000
Bottom Area (sf)	14000
Total Depth (ft)	1.75
Typical Width (ft) (Cost est. only)	10.00
Native Soil Infiltration Rate (in/hr)	0.070
Native Soil Infiltration Rate COV	N/A
Infil. Rate Fraction-Bottom (0.001-1)	1.000
Infil. Rate Fraction-Sides (0.001-1)	0.001
Rock Filled Depth (ft)	0.00
Rock Fill Porosity (0-1)	0.00
Engineered Media Type	Media Data
Engineered Media Infiltration Rate	0.00
Engineered Media Infiltration Rate COV	N/A
Engineered Media Depth (ft)	0.00
Engineered Media Porosity (0-1)	0.00
Percent solids reduction due to Engineered Media (0 -100)	N/A
Inflow Hydrograph Peak to Average Flow Ratio	3.80
Number of Devices in Source Area or Upstream Drainage System	1

Activate Pipe or Box Storage    Pipe    Box

Diameter (ft) \_\_\_\_\_  
Length (ft) \_\_\_\_\_

Within Biofilter (check if Yes)

Perforated (check if Yes)

Bottom Elevation (ft above datum) \_\_\_\_\_

Discharge Orifice Diameter (ft) \_\_\_\_\_

**Select Native Soil Infiltration Rate**

Sand - 8 in/hr    Clay loam - 0.1 in/hr  
 Loamy sand - 2.5 in/hr    Silty clay loam - 0.05 in/hr  
 Sandy loam - 1.0 in/hr    Sandy clay - 0.05 in/hr  
 Loam - 0.5 in/hr    Silty clay - 0.04 in/hr  
 Silt loam - 0.3 in/hr    Clay - 0.02 in/hr  
 Sandy silt loam - 0.2 in/hr    Rain Barrel/Cistern - 0.00 in/hr

Use Random Number Generation to Account for Infiltration Rate Uncertainty

**Add Sharp Crested Weir**

Weir Length (ft) \_\_\_\_\_  
Height from datum to bottom of weir opening (ft) \_\_\_\_\_

**Remove Broad Crested Weir-Weir**

Weir crest length (ft) 30.00  
Weir crest width (ft) 3.00  
Height from datum to bottom of weir opening (ft) 1.50

**Add Vertical Stand Pipe**

Pipe diameter (ft) \_\_\_\_\_  
Height above datum (ft) \_\_\_\_\_

**Remove Surface Discharge Pipe**

Pipe Diameter (ft) 0.50  
Invert elevation above datum (ft) 0.10  
Number of pipes at invert elev. 2

**Add Drain Tile/Underdrain**

Pipe Diameter (ft) \_\_\_\_\_  
Invert elevation above datum (ft) \_\_\_\_\_  
Number of pipes at invert elev. \_\_\_\_\_

**Add Other Outlet**

Stage Number	Stage (ft)	Other Outflow Rate (cfs)
1		
2		
3		
4		
5		

**Add Evapotranspiration**

Soil porosity (saturation moisture content, 0-1) \_\_\_\_\_  
Soil field moisture capacity (0-1) \_\_\_\_\_  
Permanent wilting point (0-1) \_\_\_\_\_  
Supplemental irrigation used?

Fraction of available capacity when irrigation starts (0-1) \_\_\_\_\_  
Fraction of available capacity when irrigation stops (0-1) \_\_\_\_\_

Fraction of biofilter that is vegetated \_\_\_\_\_  
Plant type \_\_\_\_\_  
Root depth (ft) \_\_\_\_\_  
ET Crop Adjustment Factor \_\_\_\_\_

**Evaporation**

Month	Evapotranspiration (in/day)	Evaporation (in/day)
Jan		
Feb		
Mar		
Apr		
May		
Jun		
Jul		
Aug		
Sep		
Oct		
Nov		
Dec		

Plant Types: 1 2 3 4

**Biofilter Geometry Schematic**  

Estimated Surface Drain Time = 17.14 hrs.

Press 'F1' for Help        

Control Practice #: 6   CP Index #: 6

## WinSLAMM Output Summary:

File Name: Q:\Projects\LS-03-19\ECS\WM-McFarland\WinSLAMM.mdb

**Outfall Output Summary**

	Runoff Volume (cu. ft.)	Percent Runoff Reduction	Runoff Coefficient (Rv)	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of All Land Uses without Controls	618908		0.36	97.15 (1)	3754 (1)	
Outfall Total with Controls	508794	17.79 %	0.30	20.32	645.3	82.81 %
Current File Output: Annualized Total After Outfall Controls	510192				647.1	

Years in Model Run: 1.00

(1) Values reduced to remove off-site loadings due to setting Other Control Device Concentration Reduction values to 1.

Total Area Modeled (ac) 14.776

**Total Control Practice Costs**

Capital Cost: N/A  
 Land Cost: N/A  
 Annual Maintenance Cost: N/A  
 Present Value of All Costs: N/A  
 Annualized Value of All Costs: N/A

**Receiving Water Impacts Due To Stormwater Runoff (CWP Impervious Cover Model)**

	Calculated Rv	Approximate Urban Stream Classification
Without Controls	0.36	Poor
With Controls	0.30	Poor

**SEDIMENT CONTROL CALCULATIONS**

**Wet Pond Pre-Treatment**

Site Description:								
Col. #:	2	3	4	5	6	7	8	9
Control Practice No.	Control Practice Type	Control Practice Name or Location	Total Inflow Volume (cf)	Total Outflow Volume (cf)	Percent Volume Reduction	Total Influent Load (lbs)	Total Effluent Load (lbs)	Percent Load Reduction
1	Wet Detention Pond	East Wet Pond	199032	199578	-0.274	936.1	131.0	86.01
2	Wet Detention Pond	West Wet Pond	354614	355587	-0.274	2513	287.0	88.58

**WinSLAMM Input Data:**

Data file name: Q:\Projects\LS-03-19\ECSWM-McFarland\WinSLAMM.mdb  
 WinSLAMM Version 10.4.1  
 Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN  
 Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI\_AVG01.pscx  
 Runoff Coefficient file name: C:\WinSLAMM Files\WI\_SL06 Dec06.rsvx  
 Residential Street Delivery file name: C:\WinSLAMM Files\WI\_Res and Other Urban Dec06.std  
 Institutional Street Delivery file name: C:\WinSLAMM Files\WI\_Com Inst Indust Dec06.std  
 Commercial Street Delivery file name: C:\WinSLAMM Files\WI\_Com Inst Indust Dec06.std  
 Industrial Street Delivery file name: C:\WinSLAMM Files\WI\_Com Inst Indust Dec06.std  
 Other Urban Street Delivery file name: C:\WinSLAMM Files\WI\_Res and Other Urban Dec06.std  
 Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std  
 Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False  
 Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI\_GEO03.ppdx  
 Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv  
 Cost Data file name:  
 If Other Device Pollutant Load Reduction Values = 1, Off-site Pollutant Loads are Removed from Pollutant Load % Reduction calculations  
 Seed for random number generator: -42  
 Study period starting date: 01/01/81      Study period ending date: 12/31/81  
 Start of Winter Season: 12/02              End of Winter Season: 03/12  
 Date: 08-01-2025                              Time: 14:28:45  
 Site information:

LU# 1 - Commercial: Onsite to East Wet Pond    Total area (ac): 3.749  
     1 - Roofs 1: 0.942 ac.    Pitched    Connected    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     13 - Paved Parking 1: 0.873 ac.    Connected    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     31 - Sidewalks 1: 0.108 ac.    Connected    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     45 - Large Landscaped Areas 1: 0.277 ac.    Normal Silty    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     46 - Large Landscaped Areas 2: 1.342 ac.    Normal Clayey    Low Density    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     70 - Water Body Areas: 0.207 ac.    Source Area PSD File:

LU# 2 - Commercial: Onsite to West Wet Pond    Total area (ac): 5.427  
     1 - Roofs 1: 1.376 ac.    Pitched    Connected    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     13 - Paved Parking 1: 0.759 ac.    Connected    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz  
     31 - Sidewalks 1: 0.157 ac.    Connected    Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

## SEDIMENT CONTROL CALCULATIONS

37 - Streets 1: 0.529 ac. Intermediate Street Length = 0.29 curb-mi Street Width (assuming two curb-mi per street mile) = 30.09828 ft

Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

38 - Street Swapped for Uncontrolled Roof: 0.243 ac. Intermediate Street Length = 0.196 curb-mi Street Width (assuming two curb-mi per street mile) = 20.45663 ft

Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 2.083 ac. Normal Clayey Low Density Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

70 - Water Body Areas: 0.280 ac. Source Area PSD File:

LU# 3 - Commercial: Offsite To West Wet Pond Total area (ac): 0.975

31 - Sidewalks 1: 0.265 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

37 - Streets 1: 0.186 ac. Intermediate Street Length = 0.236 curb-mi Street Width (assuming two curb-mi per street mile) = 13.00424 ft

Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.524 ac. Normal Clayey Low Density Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

LU# 4 - Commercial: Offsite to East Wet Pond Total area (ac): 0.056

45 - Large Landscaped Areas 1: 0.056 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 5 - Commercial: Onsite Uncontrolled Area Total area (ac): 2.186

45 - Large Landscaped Areas 1: 1.702 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

46 - Large Landscaped Areas 2: 0.241 ac. Normal Clayey Low Density Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

57 - Area swapped to Wet Wet Pond: 0.243 ac. Normal Silty Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

LU# 6 - Commercial: Offsite Uncontrolled Area Total area (ac): 0.147

31 - Sidewalks 1: 0.064 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.083 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 7 - Commercial: Onsite to Infiltration Basin Total area (ac): 1.688

45 - Large Landscaped Areas 1: 1.245 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

46 - Large Landscaped Areas 2: 0.122 ac. Normal Clayey Low Density Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

70 - Water Body Areas: 0.321 ac. Source Area PSD File:

LU# 8 - Commercial: Offsite to Infiltration Basin Total area (ac): 0.548

1 - Roofs 1: 0.054 ac. Pitched Disconnected Normal Silty Source Area PSD File:  
C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.494 ac. Normal Silty Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

**SEDIMENT CONTROL CALCULATIONS**

Control Practice 1: Wet Detention Pond CP# 1 (DS) - East Wet Pond  
 Particle Size Distribution file name: Not needed - calculated by program  
 Initial stage elevation (ft): 6  
 Peak to Average Flow Ratio: 3.8  
 Maximum flow allowed into pond (cfs): No maximum value entered  
 Outlet Characteristics:

- Outlet type: Orifice 1
  - 1. Orifice diameter (ft): 0.25
  - 2. Number of orifices: 1
  - 3. Invert elevation above datum (ft): 6
- Outlet type: Broad Crested Weir
  - 1. Weir crest length (ft): 10
  - 2. Weir crest width (ft): 10
  - 3. Height from datum to bottom of weir opening: 10
- Outlet type: Vertical Stand Pipe
  - 1. Stand pipe diameter (ft): 3
  - 2. Stand pipe height above datum (ft): 9

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	0.01	0.0440	0.00	0.00
2	0.50	0.0510	0.00	0.00
3	1.50	0.0640	0.00	0.00
4	2.50	0.0780	0.00	0.00
5	3.50	0.0940	0.00	0.00
6	4.50	0.1120	0.00	0.00
7	5.50	0.1630	0.00	0.00
8	6.00	0.2070	0.00	0.00
9	6.50	0.2230	0.00	0.00
10	7.50	0.2590	0.00	0.00
11	8.50	0.2960	0.00	0.00
12	9.50	0.3370	0.00	0.00
13	10.50	0.3790	0.00	0.00

Control Practice 2: Wet Detention Pond CP# 2 (DS) - West Wet Pond  
 Particle Size Distribution file name: Not needed - calculated by program  
 Initial stage elevation (ft): 6  
 Peak to Average Flow Ratio: 3.8  
 Maximum flow allowed into pond (cfs): No maximum value entered  
 Outlet Characteristics:

- Outlet type: Orifice 1
  - 1. Orifice diameter (ft): 0.25
  - 2. Number of orifices: 1
  - 3. Invert elevation above datum (ft): 6
- Outlet type: Broad Crested Weir
  - 1. Weir crest length (ft): 20
  - 2. Weir crest width (ft): 10
  - 3. Height from datum to bottom of weir opening: 9.75
- Outlet type: Vertical Stand Pipe

## SEDIMENT CONTROL CALCULATIONS

1. Stand pipe diameter (ft): 3
2. Stand pipe height above datum (ft): 8.5

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	0.01	0.0440	0.00	0.00
2	0.50	0.0480	0.00	0.00
3	1.50	0.0620	0.00	0.00
4	2.50	0.0760	0.00	0.00
5	3.50	0.0920	0.00	0.00
6	4.50	0.1060	0.00	0.00
7	5.50	0.1910	0.00	0.00
8	6.00	0.2750	0.00	0.00
9	6.50	0.2980	0.00	0.00
10	7.50	0.3510	0.00	0.00
11	8.50	0.4020	0.00	0.00
12	9.50	0.4570	0.00	0.00
13	10.25	0.4960	0.00	0.00

Control Practice 3: Other Device CP# 1 (DS) - DS Other Device # 1

- Fraction of drainage area served by device (ac) = 1.00
- Particulate Concentration reduction fraction = 1.00
- Filterable Concentration reduction fraction = 1.00
- Runoff volume reduction fraction = 0

Control Practice 4: Other Device CP# 2 (DS) - DS Other Device # 2

- Fraction of drainage area served by device (ac) = 1.00
- Particulate Concentration reduction fraction = 1.00
- Filterable Concentration reduction fraction = 1.00
- Runoff volume reduction fraction = 0

Control Practice 5: Other Device CP# 3 (DS) - DS Other Device # 3

- Fraction of drainage area served by device (ac) = 1.00
- Particulate Concentration reduction fraction = 1.00
- Filterable Concentration reduction fraction = 1.00
- Runoff volume reduction fraction = 0

Control Practice 6: Biofilter CP# 1 (DS) - Infiltration Basin

1. Top area (square feet) = 19000
2. Bottom area (square feet) = 14000
3. Depth (ft): 1.75
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.07
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0

## SEDIMENT CONTROL CALCULATIONS

- 13. Engineered soil porosity = 0
- 14. Percent solids reduction due to flow through engineered soil = 0
- 15. Biofilter peak to average flow ratio = 3.8
- 16. Number of biofiltration control devices = 1
- 17. Particle size distribution file: Not needed - calculated by program
- 18. Initial water surface elevation (ft): 0

Soil Data                      Soil Type Fraction in Eng. Soil

Biofilter Outlet/Discharge Characteristics:

Outlet type: Broad Crested Weir

- 1. Weir crest length (ft): 30
- 2. Weir crest width (ft): 3
- 3. Height of datum to bottom of weir opening: 1.5

Outlet type: Surface Discharge Pipe

- 1. Surface discharge pipe outlet diameter (ft): 0.5
- 2. Pipe invert elevation above datum (ft): 0.1
- 3. Number of surface pipe outlets: 2

Control Practice 7: Other Device CP# 4 (DS) - DS Other Device # 4

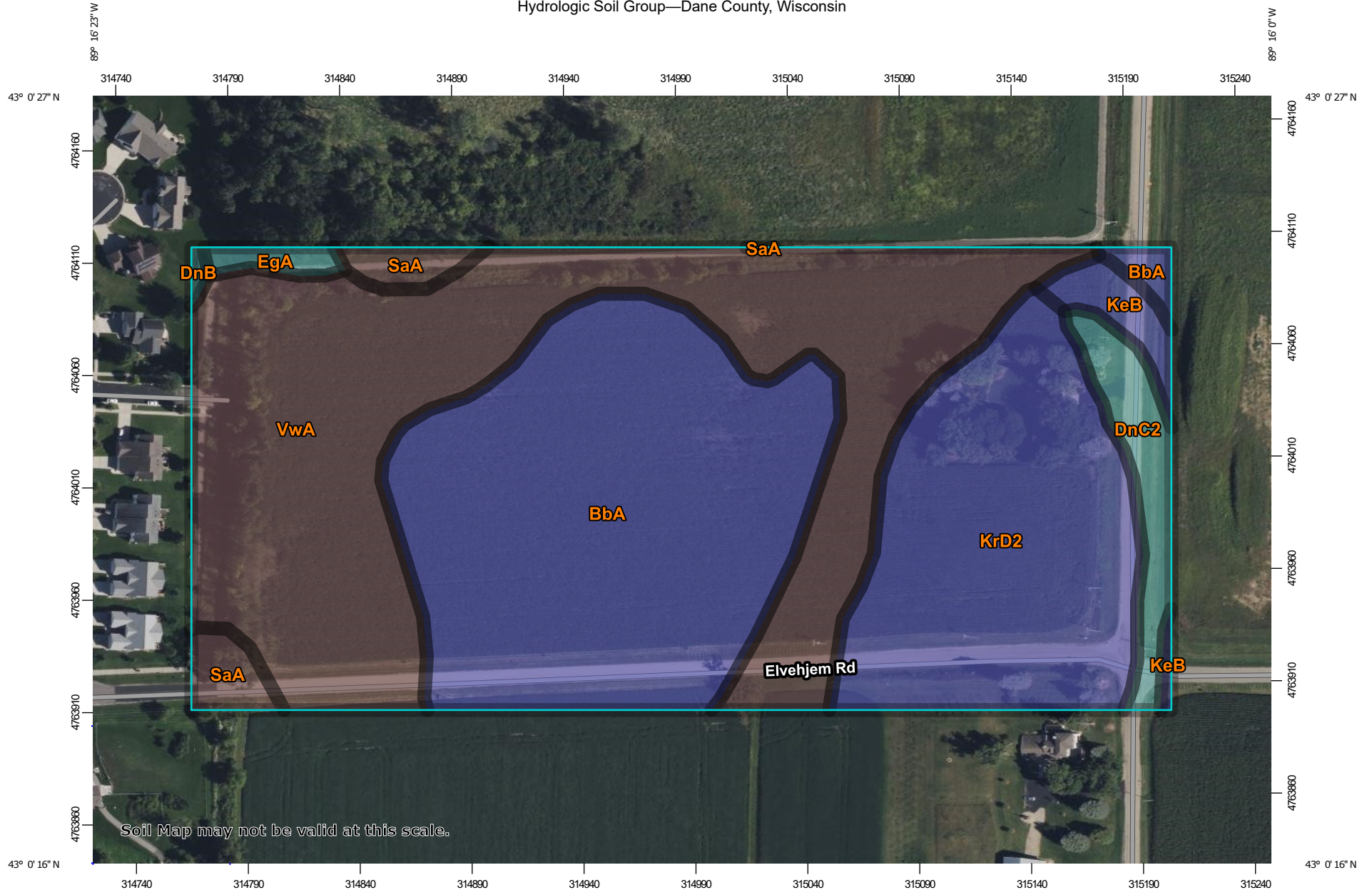
Fraction of drainage area served by device (ac) = 1.00

Particulate Concentration reduction fraction = 1.00

Filterable Concentration reduction fraction = 1.00

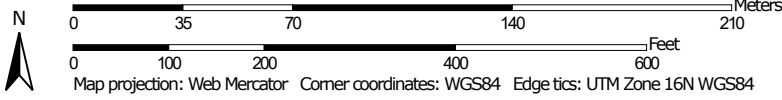
Runoff volume reduction fraction = 0

Hydrologic Soil Group—Dane County, Wisconsin




Soil Map may not be valid at this scale.

Map Scale: 1:2,410 if printed on A landscape (11" x 8.5") sheet.



### MAP LEGEND

**Area of Interest (AOI)**









 Area of Interest (AOI)

**Soils**

**Soil Rating Polygons**





-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Lines**


-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

**Soil Rating Points**






-  A
-  A/D
-  B
-  B/D

-  C
-  C/D
-  D
-  Not rated or not available


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Dane County, Wisconsin  
 Survey Area Data: Version 23, Sep 3, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 4, 2022—Sep 13, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
BbA	Batavia silt loam, gravelly substratum, 0 to 2 percent slopes	B	7.1	31.7%
DnB	Dodge silt loam, 2 to 6 percent slopes	C	0.0	0.2%
DnC2	Dodge silt loam, 6 to 12 percent slopes, eroded	C	0.8	3.6%
EgA	Elburn silt loam, gravelly substratum, 0 to 3 percent slopes	C	0.2	0.8%
KeB	Kegonsa silt loam, 2 to 6 percent slopes	B	0.4	1.8%
KrD2	Kidder soils, 10 to 20 percent slopes, eroded	B	4.6	20.6%
SaA	Sable silty clay loam, 0 to 2 percent slopes	B/D	0.5	2.3%
VwA	Virgil silt loam, gravelly substratum, 0 to 3 percent slopes	B/D	8.7	39.1%
<b>Totals for Area of Interest</b>			<b>22.4</b>	<b>100.0%</b>

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher



Attachment 2:

1002-CPS-23  
 Division of Industry Services  
 P. O. Box 2658  
 Madison, Wisconsin 53701  
 Scott Walker, Governor  
 Laura Gutierrez, Secretary

SOIL AND SITE EVALUATION – STORM

In accordance with SPS 382.365, 385, Wis. Adm. Code, and WDNR Standard 1002

Page 1 of 3

Attach a complete site plan on paper not less than 8 1/2 x 11 inches in size. Plan must include, but not limited to: vertical and horizontal reference point (BM), direction and percent of slope, scale or dimensions, north arrow, and BM referenced to nearest road

**Please print all information**

Personal information you provide may be used for secondary purposes [Privacy Law, s. 15.04(1)(m)]

County <b>Dane</b>	
Parcel I.D. <b>0610-024-9691-1</b>	
Reviewed by: Date:	
Property Owner <b>Lakestone Properties</b>	Property Location Govt Lot <b>SE 1/4 SE 1/4 S 2 T 6 N R 10 (E) or W</b>
Property Owner Mail Address	Lot # Block # Subd. Name or CSM #
City State Zip Code Phone Number	<input type="checkbox"/> City <input checked="" type="checkbox"/> Village <input type="checkbox"/> Town Nearest Road <b>McFarland Elvehjem Rd</b>
Drainage area _____ <input type="checkbox"/> sq ft <input type="checkbox"/> acres Test site suitable for (check all that apply): <input type="checkbox"/> Site not suitable; <input type="checkbox"/> Bioretention; <input type="checkbox"/> Subsurface Dispersal System; <input type="checkbox"/> Reuse; <input type="checkbox"/> Irrigation; <input type="checkbox"/> Other _____	Hydraulic Application Test Method <input checked="" type="checkbox"/> Morphological Evaluation <input type="checkbox"/> Double Ring Infiltrometer <input type="checkbox"/> Other. (specify) _____ Soil Moisture Date of soil borings: <b>1-29-25</b> USDA-NRCS WETS Value: <input type="checkbox"/> Dry = 1; <input checked="" type="checkbox"/> Normal = 2; <input type="checkbox"/> Wet = 3.

**TP1** #OBS:  Pit  Boring Ground surface elevation: **860.96** ft. Elevation of limiting factor: **859.96** ft.

Horizon	Depth in	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-12	10YR 3/2	—	sil	2mgr	mfr	CS	5	—	.13
2	12-60	10YR 4/2	C2d 7.5YR 5/8 10YR 7/2	sic	1Asbk	mfr	gw	5	—	.07
3	60-108	10YR 5/4	" "	s	Osg	ml	—	5	—	3.6
Comments: <b>Water observed @ 60"</b>										

**TP2** #OBS:  Pit  Boring Ground surface elevation: **860.99** ft. Elevation of limiting factor: **859.99** ft.

Horizon	Depth in	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-12	10YR 3/2	—	sil	2mgr	mfr	CS	5	—	.13
2	12-67	10YR 4/2	C2d 7.5YR 5/8 10YR 7/2	sic	1Asbk	mfr	gw	5	—	.07
3	67-170	10YR 5/4	" "	s	Osg	ml	—	5	—	3.6
Comments: <b>Water observed @ 70"</b>										
Name (Please Print) <b>Jeffrey T. Levake</b>		Signature <i>[Signature]</i>		Credential Number <b>CST #223322</b>						
Address <b>P.O. Box 568 Lake Mills, WI 53551</b>		Date Evaluation Conducted <b>1-29-25</b>		Telephone Number <b>920-968-7567</b>		SBD-10793 (R01/17)				

WDNR  
September 2017

**TP3** #OBS.  Pit  Boring Ground surface elevation 859.99 ft. Elevation of limiting factor 858.99 ft. Page 2 of 3

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-12	10YR 3/2	~	s.l	2mgr	mfr	CS	5	-	.13
2	12-60	10YR 4/2	C2d 7.5YR 5/8 10YR 7/2	sic	1fsbk	mfr	CS	5	-	.07
3	60-96	10YR 4/2	" "	scl	1fsbk	mfr	gw	5	-	.11
4	96-120	10YR 5/4	" "	S	Osg	ml	-	5	-	3.6

Comments: Water observed @ 60"

**TP4** #OBS.  Pit  Boring Ground surface elevation 859.87 ft. Elevation of limiting factor 858.87 ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-12	10YR 3/2	~	s.l	2mgr	mfr	CS	5	-	.13
2	12-50	10YR 4/2	C2d 7.5YR 5/8 10YR 7/2	sic	1fsbk	mfr	gw	5	-	.07
3	50-108	10YR 5/4	" "	S	Osg	ml	-	5	-	3.6

Comments: Water observed @ 50"

**TP5** #OBS.  Pit  Boring Ground surface elevation 860.27 ft. Elevation of limiting factor 859.27 ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-12	10YR 3/2	~	s.l	2mgr	mfr	CS	5	-	.13
2	12-55	10YR 4/2	C2d 7.5YR 5/8 10YR 7/2	sic	1fsbk	mfr	gw	5	-	.07
3	55-120	10YR 5/4	" "	S	Osg	ml	-	5	-	3.6

Comments: Water observed @ 55"

**TP6** #OBS.  Pit  Boring Ground surface elevation 860 ft. Elevation of limiting factor 858.4 ft.

Horizon	Depth In.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-20	10YR 3/2	~	s.l	2mgr	mfr	CS	5	-	.13
2	20-103	10YR 4/2	C2d 7.5YR 5/8 10YR 7/2	sic	1fsbk	mfr	gw	5	-	.07
3	103-120	10YR 5/4	" "	S	Osg	ml	-	5	-	3.6

Comments: Water observed @ 103"

SBD-10793 (R 7/17)

Overall Site Comments:

WDNR  
September 2017



# STORM WATER MANAGEMENT SYSTEM MAINTENANCE AGREEMENT

**THIS AGREEMENT** (“Agreement”), entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2022, by and between Ezra Properties (the "Owner"), and Village of McFarland, a Wisconsin Municipal Corporation (the "Village"), collectively, the “Parties”.

## RECITALS

A. The Owner is developing certain real property located in the Village of McFarland legally described in paragraph 2 herein (the “Property”).

B. The Parties desire to set forth their obligations for the maintenance of certain storm water management improvements on the Property.

**NOW THEREFORE**, in consideration of the mutual covenants herein set forth and other good and valuable consideration the receipt and sufficiency of which is hereby acknowledged, the Parties hereby agree as follows.

1. Sole Agreement. This agreement is the sole applicable agreement pertaining to storm water management for the described Property.

2. Site Legal Description. The Property subject to this agreement is legally described as follows: SEC 2-6-10 S 19 A SE1/4 SE1/4 EXC LOT 1 CSM 1455, Village of McFarland Dane County, WI

3. Responsible Party.

a. **CONSTRUCTION PHASE MAINTENANCE**. The Owner is responsible for satisfying the provisions of this agreement throughout the Property for the duration of the construction and warranty period.

b. **POST-CONSTRUCTION PERPETUAL MAINTENANCE**. The Owner is responsible for maintaining the storm water management system in perpetuity upon completion of all construction phases and expiration of the warranty period.

4. Permanent Components Of The Storm Water Management System.

a. The storm water management system for the property consists of the following management practices, their components, and the drainage conveyance as referenced in Section 4b:

- + Two (2) Wet Retention Pond
- + One (1) Infiltration Basin
- + One (1) Infiltration Swale
- + Three (3) Sorbent Inlet Filters

b. The drainage areas served by the storm water management practices include portions of the property referenced in Section 2 and some off-site run-on from the Elvehjem Road Right-of-Way, as shown on the Proposed Drainage Plan.

Recording area (Dane Co. Register of  
Deeds)

Send To: Village of McFarland  
5915 Milwaukee Street  
McFarland, WI 53558  
608-838-3151

0610-024-9691-1

Parcel Identification Numbers

## 5. Inspection And Maintenance Schedule.

- a. All components of the storm water management system shall be inspected by the Responsible Party:
  - at least semi-annually in early Spring and early Autumn; and
  - within 72 hours following any major storm or flood event of sufficient intensity or duration to pose significant risk of damage to the system.
- b. The following components shall be inspected by the Responsible Party more frequently as follows:

### **Wet Pond**

- Annually inspect all components of the wet pond, including inlets, outlets, riprap, and safety shelf, and sediment depth.
- Keep embankments clear of woody vegetation.
- Mowing in buffer areas around stormwater ponds should be minimized. If occasional mowing is necessary, mow no shorter than 6 inches.
- Application of fertilizer, herbicide, pesticide or other chemicals is discouraged.
- Remove sediment from permanent pool once average depth is 3.5 feet or less. Protect liner from damage during sediment removal, if present.
- Excavation is prohibited below the original design depth unless approved by Dane County Water Resources Engineering Department.

### **Infiltration Basin**

- Inspect quarterly to ensure proper function and check for any potential problems. Inspect overflow spillway for indication of failure and make note of vegetation condition. If standing water is observed over 50% of the basin floor 3 days after rainfall, the basin is clogged and must be restored.
- Remove trash and other debris regularly.
- Mowing or burning shall be used to maintain the vegetation.
- Mow newly planted seed once it reaches a height of 10 to 12 inches down to a height of 5 to 6 inches. After establishment, if burning cannot be accommodated, mowing shall occur once in the spring (prior to April 15) or in the fall (after November 1) to a height of 5 to 6 inches.
- Burning may begin the second year, in the early spring (prior to May 1st) or in the late fall (after November 1st). Burning shall be done two consecutive years, then up to three years passing before the next burning. Under no circumstances shall burning occur every other year.
- Restoration includes removing the top 2 to 3 inches, chisel plowing, then adding topsoil and compost before seeding. If deep tilling is used, the basin shall be drained and the soils dried to a depth of 8 inches. If the basin was planted in turf grass and clogging again occurs after these restoration procedures have been used, the owner /operator shall replant with prairie style vegetation using the soil preparation method recommended by the native nursery in the area.
- During winter months, all draw down devices in the pond shall be opened to discourage infiltration of runoff water containing high levels of chlorides.

### **Sorbent Inlet Filters**

- Maintain Flexstorm PCP Inlet Filter, or equal, according to the manufacturer's guidelines.
- Inspect inlet filters quarterly. Repair when the performance of a filter is compromised.

- c. The Responsible Party shall make the appropriate repairs whenever the performance of a storm water management practice or component is compromised due to sediment or debris.

## 6. Regulations.

- a. Mowing in buffer areas, pond banks and drainage ways shall be minimized to the greatest extent possible in order to maximize filtration of runoff. If occasional mowing is necessary, the mowing height shall be no shorter than six inches.
- b. Applications of fertilizers, herbicides, pesticide or other chemical applications are prohibited in buffer areas, on pond banks and along drainage ways, unless specifically authorized by the Village Engineer on an individual event basis, and provided that the application is performed by professional personnel certified for that purpose.
- c. Snow shall not be dumped directly onto conditioned planting beds designed for infiltration or for bioretention, or on sites designated as buffer areas.

7. Maintenance Of Inspection Records.

a. The Owner shall maintain records of the results of all site inspections and any enforcement actions, correction actions or other documented contacts and any follow-up actions taken by or at the direction of Owner or Responsible Party for seven years after such action.

b. The Village Engineer shall maintain public records of the results of all Village inspections of the site, shall inform the Owner of the inspection results, and shall indicate any specific corrective actions required to bring the storm water management practice or component into accordance with this Agreement.

8. Default by Responsible Party. In the event that the Village determines that Responsible Party has failed to comply with any of the responsibilities as set forth in this Agreement, the Village shall give written notice to Owner identifying any said default and requiring compliance within five working days of receipt of the notice or such longer period of time as specified by the Village in the notice. In the event Owner fails to complete any actions required to remedy the default within said five day period, unless extended by the Village in writing, Owner consents that Village may enter the property on which private storm water management systems and practices are located, correct the default and charge the cost of such corrective action to Owner. If Owner fails to pay for said costs of corrective action then Village shall be entitled to place the cost of the corrective action on the tax roll for the Owner's property as a special charge pursuant to Wis. Stats. § 66.0627.

9. Severability. All provisions of this Agreement are severable, and if any one or more provision is deemed unenforceable for any reason, the remaining provisions shall remain in full force and effect.

10. Binding Agreement. All provisions of this Agreement, including the benefits and burdens hereunder, run with the property and are binding upon and inure to the benefit of the parties hereto and their successors and assigns.

11. Amendment; Termination. This Agreement may be amended or terminated by a document signed by the Owner and the Village.

12. Requirement to Record. This Agreement and any subsequent amendments thereto shall be recorded at the Dane County Register of Deeds.

13. Governing Law. This Agreement at all times shall be enforced in accordance with the laws of the State of Wisconsin.

14. Assignment. A Responsible Party's obligations may not be assigned to another party without the prior written consent of Village except that such consent is not required when a Responsible Party as property owner transfers fee simple title to a buyer who will assume the maintenance responsibilities of the owner / responsible party.

15. Notices. All notices to be given under the terms of this Agreement shall be in writing and signed by the person serving the notice and shall be sent registered or certified mail, return receipt requested, postage prepaid, or hand delivered to the addresses of the parties listed below:

FOR THE VILLAGE:

Village of McFarland  
5915 Milwaukee Street  
McFarland, WI 53558  
608-838-3151

FOR THE OWNER:

Lakestone Properties and Management, LLC  
5910 Main Street, Suite 1  
McFarland, WI 53558

**IN WITNESS WHEREOF**, the parties have executed this Agreement as of the date first written above.

**FOR THE OWNER:**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF WISCONSIN )  
 ) ss.  
COUNTY OF \_\_\_\_\_ )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above-named \_\_\_\_\_, to me known to be the person who executed the foregoing and acknowledged the same.

\_\_\_\_\_  
Notary Public, State of Wisconsin  
My Commission: \_\_\_\_\_

**VILLAGE OF MCFARLAND**

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Title: Village President

Title: Village Clerk

Date: \_\_\_\_\_

Date: \_\_\_\_\_

## DEVELOPMENT AGREEMENT FOR SPERLE CORNERS

This Development Agreement for Sperle Corners (the “**Agreement**”) is made as of the \_\_\_ day of \_\_\_\_\_, 2025, by and between the Village of McFarland, a Wisconsin Municipal Corporation (“**Village**”) and Lakestone Properties & Management, LLC, a Wisconsin limited liability company (“**Developer**”).

### WITNESSETH:

**WHEREAS**, Developer is the fee simple owner of the real property described in Exhibit “A”, attached hereto and incorporated herein by reference (the “**Property**”); and

**WHEREAS**, Developer wishes to develop the Property as a platted subdivision, to be known as Sperle Corners (the “**Plat**”), for such purposes as may now or hereafter be permitted under the applicable zoning of the Property (the “**Development**”); and

**WHEREAS**, Developer agrees to construct the Development on the Property in accordance with this Agreement, and all applicable rules and regulations of any governmental authority having jurisdiction, including but not limited to applicable ordinances, rules and regulations of the Village; and

**WHEREAS**, it is the intention of the parties that this Agreement govern all future phases of the Development, the estimated extent of each such phase being described in Exhibit “A” (each as may be subsequently modified hereafter a “**Phase**” and collectively the “**Phases**”) with the understanding that the development of future Phases shall comply with the approved engineering plans described in Exhibit “B”, attached hereto and incorporated herein by reference, and that future Phases are to be commenced only after approval and execution of an appropriate amendment to this Agreement; and

**WHEREAS**, Developer wishes to proceed with the installation of public improvements to serve the Development in conformance with Village requirements (the “**Improvements**”); and

**WHEREAS**, execution of the final Plat by the Village and the recording thereof is contingent upon the execution of this Agreement and the submittal of all documents required by this Agreement; and

**WHEREAS**, this Agreement contains the following exhibits provided for under this Agreement, all of which are incorporated herein as if fully set forth:

Exhibit “A”: Legal description of plat and estimated phasing plan

Exhibit “B”: Engineering plans

Exhibit "C": Parkland dedication and fees in lieu of dedication

Exhibit "D": Restriction as to future sale of lots

Exhibit "E": Public Improvement Costs Secured by Surety

**NOW, THEREFORE**, in accordance with the above recitals, the granting of approval for the development of the Property by the Village so as to permit Developer to sell lots in the Development to third parties, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed by and between the parties hereto as follows:

1) Covenant to Develop. Developer agrees to develop the Property in accordance with the terms, covenants and conditions of this Agreement, and all Laws and Ordinances.

2) Improvements. Developer agrees to fully comply with any and all applicable provisions of the Village Subdivision Ordinances, whether or not specifically addressed in this Agreement, other than where the Village Board has granted variances to provisions of the Village Subdivision Ordinances and to construct or install all required Improvements in a good and workmanlike manner in accordance with plans approved by the Village. The Developer and the Village hereby specifically agree as follows:

A. Streets, Storm Sewer, Sidewalks and Paths.

1. The Developer shall install curb and gutter, storm sewer and inlets, sidewalks, paths, and pavement on all streets within the Plat, to the established standards and/or specifications of the Village as specified in the approved engineering plans, on a Phase-by-Phase basis.

2. Elvehjem Road and CTH AB Paths. The cost to design, construct, and install the 8' path along Elvehjem Road from the intersection of Devil's Lake Way to CTH AB, and continuing north to the northern property line of the Plat, shall be a future obligation of the Developer to be incurred as part of future Phases of the Development. The Developer acknowledges that in the event that the Village designs, constructs and installs this path prior to the commencement by the Developer of Apartment Buildings #2 and #3, the Developer shall reimburse the Village for the associated costs.

3. The Developer shall construct and maintain suitable access to Elvehjem Road for the use by construction vehicles and contractors throughout all Phases of the construction of the Development

4. Developer shall complete construction, at its sole expense, of any improvements to CTH AB as may be required by the County of Dane for development of the Property and provide County of Dane Highway Department approval before starting work. An engineer's estimate for these improvements is provided as part of Exhibit E. The Developer acknowledges that in the event that the Village designs, constructs and installs improvements to the intersection of CTH AB and Elvehjem Road prior to the Developer constructing their required improvements, the Developer shall reimburse the Village for that portion of the intersection improvements required by its development based on the Village Engineer's updated cost estimate of the improvements required by Dane County for the Development.

5. The Developer shall proof roll all subgrade to provide adequate stability for road construction, prior to the placement of crushed aggregate base course and again upon completion of the base course installation. The Developer shall coordinate with the Director of Public Works to observe the proof rolling prior to the paving of the lower lift (binder).

6. The Developer shall pave the upper lift (surface) of asphalt on all streets during the construction season following the season during which the lower lift (binder) is installed. During binder installation, asphalt shall be wedged near the inlets in order to force water into the curb inlets rather than allowing water to bypass the inlets.

7. Initial construction plans for the Improvements described in subparagraph (A)(1), above, have been presented for approval by the Village.

B. Street Lights and Street Signs. The Developer shall pay for and install a street lighting system and street name signs along public streets and ways within or adjoining the Property according to plans and specifications approved by the Village. The Developer shall be responsible for the Pole and Fixture Contribution to Alliant Energy for street light installation and shall make payment thereof prior to installation. If the Developer contemplates the use of street lights other than the Village standard, then the Developer shall present the nonstandard street light design to the Village for approval. The Developer or the Development subdivision association (the "HOA"), as applicable, shall bear all costs for installation and long-term maintenance of nonstandard street lights should the Village agree to their use.

C. Regulatory Signs. The Developer will place the required regulatory signs as specified in the approved Plans. All signage shall be in accordance with applicable MUTCD and Village Ordinances.

D. Sanitary Sewer.

a) The Developer shall provide utility easements, construct, install and furnish a complete sewerage system, including public mains to serve the Plat, in

accordance with the plans and specifications submitted to and approved by the Village and the State of Wisconsin Department of Natural Resources. Laterals shall be extended five feet beyond the public right-of-way line or to the outer limits of the associated public utility easement where no right-of-way is present. Lateral ends shall be marked with a red painted 4' x 4' post extending approximately 12" above finish grade. Laterals shall be installed with an underground tracer wire according to the details on the approved Plans. Adequate easements shall be provided on the plat or by separate instruments for sanitary sewer main proposed outside of the right-of-way.

b) No sanitary sewer main installation shall be accepted by the Village until satisfactory low pressure air test and mandrel results are obtained in compliance with the Village's specifications as provided in Section 33 31 13-Sanitary Sewerage Piping, dated May 9, 2022 on file with the Village, as amended and in effect as of the date on which the inspection occurs. The Developer or its Contractor shall provide the Village with satisfactory low pressure air tests and mandrel results, and televising results, prior to requesting Village Acceptance of any sanitary sewer main installation.

c) The cost of construction of the sewer system shall be paid by the Developer.

d) The incremental cost for pipe sizes greater than eight-inch (8") diameter shall be borne by the Village, and either credited or reimbursed to the Developer. The incremental cost shall be based only on the retail price of pipe and fittings.

E. East Side Sewer Interceptor. The Village previously constructed the East Side Sewer Interceptor (the "Sewer Interceptor") located adjacent to the west and north property lines of the Property. The Village has previously adopted a Preliminary Assessment Report which includes a cost per dwelling unit of \$1,389.02 for benefitted properties, including the Property. The Village and Developer hereby acknowledge that the initial construction plans for the Improvements described in subparagraph (A)(1), above, do not contemplate connections to the Sewer Interceptor and therefore at this time no special assessment is due from the Developer. The Developer hereby acknowledges that if the Improvements described in subparagraph (A)(1), above, are modified in a manner such that sanitary sewer from the Development, or any future Phases, connects to the Sewer Interceptor, the Village may specially assess the cost of the Sewer Interceptor against benefitted properties.

F. Madison Metropolitan Sewerage District Charges. The Developer shall pay to the Village the area sewer assessment and treatment plant charges as determined by the Madison Metropolitan Sewerage District ("**MMSD**") on or before the date such payment is due from the Village to MMSD. Subject to the approval of MMSD, and the recording of an appropriate deed restriction if required by MMSD, the assessments to be charged by MMSD will be based on the land area contained within

the plans submitted to MMSD. The parties agree that such plans shall be submitted on a Phase-by-Phase basis. Payment for any Phase shall be made prior to commencement of that Phase's construction. If notwithstanding submission of the plans on a Phase-by-Phase basis, MMSD shall charge assessments based on the entire Plat, or on a basis other than the lands contained within a Phase, Developer shall pay the Village the entire assessment which MMSD has billed to the Village.

G. Water.

a) The Developer shall provide utility easements, construct, install and furnish a complete water distribution system, including public mains to service the Property, in accordance with the plans and specifications submitted to and approved by the Village and the State of Wisconsin Department of Natural Resources. Service laterals shall be extended five feet beyond the public right-of-way line or to the outer limits of the associated public utility easement where no right-of-way is present. Curb boxes shall be Mueller Minneapolis boxes with 1.5" diameter extension. All water service fittings shall be compression fittings; no flared fittings are allowed. Lateral ends shall be marked with a blue painted 4' x 4' post extending approximately 12" above finish grade. Water main pipe shall be ductile iron, Class 52. All water main tees, valves, bends, hydrants, reducers, etc. shall be mechanically restrained, with polyethylene encasement and tracer wires in addition to joint connectivity. Valve boxes must include gate valve adaptors by Adaptors, Inc. Appropriate flushing devices shall be installed at all temporary ends of the water mains. Adequate easements shall be provided on the associated Plat or by separate instruments for water distribution lines proposed outside of the public right-of-way.

b) Water main installations shall not be accepted until a bacteriologically safe sample and satisfactory pressure and leakage test results are obtained. The Developer or its Contractor shall arrange for the flushing of the main and collection of the samples required for this testing by, or under the direction and supervision of, a Village employee. Upon completion of the water mains and service laterals and Acceptance of the system by the Village, ownership and control of the system (except service laterals, which shall be privately owned and maintained) shall be turned over without reservation to the Village. When required by the Village Engineer, the water mains shall be provided in locations, sizes, and depths necessary to serve future developments and Phases.

c) The cost of construction of the water system shall be paid by the Developer. The incremental cost for pipe sizes greater than eight-inch (8") diameter shall be borne by the Village and either credited or reimbursed to the Developer. The incremental cost shall be based only on the retail price of pipe and fittings. Pursuant to Schedule X-2 of the McFarland Water Utility Tariffs approved by the Public Service Commission of Wisconsin, the Developer will be entitled to reimbursement of a portion

of the cost of the water main extension from additional customers who connect to the mains within 10 years of completion of construction at the time of such connection.

H. Fire Hydrants. Fire hydrants (Waterous Pacer WB 67) shall be installed by the Developer according to the Plans.

I. Stormwater/Surface Water Drainage. The storm water management and conveyance system, including post-construction Best Management Practices (BMPs), inlets, manholes, pipes, swales, and appurtenances, shall be installed by the Developer as shown on the approved Plans and Village Ordinances. Adequate easements and deed restrictions shall be provided for any stormwater conveyance system components that are located outside of a publicly dedicated outlot or rights-of-way within the Development. Adequate access shall be provided to and around all detention basins for Village personnel and equipment to maintain such basins. Such access shall be within a publicly dedicated outlot or right-of-way, except where easements over adjacent private land are approved by the Village Engineer.

Stormwater facilities shall be planted with native seed mixtures and/or native plug plantings conducive to the site conditions, according to the approved Plans.

Pursuant to §236.29(4), Wis. Stats., dedication to the public of lands intended to include permanent facilities for stormwater management as shown on a plat is not accepted until 80% of the lots in the subdivision are sold and a professional engineer has certified that the facility is in proper working condition, construction sediment has been removed and required plantings are fully-established and reasonably free of invasive species.

Within the final month of the guarantee period associated with each stormwater basin constructed under this Agreement, as specified in Section 4 of this Agreement, the Developer shall survey and remove all sediment that may have accumulated before or during the warranty period from such stormwater basin.

J. Erosion and Sedimentation Control. The Developer shall construct, install, furnish and effectively implement adequate facilities for erosion and sedimentation control throughout the entire Property in accordance with the plans and specifications submitted to and approved by the Village. No contractors shall commence installation of Improvements prior to the installation of approved erosion control measures and receipt of an erosion control and stormwater management permit. Contractor work prior to such conditions shall be subject to Village citation per the Ordinances, which the Village may issue to the Developer. Street terrace areas shall be seeded and mulched from curb to the sidewalk. All disturbed land including topsoil stockpiles shall be seeded and stabilized for erosion control immediately following the completion of site grading.

K. Street Trees. The Developer shall submit a tree planting plan for approval by the Village Forester. All trees shall be of approved species and planted as required by Village Ordinances. Street trees shall be located such that they do not conflict with utility services and/or driveways. At Village's option Developer shall either:

a) Pay to the Village the estimated cost of the trees to be planted in each Phase of the Development at the same time as Developer submits to the Village the Development Agreement or appropriate Amendment for the Phase in question. The Village shall be responsible for planting all trees within the Phase prior to completion of the final lift of asphalt on the public streets; or

b) Plant the trees in accordance with the approved plan. In such event, the Developer shall post with the Village Clerk prior to commencing work on a Phase, Surety, as that term is defined below, in the appropriate amount for the tree planting plan approved by the Village for such Phase of the Plat prior to commencement of construction of any Improvements for such Phase.

c) Trees shall have a minimum diameter of 1.5 inches per tree as measured at six (6) inches above ground level as required by Village Ordinances. It shall be the sole responsibility of the Village and homeowners to maintain said tree plantings in accordance with the Ordinances.

L. Plat Monumentation. The Developer, through information assembled by a Professional Land Surveyor, shall provide evidence that all monuments have been set per Wis. Stat. §236.15, as amended. If approved by the Director of Public Works, only the exterior boundary monuments need be set at the time of the plat recording, with the placement of the interior monuments deferred pursuant to Wis. Stat. §236.15(1)(h), as amended, for a reasonable period of time determined by the Director in order to allow for construction of Improvements that may otherwise interfere with monumentation. If such approval is granted, the Developer shall increase the amount of the required security to include 120% of the estimated cost for future monumenting.

M. Maintenance. The Developer shall control weeds and all growth of natural vegetation during the process of completing the Improvements in a manner that is consistent with the Ordinances. The Developer shall have this responsibility on all private lots before they are transferred to another party, and on all public rights-of-way or other dedicated lands until all Improvements that are required to be installed by the Developer are in fact installed and Accepted by the Village. The Developer shall coordinate cleaning of all streets affected by construction of the Improvements to the satisfaction of the Director of Public Works. If, in the opinion of the Director, additional street cleaning is needed to control a potential erosion or nuisance problem (including surface water runoff from a lot or outlot within the Development), the Village reserves the right to perform street cleaning and invoice the Developer at a standard rate set by the Village. Such cleaning shall not be considered as a substitute for standard erosion

control measures, nor relieve the Developer of any liability under the Ordinances. This general street cleaning requirement shall only be an obligation of Developer until acceptance of all of the Improvements.

N. House Numbering. Prior to the occupancy of any housing unit, numbers shall be installed on that unit identifying the street address, which shall be clearly visible and readable from the street at all times. The Village Zoning Administrator shall assign house numbers for each lot and notify the Developer upon assignment.

O. Other Requirements. The Developer shall be responsible for ensuring proper construction of all items listed herein or as required by local or state regulations whether or not included in this Agreement. All requirements and conditions of the Director of Public Works' approval shall be adequately satisfied on the Plans and implemented during construction of the Improvements. Other requirements may be imposed as determined reasonably necessary by the Director and/or as listed in the Ordinances.

P. Pre-Construction Meetings. A pre-construction meeting shall be scheduled between the Developer, the Contractors, and the Village prior to commencement of any construction on the Improvements for each Phase. The Developer shall, prior to each such meeting, notify all utilities of the planned construction and the date and location of the pre-construction meeting. As part of the pre-construction meeting for Outlot 1 the Village Forester shall field mark any existing trees along the west side of Outlot 1 that should be removed or saved by the Developer as part of improvements to Outlot 1.

Q. Inspection and Acceptance of Work.

a) Compaction testing shall be performed by an independent testing laboratory at intervals determined by the Village on the backfill for all underground utility construction and in all fill areas within public road rights-of-way. A Village designee shall be present during the performance of all required acceptance tests. The Village's designated inspector shall conduct a final inspection of all Improvements and, if acceptable, certify such Improvements as being in compliance with the standards and specifications of the Village.

b) The Village shall provide timely notice to the Developer whenever inspection reveals that an improvement does not conform to the Village's adopted standards and specifications or is otherwise defective. The Developer shall have 30 days from the issuance of such notice to correct or substantially correct the defect, unless a longer compliance time is specified in this Agreement. The Village shall not declare a default under this Agreement during the 30 days or otherwise specified correction period on account of such defect unless the Village determines that immediate action is required in order to remedy a situation which poses a significant

threat to health or public safety. The Developer shall have no obligation to correct defects in, or the failure of, any improvement found to exist or occurring after the one-year guarantee period expires.

c) The Developer agrees that the Improvements will not be accepted by the Village until:

1. all outstanding fees and charges to be paid by the Developer under the Ordinances or as required by this Agreement have been paid in full;
2. all conditions imposed for the final approvals of the associated subdivision plat has been satisfied;
3. the associated subdivision plat, restrictive covenants, and all required public easements have been duly recorded in the Office of the Register of Deeds for Dane County, Wisconsin;
4. affidavits and lien waivers are received by the Village indicating that all Contractors providing work, services or materials in connection with the Improvements have been paid in full for all such work, services and materials; and
5. the Village has received evidence through a satisfactory title report that no liens (such as outstanding mortgages and special assessments) or other encumbrances encumber the Improvements, except for those approved in writing by the Village; and
6. the Village has determined that all Improvements have been constructed and/or installed in a good and workmanlike manner, including any work necessary to adequately address the issues outstanding at the time of conditional engineering approval of the Improvements.

3) Insurance Required of Contractors. The Developer shall assure that its general contractor maintains insurance per the schedule in this Section. The Developer shall require the general contractor to provide to the Village's Director of Public Works a current certificate of insurance to evidence compliance with this Agreement. The Developer shall require each Contractor who is not covered by the general contractor's insurance policy, as determined by the general contractor's certificate of insurance, to provide to the Village's Director of Public Works a current certificate of insurance. Insurance certificates shall list the Village of McFarland and Town & Country Engineering as additional named insureds, and all policy provisions or endorsements

necessary to evidence the additional insured coverage shall be provided with the certificate. Minimum required coverage limits are:

- A. Workers' Compensation per applicable state and federal law, and in the amount of \$500,000 for employer's liability.
- B. Contractor's Liability Insurance, which shall also include completed operations and product liability coverages and shall not exclude coverage for property under the care, custody, and control of the Contractor, in the following amounts:
  - a) General Aggregate (except Products/Completed Operations): \$1,000,000.
  - b) Products/Completed Operations: \$1,000,000.
  - c) Personal and Advertising Injury: \$1,000,000.
  - d) Each Occurrence (Bodily Injury and Property Damage): \$1,000,000. Property damage liability insurance shall provide Explosion, Collapse, and Underground Coverages where applicable.
  - e) Excess Liability—General Aggregate: \$1,000,000.
  - f) Excess Liability—Each Occurrence: \$1,000,000.
- C. Automobile Liability: Either:
  - a) Bodily Injury—Each Person: \$1,000,000; Bodily Injury—Each Accident: \$1,000,000; and Property Damage--\$500,000, OR
  - b) Combined Single Limit (Bodily Injury and Property Damage)—Each Accident: \$1,000,000.
- D. Umbrella policy (pay on behalf form), with limits of \$2,000,000 for bodily injury, personal injury, and property damage on a combined basis.

4) Guarantee of the Work. The Developer agrees to guarantee all work performed under this Agreement against defects in workmanship or materials for a period of one (1) year from the date of Acceptance by the Village. If any damage or defect should appear during this guarantee period, the Developer agrees to make any and all required replacements or repairs of the defective work at the Developer's own expense. This expense includes total and complete restoration of any disturbed surface within the Development or on adjacent property, in a good and workmanlike manner and to the standards provided in this Agreement and the Plans. Each repair or replacement performed pursuant to this Section shall be guaranteed on the same terms and conditions (including the guarantee of all future corrections of defects) for an additional period equal to the original guarantee period from the completion thereof.

5) Park Dedication, Parkland Improvement Fees, Parkland Improvements.

a) The Developer agrees to dedicate, in partial fulfillment of the parkland dedication requirement for the Plat, that number of acres, and in addition, to pay the fee (the “**Park Dedication Fee**”) in lieu of dedication for the Plat, as shown in Exhibit “C”, attached hereto and incorporated herein by reference. The Park Dedication Fee shall be paid on a per Phase basis, prior to commencement of construction on such Phase, at the rate in effect as of the date on which an amendment to this Development Agreement is entered into for the Phase in question, with the total amount of the Park Dedication Fee being divided by the number of Dwelling Units in the entire Plat, and the resulting sum multiplied by the number of Dwelling Units in the Phase in question. The number of Dwelling Units shall be determined in accordance with the following table:

Single Family Residence = 1 Dwelling Unit  
Multi-Family Twin Home = 1 Dwelling Unit per Twin Unit or Condominium Unit  
Multi-Family Townhouse = 1 Dwelling Unit per Townhouse Unit or  
Condominium Unit  
Multi-Family Apartments = 1 Dwelling Unit per Apartment Unit

b) Park Improvement Impact Fees shall be paid upon the issuance of a building permit for each of the final lots of the Development at the then current rate.

c) For public parkland dedicated on the Plat the Developer shall properly grade and seed the parkland according to the approved Plans and pursuant to the Village Subdivision Ordinance, including installation of a water lateral to the property line of all dedicated parklands. In lieu of seeding the park, the Village may require Lakestone to provide a payment for costs related to the seeding and two years’ worth of maintenance expenses for the turf within Outlot 2 of the Plat.

d) Park improvements. The Village agrees to design and construct park improvements in its sole discretion within Outlot 2 of the Plat. The Village agrees to construct these improvements on or before December 31, 2027, provided the Developer has met its obligations under sub. paragraph c) above. The Village shall be responsible for the maintenance of Outlot 2 improvements, including turf and playground surfacing after the park improvements have been installed, except that the Developer shall be responsible for two years’ worth of maintenance expenses for establishment of the turf.

e) Library Improvement Impact Fees, Public Safety Center Impact Fees, Public Water Well Impact Fees and a Public Water Tower Impact Fees, at the then current, rates charged by the Village, will be paid by Developer at the issuance of Building Permits.

6) Time of Completion. Developer shall submit to the Village an amendment to this Agreement specifying the requested Phase of construction and such other

matters as are required herein or as may be requested by Developer with respect to the particular Phase in question. Developer agrees that Substantial Completion of the improvements required hereunder with respect to each Phase shall occur on or before 18 months after execution of a Development Agreement or an amendment hereto for the Phase in question. The finish course of asphalt shall be constructed by Developer on or before 18 months after Substantial Completion of a Phase. If construction of Improvements in any Phase does not commence within nine (9) months of approval of the associated Plans, the Plans associated with that Phase shall be resubmitted for review and approval. The Improvements shall be subject to any applicable regulations in effect at the time of each review, including any new ordinances enacted by the Village.

7) Reimbursement of Engineering, Inspections, Administrative and Miscellaneous Costs. Pursuant to the Village Subdivision Ordinance, the Developer agrees to reimburse the Village for engineering, inspections, administrative, legal and review fees incurred by the Village prior to and after the recording of the final Plat, at the times specified by the Village.

A. The Village shall provide the Developer with a quarterly accounting of all costs incurred under this Section. Upon request, the Village will provide the Developer with monthly accounting of all costs incurred under this Section.

B. The Developer shall pay all outstanding engineering, inspection, legal and administrative fees prior to the Village signing the final Plat.

C. The Developer shall pay all Village engineering, inspection and administrative expenses incurred after the Village signs the Plat and through the end of all construction in the Development.

8) Method of Improvement. The Developer hereby agrees to engage contractors for all work covered by this Agreement who are qualified to perform the work and who shall be listed as qualified for such work by the Village, or by one of its Commissions in the event the Village or Commission has published lists of approved contractors prior to the date of this Agreement. The Developer further agrees to use materials and make the various installations in accordance with the approved plans and specifications made a part of this Agreement by reference, and including those standard specifications as the Village or its Commission may have adopted prior to this date.

9) As-Built Plans. Prior to final acceptance, the Developer shall provide the Village with as-built plans. As-built plans shall be provided in both an electronic format and in hard copy. As-built plans in electronic format and readable by AutoCAD must be provided showing all horizontal and vertical locations of public sanitary, water, and storm water utilities i.e. manholes, hydrants, water main bends and tees, valves, sanitary and water lateral curb boxes, inlets, endwalls, etc. All vertical information shall

be on NAVD88 datum. The profile drawings must also show the diameter, length and slope of all pipes. In addition, Developer shall provide to the Village as-built-plans showing the finished surface elevations at all lot corners demonstrating positive drainage between lot corners, and also showing the finished surface elevation of all stormwater management ponds, swales and infiltration areas for the Phase in question. The horizontal location of all water and sewer services shall be located as follows:

- (i) Sewer laterals shall be located by the distance to the sewer 'wye' from the downstream manhole.
- (ii) The ends of stubbed sewer laterals for future connection shall be located and the elevations determined and shown.
- (iii) Water laterals shall be located by the distance from the nearest hydrant or valve on the main (whichever is closest) to the corporation stop.
- (iv) The distance to the curb stop from the main shall also be provided.

Any bends in the water main shall be indicated by the length from the nearest main-line valve. For mapping purposes, a single electronic point file of the entire development describing the as-built surface features of the new sanitary sewer, water system and storm sewer system, i.e. manholes, hydrants, water main bends, lateral curb boxes, valves, inlets, endwalls, etc., on the Dane County Coordinate system must be provided. This point file must include; northing, easting, elevation (NAVD88), and a point description. The Village's engineer can obtain the electronic file for the surface features, at the Developer's cost, when requested by either the Village or the Developer, provided that the Developer locates these features in the field. The Village Engineer will update all applicable Village maps and computer water and stormwater models. The cost of updating of Village maps and computer water and stormwater models to incorporate this development shall be borne by the Developer.

All sanitary sewer mains shall be televised in accordance with the Village's standard specifications. A colored DVD of the televising as well as a written report of the location of laterals and lengths of pipe shall be provided to the Village before final acceptance of the sewer.

10) Building Openings. Developer shall place a note on the Plat approved by the Village identifying the lots in the Plat which require certain minimum unprotected building foundation opening elevations two (2) feet above the peak water elevation during a 200-year storm event based on the approved stormwater management plan, so potential buyers are made aware of the lots as to which the foregoing is applicable. Developer shall record a restrictive covenant enforceable by the Village requiring compliance with all minimum opening elevations as shown on the plat.

11) Issuance of Building Permits. Developer shall request from the Village Board the waiver required under Village Ordinances in order to permit Developer to construct a model home. Developer shall provide access to the model home by means of a gravel driveway from a public thoroughfare sufficient to provide emergency vehicle access to the model home. No occupancy permit shall be issued for the model home until completion of all infrastructure Improvements.

12) Responsibility of Village.

A. The Village will perform no repair, maintenance, or snow plowing on any improvement until accepted by the Village. Developer shall assure that all dedicated streets shall be cleared of snow and ice after the issuance of any building permit and prior to acceptance by the Village Director of Public Works.

B. Except for the surface course of asphalt pavement, the Village shall accept the completed Improvements upon satisfactory testing and inspection of the same in accordance with the Village's standard practices, satisfactory placement of a binder course of asphalt pavement and satisfaction of all conditions of paragraph 2Q hereof.

13) Inspection. The Village shall inspect the status of the work in progress to determine if the work is progressing in a workmanlike manner pursuant to the Village Subdivision Ordinance and accepted industry standards. Notwithstanding the foregoing, the Developer has selected and appointed all Contractors, and the Village shall have no responsibility whatsoever for the Contractors or for the quality of the materials or workmanship provided by such Contractors. No authority granted herein to the Village in connection with the review or approval of the Improvements, shall be deemed to create any liability whatsoever on the part of the Village or its agents. No inspection of the Improvements by the Village or any agent of the Village shall alter the exclusive responsibility of the Developer for the construction and/or installation of such Improvements in a good and workmanlike manner and in accordance with the approved Plans and specifications.

14) Surety.

A. The Developer agrees to furnish to the Village, and to maintain in effect through the guaranty period provided in Section 4, at Developer's option either a letter of credit or a surety bond (in either case the "**Surety**") for each Phase in the minimum amount of 120% of the cost of the infrastructure Improvements for that Phase, in order to secure performance of this Agreement in accordance with the Village's Subdivision Ordinance. The amount of the Surety for Phase 1 shall include surety for completion of the Park Improvements described in Section 5.c, and in total shall be \$\_\_\_\_\_.

B. In the event the Developer fails to complete all Improvements in compliance with this Agreement and the Village approved Plans for the associated Phase, or fails to commence the repair or replace any Improvements as required during the guarantee period within thirty (30) days after notice from the Village and to promptly complete such repairs or replacements thereafter, or fails to pay any amounts required to be paid under this Agreement within ten (10) days of written notice thereof by the Village, the Village may perform or have performed all necessary work, and supply or have supplied all necessary equipment, goods, materials or services, to complete, repair or replace all or any part of some or all of the required Improvements in satisfactory form and/or satisfy any payment obligation of Developer hereunder, and recover all costs it incurs from the Surety. Notwithstanding the foregoing, in the event any required repair is necessary to prevent a substantial risk of harm to persons or property, no notice period shall be required. As used in this paragraph, "promptly" shall mean that repair or replacement is undertaken without delay, and completed as soon as reasonably practicable thereafter, considering all of the circumstances including, but not limited to, the nature of the required work, the availability of labor and materials, seasonal and other weather conditions, and the remaining term of the Surety, except that Developer's financial condition or circumstances shall not excuse any delay. In the event the Village validly exercises its right to recovery against the Surety, the Developer agrees to pay to the Village all of its costs and expenses, including reasonable attorneys' fees, relating to such exercise, and such expenses shall be recoverable from the Surety. The Surety shall be payable to the Village at any time upon presentation of (i) notice to the surety of the amount which the Village is entitled to be paid pursuant to the terms of this Agreement; (ii) an affidavit executed by the Village President, the Village Administrator or any other authorized Village officer stating that the Developer is in default under this Agreement; and (iii) the original of the Surety (if required by the surety). No provision in any Surety shall grant or require any opportunity for cure beyond that afforded Developer under this Agreement prior to the payment of the Village's claim or draft.

C. As work progresses on installation of Improvements constructed as part of this Agreement, the Village Engineer, upon written request from the Developer from time to time, shall recommend a reduction in the amount of the Surety as hereinafter provided when portions of construction (water, sanitary sewer, street, sidewalk, greenway or other Improvements) have been accepted by the Village. Upon such recommendation, the Village Community & Economic Development Director is authorized to reduce the amount of the Surety. At no time during the construction shall the Surety be reduced to less than fifteen percent (15%) of the original amount, plus any amount determined sufficient by the Village to cover all costs of any remaining construction.

D. Upon written request by the Developer and determination by the Village that the Developer has reached substantial completion of the public Improvements for the Phase in question in accordance with the terms of this

Agreement, the Village shall allow the Surety to be reduced to no less than fifteen percent (15%) of the original amount, which shall be held for a period of 14 months from the date of acceptance in accordance with paragraph 2(Q) of this Agreement, and then shall be released in its entirety by the Village.

E. A similar Surety shall be provided by the Developer for each subsequent Phase of the development as required.

F. Exhibit "E", attached hereto and incorporated herein by reference, describes the Public Improvement Costs secured by the Surety furnished by the Developer and approved by the Village for Phase 1 of the Plat. A similar exhibit shall be provided by the Developer and approved by the Village for each subsequent Phase of the Development as required.

15) Miscellaneous.

A. Binding Effect. The terms and conditions of the Agreement shall run with the land and be binding upon the parties, their heirs, successors and assigns.

B. No Waiver. Nothing set forth in this Agreement shall be construed as, nor is intended to be, a waiver or release of any obligations imposed upon the Developer or the Village by the Ordinances, or any statutes or regulations applicable to the Improvements. No approval by the Director of Public Works, Village Engineer, Village Attorney, or any other person acting on behalf of the Village shall be construed as a waiver of any of the requirements of the Ordinances, or any statute or regulation governing the Improvements.

C. Developer as Independent Contractor. Notwithstanding any other provisions of this Agreement to the contrary, the Developer is an independent contractor, and nothing herein shall be construed so as to make the Developer, its Contractors or consultants agents of the Village, or the Village, its employees, agents or consultants agents of the Developer. However, this does not limit the Village regulatory control over Developer regarding the quality of the required work or any other regulatory power of the Village. Furthermore, nothing contained in this Agreement shall be construed as creating any contractual relationship whatsoever between the Developer and the Village's consultants (planning, engineering, financial, and legal) or any persons or entities other than the Village.

D. Remedies for Breach. In the event of any breach by Developer of this Agreement, whether or not subsequently cured, the Developer shall pay, in addition to any damages or other relief obtained by the Village, all of the Village's costs and expenses, including reasonable attorneys' fees, relating to such breach, all of which shall be due and payable as incurred and shall be added to any judgment obtained by the Village.

E. No Third-Party Beneficiaries. This Agreement is intended solely to regulate the obligations of the parties hereto with respect to one another. Nothing in this Agreement is intended to create, admit or imply any liability to any third-party nor to provide any benefit to any person, firm, corporation or governmental or non-governmental entity not a party to this Agreement.

F. Limitation on Damages. In no event and under no circumstances shall the Village be liable under this Agreement to Developer for consequential, incidental, indirect, special or punitive damages, and Developer waives any claim to such damages. By way of example, and not limitation, “consequential damages” include lost profits or income, the cost of replacement financing, damage to reputation, lost business opportunities and loss of property values or anticipated property value increases. This limitation shall be effective regardless of the theory of liability and regardless of any breach or claim of breach.

G. Payment Deadlines. Time is of the essence with respect to all payments required to be made by Developer under this Agreement.

H. Notices. Any notice required hereunder shall be given in writing, signed by the party giving notice, personally delivered or mailed by certified or registered mail, return receipt requested, to the following:

To the Village:

Village Administrator  
Village of McFarland  
5915 Milwaukee St.  
McFarland, WI 53558-0110

To the Developer:

Brett Riemen & Brian Spanos  
Lakestone Properties & Management, LLC  
5910 Main Street  
McFarland, WI 53558

I. Severability. If one or more of the provisions contained in this Agreement shall, for any reason, be held to be invalid, illegal or unenforceable, such invalidity, illegality or unenforceability shall not affect any other provision. If any such provision is held to be invalid as applied to any property or circumstances, such determination shall not affect the applicability of such provision to any other property or circumstances.

J. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original. A facsimile or digitally transmitted signature is deemed the equivalent of an original signature.

K. Recording. Either the Developer or Village may record a copy of this Agreement or a memorandum of this Agreement with the Register of Deeds for Dane County, Wisconsin.

L. Reserved Powers. Nothing contained in this Agreement constitutes a waiver of the Village's sovereign immunity under applicable law. All rights are reserved. This Agreement constitutes the Village's permission to develop the Property in Phases. All future amendments concerning a Phase shall be substantially and materially in conformance with the terms of this Agreement and the requirements of Village ordinances except as otherwise provided in Section 15 (N), below.

M. Governmental Authority. The Developer understands and acknowledges that as a governmental entity, the Village cannot surrender its governmental authority by contract, and nothing in this Agreement shall be construed to preclude or limit the exercise by the Village of any governmental authority vested in it by law.

N. Standards and Ordinances. Whenever references are made in this Agreement to standards, codes, or Ordinances in accordance with which the Development is to be performed, the latest revision of the Village's Ordinances shall apply unless otherwise expressly stated. In case of conflict between any referenced standard or code on the one hand, and any provision of this Agreement on the other hand, the more stringent requirement shall govern. All applicable laws, ordinances, statutes, rules, regulations, or orders in effect at the time the relevant work under this Agreement is performed shall apply to the Developer and its Contractors, employees, and representatives. The Developer shall procure and pay for all permits, licenses, certifications and other applicable governing authority requirements and inspections and shall furnish any documentation, bonds, security, or deposits required to permit any work within Development.

O. Compliance with Laws. The Improvements shall be constructed in accordance with all Village, County, State, and Federal ordinances, laws and regulations. In the event of enactment or amendment of any federal or state laws after the date of this Agreement establishing new requirements or obligations related to any Improvements not yet accepted by the Village, the Developer shall take such action as may be necessary to comply with such laws.

P. Changes in Laws. In the event any future legislation is enacted by the state or federal government which preempts the Village's right to enforce any provision of this Agreement, the parties agree that such legislation shall not affect the obligations hereunder. The Developer waives any and all right it may have under such subsequent

legislation to the extent it would affect its rights or obligations hereunder. In the event the rights created or altered by such subsequent legislation are not, or cannot be waived, the Village shall have the right to terminate this Agreement.

Q. Neutral Construction. The parties acknowledge that this Agreement is the product of negotiations between the parties and that, prior to the execution hereof, each party has had full and adequate opportunity to have this Agreement reviewed by, and to obtain the advice of, its own legal counsel. Nothing in this Agreement shall be construed more strictly for or against any party because that party's attorney drafted this agreement or any part hereof.

R. Agreement Interpretation. All questions concerning interpretation or clarification of this Agreement or applicable Village Ordinances, including the discovery of ambiguities, conflicts, discrepancies, errors or omissions, or the acceptable performance thereof by the Developer, shall be immediately submitted in writing to the Village for resolution. The Developer shall, at all times, proceed with the work implementing the Development in accordance with the determinations, instructions, and clarifications of the Village, but all such determinations, instructions and clarifications shall be consistent with the terms of this Agreement. The Developer shall be solely responsible for requesting instructions or interpretations and shall be solely liable for any costs and expenses arising from its failure to do so.

S. Indemnification. The Developer will defend, indemnify and hold the Village and its officials, agents and employees harmless for all losses, claims, liabilities, expenses and costs, including reasonable attorney fees, arising from damages to property or injuries to the person occurring in connection with the making of the Improvements under this contract, except to the extent such damages or injuries are caused by the willful misconduct of the Village and its officials, agents and employees.

T. Restrictive Covenant. Developer agrees to record, contemporaneously with the recording of the Sperle Corners Plat that certain Restrictive Covenant (the "**Restriction**") restricting the sale of lots in future Phases without the prior written approval of the Village, a copy of which Restriction is attached hereto as Exhibit "D", and incorporated herein by reference.

[Signature page to follow]

Dated this \_\_\_\_ day of \_\_\_\_\_, 2025.

**VILLAGE OF MCFARLAND**

By: \_\_\_\_\_

Print Name: Stephanie Brassington

Print Title: Village President

Attest: \_\_\_\_\_

Print Name: Cassandra Suettinger

Print Title: Deputy Administrator/Clerk

**STATE OF WISCONSIN )**  
**)ss>**  
**COUNTY OF DANE            )**

Personally came before me, \_\_\_\_\_, notary public for the above State and County, this \_\_\_\_ day of \_\_\_\_\_, 2025, the above named Stephanie Brassington and Cassandra Suettinger, to me known to be the person who executed the foregoing instrument and acknowledged the same in the capacity and for the purposes therein intended.

\_\_\_\_\_

Print Name: \_\_\_\_\_

Notary Public, State of Wisconsin

My Commission expires:

**Lakestone Properties & Management, LLC**

By: \_\_\_\_\_  
Brett Riemen, Authorized Signatory

By: \_\_\_\_\_  
Brain Spanos, Authorized Signatory

**STATE OF WISCONSIN )**  
**)ss>**  
**COUNTY OF DANE         )**

Personally came before me, \_\_\_\_\_, notary public for the above State and County, this \_\_\_\_ day of \_\_\_\_\_, 2025, the above named Brett Riemen and Brian Spanos, to me known to be the person who executed the foregoing instrument and acknowledged the same in the capacity and for the purposes therein intended.

\_\_\_\_\_  
Print Name: \_\_\_\_\_  
Notary Public, State of Wisconsin  
My Commission expires:

## EXHIBIT "A"

### Page 1 Legal Description of Plat

Being a part of the Southeast one-quarter of the Southeast one-quarter of Section 2, Township 6 North, Range 10 East, Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

**BEGINNING** at the Southeast Corner of said Section 2; thence, along the South line of said Southeast 1/4, South 87°41'38" West, 1321.53 feet to the Southwest corner of said Southeast 1/4 of the Southeast 1/4, said point also being the Southeast corner of the plat of Park View Estates, recorded in Volume 57 of Plats on Pages 782 through 785 as Document No. 3459436; thence, along the East line of said plat, North 02°34'49" East, 626.90 feet to the Southwest corner of Lot 3 of Certified Survey Map (CSM) No. 15493, recorded in Volume 111 of CSMs on Pages 284 through 286 as Document No. 5637506; thence, along the South line of said CSM and its Easterly extension, North 87°40'27" East, 1316.58 feet to the Southeast corner of said CSM, lying on the East line of aforesaid Southeast one-quarter; thence, along said East line, South 02°07'34" East, 149.72 feet to the Northeast corner of Lot 1 of CSM No. 1455, recorded in Volume 6 of CSMs on Page 144 as Document No. 1400799; thence, along the North line of last said CSM, South 87°41'15" West, 291.58 feet to the Northwest corner of said Lot 1; thence, along the West line of said Lot 1, South 02°07'34" West, 150.00 feet to the Southwest corner of said Lot 1; thence, along the South line of said Lot 1, North 87°41'15" East, 291.58 feet to the Southeast corner of said Lot 1, lying on said East line of the Southeast one-quarter; thence, along said East line, South 02°07'34" East, 327.23 feet to the **POINT OF BEGINNING**.

The above-described parcel contains 780,586 sq. feet or 17.9198 acres, more or less, and is **SUBJECT TO** easements for Public road right-of-way purposes for Elvehjem Road and County Trunk Highway "AB" and is **ALSO SUBJECT TO** all other matters of record and/or fact.

**Page 2**  
**Phasing Plan**

**NOTE:** To be updated by Developer prior to recording Development Agreement with approved plans.

**EXHIBIT "B"**

**Engineering Plans**

**See attached.**

**NOTE:** To be updated prior to recording Development Agreement with approved plans.

**EXHIBIT “C”**

**Parkland Dedication and Fees in Lieu of Dedication**

**1. Dedication requirement:**

147 Duplex, Townhouse and Multi-Family Dwelling Units (collectively “MFDU”) @ 1,463 square feet/unit = 215,061 square feet or 4.94 acres.

**2. Dedication by plat:**

Outlot 2 = 15,342 square feet  
8 feet for path Elvehjem Road and  
CTH AB (excluding 2921 CTH AB frontage) = 13,663 square feet

Total = 29,005 Square feet or 0.67 acres

**3. Fee in lieu of dedication:**

215,061 – 29,005 = 186,056 square feet  
29,005 / 215,061 = 13.4869% (percent of required dedication provided by developer)

**4. Fee in lieu of dedication by unit (by way of example for 2025):**

MFDU fee in lieu of dedication = \$3,321.52 (as of 1/1/2025)\*  
MFDU: 0.134869 x \$3,321.52/MFDU\* = \$447.97 per MFDU\*

Total = \$2,873.55 per MFDU\*

\*The Park Fee In Lieu of Dedication shall be paid on a per Phase basis, prior to commencement of construction on such Phase, at the rate in effect as of the date on which this Development Agreement is entered into, or as of the date on which an amendment to this Development Agreement is entered into for the Phase in question.

**EXHIBIT "D"**

**Restriction as to Future Sale of Lots**

**See attached.**

<i>Document Number</i>	<b>Declaration of Conditions, Covenants and Restrictions Sperle Corners, Village of McFarland, Dane County, WI</b>
	<i>Title of Document</i>

**WHEREAS**, Lakestone Properties & Management, LLC, a Wisconsin Limited Liability Company (“**Owner**”) owner of those lots described in Exhibit “A” attached hereto and incorporated herein by reference, (the “**Lots**”), will construct certain public work improvements in construction phases as authorized by the Village of McFarland to provide services to said Lots; and

Name and Return Address:  
  
 Allen Reuter  
 Reuter, Whitish & Evans, S.C.  
 4600 American Parkway, Suite 104  
 Madison, Wisconsin 53718

See Exhibit “A”  
(Parcel Identification Number)

**WHEREAS**, authority to construct said public work improvements in construction phases is contingent upon the Owner recording a deed restriction restricting the sale of Lots included in future construction phases without prior approval of the Village of McFarland.

**NOW, THEREFORE**, the undersigned Owner hereby declares and provides:

1) The Village of McFarland and Owner have entered into a Development Agreement for Sperle Corners containing certain agreements of the parties with respect to construction and development of the Sperle Corners Subdivision. Record notice is hereby given of such Development Agreement. A copy of the Development Agreement is maintained at the Offices of the Village of McFarland.

2) That the Lots shall not be sold or transferred until such time as an instrument is recorded by the Village of McFarland in the Dane County Register of Deeds office, approving the sale or transfer of said Lots. The Owner shall be entitled to a release of the restrictions contained herein as to those Lots governed by a subsequent development agreement (or amendment to the existing Development Agreement) at such time as surety is provided to the Village of McFarland to ensure the performance of the contract for subdivision improvements for a future construction phase. This restriction shall not be in effect for those lots described in Exhibit “B”, attached hereto and incorporated herein by reference (the “**Phase 1 Lots**”).

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

**LAKESTONE PROPERTIES &  
MANAGEMENT, LLC**

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Print Title: \_\_\_\_\_

**STATE OF WISCONSIN    )  
  )ss>  
COUNTY OF DANE        )**

Personally came before me, a notary public for the above State and County, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named \_\_\_\_\_, to me known to be the person who executed the foregoing instrument and acknowledged the same in the capacity and for the purposes therein intended.

Print Name: \_\_\_\_\_

Notary Public, State of Wisconsin

My Commission expires:

Drafted by:  
Allen Reuter

**Exhibit "A" to Restriction**

**Lots Subject to Restriction**

Lots 1-17 within Sperle Corners, recorded in Volume \_\_\_\_\_ of Plats on pages \_\_\_\_\_ as Document Number \_\_\_\_\_ in the Dane County Register of Deeds Office, located in the Village of McFarland, Dane County, Wisconsin.

**NOTE:** To be updated prior to recording Restriction.

**Exhibit “B” to Restriction**

**Phase 1 Lots**

Lot 18 within Sperle Corners, recorded in Volume \_\_\_\_\_ of Plats on pages \_\_\_\_\_ as Document Number \_\_\_\_\_ in the Dane County Register of Deeds Office, located in the Village of McFarland, Dane County, Wisconsin.

**NOTE:** To be updated prior to recording Restriction.

**EXHIBIT "E"**

**Public Improvements Costs Secured by Surety**

**See attached.**

**NOTE:** To be provided by Developer prior to recording Development Agreement based on approved plans.

September 5, 2025

Re: Design Review of Lakestone Properties Sperle Corners Proposed Development

We completed our review of the detailed PUD plan dated August 5, 2025.

We recognize that the project is still developing, and not all items are fully designed and documented. Below is a list of items that we noted that aren't displaying compliance with applicable codes or should be considered during the design of the project.

- The fire lane plan that was submitted previously indicates that the maximum roadway width would be required to comply with turning radius. The current plan submission doesn't include where parking restrictions will be placed on Devils Lake Way. Based on our review on streeting will be permitted in front Lots 3-13. The north/south portion of Devils Lake Way will not be permitted to have street parking. It should be noted that the fire department access requires vertical clearance of 13' 6", with the design utilizing full street width the provided trees can't extend over the street unless they are taller than 13' 6".
  - The department's recommendation is not to permit the current proposed street width.
- Any curb area within 20' of fire hydrant will be required to be signed as no parking. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four-inch-wide yellow stripe placed on the pavement.
- The provide elevations for the apartment buildings on Lot 18 an eave height of 32' 1 1/2", which would require aerial access. The current access width doesn't comply with the 26' width for aerial access.
- The traffic calming devices (speed bumps) are required to be approved by the fire code official and will be required to be submitted. Speed bumps will not be accepted, and any traffic calming must comply with the following:

- Maintain angle of approach or departure for fire apparatus to be 8 degrees or less. (NFPA 1901 12.3.2.2)
- Height less than 8" (NFPA 1901 12.3.2.2)
- The indicated phase 1 apartments site plan has a fire department access road that exceeds 150' without an approved turn-around. Occupancy of phase 1 will not be able to be granted until a turn-around is provided or the access is built out to provide the turn-around.
- When considering the Lot 18 units as a multi-family development the IFC requires (2) separate access roads unless all buildings are equipped with approved automatic fire sprinkler systems. It would be preferable to add a second access road to Elvehjem between the (37) unit and (40) unit apartment buildings. If not added, any building on the lot will require approved automatic fire sprinklers including a shed or an accessory building that is constructed in the future.
- Any building with 3 units or more will require an automatic fire sprinkler system and Knox key box. It is encouraged to provide Knox key boxes on all buildings and especially any buildings that are rented. The plans have not included floor plans for buildings, and it is understood that the floorplans more than likely haven't been developed. It should be noted though that any building with a fire sprinkler will require a riser room that is accessible without entering a private dwelling.
- The buildings will need to comply with IFC section 510 for emergency responder radio coverage.

Code sections for reference:

*SPS 362.0903 (5)(a) Except as provided in pars. (b) to (cm), an automatic sprinkler system installed in accordance with IBC section 903.3 shall be provided throughout all buildings with a Group R fire area.*

*IBC 509.1 Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified*

*for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location shall be constructed of durable materials, permanently installed and readily visible.*

*IBC 916.1 Emergency responder radio coverage shall be provided in all new buildings in accordance with Section 510 of the International Fire Code.*

*IFC 503.2.1 Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).*

*IFC 503.2.4 The required turning radius of a fire apparatus access road shall be determined by the fire code official.*

*IFC 503.3 Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.*

*IFC 503.4.1. Traffic calming devices shall be prohibited unless approved by the fire code official.*

*IFC 504.1 Exterior doors and openings required by this code or the International Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.*

*IFC 507.5.1 Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route*

*around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.*

*Exceptions:*

*1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m).*

*2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).*

*IFC D103.4 Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.*

*IFC D105.1 Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.*

*IFC D105.2 Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.*

*IFC D105.3 At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.*

*IFC D106.1 Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. Exception: Projects having up to 200 dwelling units may have a single approved fire apparatus access road when all buildings, including*

*nonresidential occupancies, are equipped throughout with approved automatic sprinkler systems installed in accordance with Section 903.3.1.1 or 903.3.1.2.*

*VOM 26-146 (a) Required. Newly constructed commercial buildings and residential buildings containing three or more dwelling units, or when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the Fire/EMS Chief may require that a key box be installed in an accessible location. The key box shall be a type approved by the Fire and Emergency Medical Services Department and shall contain those keys found to be necessary to provide emergency access.*

*VOM 26-176 Where the Village water system is available, and any portion of a commercial or industrial building containing 7,000 square feet or more of gross interior area, or a residential building containing more than two dwelling units and containing 7,000 square feet or more of gross interior area, is set back more than 300 feet from the centerline of the nearest abutting public right-of-way, the owner shall install approved fire hydrants at such owner's expense. The set back distances shall be determined by measuring the travel distance from a municipal hydrant along the centerline of a municipal street or private road suitable for travel by fire apparatus.*

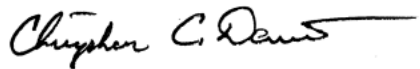
*VOM 26-177 (a) One hydrant shall be located at the main entryway to such building or complex. Additional hydrants shall be provided around the perimeter of the building or complex so that no hydrant is more than 400 feet from any other approved hydrant as described in Section 26-176.*

*VOM 26-181 Fire hydrants shall be marked with the curb painted yellow. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four inch wide yellow stripe placed on the pavement.*

The following items should be noted to assist in the project being completed smoothly and in a timely fashion:

- Village of McFarland is a delegated agent for the State of Wisconsin to perform fire protection and fire alarm systems reviews.
- Before the installation of any fire protection system a work permit is required to be issued by McFarland Fire & Rescue.
- Fire protection and fire alarm system reviews require the submission of architectural plans and would the owner to submit on behalf of the sprinkler and fire alarm contractors.
- Any privately owned piping including underground mains and laterals that are associated with or supply fire sprinkler systems require to be reviewed and inspected by McFarland Fire & Rescue before being concealed by building finishes or ground.
- Approval of the fire sprinkler system will require a flow test witnessed by McFarland Fire & Rescue within 1 year prior to the submission of plans for approval.
- The display of addresses for Lots 1, 10 and 11 may require additional signage at Devil's Lake Way. We would recommend reviewing with building inspection and McFarland Fire & Rescue Department before requesting occupancy inspections.

Sincerely,



Christopher C. Dennis, Chief  
Fire & Rescue Department  
Village of McFarland

CC:

McFarland Fire & Rescue Department Prevention  
McFarland Community Development  
McFarland Public Works

September 5, 2025

Re: Design Review of Lakestone Properties Sperle Corners Proposed Development

We completed our review of the detailed PUD plan dated August 5, 2025.

We recognize that the project is still developing, and not all items are fully designed and documented. Below is a list of items that we noted that aren't displaying compliance with applicable codes or should be considered during the design of the project.

- The fire lane plan that was submitted previously indicates that the maximum roadway width would be required to comply with turning radius. The current plan submission doesn't include where parking restrictions will be placed on Devils Lake Way. Based on our review on streeting will be permitted in front Lots 3-13. The north/south portion of Devils Lake Way will not be permitted to have street parking. It should be noted that the fire department access requires vertical clearance of 13' 6", with the design utilizing full street width the provided trees can't extend over the street unless they are taller than 13' 6".
  - The department's recommendation is not to permit the current proposed street width. **The attached Devils Lake Way Fire Lane Plan has been prepared. It indicates the fire lane with parking on the north and east side of Devils Lake Way and three "No Parking" signs on the south and west side of Devils Lake Way.**
- Any curb area within 20' of fire hydrant will be required to be signed as no parking. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four-inch-wide yellow stripe placed on the pavement. **The painting notes "WITHIN 10' OF FIRE HYDRANT" have been added to the plans. We subsequently received a note from Brian Berquist indicating "-Remove the yellow curb painting lines and notes (the Village does not paint curbs)". Please clarify what is required to satisfy this comment.**
- The provide elevations for the apartment buildings on Lot 18 an eave height of 32' 1 1/2", which would require aerial access. The current access width doesn't

comply with the 26' width for aerial access. The parking lot has been adjusted to include 26' wide driveways to allow for aerial access as shown on the revised Apartments Site Plan.

- The traffic calming devices (speed bumps) are required to be approved by the fire code official and will be required to be submitted. Speed bumps will not be accepted, and any traffic calming must comply with the following:
  - Maintain angle of approach or departure for fire apparatus to be 8 degrees or less. (NFPA 1901 12.3.2.2)
  - Height less than 8" (NFPA 1901 12.3.2.2)

The speed bumps have been removed from the plans.
- The indicated phase 1 apartments site plan has a fire department access road that exceeds 150' without an approved turn-around. Occupancy of phase 1 will not be able to be granted until a turn-around is provided or the access is built out to provide the turn-around. A fire lane plan has been prepared for phase 1. The 150' fire lane in the parking lot, as well as the fire lanes in Devils Lake Way and Elvehjem Road will provide sufficient hose length distances.
- When considering the Lot 18 units as a multi-family development the IFC requires (2) separate access roads unless all buildings are equipped with approved automatic fire sprinkler systems. It would be preferable to add a second access road to Elvehjem between the (37) unit and (40) unit apartment buildings. If not added, any building on the lot will require approved automatic fire sprinklers including a shed or an accessory building that is constructed in the future. Buildings will include automatic fire sprinklers.
- Any building with 3 units or more will require an automatic fire sprinkler system and Knox key box. It is encouraged to provide Knox key boxes on all buildings and especially any buildings that are rented. The plans have not included floor plans for buildings, and it is understood that the floorplans more than likely haven't been developed. It should be noted though that any building with a fire sprinkler will require a riser room that is accessible without entering a private dwelling. Buildings will include knox key boxes.
- The buildings will need to comply with IFC section 510 for emergency responder radio coverage. Buildings will comply.

Code sections for reference:

SPS 362.0903 (5)(a) Except as provided in pars. (b) to (cm), an automatic sprinkler system installed in accordance with IBC section 903.3 shall be provided throughout all buildings with a Group R fire area.

IBC 509.1 Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location shall be constructed of durable materials, permanently installed and readily visible.

IBC 916.1 Emergency responder radio coverage shall be provided in all new buildings in accordance with Section 510 of the International Fire Code.

IFC 503.2.1 Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

IFC 503.2.4 The required turning radius of a fire apparatus access road shall be determined by the fire code official.

IFC 503.3 Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

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Exceptions:

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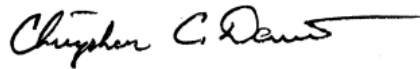
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- Approval of the fire sprinkler system will require a flow test witnessed by McFarland Fire & Rescue within 1 year prior to the submission of plans for approval.
- The display of addresses for Lots 1, 10 and 11 may require additional signage at Devil's Lake Way. We would recommend reviewing with building inspection and McFarland Fire & Rescue Department before requesting occupancy inspections.

Sincerely,

A handwritten signature in black ink that reads "Christopher C. Dennis". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Christopher C. Dennis, Chief  
Fire & Rescue Department  
Village of McFarland

CC:

McFarland Fire & Rescue Department Prevention  
McFarland Community Development  
McFarland Public Works

September 8, 2025

Mr. Andrew Bremer, AICP  
Community & Economic Development Director  
Village of McFarland  
5915 Milwaukee Street  
P.O. Box 110  
McFarland, WI 53558

Subject: Sperle Corners Development – Detailed Development Plan Submittal Review

Dear Andrew:

We have received the updated Detailed Development Plan submittal dated August 18, 2025 for Sperle Corners, a proposed new residential development north of Elvehjem Road and west of CTH AB, south of an existing multi-use trail, and east of some existing residential areas on Perrot Place. The preliminary plat, plans, and stormwater management report have been reviewed from a public works perspective. Our comments are shown below, organized by the appropriate document and/or drawing sheet number.

### **Construction Plans**

#### All Sheets

- Confirm water main has 7 feet of cover. Some hydrant locations appear to show closer to 8 feet cover.
- Move all shutoffs for future large water laterals (6-inch and larger) to be within 6 feet of the main.
- Call out future private sewer and water mains as “PRIVATE”

#### Sheet C-3

- Spot grades should be provided at all lot corners and relative high/low points in the grading plan to allow for checking the final grades against the proposed grading plan.

#### Sheet C-6

- The existing hydrant at the current end of Devil’s Lake Way should be removed and relocated to the proposed new dead end at the Elvehjem Road intersection.
- Add main valves on both sides of the proposed hydrant near STA 5+05.
- Add a main valve on the east end of the proposed main connection for testing purposes.

#### Sheet C-7

- A valve should be added to the west leg of the tee at Elvehjem Road, and the northern valve on said tee be moved just north of the nearby proposed hydrant.

Sheet C-10

- The proposed hydrant near STA 55+28 on Elvehjem Road should have valves on both sides of the hydrant tee.
- Add a ditchline profile showing existing ground above the proposed water main to confirm proper bury depth.
- Add insulation between the new water main and proposed storm sewer crossing Elvehjem Road.

Sheet 16

- Confirm that the Village fire apparatus maneuver through the layout with parking as intended.

**Final Plat**

We have no further comments on the plat and recommend Village approval.

**Stormwater Management Plan**

The stormwater management design as proposed will meet the Village, County, and State performance standards, however there are several important items that will be needed prior to recommending Village approval:

- A plan view of the site showing the extent of overland water flow during a 200-year storm (assuming all inlets are plugged) must be provided to ensure water does not enter private properties.
- The Storm Sewer Sizing exhibit shows several pipes over capacity. Explanation should be provided for this (or upsizing of piping).

Please feel free to contact us with any questions or comments regarding this review.

Very truly yours,  
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.  
President

cc: Mr. Lee Igl, Director of Public Works, Village of McFarland (*via email*)

Mr. Matthew Schuenke, Administrator, Village of McFarland (*via email*)

Mr. Ryan Quam, Quam Engineering (*via email*)

BRB:sai

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September 8, 2025

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### Construction Plans

#### All Sheets

- Confirm water main has 7 feet of cover. Some hydrant locations appear to show closer to 8 feet cover. **The water main has 7' of cover. The bottom of 6" water line is assumed to be fairly flat from the hydrant to the tee. The bury line is set approximately 3" above the adjacent curb elevation. The distance from the bury line to the bottom of 6" hydrant lead is to the nearest 0.5' increment and ends up being 8' deep from bury line to bottom of hydrant lead at each of the three hydrants.**
- Move all shutoffs for future large water laterals (6-inch and larger) to be within 6 feet of the main. **The attached plans dated 9-22-25 have been revised to address this item.**
- Call out future private sewer and water mains as "PRIVATE" **The attached plans dated 9-22-25 have been revised to address this item.**

#### Sheet C-3

- Spot grades should be provided at all lot corners and relative high/low points in the grading plan to allow for checking the final grades against the proposed grading plan. **Proposed spot elevations have been added.**

#### Sheet C-6

- The existing hydrant at the current end of Devil's Lake Way should be removed and relocated to the proposed new dead end at the Elvehjem Road intersection. **The attached plans dated 9-22-25 have been revised to address this item (See sheet C-6 and C-11).**
- Add main valves on both sides of the proposed hydrant near STA 5+05. **Valves have been added.**
- Add a main valve on the east end of the proposed main connection for testing purposes. **A 12" valve has been added near station 51+10 as shown on Sheet C-10.**

### Sheet C-7

- A valve should be added to the west leg of the tee at Elvehjem Road, and the northern valve on said tee be moved just north of the nearby proposed hydrant. **The 12" valve has been added near station 58+45 and the 8" valve has been shifted north as shown on sheets C-6 and C-11.**

### Sheet C-10

- The proposed hydrant near STA 55+28 on Elvehjem Road should have valves on both sides of the hydrant tee. **Two 12" valves have been added.**
- Add a ditchline profile showing existing ground above the proposed water main to confirm proper bury depth. **The ditch line profile has been added.**
- Add insulation between the new water main and proposed storm sewer crossing Elvehjem Road. **One 4'x8'x2" insulation sheet has been added.**

### Sheet 16

- Confirm that the Village fire apparatus maneuver through the layout with parking as intended. The existing Devils Lake Way is 32' face to face. **The initial Devils Lake Way design was 28' face to face as discussed with Village staff during the initial staff meeting. The current design is 30' face to face. If the face to face distance needs to be adjusted or if parking needs to be restricted in certain locations, then this will need to be discussed/directed with Village staff and/or Fire Department. This comment should not affect the water main design or delay the Owner Approval Letter.**

### Final Plat

We have no further comments on the plat and recommend Village approval.

### Stormwater Management Plan

The stormwater management design as proposed will meet the Village, County, and State performance standards, however there are several important items that will be needed prior to recommending Village approval:

- A plan view of the site showing the extent of overland water flow during a 200-year storm (assuming all inlets are plugged) must be provided to ensure water does not enter private properties. **This item will be provided by Mark Fendry under a separate email. This comment should not affect the water main design or delay the Owner Approval Letter.**
- The Storm Sewer Sizing exhibit shows several pipes over capacity. Explanation should be provided for this (or upsizing of piping). **This item will be provided by Mark Fendry under a separate email. This comment should not affect the water main design or delay the Owner Approval Letter.**

Please feel free to contact us with any questions or comments regarding this review.

Very truly yours,  
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.  
President

cc: Mr. Lee Igl, Director of Public Works, Village of McFarland (via email)  
Mr. Matthew Schuenke, Administrator, Village of McFarland (via email)  
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BRB:sai

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VILLAGE OF  
**McFarland**  
**SUMMARY SHEET**

**MEETING DATE:** Tuesday, October 21, 2025

**SECTION:** Business

**DEPARTMENT:** Community Development

**CONTACT:** Andrew Bremer, Comm & Eco Dev Director

**AGENDA ITEM:** Discussion and action on Plan Commission Resolution 2025-01, a resolution approving a Planned Development Detailed Plan for Phase I Development on Lot 18 of the Sperle Corners Plat for construction of a 40-unit apartment building.

**PREVIOUS ACTION:**

January 21, 2025 - Plan Commission preapplication meeting #1

February 19, 2025 - Plan Commission preapplication meeting #2

February 26, 2025 - Lakestone Properties held their own neighborhood meeting at the Municipal Center

March 18, 2025 - Plan Commission preapplication meeting #3

May 20, 2025 - Plan Commission held public hearing on request for rezone and preliminary plat review.

June 16, 2025 - Plan Commission recommended to Village Board approval Ordinance 2025-07, an ordinance rezoning the property from A1 Agricultural Transition to PD Planned Development General Plan Approved

June 24, 2025 - Village Board adopts Ordinance 2025-07.

September 16, 2025 - Plan Commission held public hearing on the Final Plat and Resolution 2025-01, Planned Development Plan for Phase I Development

**ISSUE SUMMARY:**

Lakestone Properties is requesting approval of a Planned Development District Detailed Plan for Phase I of Sperle Corners, located at [parcel #0610-024-9691](#). Resolution 2025-01 is a resolution for approval of Phase I construction for Building #1 only, the westernmost apartment building on Lot 18, network stormwater retention, and mass grading on the site for future phases. Building #1 is a three-story, garden-style, 40-unit apartment with a mix of efficiency/studio units, one-bedroom, and two-bedroom units. Note that Unit A-E on the site plan identifies the unit's floor plan design style and not the room number for the buildings. Building #1 includes a fitness room, lobby, elevator, and stairwells at opposite ends of the building. Phase I includes underground and surface parking, landscaping, and exterior lighting improvements for Building #1. Phase I also includes construction of the dedicated stormwater retention basin on Outlot 1 and Lot 18, which will also serve future Phases on Lot 18. Phase I also includes construction of Devils Lake Way and related public utility construction within the right-of-way.

**Review Procedures for Planned Development District Rezoning and Plat**

Per [Sec. 62-68\(c\)](#) Statement of Purpose of the Zoning Code, *"the Planned Development District*



*is established to provide a voluntary regulatory framework designed to encourage greater variety and flexibility in land development while achieving substantial compliance with the Village Land Use Plan and basic intent of the zoning ordinance and land uses beneficial to the Village. Such district is also established to promote the maximum benefit from coordinated area site planning, including diversified location of structures and mixed compatible uses, and to provide for safe and efficient systems for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, and economic design and location of public and private utilities and community facilities. Within this district are allowed the diversification and variation in the bulk and relationship of uses, structures and spaces in developments planned as comprehensive and cohesive unified plans and projects."*

Per [Sec. 62-67](#) of the Zoning Code, a Planned Unit Development (PUD) consists of two parts, a General Plan and a Detailed Plan. The General Plan establishes the uses of the property, total residential units, the general location of proposed streets, stormwater basins, public parks, building dimensions and stories. A Detailed Plan establishes the specific architectural character and design of each building, the dimensioned yards between buildings or structures and lot lines, final location and dimensions of vehicular and pedestrian facilities, including dimensioned streets walkways, access driveways, off-street parking, refuse receptacle areas, utility plans (water, sewer, storm sewer, lighting), and landscaping. A General Plan was approved by the Village Board adoption of Ordinance 2025-07, PD Planned Development - General Plan Approved. The second stage of this procedure continues the two-stage approach. The Plan Commission held a separate public hearing on the Detailed Plan at the September 16, 2025 Plan Commission meeting and will have final approval authority for the Detailed Plan. While the Plan Commission has final approval authority for the Phase 1 building, the building can't be constructed unless the Village Board approves the Sperle Corners Final Plat.

### **Existing Property & Neighborhood Conditions**

- Property Size: 17.92 acres (780,586 square feet), including Elvehjem Road and CTH AB right-of-way.
- The property is within the Village's urban service area with public water and sanitary sewer utilities located adjacent to the west lot line.
- Current Use: Undeveloped farmland
- Current Zoning: PD Planned Development General Plan Approved
- Adjacent Uses:
  - An agricultural drainage ditch follows the west and north property line. An existing public bike and pedestrian trail borders the property's perimeter along the west and north lot lines. This trail connects the Lower Yahara River Trail to Rosewood Fields Subdivision.
  - North - Parcel #061002495301 is a 15.7-acre lot, used as farmland and open space (wetlands). The parcel is zoned A1 Agricultural Transition. Further north is the Rosewood Fields Subdivision, currently in the final phase of its construction. The subdivision is zoned PD Planned Development and includes 117 dwelling units. This subdivision includes 100 detached single-family homes and 10 zero-lot line duplex units.



- East - The parcel wraps around 2921 County Highway AB, a ~0.9-acre lot with a single-family home located in the Town of Dunn, zoned SFR-1 under the Dane County Zoning Code. Lakestone Properties owns this home. East of CTH AB is 3418 and 3408 Elvehjem Road, located within the Village of McFarland. The property is mostly undeveloped open space. The 22.3-acre lot is zoned A1 Agricultural Transition and is proposed for a small business park under the recently approved Elvehjem Acres-Bliffert Lumber Predevelopment Agreement.
- West - Properties to the west include a variety of residential properties in the Park View Estates subdivision, separated by a 50-foot-wide Village parcel containing an existing recreational trail that connects to the Lower Yahara Trail to the Rosewood subdivision to the north. The existing residential properties are composed of single-family homes, duplexes, and townhomes. The mentioned properties include zoning within districts: R1, R-1A, R-2, R-3, and PD Planned Development (Skaalen Village).
- South - To the south are two lots, 2891 County Highway AB, a 3.4-acre lot with a single-family home zoned RR-2 (Dane County) and a 36.6-acre lot used for farmland zoned FP-35 (Dane County). Both lots to the south are located in the Town of Dunn and privately owned.

### **Phase I Building and Site Characteristics**

The proposed Phase I construction includes Building #1, a three-story garden-style 40-unit apartment building at the southwest corner of Lot 18. Below are the characteristics of Building #1:

- Residential Units Composition: 10 efficiency/studio units, 12 one-bedroom units, and 18 two-bedroom units for a total of 40 units.
  - Unit Styles A and D are two-bedroom & two-bathroom apartments.
  - Unit Styles B and E are one-bedroom & one-bathroom apartments.
  - Unit Styles C are Studio/Efficiency apartments.
- Parking. The basement shows 37 underground parking stalls (1 ADA) and 34 surface parking stalls (2 ADAs) for a site total of 71 parking stalls. For Phase I, the ratio of parking stalls to units is 1.78.
- Landscaping. The landscaping plan is found on Sheet C-5. Staff comments on the Landscaping Plan are included in the section below, Sec. 62-67(4).
- Lighting. The lighting plan will utilize 90-degree cast down full light cutoff fixtures in the surface parking lot. There will be wall-mounted cast-down lighting fixtures around the building's exits and entrances, including underground parking.
- Other Site Amenities
  - The underground parking garage includes 12 bike racks, dumpsters and the building's mechanical room
  - Each unit will have an in-unit washer and dryer
  - A fitness room on the first floor adjacent to the lobby
  - A centrally located elevator with stairwells on both sides of the building



**Conformance with Zoning Requirements**

Under Sec. 62-67(i)(2) the Village Plan Commission shall determine whether the plan complies with the standards set forth in and 66-67 and is in general conformance with the approved Planned Development General Plan. In Staff's opinion, the proposed Detailed Plan is in general conformance with the General Plan approved under Ordinance 2025-07, which identifies Building #1 within the southwest corner of Lot 18. For Lot 18, the General Plan follows similar R-3 zoning bulk dimensions with minor differences. The Detailed Plan states Building #1 will meet the standards established in the PD General Plan Approved.

**Sec. 62-67(a)(3) PD Planned Development District Off-street parking and loading.** Per Sec. 62-67(a)(3) there are no prescribed requirements for the number of off-street parking spaces; however, consideration should be given to the off-street parking requirements of the Zoning Code. The proposed Phase I development includes a total of 71 parking stalls, 37 underground and 34 above ground. Per Sec. 62-172(j) Required off-street parking spaces for residential properties, the required parking minimums depend on the residential unit type (1 space/dwelling unit for Efficiency, and 2 spaces/one-bedroom and two-bedroom units). From the unit mix described above, the total required parking minimum is 70 parking stalls. This standard has been met.

**Sec. 62-67(a)(4) PD Planned Development District Standards**

The applicant's submittal includes responses to the standards provided in the Zoning Code. Staff review of the Applicant's responses to standards 1-8 of Sec. 62-67(a)(4) are satisfactory. Below are comments for (d), (f)(1), and (j).

- (d) Review of the plant list on Sheet C-5 shows three additional points for the 13 Gold Drop Potentilla, (GDP) under the Points Supplied; however, the point total does not include three additional points and not shown on the Landscaping Plan. The Total Points Supplied is correct. The applicant's response to this standard includes meeting the Village's landscaping minimum for R-3 District for Lot 18. The following table is the calculation of the landscaping points required for Phase I. The total points required for Phase I for R-3 districts is 1,721. The total points provided for Phase I provides 1,403 total landscaping points. This is a deficit of 318 points. Staff notes that the total landscaping points does not include trees to be planted along Devils Lake Way which may add 25 or more trees, potentially 600-1,000 points depending on tree species. Additionally, future phases on Lot 18 could supplement the deficit. While PD District's do not have a minimum requirement, they often adopt a standard similar to the R-3 district for residential developments. It is the intent of the applicant to try and achieve that minimum, while not always required. In Staff's opinion, the landscaping plan is satisfactory for Phase I.

	Site Measurement	R-3 District requirement	Points Required
<b>Building Foundation</b>	363	50 per 100 ft	181
<b>Gross Floor Area</b>	47,250	20 per 1,000 sq ft	945
<b>Street Frontage<sup>1</sup></b>	519	50 per 100 ft	260



**Paved Area**                      33,535                      100 per 10,000 sq ft                      335

**Total Landscaping Points Required 1,721**

<sup>1</sup> Street frontage includes 213.8' on Devils Lake Way and ~305' along Elvehjem Road; Phase II will continue from this point along Elvehjem Road.

- (f)(1) The public park dedication is included on Outlot 2. This is a partial dedication for the entire subdivision. The balance of the required parkland dedication requirements for Sperle Corners will be paid through fees in lieu of parkland dedication at the time building permits are submitted. In addition, Lakestone will pay a park improvement impact fee per unit at the time building permits are submitted. Lakestone is deferring construction of improvements within Outlot 2 to the Village (i.e. the Village will plan, design, bid and construct improvements within the park). The final development agreement will provide a timeline for completion of these improvements, likely to coincide with completion of Phase 1.
- (j) The Phasing Map identifies areas to be developed as part of Phase I. This includes development of Lot 18 and Outlots 1 and 2. The only building to be constructed is Building #1 on Lot 18; however, massing grading within the plat will occur as part of Phase 1 to make other lot shovel ready. Other areas inside the area include the construction of Devils Lake Way, and construction of the stormwater retention network.

**PD Planned Development District General Plan Approved**

The description of the Detailed Plan in 1) states "*Mix of 1, 2, and 3 bedroom units with individual washers and dryers and private balconies.*" From the floor plans submitted for all three buildings, there are no 3-bedroom units shown. However, future phases for Lot 18 and Lots 1-17 may include 3-bedroom units. Information on Building #1's setbacks can be found on Sheet C-2. South along Elvehjem Road, the building is tapered slightly and setback 26.2' near its center. Along Devils Lake Way, the side yard setback 28.3'. A 30' ramp with rails connects the 5' concrete sidewalk from the surface parking lot to the building, a total of 35'. On Sheet A201.1, Building #1's elevation provides measurements of the building's height. The description of the PUD-GP Standard establishes 33' eave, the proposed building has an eave of 32'-1/2". The standard for the ridge (highest point) is 51', the proposed building is 49'-7.5". The proposed Building #1 is within the PUD-GP standards established.

**Department Comments**

Included in the packet is a staff report from the Village Engineer (dated 09.08.25) and a staff report from the Village Fire Chief (dated 09.05.2025). The packet includes updated plans dated 09.22.2025 from the applicant addressing the prior staff comments along with responses to the Village Engineer's and Fire Chief's September review letters. Staff notes that the revised plan documents dated 09.22.2025 did not fully address all of the prior staff comments. Items of particular note include:

- Elvehjem Road Public Water Utility. Lakestone has proposed a private water main through the parking lot of Lot 18 to serve future apartment buildings 1-3 in lieu of the



developer extending the public main from Devil's Lake Way to CTH AB. Under Sec. 56-120 of the Subdivision Code, utility services shall be extended to the farthest limit of the parcel or lot upon which a building permit is requested unless otherwise excused by the Village Board, Plan Commission or Village utilities officials. The intent of this provision is to allow the next developer downstream the ability to connect to the utility, similar to how utilities were previously brought to the western edge of Lakestone's property for their future connection. Previous concepts from Lakestone included connecting water laterals from the three apartment buildings along Elvehjem Road to the proposed public water main. The private main on Lot 18 is essentially the same length as the public main on Elvehjem Road and is thus redundant. Lakestone would also be responsible for any repairs to the proposed private main on Lot 18 versus only being responsible for private laterals if the buildings are connected to a public main on Elvehjem Road. Lakestone has agreed to remove the private main on Lot 18 and phase construction and connection of the public water main on Elvehjem Road from Devil's Lake Way to CTH AB with construction of each building. However, the plans in the packet don't reflect those changes yet.

- Fire Lane Plan. The packet includes a Fire Lane Plan (dated October 3, 2025); however, it does not address all of the concerns raised in the Fire Chief's September 5 review letter. Amendments are needed to account for a 26' wide aerial access road on Lot 18 because of building's roof edge exceeds 30' from the ground plane.

### **Public Comments**

The Department did not receive any written comments prior to the publication of this packet.

### **Next Steps**

Additional planned meetings are highlighted below. Village staff will work with the Developer on additional plan edits to address initial staff comments.

- October 28 Village Board meeting. Approval of Final Plat and Development Agreement

### **FINANCIAL/BUDGET IMPACT:**

The June 16, 2025 Plan Commission meeting packet provided the previous estimates on public improvements and buildings. *"The estimated value of Sperle Corners is as follows: \$600,000 per duplex (both units of one building), \$1,000,000 per 4-unit, and \$4,500,000 per 40 unit building for a total estimated value of \$21,700,000."* These assessed values would translate to approximately \$350,000 per year in property tax payments at full build out.

The draft final plat includes 15,342 sq ft of dedicated public parkland space along Devil's Lake Way (Outlot 2). This is a partial dedication which will be credited toward the remaining fees in lieu of parkland dedication impact fee as shown below. Per Sec. 56-173(a) Required land dedication, the standard for multifamily dwelling units, including apartments and duplexes, is 1,463 square feet per dwelling unit.

Estimated impact fees for Phase I with 40-units as of 2025 rates:



- Fees-in-Lieu of Parkland Dedication (as adjusted for partial parkland dedication and trail development) = (\$2,873.55 per unit >> \$114,942)
- Park Improvement Fee = (\$2,182.13 per unit >> \$87,285.20)
- Public Safety Center Fee = (\$1,673.00 per unit >> \$66,920.00)
- Library Impact Fee = (\$431.00 per unit >> \$17,240.00)
- Public Water Well Fee = 6-inch and above, \$55,850.00\*
- Public Water Tower Fee = 6-inch and above, \$18,650.00\*

*\*Assuming 6" meter is used.*

Estimated Phase I Total Impact Fees due: \$360,887.20. Values are subject to change based on the actual rate at the time a building permit is submitted and the terms of the final approved development agreement. The developer would be responsible for all project costs, including payment of applicable building permit, impact fees, and construction of street and utilities. As a part of the final plat approval, the Village requires a development agreement and the developer will be required to provide a surety bond for the proposed improvements.

#### **VILLAGE PLAN REFERENCE:**

##### **Comprehensive Plan, 2017**

The Village Comprehensive Plan Future Land Use Map identifies the proposed development site for future "Neighborhood" uses and wetlands. Page 33 of Volume 2, describes that *areas planned for "Neighborhood" development include a range of housing choices compatible with the Village's current and desired character are permitted, along with parks and smaller-scale institutional uses like senior housing and churches....see the Village's separate East Side Neighborhood Plan for further conceptual guidance for future land uses in this area.*" Figure 4.1 lists the Typical Implementing Zoning Districts in Neighborhood areas include R-1 Residence District, R-2 Single- and Two-Family Residence, R-3 General Residence, R-E Elderly Residence, PD Planned Development, PD-I Planned Development Infill. The Applicant's approved Planned Unit Development General Plan includes a range of housing choices and a public park.

##### **East Side Plan, 2023**

The 2023 East Side Master Plan Concept ([Chapter 4](#)) identifies multiple uses for the property (see image below). The uses include Low Density Residential, Medium Density Residential, Stormwater/Conservation, and Wetlands. The following land use category descriptions are as provided. As stated, *"these policies shall be enforceable through the generalized future land map in the Village's Comprehensive Plan (Chapter 4, Page 65)."*

- Stormwater & Conservation (SC) *"areas include conservation areas, cemeteries, stormwater management, greenways, major public trails, and land recommendations for preservation."* The location of wetlands shown in the 2023 East Side Plan was based on available WDNR aerial data. A wetland delineation was completed for the property in October 2022 that showed considerably fewer wetland areas than the WDNR aerial data. The Village requires a minimum 75-foot building setback from wetland boundaries. The Final Plat, Street and Utility Plan and Stormwater Management Plan includes additional

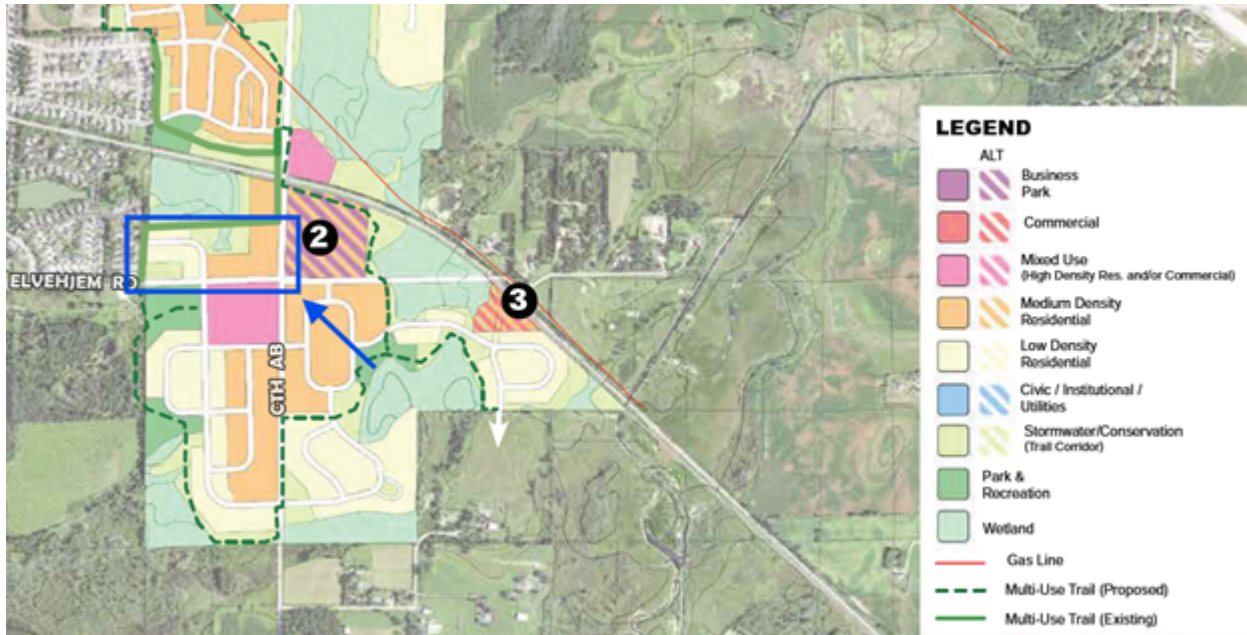


detail on wetland and stormwater management areas.

- Low Density Residential (LDR) *primarily consists of single-unit detached homes with strategically located 2-unit attached, 3-/4-unit buildings (triple and fourplex, respectively). Typical net densities should average 2-5 units per acre (throughout the entire neighborhood plan), with individual developments up to 10 units per acre. Three and 4-unit structures are most appropriate as a transition use when facing or next to more intensive institutional, residential or commercial uses. Lots 1-17 are generally aligned with the area mapped as LDR in the 2023 East Side Plan. These lots have net densities ranging from 2.0-8.9 dwelling units per acre with a total net density of 6.1 dwelling units per acre, below the maximum 10 units per acre for individual developments. The 2023 East Side Plan does not mandate that all areas mapped LDR must include single-family dwelling units. The context of each development area should be considered as well. While the Final Plat does not include any single-family homes, it does continue the existing pattern of duplex developments to the west before transitioning to 4-unit buildings and then apartment buildings. In addition, the existing duplex residential buildings on Perrot Place are more than 150 feet from the proposed building footprints on Lots 8 and 9. Physical barriers from the existing bike and pedestrian path, existing tree line, and wetlands, create added separation between the existing residential homes and the proposed dwelling units.*
- Medium Density Residential (MDR) *"includes detached single-unit homes and attached housing units such as duplexes, triplexes, townhomes, small and mid-sized multi-unit buildings. Developments in MDR areas should provide the greatest diversity of housing unit types, forms, and prices. Typical net densities should average 5-15 units per acre (throughout the entire neighborhood plan), with individual developments up to 20 dwelling units/acre...densities greater than 20 DU/AC for legally restricted affordable housing units." The net density of Lot 18 is 15.9 DU/AC, below the maximum 20 units per acre for individual developments.*

Page 62 of Chapter 4 of the East Side Plan states that *"while the general pattern of land uses and major streets shown in this concept should be reflected in actual development, it is recognized that more detailed elements within the concept, such as the locations of minor streets, location/sizing of stormwater management areas, precise boundaries of land uses, or the specific dimensions of blocks, are only concepts."* Along the west lot line, the concept includes similar scale housing types to the existing neighborhood to the west, transitioning to larger residential type buildings with higher unit counts to the east along CTH AB, consistent with the intent of the 2023 East Side Plan. In Staff's opinion, the Phase 1 Detailed Plan provides a consistent layout with the intent of the Master Plan Concept from the 2023 East Side Plan and is consistent with the prior approved General Plan.

#### **East Side Master Plan Future Land Use Map.**



**Housing Needs Assessment, 2023**

This plan identified a shortage of renter-occupied housing units in the Village, including market rate apartments. The approved General Plan includes 147 new units, ranging from duplex, 4-unit multifamily buildings, and three 37-40 unit garden style multifamily buildings. The Housing Needs Assessment provides low and high projections on rental housing demand by 2030 based on 2020 data. Population projections and target vacancy rate for low projections show the total rental units needed by 2030 is 117, or approximately 15 net new units constructed per year. For high projections, a total of 293 rental units is needed by 2030, or approximately 37 net new units constructed per year. For reference, no new apartment units have been built in McFarland in 2023 or 2024 since the Housing Needs Assessment was completed. The plan calculates a 0.0% vacancy rate between rental and owner-occupied units. This would indicate that there is a high demand for additional housing opportunity for both rental and owner-occupied units. Typically, a 5-7% vacancy rate would indicate a healthy range for rental units, and 2% for owner-occupied units. The plan also identified an under supply of rental units at 80% or more of the County median income. Housing Goal #1 (page 67) states "*increase the supply of ownership and rental units.*" The concepts within Housing Goal #3, create healthy neighborhoods is also applicable including "*varied housing types, size and price points, including both owner- and renter-occupied units. This enables more people to stay in the neighborhood through shifting housing needs, and it limits future instability due to changes in the housing market.*" The developer has indicated that Lots 3-16 will become zero lot-line owner-occupied duplexes.

**Non-binding County and Regional Plans:**

**Dane County Regional Housing Strategy**

From September 2022 to August 2023, an 80-person Housing Advisory Committee (HAC), including representatives from McFarland, joined together through a strategic planning process to create the Dane County Regional Housing Strategy (RHS). The RHS Action Plan identified



five housing priorities to guide future efforts around housing:

1. Increase the number of housing units attainable to low-income and moderate-income households.
2. Increase the overall number of housing units.
3. Provide housing, resources and protections for the most vulnerable populations.
4. Rehabilitate and preserve affordability of existing housing.
5. Provide more pathways to homeownership.

**[Capital Area Regional Planning Commission, 2050 Regional Development Framework, 2022](#)**

The 2050 Regional Development Framework is a nonbinding regional advisory land use guide for the Dane County region. This plan identifies six strategies to guide regional development patterns:

1. Focus growth in centers and along corridors.
2. Prioritize growth in already developed areas.
3. Plan areas for quality business growth.
4. Plan complete neighborhoods.
5. Preserve stewardship areas.

**ORDINANCE REFERENCE:**

- Chapter 56. Subdivisions
- Sec. 62-4(d). Planned residential development, dwelling
- Sec. 62-9(d). Number of residential buildings on a zoning lot
- Sec. 62-67. PD Planned Development District
- Sec. 62-68(c). Statement of Purpose, PD Planned Development District

**BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:**

Recommended motion:

*Motion, and second, to approve Resolution 2025-01, a resolution approving a Planned Development Detailed Plan for Phase I Development on Lot 18 of the Sperle Corners Plat for construction of a 40-unit apartment building with the following conditions of approval:*

1. *Village Board approval of the Sperle Corners Final Plat.*
2. *Applicant to submit final revised plans for acceptance by the Fire Chief to address those comments raised in the Fire Chief staff report dated September 5, 2025.*
3. *Applicant to submit final revised plans for acceptance by the Village Engineer to address those comments raised in the Village Engineer's staff report dated September 8, 2025.*
4. *Applicant to submit final revised plans for acceptance by the Village Engineer removing the proposed private water main on Lot 18 and constructing a public water main along the Elvehjem Road right-of-way to CTH AB to serve proposed buildings on Lot 18.*



**ATTACHMENTS:**

1. 9.16.25 - Rezone - Sperle Corners - Lakestone - phase 1 detailed plan- newspaper
2. PC 2025-01 - PD Detailed Plan Phase I - Sperle Corners
3. Sperle Corners Phase 1 PUD Detailed Plan\_08.05.25(rev 09.22.25)
4. Sperle Corners PUD Detailed Plan - Fire Chief Letter of Review\_09.05.2025
5. Sperle Corners PUD - Village Engineer Letter of Review\_09.08.2025
6. Sperle Corners PUD - Village Engineer Letter of Review\_09.08.2025\_Quam Responses 9-22-2025
7. Sperle Corners PUD Detailed Plan - Fire Chief Letter of Review\_09.05.2025-Quam Response 10-2-2025

Please publish in the  
Leader Independent on  
August 28, 2025 and September 4, 2025

**VILLAGE OF MCFARLAND  
NOTICE OF PUBLIC HEARING  
BEFORE THE PLAN COMMISSION**

NOTICE IS HEREBY GIVEN that there will be a public hearing before the Plan Commission on Tuesday, September 16, 2025 at 7:00 p.m. in the Community Room of the Municipal Center, 5915 Milwaukee St., McFarland, Wisconsin, at which time interested parties and citizens shall have an opportunity to be heard concerning the following:

Plan Commission Resolution 2025-01, a Resolution approving a Planned Development District Detailed Plan for Phase 1 of the proposed Sperle Corners Subdivision located in the Village of McFarland on parcel #154/0610-024-9691-1 lands at the northwest corner of Elvehjem Road and County Highway AB. Lakestone Properties and Management LLC is proposing to construct a forty-unit apartment building.

A complete copy of the applicant's application is available for review online at [www.mcfarland.wi.us/pendingrequests](http://www.mcfarland.wi.us/pendingrequests) or at the Village of McFarland Municipal Center, Community & Economic Development Department, 5915 Milwaukee Street, McFarland, WI 53558 (Monday-Friday, 8:00 a.m. to 4:30 p.m.).

Residents wishing to attend the meeting can do so in-person at the Municipal Center or via Zoom by visiting <https://us02web.zoom.us/j/85755749643> or Telephone: Dial (for higher quality, dial a number based on your current location): US: +1 (312) 626-6799 Webinar ID: 857 5574 9643. Please Note: Virtual attendance is offered as a convenience, but technical difficulties beyond the Village's control may prevent or limit its availability at any meeting. The public is encouraged to attend the meeting in person to assure full access to the proceedings.

If you cannot attend the meeting, you may submit your written comments to the Plan Commission by email to [community.development@mcfarland.wi.us](mailto:community.development@mcfarland.wi.us) or by mail to Community Development Department, Village of McFarland, P.O. Box 110, McFarland, WI 53558-0110. Submission must be received no later than the Wednesday prior to the meeting date to be included in the packet.

**PLAN COMMISSION  
RESOLUTION NO. 2025-01**

**A RESOLUTION APPROVING A PLANNED DEVELOPMENT DETAILED PLAN FOR  
PHASE I DEVELOPMENT ON LOT 18 OF THE SPERLE CORNERS PLAT**

**WHEREAS**, on June 24, 2025, the McFarland Village Board approved Ordinance No. 2025-07 rezoning parcel 154/0610-024-9691-1 from A1 Agricultural Transition to the Planned Development-General Plan Approved; and

**WHEREAS**, Lakestone Properties, the Developer, has submitted the Sperle Corners Final Plat to subdivide parcel 154/0610-024-9691-1 for purposes of developing 147 residential units in conformance with the Planned Development General Plan; and

**WHEREAS**, the Final Plat creates Lot 18 of Sperle Corners for the purpose of constructing three multifamily apartment buildings consisting of two 40-unit apartment buildings (Buildings #1 and #2) and one 37-unit apartment building (Building #3); and

**WHEREAS**, the Developer has submitted a Planned Development Detailed Plan for Lot 18 Phase 1 Development (Phase 1 Detailed Plan), attached hereto as Exhibit A, for construction of one 40-unit apartment building (Building #1) in compliance with all the requirements of Section 62-67(i)(1) of the McFarland Municipal Code sufficient for the Plan Commission to complete its review; and

**WHEREAS**, on September 16, 2025, the McFarland Plan Commission held a public hearing on this resolution, preceded by a Class Two Notice; and,

**WHEREAS**, the Plan Commission has reviewed the Phase 1 Detailed Plan as required by Section 62-67(i)(2)a of the McFarland Municipal Code, and has determined that the Detailed Plan complies with the standards set forth in Section 62-67(i)(1) and is in general conformance with the approved General Plan for the Development;

**WHEREAS**, the Plan Commission has determined that the Phase 1 Detailed Plan is consistent with the General Description of Land Uses Allowed within the Village of McFarland Comprehensive Plan for the Neighborhood Future Land Use Category as amended by adoption of the 2023 East Side Plan (Ordinance 2023-03);

**NOW, THEREFORE, BE IT RESOLVED** by the Plan Commission of the Village of McFarland as follows:

1. Section 62-62(a) of the McFarland Municipal Code and the Official Zoning Map are hereby amended so that the following described real estate is hereby rezoned from PD Planned Development General Plan Approved to Planned Development Detailed Plan Approved:

PART OF THE S ¼ OF THE SE 14 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN, being more particularly described as follows:

COMMENCING at the Southeast Corner of said Section 2; thence, along the South line of said Southeast one-quarter, South 87°41'38" West, 737.76 feet;  
thence North 02°04'22" West, 71.41 feet to the **POINT OF BEGINNING**;  
thence continuing North 02°04'22" West, 213.73 feet;  
thence North 88°36'17" East, 307.44 feet;  
thence South 01°23'43" East, 207.07 feet;  
thence South 87°21'28" West, 304.98 feet to the **POINT OF BEGINNING**.

The above-described parcel contains 64,421 sq. feet or 1.479 acres, more or less, and is subject to easements and agreements, if any, of record and/or fact.

2. The Village Zoning Administrator shall record in the Office of the Register of Deeds of Dane County a certified copy of this resolution as well as a copy of the approved Phase 1 Detailed Plan.
3. The Zoning Administrator is hereby directed to label these changes on the Official Zoning Map of the Village following recording of this Resolution.

The above and foregoing Resolution was duly adopted by the Plan Commission at a regular meeting held on \_\_\_\_\_, 2025

## VILLAGE OF MCFARLAND PLAN COMMISSION

---

Stephanie Brassington,  
Village President/Plan Commission Chair

Attest:

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Cassandra Suettinger,  
Village Clerk/Treasurer

## Plan Commission Application – 2025

~Application must be completed in full~

Applicant	Lakestone Properties and Management, LLC	Applicant's Agent	Brett Riemen
Property Owner (if different)	Diana Sperle & Mary Teppo	Name	
Address		Address	5910 Main St, McFarland WI 53558
Email		Email	brett@lakestoneproperties.com
Phone #		Phone #	608-838-1800

**Parcel No(s).** \_\_\_\_\_ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
<input type="checkbox"/> Preliminary Plat	\$500+AF	<input type="checkbox"/> Conditional Use	\$425+F	<input type="checkbox"/> Annexation	At cost
<input type="checkbox"/> Preliminary Plat (reapplication)	\$500+BF	<input checked="" type="checkbox"/> Rezoning (map)	\$475+F	<input checked="" type="checkbox"/> Dev. Agreement Including Addendums	\$400+F
<input type="checkbox"/> Certified Survey Map	\$300+FG	<input type="checkbox"/> Zoning Amendment (text)	\$475+F	<input checked="" type="checkbox"/> Final Plat	\$500+CF
<input type="checkbox"/> Condominium	\$300+EF	<input type="checkbox"/> USA/MMSD Annexation	At cost	<input type="checkbox"/> Final Plat (reapplication)	\$400+DF
<input type="checkbox"/> Comprehensive Plan Amendment	\$500+F			<input checked="" type="checkbox"/> Site/Design Review	\$400+F
+ = Plus publication and notification charges A = Plus \$50.00 per lot B = Any preliminary plat which has previously been reviewed/revised within the last 36 months C = Plus \$50.00 for each lot within the final plat D = Any final plat which has been previously reviewed/revised within the last 36 months E = Plus \$40.00 for each unit shown F = Plus actual legal, engineering and financial consulting costs incurred by the Village G = Plus \$25.00 per lot for two or more lots.				<b>Escrow Deposits</b> (covers costs for outside consultants; e.g., engineers, attorneys, etc.)	
				<input type="checkbox"/> R-E, R-3 & PD (up to 50 acres)	\$5,000
				<input type="checkbox"/> R-E, R-3 & PD (greater than 50 acres)	\$10,000
				<input type="checkbox"/> Site/Design Review (less than 2,000 sq. ft.)	\$1,000
				<input type="checkbox"/> Site/Design Review (2,000 sq. ft. or more)	\$2,000
				<input checked="" type="checkbox"/> All Plats including condominiums	\$5,000

**Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional papers if needed)**

Development of Lot 18, Phase 1 Apartment building, associated drive aisles and parking lots in conformance with the approved planned development.

**PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE**

**Has this specific proposal been previously discussed or acted upon by the Plan Commission?**

YES  NO (If "yes" state the nature and the date(s) of the previous application.)

Planned Development approved June 6, 2025

**Submittal Requirements:** One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, [community.development@mcfarland.wi.gov](mailto:community.development@mcfarland.wi.gov)), with fees included with submittal **by \*NOON of the deadline day**, according to the schedule below.

**Village of McFarland Plan Commission 2025 Schedule**

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices, potential agenda item materials are required to be submitted per the schedule listed below.

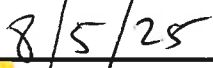
<u>*Submittal Deadline Noon on:</u>	<u>For Scheduled 2025 Meeting date of:</u>
December 10 (2024)-----	January 21
January 7-----	February 18
February 4-----	March 18
March 4-----	April 15
April 8-----	May 20
May 5-----	June 17
June 3-----	July 15
July 8-----	August 19
August 5-----	September 16
September 9-----	October 21
October 7-----	November 18
November 4-----	December 16
December 9-----	January 20, 2026

**Applications requiring a public hearing will be scheduled for a hearing according to the schedule above. If there is written or verbal public opposition submitted as part of the public hearing the Plan Commission will postpone action on the application to a subsequent meeting so that concerns can be analyzed if concerns can't be addressed during the hearing. If there is no public opposition and no unresolved issues by Village Staff or Plan Commission members, the Plan Commission may take action on the application at the same meeting as the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.**

**Acknowledgements:**

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing may not be acted on the same night as the Public Hearing

X   
Signature of Applicant/Agent

  
Date

# Site and Design Plans

## Check List

Date received: \_\_\_\_\_  
Subject property address: Sperle Corners Lot 18  
\_\_\_\_\_  
Landowner's name: Lakestone Properties, LLC  
Landowner's address: 5910 Main St, McFarland WI 53558  
\_\_\_\_\_  
Landowner's phone/fax: 608-838-1800  
Landowner's email: brett@lakestoneproperties.com

Agent's name: _____
Agent's address: _____
Agent's phone/fax: _____
Agent's email: _____

- x   A. Title Block that indicates name and address of the current property owner.
- x   B. Name and signature of the designer.
- x   C. Date of original plan and latest date of revised plan.
- x   D. North arrow and graphic scale. Said scale shall not be smaller than 1 inch equals 100 ft.
- x   E. Existing zoning   PD   Proposed rezoning   yes     no
- x   F. All property lines, and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- x   G. All required building setback lines.
- x   H. The location of all access points and connections to public streets, off-street parking, and loading areas on the subject property including a summary of the number of parking stalls, accessible parking stalls, and labels indicating the dimension of such areas.
- x   I. All existing and proposed building structures and paved areas, including walks, drives, decks, patios, balconies, fences, retaining walls, utility poles, exterior utility and mechanical equipment, and any accessory structures.
- x   J. Existing and proposed site and building signage.
- x   K. Color exterior façade elevations of all proposed buildings including descriptions of materials and colors.
- N/A   L. The location of all outdoor storage areas; including proposed screening materials and colors.
- x   M. The location of existing and proposed drainage facilities including stormwater and erosion control plan.
- x   N. The location and type of any permanently protected green space areas.
- x   O. The location and elevation of any wetlands or floodplains.

X P. Grading Plan including existing & proposed topography shown at a contour interval of not more than two (2) ft.

     X Q. In the legend, data for the subject property:

(1) Lot area

(2) Building area

(3) Paved area

(4) Total impervious area

(5) Landscaping points provided and required for building foundations, gross floor area, street frontage, and paved area.

(5) Building height

(6) Existing zoning, proposed zoning

(7) Number of parking stalls provided and required.

     X R. Landscaping Plans including proposed species, quantity and planting size. Refer to Appendix B of the Village's Zoning Code for more information.

     X S. Hydrant locations and Fire Department Connection.

     X T. Lighting Plans including photometrics and description of fixture types, heights and orientation.

     X U. Utility plans, including the location of existing and proposed overhead or underground site utilities, including piping and meter sizes and associate appurtenances.

     X V. Existing or proposed easements.

     X W. A legal description of the subject property.

General Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Note: In addition to Site and Design Permit approval, a building permit from the Village Building Inspector is required prior to the start of construction of any building, fence, or sign.**

## **Detailed Development Plan**

Statement of Owners Intent, and  
Detailed Plan for Lot 18  
Phase 1 Development

8-28-2025

Project:  
Sperle Corners Subdivision

Owner:  
Lakestone Properties and Management, LLC  
Attn: Brett Riemen

## **Statement of Owners Intent**

It is the intent of the Owner to develop the first apartment building on Lot 18 of Sperle Corners in conformance with the previously approved General Plan for Development;

## **Legal Description**

A part of the Southeast one-quarter of the Southeast one-quarter of Section 2, Township 6 North, Range 10 East, Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

**COMMENCING** at the Southeast Corner of said Section 2; thence, along the South line of said Southeast one-quarter, South 87°41'38" West, 737.76 feet; thence North 02°04'22" West, 71.41 feet to the **POINT OF BEGINNING**; thence continuing North 02°04'22" West, 213.73 feet; thence North 88°36'17" East, 307.44 feet; thence South 01°23'43" East, 207.07 feet; thence South 87°21'28" West, 304.98 feet to the **POINT OF BEGINNING**.

The above-described parcel contains 64,421 sq. feet or 1.479 acres, more or less, and is **SUBJECT TO** easements and agreements, if any, of record and/or fact.

## **Existing Site**

The Existing Site Plan is included as Sheet C-1 of the plan set and site features are as follows:

- 1) 15.37 total acres;
- 2) Currently zoned PD Planned Development.
- 3) Sloping with 25 feet of fall from the southeast property corner to the drainage ditch and wetlands at the west portion of the property.
- 4) Wetland boundary has been delineated per Ruekert Mielke October 13, 2022 report.
- 5) CTH AB is adjacent to the east.
- 6) Elvehjem Road is adjacent to the south.
- 7) Devils Lake Way dead ends to the west.
- 8) Eastern portion of land surrounds an existing residential home.
- 9) Public sanitary sewer and water main is available to the west at Devils Lake Way.
- 10) Public water main connection is available at Elvehjem Road.

## **Description of Detailed Plan for Lot 18 Phase 1 Development**

The Detailed Plan proposes the development of Lot 18 with a multistory apartment, associated drive aisles, and parking lots as shown on the General Development Plan included as Exhibit 1. In general, the intent of the Detailed Plan is for the Lot 18 to follow the Village's R-3 Zoning Code regulations, with the exceptions noted in the table that follows. The applicable residential bulk standards for Lot 18 is described in the table under "PUD-GP Standard". The table includes the "R-3 Standard" for informational purposes only. In addition to the minimum principal building setbacks described in the following tables, a 75-foot wetland setback applies to lots as shown in the General Development Plan site plan. The 75-foot setback applies to principal and accessory structures as well as impervious surfaces as required for Environmental Corridor policies of the Capital Area Regional Planning Commission, as administered by the Village of McFarland. Unless otherwise stated within this General Plan, or future approved Detailed Plans, applicable building and zoning requirements shall be those of the Village's Building and Zoning codes, including but not limited to, permitted obstructions in required yards (e.g. flagpoles, overhanging eaves and gutters, etc.), accessory uses and structures, fences, and exterior signage. The buildings and site layout are described as follows:

- 1) Lot 18 Phase 1 Apartment Building (R-3)
  - One (1) Three-story, 37 unit apartment building;

- Approximately 15,750 square foot footprint, 47,250 gross floor area;
- Approximately 210 feet long;
- Approximately 75 feet deep;
- 40 underground parking stalls;
- Approximately 34 above ground parking stalls are proposed for Lot 18 Phase 1 Development to supplement the apartment building’s underground parking and to meet overall parking requirements;
- Mix of 1, 2, and 3 bedroom units with individual washers and dryers and private balconies;

R-3	R-3 Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	None	319,800
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35	33’ Eave, 51’ Ridge, 42’ Roof mid pointe
Minimum Front and Street Yard Setback (ft.)	25 or 35 (where the garage faces a public street)	20 for Elvehjem and Devils Lake Way, 30 for CTH AB
Minimum Side Yard Setback (ft.)	8 (one story) & 10 (2-story building)	30 (to 2921 CTH AB) & 10 (to all other side lot lines)
Minimum Side Yard Setback both sides combined (ft.)	20	30 (to 2921 CTH AB) & 10 (to all other side lot lines)
Minimum Rear Yard Setback (ft.)	35	35
Minimum Building Separation between buildings on the same lot (ft.)	10	20
Minimum Usable open space per dwelling unit (sq.ft)	500	500
Minimum Lot area per dwelling unit (sq.ft)	5,445 (permitted use) 2,904 (conditional use)	2,175

**Planned Development District Standards and Responses**

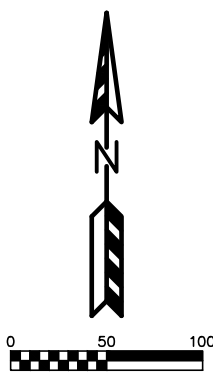
Section 62-67(4) lists the standards shall apply in the review of all general or detailed plans proposed for the Planned Development District. The standards and this submittal responses are as follows:

- a) *“The uses proposed in the planned development shall be in general conformance with the Village Comprehensive Plan”*. This application includes a proposed use in conformance with future land use map of “Neighborhood”, as well as with the 2023 East Side Plan Master Plan Concept of Medium and Low Density Residential.
- b) *“The establishment, maintenance or operation of the uses proposed in the planned development shall not substantially impair or diminish the use value and enjoyment of other properties within the neighborhood”*. The proposed Detailed Plan will not substantially impair or diminish the use value and enjoyment of the adjacent properties.

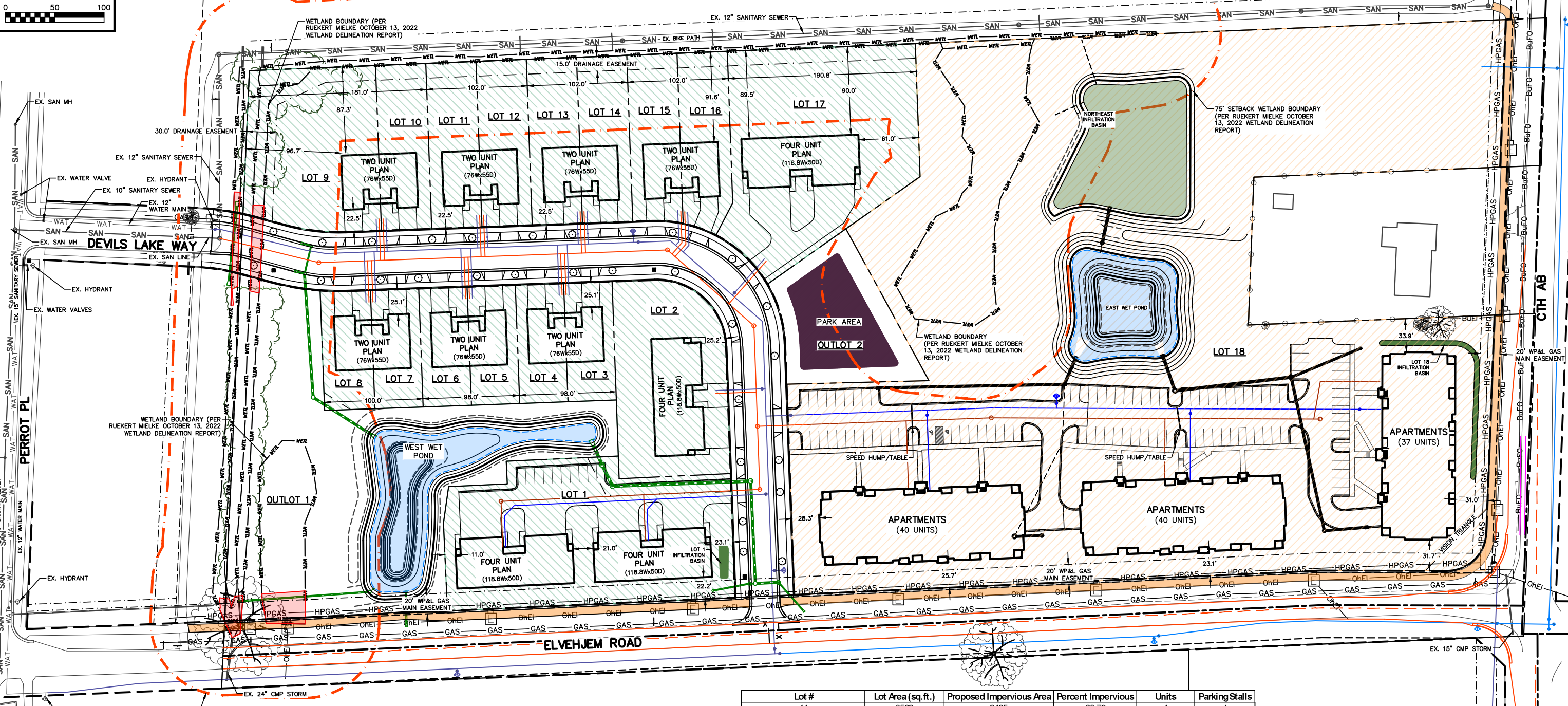
- c) *“Traffic circulation into and within the development shall be designed to minimize traffic congestion and traffic hazards, provide for the accessibility of all uses and buildings and also provide for the safe and convenient movement of both vehicles and pedestrians”.* The 28’ to 32’ wide Devil’s Lake Way extension will provide safe and convenient movement of vehicles and the adjacent sidewalk as well as perimeter bike paths will provide safe movement for pedestrians.
- d) *“The planned development shall incorporate environmental design considerations, including the preservation of topography, trees and ground cover, streams and natural bodies of waters, and other significant natural features and control of erosion and runoff in accord with the Village Erosion Control and Stormwater Management Ordinances”.* The proposed building is located a minimum of 75’ from the delineated wetlands. Stormwater runoff from the development will pass through detention ponds and infiltration ponds. The proposed development will meet Village Erosion Control and Stormwater Management Ordinances. The Landscape Plan will meet Village landscaping ordinances R-3 properties (Lots 18).
- e) *“The planned development shall provide for convenient and harmonious groups of buildings, structures and uses; and buildings shall be spaced and sited to ensure adequate safety, light, ventilation and privacy”.* The proposed building will be designed with similar materials and architectural style. The existing landscaping will be maintained to maximize privacy to the neighboring properties.
- f) *“The following provisions shall apply:”*
  1. *“In a planned development for residential use, adequate open space and recreational areas shall be provided in appropriate locations, and all public and common open spaces shall be designed and located to provide safe and convenient access to residents”.* The planned development will provide a blend of park dedication and fee in lieu of dedication. An approximately 0.352 acre park area is proposed as shown the General Development Plan, Exhibit 1. The lawn and landscaped areas will provide a common open space that is safe and accessible to residents.
  2. *“Planned Development Districts housing impacts on community resources in the same manner as other new development, which are characterized by division of land into lots. In particular, the additional population density places demands upon Village parks and recreation areas. Accordingly, each dwelling unit newly established shall be required to dedicate land or provide fees in lieu of land, in accordance with the procedures set forth in Section 62-64”.* The proposed 147 dwelling units will provide \$122,946.80 of fees-in-lieu of parkland dedication (\$3,073.67 per unit accounting for Outlot 2 dedication), \$87,285.20 in Park Improvement fees (\$2,182.13 per unit), \$66,920.00 in Public Safety Center fees (\$1,673.00 per unit) and \$17,240 in Library Impact fees (\$431.00 per unit). The final impact fees shall be determined at the time a building permit is submitted based on the Village’s approved rates.
- g) *“The planned development will not adversely affect the ability of public agencies to provide school or other municipal services”.* The planned development will not adversely affect the ability of public agencies to provide school or other municipal services. This area is planned for future residential development in the Village’s 2023 East Side Plan and there is a current declining enrollment within the McFarland School District.
- h) *“The width of street rights-of-way, width of paving, width and location of street or other paving, outdoor lighting, location of sewer and water lines, provision for stormwater drainage or other similar environmental engineering considerations shall be based on a determination and the appropriate standards necessary to implement the specific function in the specific situation; provided, however, that in*

*no case shall standards be less than those necessary to ensure the public safety and welfare as determined by the Village*". The construction will meet Village and State requirements.

- i) *"The proponents of a Planned Development District application shall provide evidence satisfactory to the Village Board of its economic feasibility of available adequate financing and that it would not adversely affect the economic prosperity of the Village or the values of surrounding properties"*. The applicant feels that this proposal will be a benefit to the Village and not adversely affect surrounding properties. The estimated value of the 40 unit building is \$4,500,000;
- j) *"The proponents of a Planned Development District shall submit a reasonable schedule for the implementation of the development of the development to the satisfaction of the Village Board, including suitable provisions for assurance that each phase could be brought to completion in a manner that would not result in an adverse effect upon the community as a result of termination at that point"*. Construction for the Lot 18 Phase 1 building is anticipated to start in Spring of 2026.



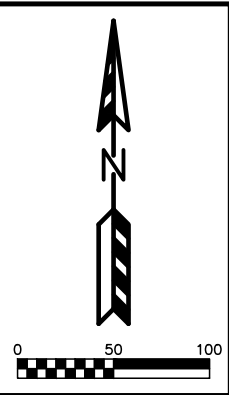
- LOW DENSITY RESIDENTIAL**  
4.98 ACRES  
10 DWELLING UNITS PER ACRE  
49 DWELLING UNITS ALLOWED  
30 DWELLING UNITS PROPOSED
- MEDIUM DENSITY RESIDENTIAL**  
7.35 ACRES  
20 DWELLING UNITS PER ACRE  
147 DWELLING UNITS ALLOWED  
117 DWELLING UNITS PROPOSED



Lot #	Lot Area (sq.ft.)	Proposed Impervious Area	Percent Impervious	Units	Parking Stalls	
1	41008	24502	59.75	8	42	
2	21509	8047	37.41	4	16	
3	5896	2525	42.83	1	4	
4	5885	2515	42.74	1	4	
5	5885	2514	42.72	1	4	
6	5885	2515	42.74	1	4	
7	5885	2514	42.72	1	4	
8	6140	2517	40.99	1	4	
9	21653	2465	11.38	1	4	
10	8551	2464	28.82	1	4	
11	8562	2465	28.79	1	4	
12	8574	2466	28.76	1	4	
13	8585	2464	28.70	1	4	
14	8597	2465	28.67	1	4	
15	8647	2465	28.51	1	4	
16	8944	2680	29.96	1	4	
17	36864	10956	29.83	4	16	
18	320229	87117	27.20	117	214	
Outlot 1	66857	0	0.00	0	0	
Outlot 2	15342	0	0.00	0	0	
Street ROW	11305	38570	77.13	0	0	
<b>TOTALS</b>	<b>669503</b>	<b>204265</b>	<b>30.51</b>	<b>147</b>	<b>344</b>	
					<b>Avg. # Parking Stalls per Unit</b>	<b>2.34</b>


**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
GENERAL DEVELOPMENT PLAN  
EXHIBIT: 1 OF 1  
DATED: AUGUST 5, 2025

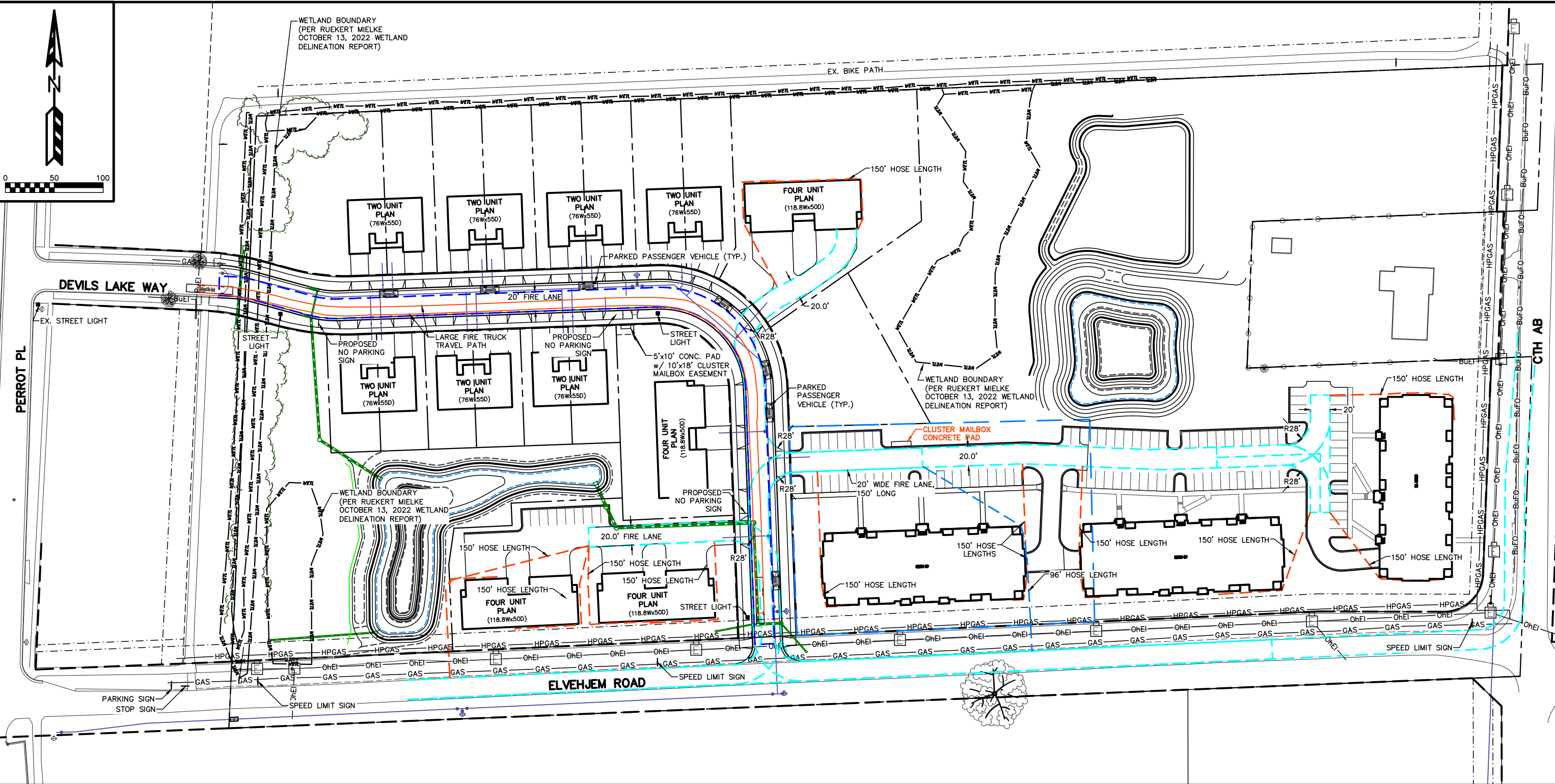
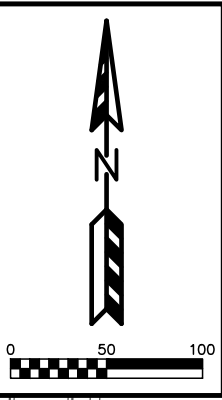
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www.quamengineering.com  
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 PHASING PLAN  
 EXHIBIT: 1 OF 1  
 DATED: AUGUST 28, 2025

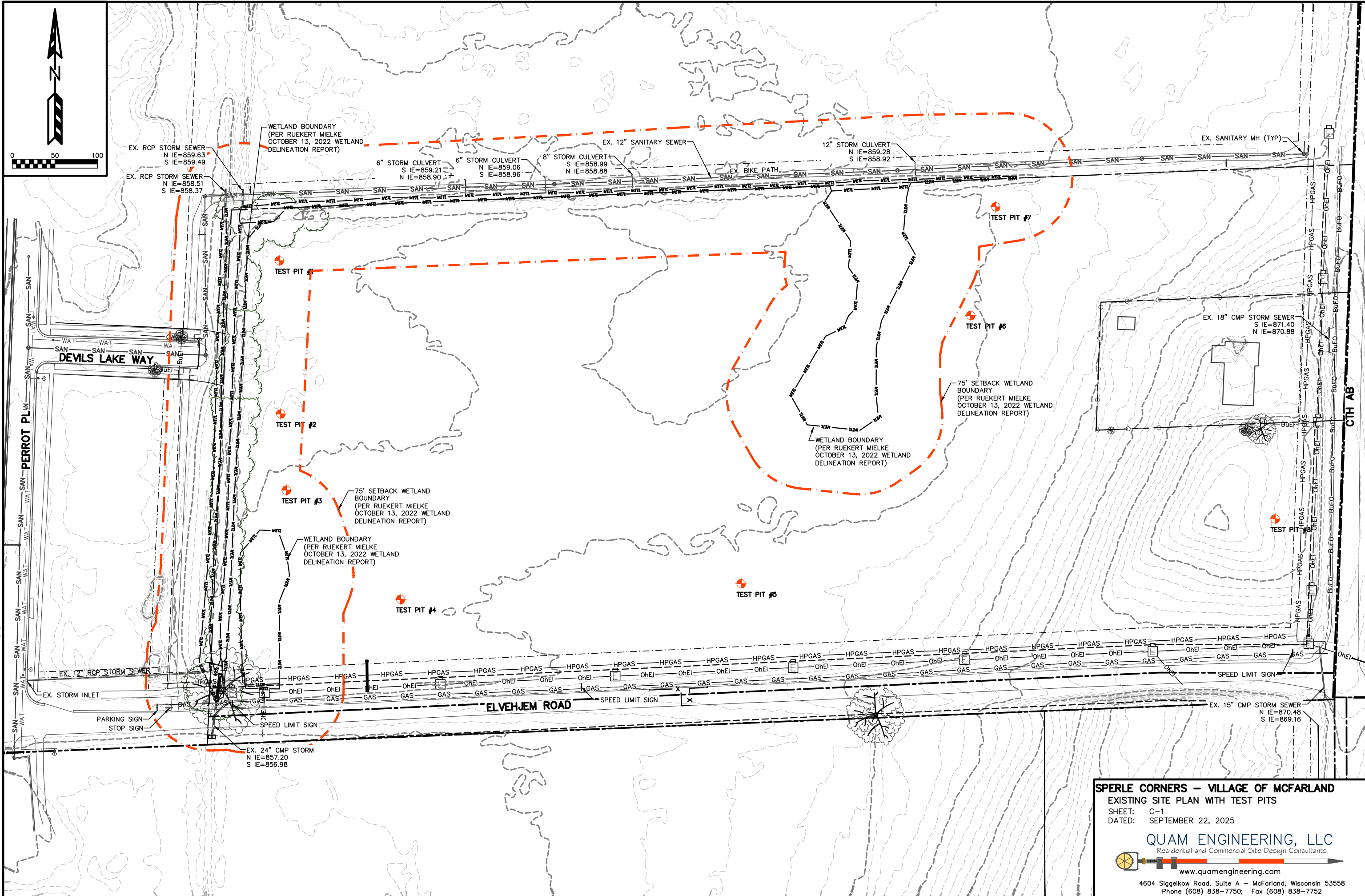
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**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 FIRE LANE PLAN  
 SHEET: 1 OF 1  
 DATED: OCTOBER 3, 2025

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 Phone (608) 838-7750; Fax (608) 838-7752



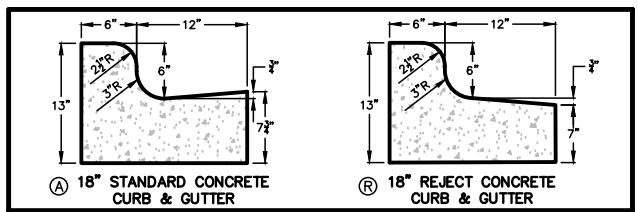
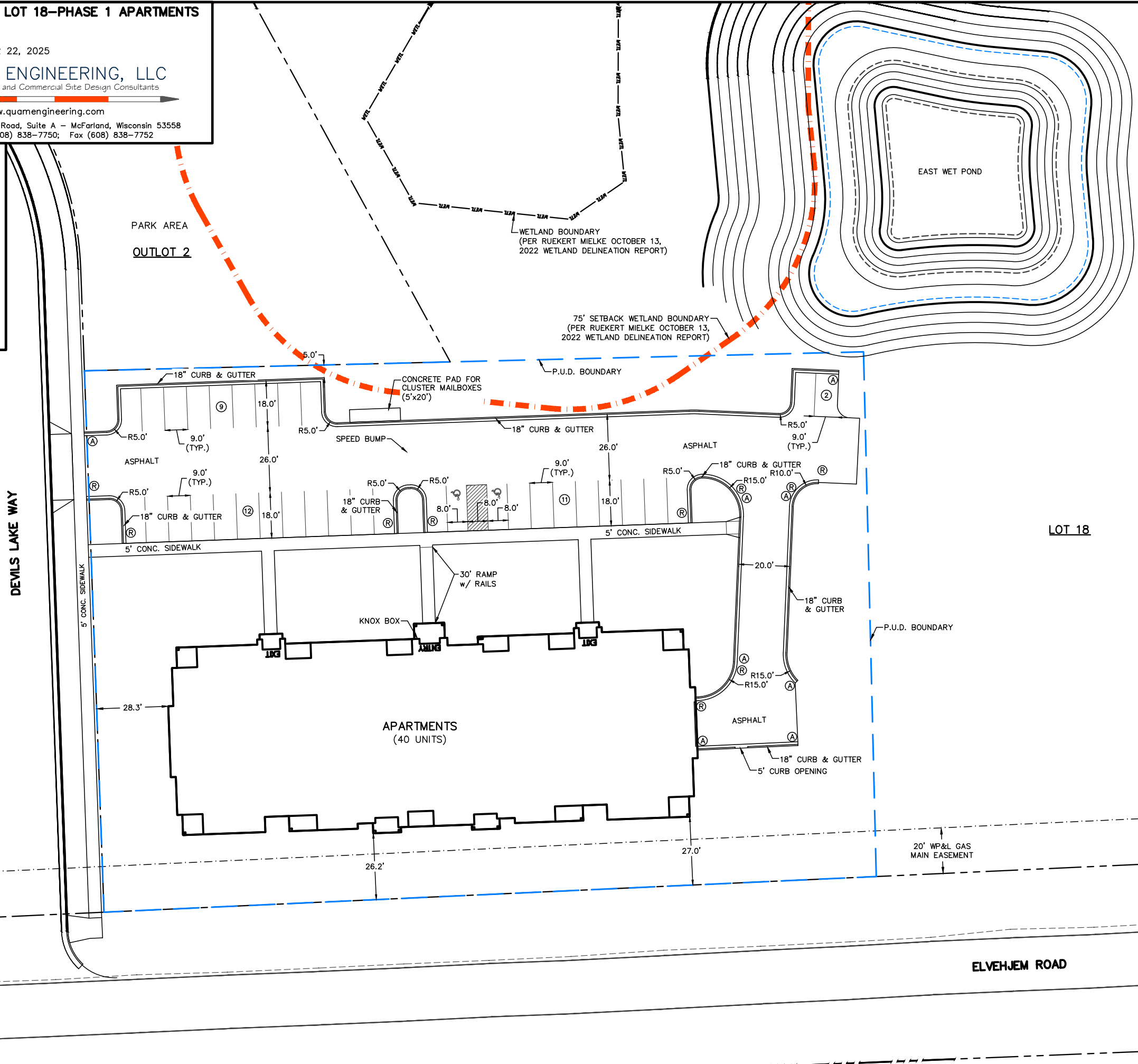
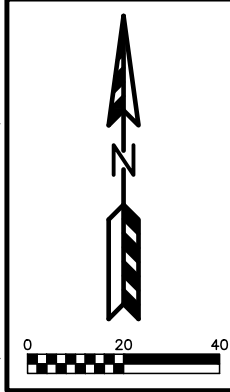
**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 EXISTING SITE PLAN WITH TEST PITS  
 SHEET: C-1  
 DATED: SEPTEMBER 22, 2025

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 www.quamengineering.com  
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 Phone (608) 838-7750; Fax (608) 838-7752

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \LS-03-19\LS03BASE.DWG

**SPERLE CORNERS, LOT 18--PHASE 1 APARTMENTS**  
 SITE PLAN  
 SHEET: C-2  
 DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**CONCRETE CURB NOTES:**

- LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
- EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE OF ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.
- IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED 4" CRUSHED STONE.

**SITE INFORMATION BLOCK - PHASE 3**

Site Address SPERLE CORNERS LOT 18  
 Site acreage (total) 7.35 ACRES  
 Current Zoning PD, PLANNED DEVELOPMENT  
 Surface Coverage:

Building	15,750 SQFT
Parking Lot/Asphalt Drive	15,992 SQFT
Sidewalk & Ret. Walls	1,793 SQFT
<b>TOTAL IMPERVIOUS</b>	<b>33,535 SQFT</b>

Maximum Building Height: 33' EAVE, 51' RIDGE, 42' ROOF MID POINTE

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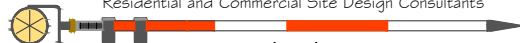
# SPERLE CORNERS, LOT 18-PHASE 1 APARTMENTS

## GRADING AND EROSION CONTROL PLAN

SHEET: C-3  
DATED: SEPTEMBER 22, 2025

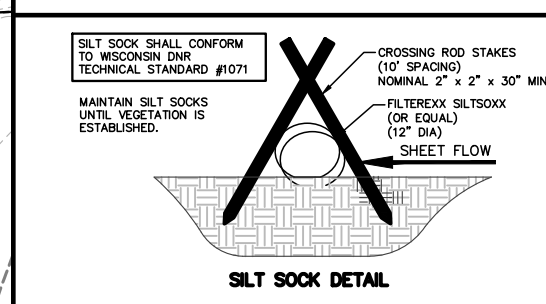
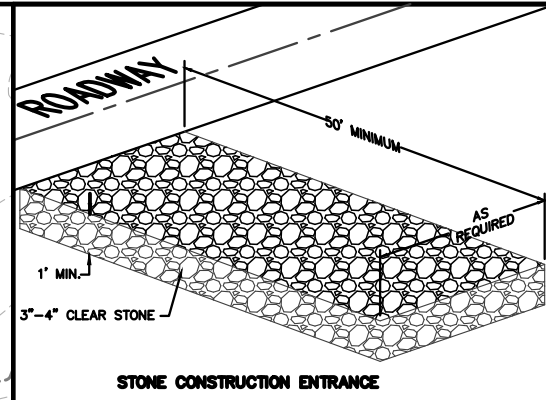
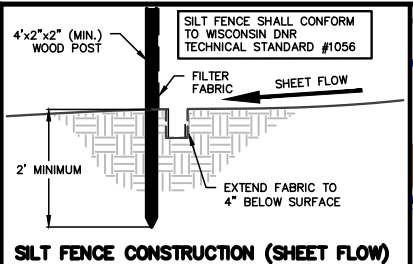
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www.quamengineering.com

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Phone (608) 838-7750; Fax (608) 838-7752



**EROSION NOTES:**  
THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

**TIME SCHEDULE:**  
MAY 1-30, 2026 INSTALL INITIAL EROSION CONTROL DEVICES.  
MAY 15, 2026 - APRIL 30, 2027 CONSTRUCT BUILDING & PARKING LOT AND RESTORE PERVIOUSLY DISTURBED AREAS.

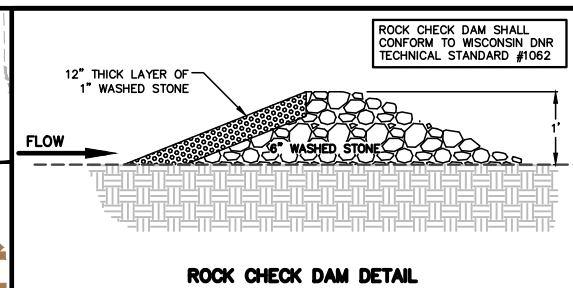
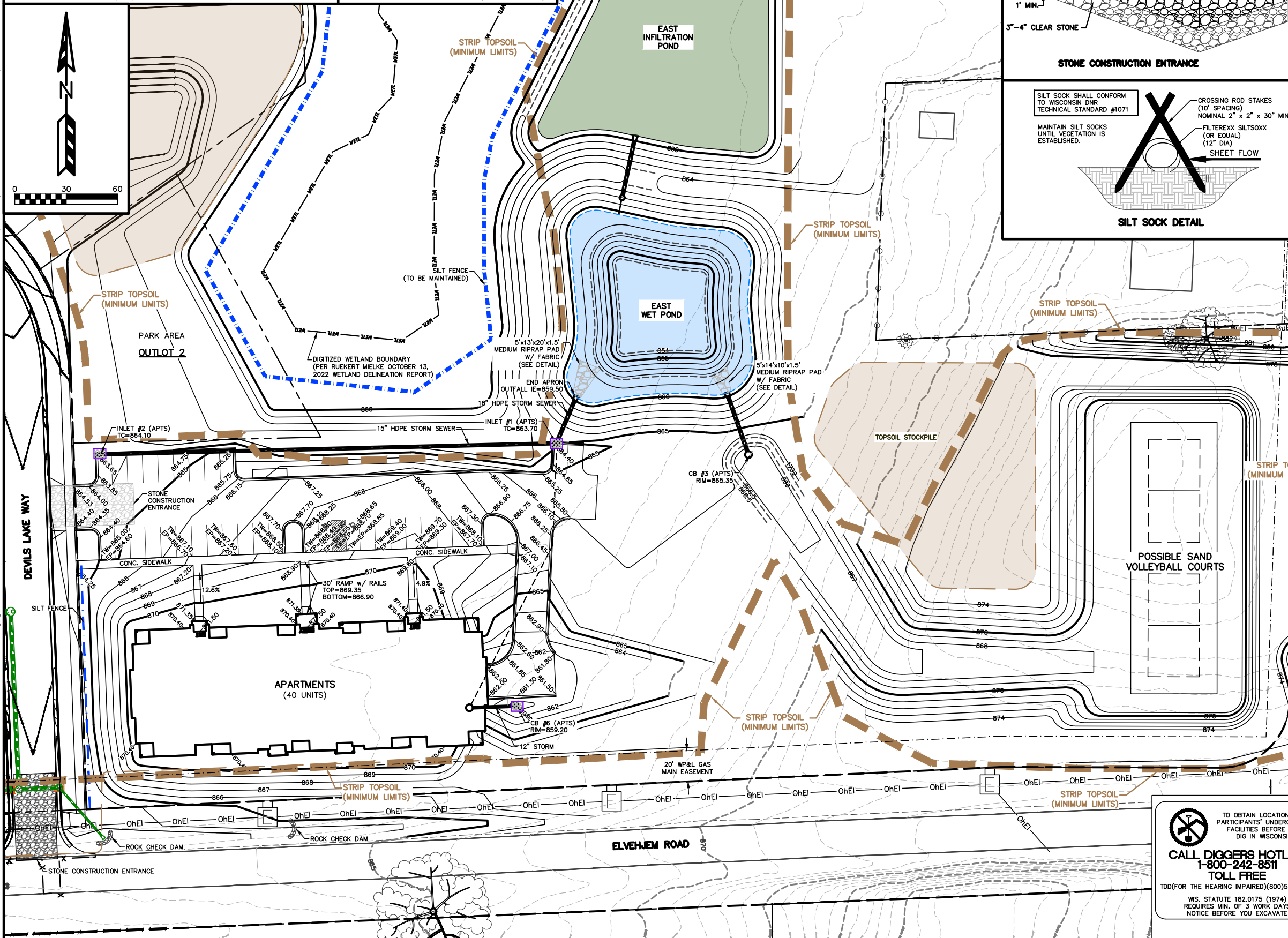
**RESTORATION NOTES:**  
ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

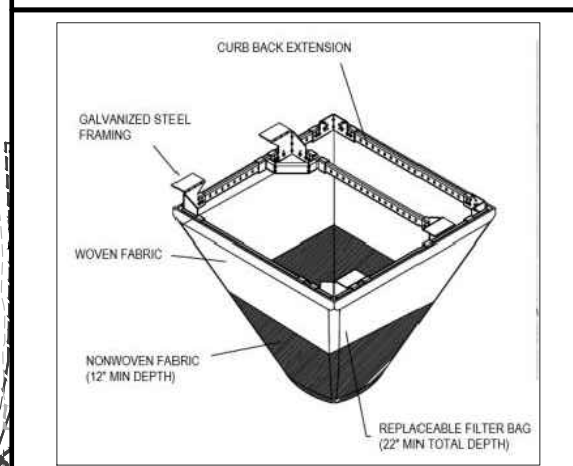
FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

**OWNER:**  
LAKESTONE PROPERTIES & MANAGEMENT, LLC  
ATTN: BRIAN SPANOS  
5910 MAIN STREET, SUITE 1  
MCFARLAND, WI 53558

**ENGINEER:**  
QUAM ENGINEERING, LLC  
ATTN: RYAN QUAM  
4604 SIGELKOW ROAD, SUITE A  
MCFARLAND, WI 53558



- EROSION CONTROL LEGEND**
- INSTALL WISDOT CLASS I TYPE B EROSION MAT
  - INSTALL FLEXSTORM CATCH-IT INLET PROTECTION DURING CONSTRUCTION. (SEE DETAIL)
  - INSTALL FLEXSTORM CATCH-IT BAG DURING CONSTRUCTION (SEE DETAIL), REPLACE WITH FLEXSTORM PURE INLET FILTER WITH PCP BAG DURING FINAL RESTORATION FOR OIL AND GREASE CONTROL
  - INSTALL TEMPORARY SILT SOCK DITCH CHECK (EVERY 2 FEET OF DROP IN SWALES)
  - INSTALL ROCK CHECK DAM



- FRAMED INLET PROTECTION MUST MEET THE FOLLOWING SPECIFICATIONS:
- ALL ASTM STANDARD D8057-17 REQUIREMENTS
  - NO PART OF INLET PROTECTION PROJECTING ABOVE THE GRATE
  - CAPTURE RUNOFF ENTERING BOTH GRATE AND CURB OPENING
  - "DUAL FABRIC" FILTER BAG, WITH NONWOVEN BOTTOM AND WOVEN TOP
- FLEXSTORM INLET PROTECTION DETAIL**

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

QUAM ENGINEERING, LLC 4604 Siggelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \LS-03-19\LS03BASE.DWG

**SPERLE CORNERS, LOT 18-PHASE 1 APARTMENTS**

UTILITY PLAN  
SHEET: C-4  
DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants



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4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
WS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

**UTILITY NOTES:**

CONTACT VILLAGE PRIOR TO CONNECTING PROPOSED UTILITIES INTO EXISTING UTILITIES. ALL CONNECTIONS SHALL BE PHOTOGRAPHED AND NEW STORM PIPES SHALL NOT EXTRUDE INTO EXISTING STORM PIPES.

ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE MOST CURRENT EDITION OF VILLAGE OF MCFARLAND STANDARD SPECIFICATIONS FOR PUBLIC WORKS IMPROVEMENTS AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 12" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

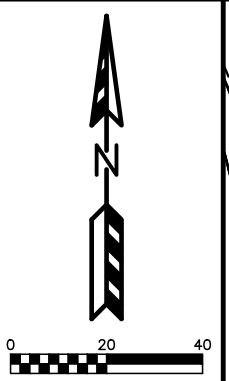
ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE CONTRACTOR SHALL VERIFY EXISTING SANITARY SEWER LATERAL INVERT PRIOR TO BUILDING CONSTRUCTION AND SHALL REPORT DISCREPANCIES PRIOR TO COMMENCING WORK TO THE ENGINEER OR BUILDING CONTRACTOR. THE CONTRACTOR SHALL CONTACT THE VILLAGE OF MCFARLAND PRIOR TO CONNECTING TO THE WATER SERVICE.

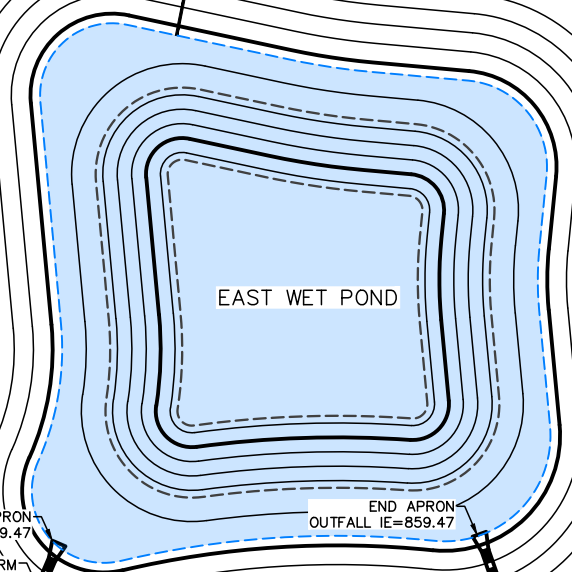
BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION.

GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.

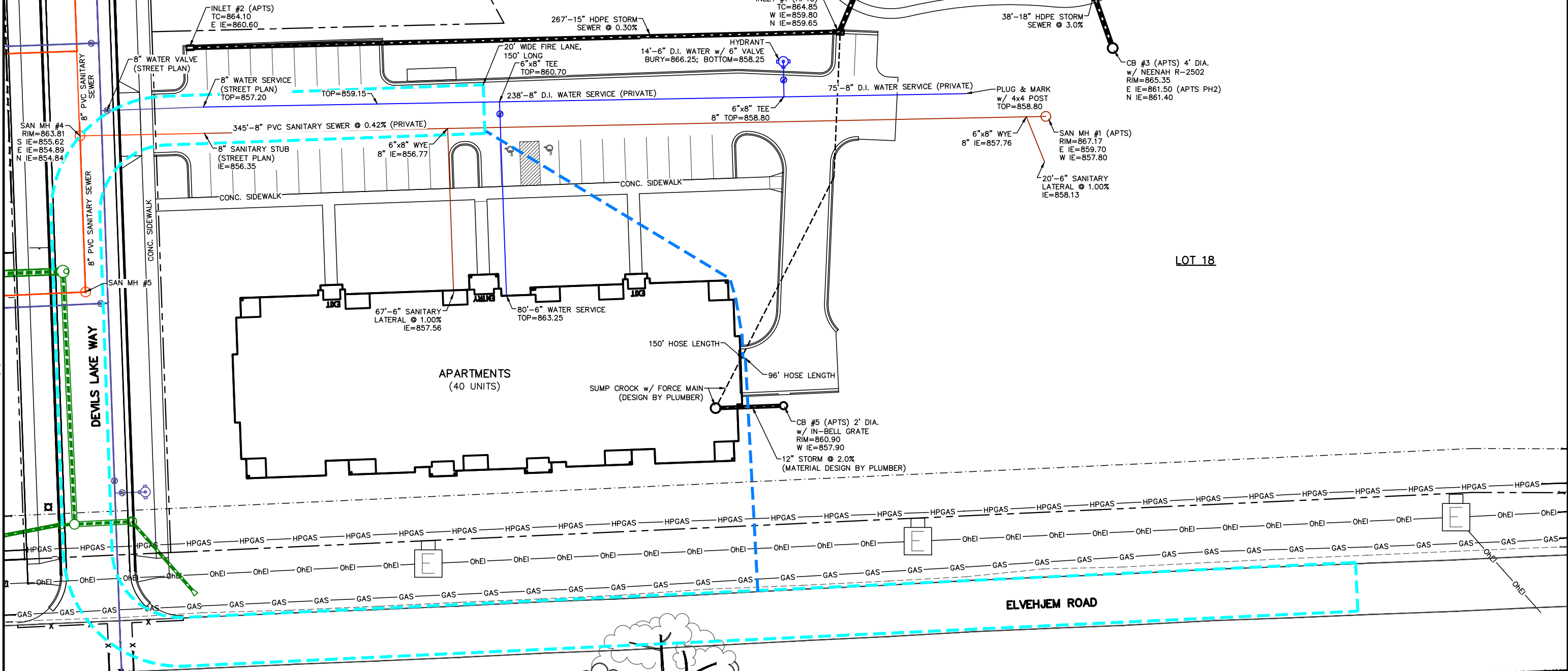
SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE. WATER SERVICE SHALL BE DUCTILE IRON UNLESS INDICATED OTHERWISE. STORM SEWER SHALL BE HDPE N-12 AND PVC SCHEDULE 40 UNLESS NOTED OTHERWISE.



PARK AREA  
**OUTLOT 2**



DIGITIZED WETLAND BOUNDARY  
(PER RUEKERT MIELKE OCTOBER 13, 2022  
WETLAND DELINEATION REPORT)

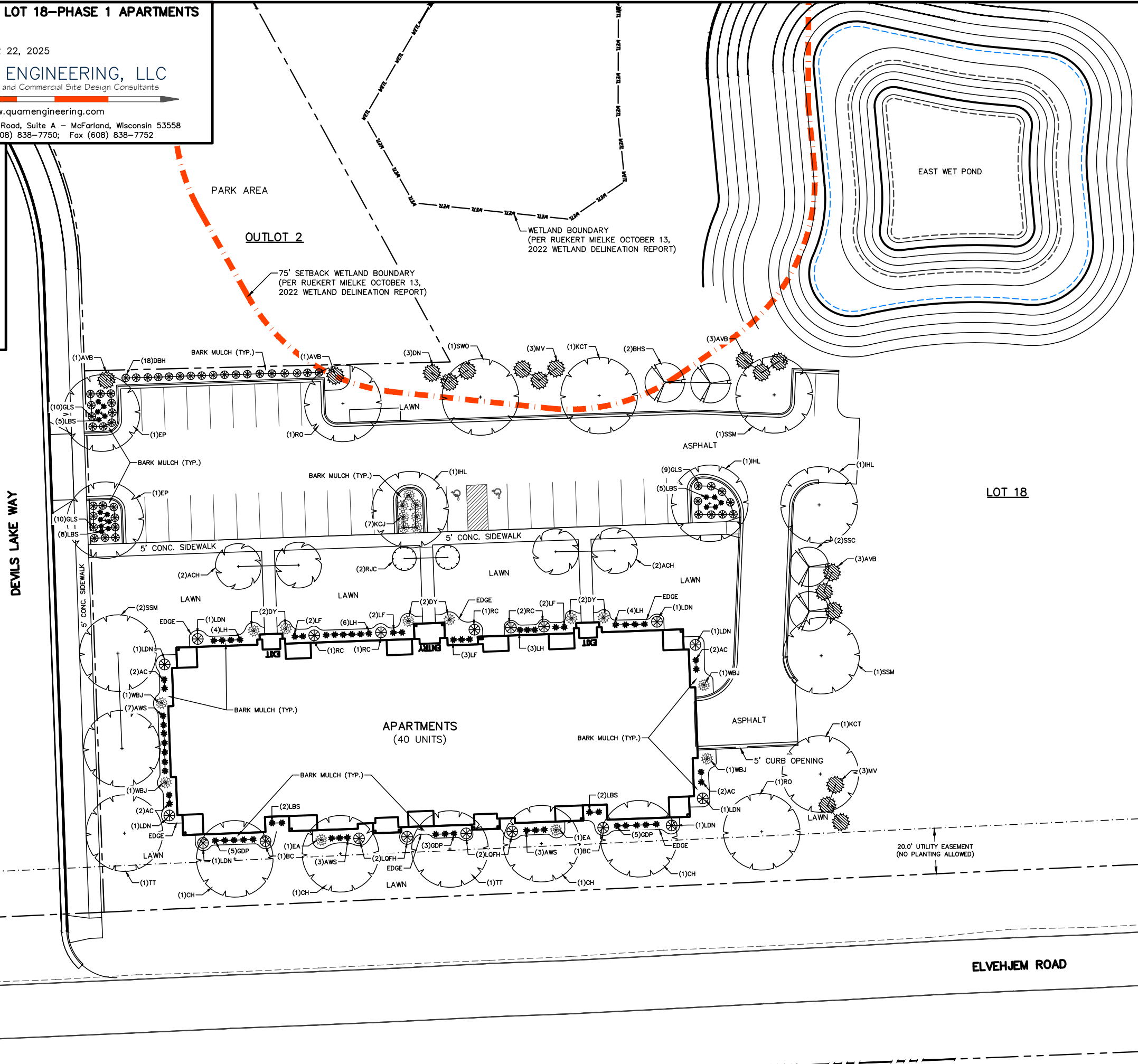
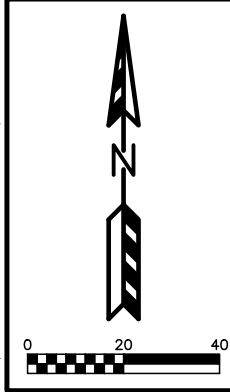


**LOT 18**

QUAM ENGINEERING, LLC 4604 Sigelkow Road, Suite A - McFarland, WI 53558 (608) 838-7750 \LS-03-19\LS03BASE.DWG

**SPERLE CORNERS, LOT 18-PHASE 1 APARTMENTS**  
**LANDSCAPE PLAN**  
 SHEET: C-5  
 DATED: SEPTEMBER 22, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



PLANT LIST						
KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT	POINTS SUPPLIED
CH	4	2"	Large Deciduous Trees (40 points each)	Callus Occidentalis	BB	160
EP	2	2"	Common Hackberry	Platanus Acerifolia	BB	80
IHL	3	2"	Imperial Honeylocust	Gleditsia Tricanthos 'Imperial'	BB	120
KCT	2	2"	Kentucky Coffeetree	Gymnocladus Dioicus	BB	80
RO	2	2"	Red Oak	Quercus Rubra	BB	80
SSM	4	2"	State Street Maple	Acer Miyabei	BB	160
SWO	1	2"	Swamp White Oak	Quercus Bicolor	BB	40
TT	2	2"	Tulip Tree	Liriodendron Tulipifera	BB	80
ACH	4	1 1/2"	Medium Deciduous Trees (25 points each)	Amur Chokecherry	BB	100
RJC	2	1 1/2"	Low Deciduous Trees (15 points each)	Red Jade Crab	BB	30
SSC	2	1 1/2"	Spring Snow Crab	Malus 'Spring Snow'	BB	30
BHS	2	5'	Tall Evergreen Trees (30 points each)	Black Hills Spruce	BB	60
EA	2	3'	Low Evergreen Trees (12 points each)	Emerald Arborvitae	BB	24
WBJ	4	3'	Wichita Blue Juniper	Juniperus Scopulorum	BB	48
AVB	8	36"	Tall Deciduous Shrubs (5 points each)	Arrowwood Viburnum	Pot	40
DN	3	36"	Diablo Ninebark	Physocarpus Opulifolius 'Diablo'	Pot	15
MV	6	36"	Mohican Viburnum	Viburnum Lantana 'Mohican'	Pot	30
BC	2	24"	Medium Deciduous Shrubs (3 points each)	Black Chokeberry	Pot	6
DBH	18	24"	Little Blueberry	Aronia Melanocarpa	Pot	54
LDN	8	24"	Dwarf Bush Honeysuckle	Diervilla Lonicera	Pot	24
LOFH	4	24"	Little Devil Ninebark	Physocarpus O 'Donna May'	Pot	12
RC	5	24"	Red Chokeberry	Aronia arbutifolia	Pot	15
AC	8	18"	Low Deciduous Shrubs (1 point each)	Alpine Currant	Pot	8
AWS	13	18"	AW Spiraea	Spiraea Bumald 'Anthony Waterer'	Pot	13
GDP	13	18"	Gold Drop Potentilla	Potentilla Fruticosa	Pot	16
GLS	29	18"	Gro Low Sumac	Rhus Aromatica	Pot	29
DY	6	18"	Medium Evergreen Shrubs (5 points each)	Densiform Yew	BB	30
KJC	7	12"	Low Evergreen Shrubs (3 points each)	Kalley Compact Juniper	Pot	21
LBS	22	1 G	Perennials (Non-Contributing)	Little Bluestem Grass	Con	0
LH	17	1 G	Loyalist Hosta	Hosta 'Loyalist'	Con	0
LF	9	1 G	Lady Fern	Athyrium Filix-femina	Con	0
<b>Total Points Supplied:</b>						<b>1,402</b>

- NOTES:
- All lawn areas to receive a minimum of 6" of topsoil, no mow seed mix, starter fertilizer, and straw mulch.
  - Lawn in swales and on slopes in excess of 3:1 shall be mulched with urban type B EC mat.
  - All planting beds shall receive a minimum of 6" of topsoil.
  - Designated planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
  - Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
  - Designated planting beds and stone maintenance strips to be separated from turf areas with 5" crisp shovel cut edge.

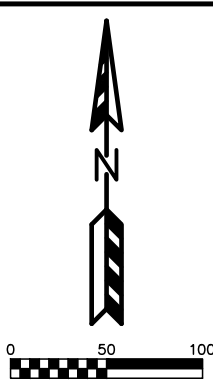
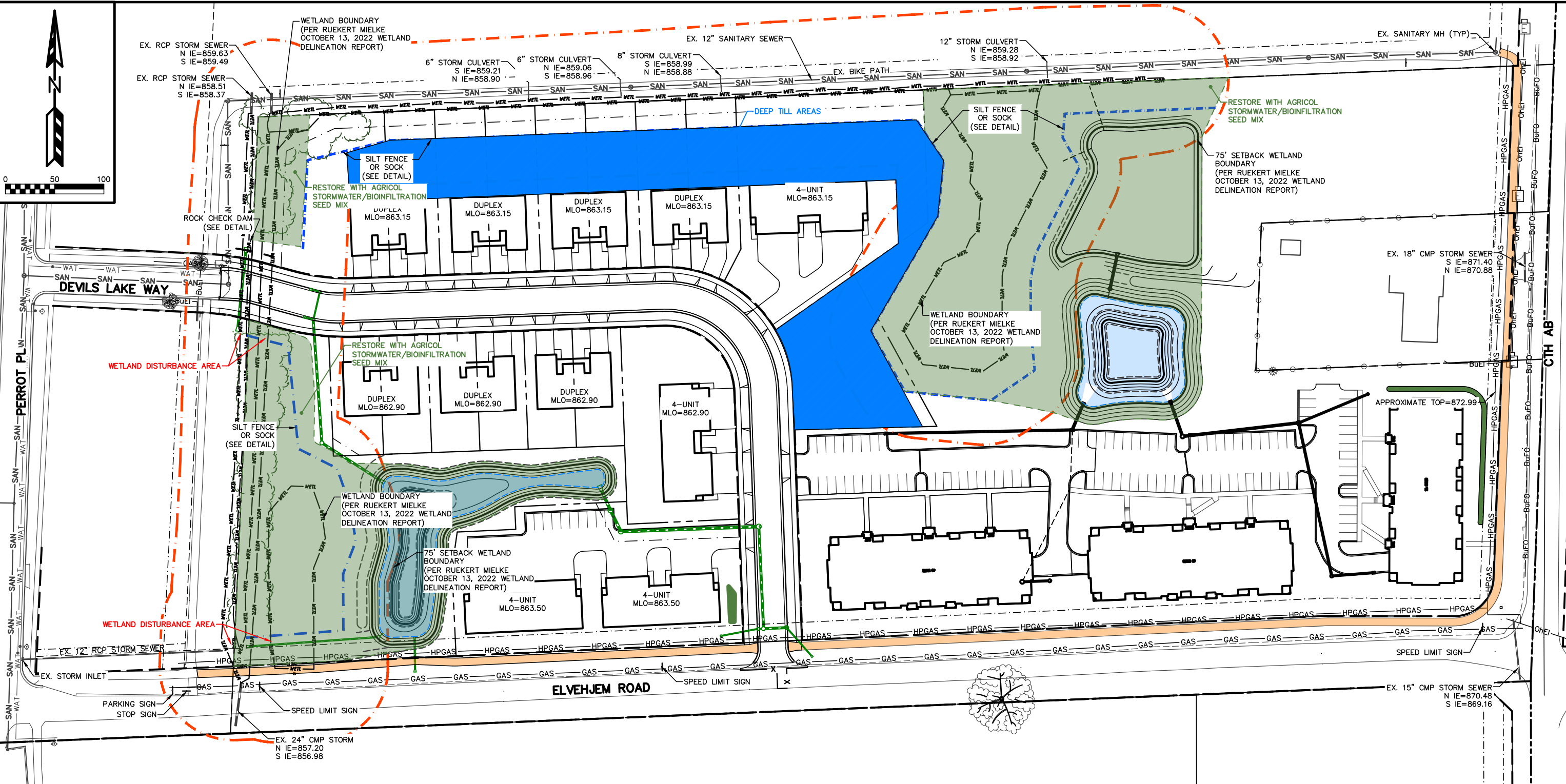
**Landscape Worksheet**  
**Lakestone Properties**

**Village of McFarland**  
 Landscape Point Calculations  
 Minimum Points Required for PUD (R3) Zoning District

	Site Measurement	Points Calculation	Points Required
Building Foundation	564	50 Per 100 ft.	282
G.F.A.	14,412	20 Per 1,000 ft.	288
Street Frontage	516	50 Per 100 ft.	258
Paved Area	18,165	100 Per 10,000 sq. ft.	182
<b>1,010 Total Points Required</b>			

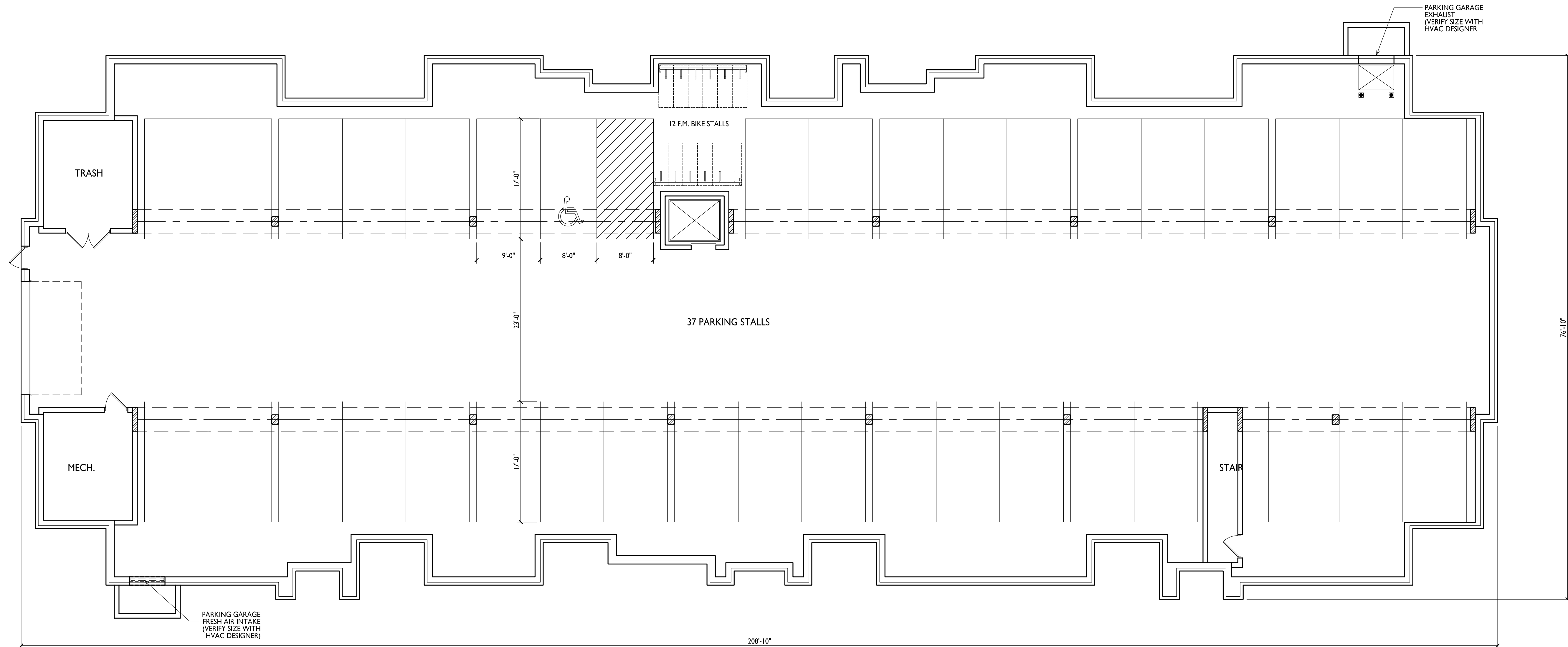
(Ord. No. 2011-06, § 1, 5-23-2011)

**Total Landscape Points Supplied: 1,402**

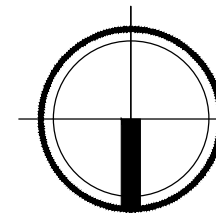


**SPERLE CORNERS - VILLAGE OF MCFARLAND**  
 WETLAND AND POND RESTORATION PLAN  
 SHEET: C-1  
 DATED: AUGUST 5, 2025

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
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 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**BUILDING #1 - 40 UNIT (#2 MIRRORED)  
BASEMENT PLAN**  
1/8" = 1'-0"





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ARCHITECTS

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608.836.3690 Middleton, WI 53562



UNIT MIX:	
STUDIO	10
ONE BEDROOM	12
TWO BEDROOM	18
TOTAL	40

ISSUED  
SIP Submittal - August 05, 2025

PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #1  
40 Unit  
First Floor Plan  
(#2 MIRRORED)**

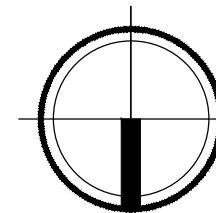
SHEET NUMBER

**A101.1**

PROJECT NO. **2508**

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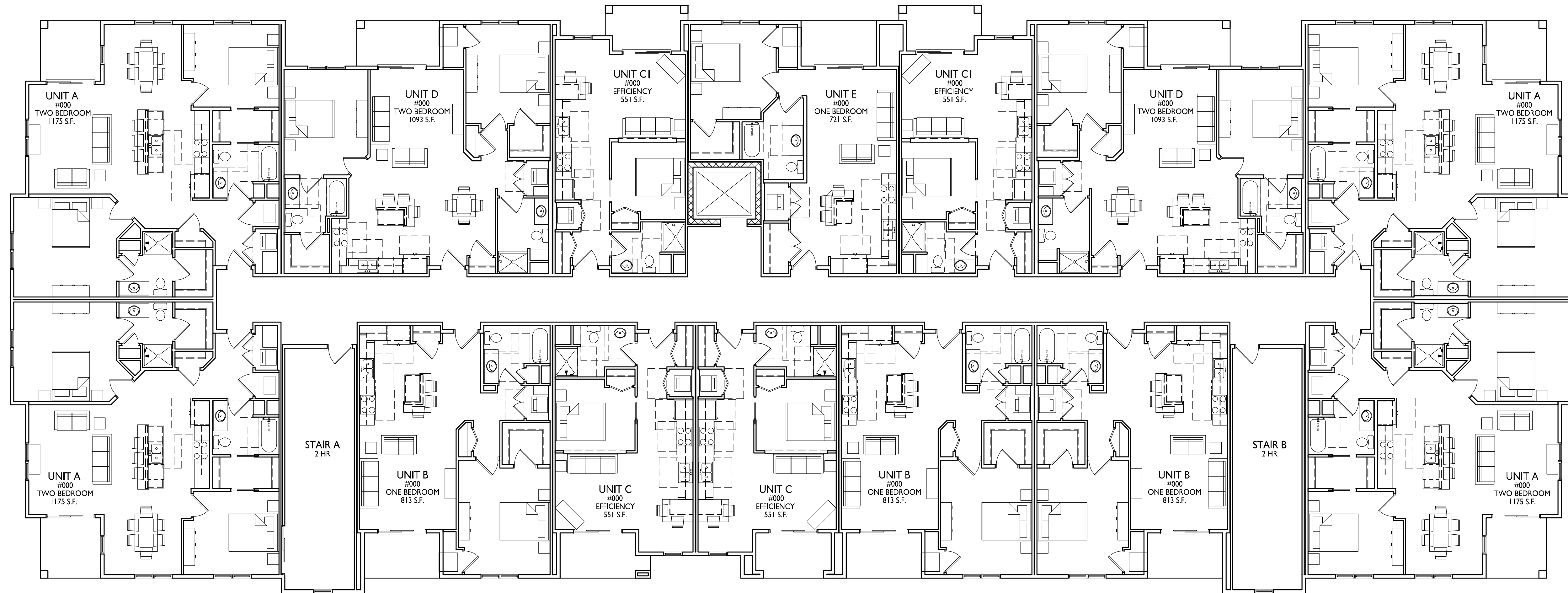
**BUILDING #1 - 40 UNIT (#2 MIRRORED)  
FIRST FLOOR PLAN**  
1/8" = 1'-0"





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PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #1  
40 Unit  
Second Floor Plan  
(#2 MIRRORED)**

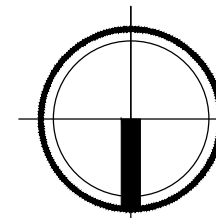
SHEET NUMBER

**A102.1**

PROJECT NO. **2508**

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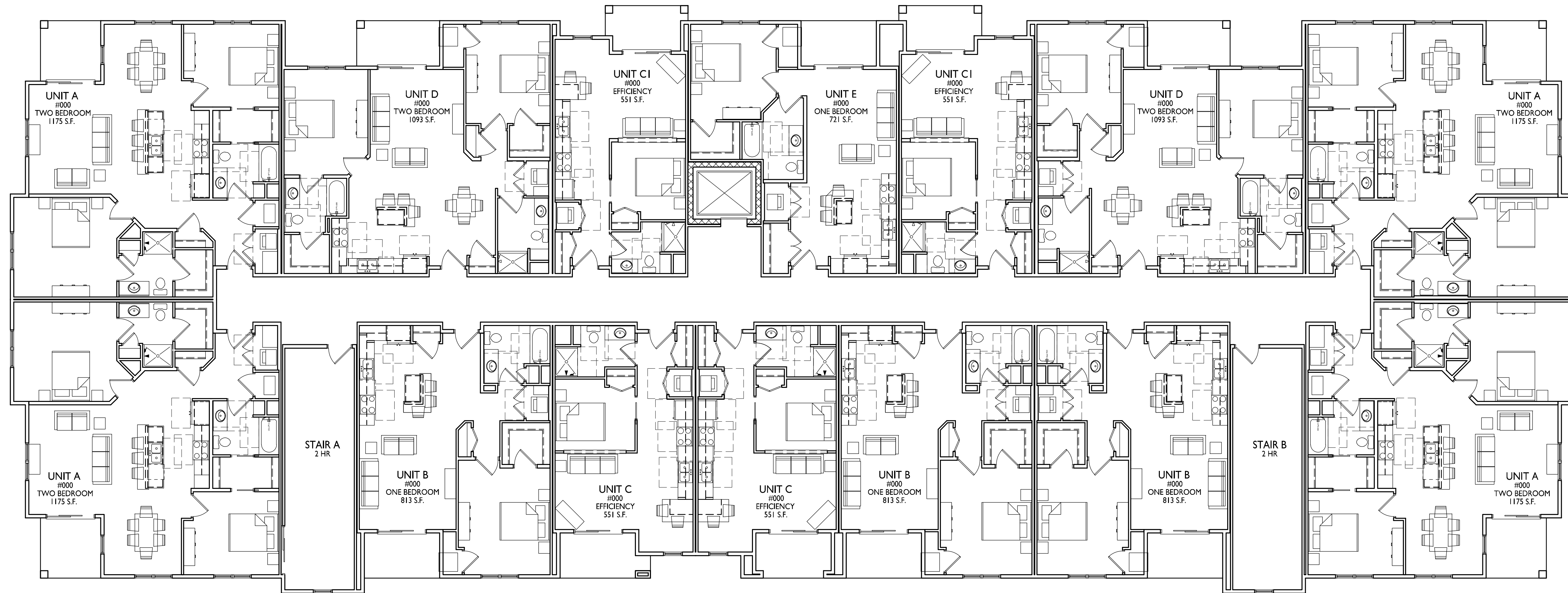
**BUILDING #1 - 40 UNIT (#2 MIRRORED)  
SECOND FLOOR PLAN**  
1/8" = 1'-0"





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PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #1  
40 Unit  
Third Floor Plan  
(#2 MIRRORED)**

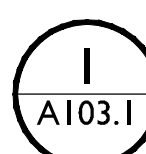
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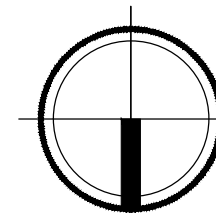
PROJECT NO. **2508**

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**BUILDING #1 - 40 UNIT (#2 MIRRORED)  
THIRD FLOOR PLAN**



1/8" = 1'-0"





TYPICAL MATERIALS

- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM SOFFIT
- COMPOSITE FASCIA
- VINYL WINDOWS
- COMPOSITE BOARD & BATTEN
- COMPOSITE TRIM
- COMPOSITE HORIZONTAL SIDING
- ALUMINUM RAILINGS
- COMPOSITE TRIM
- CAST STONE BAND, HEADERS, SILLS
- STONE VENEER

ISSUED  
SIP Submittal - August 05, 2025

**BUILDING #1 - 40 UNIT (#2 MIRRORED)**  
**NORTH ELEVATION**

1  
A201.1 1/8" = 1'-0"



**BUILDING #1 - 40 UNIT (#2 MIRRORED)**  
**EAST ELEVATION**

2  
A201.1 1/8" = 1'-0"

PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #1  
40 Unit  
Exterior Elevations  
(#2 MIRRORED)**

SHEET NUMBER

**A201.1**

PROJECT NO. **2508**  
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**BUILDING #1 - 40 UNIT (#2 MIRRORED)**  
**SOUTH ELEVATION**  
1  
A202.1 1/8" = 1'-0"

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SIP Submittal - August 05, 2025



**BUILDING #1 - 40 UNIT (#2 MIRRORED)**  
**WEST ELEVATION**  
2  
A202.1 1/8" = 1'-0"

PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Bldg #1  
40 Unit  
Exterior Elevations  
(#2 MIRRORED)**

SHEET NUMBER

**A202.1**

PROJECT NO. **2508**

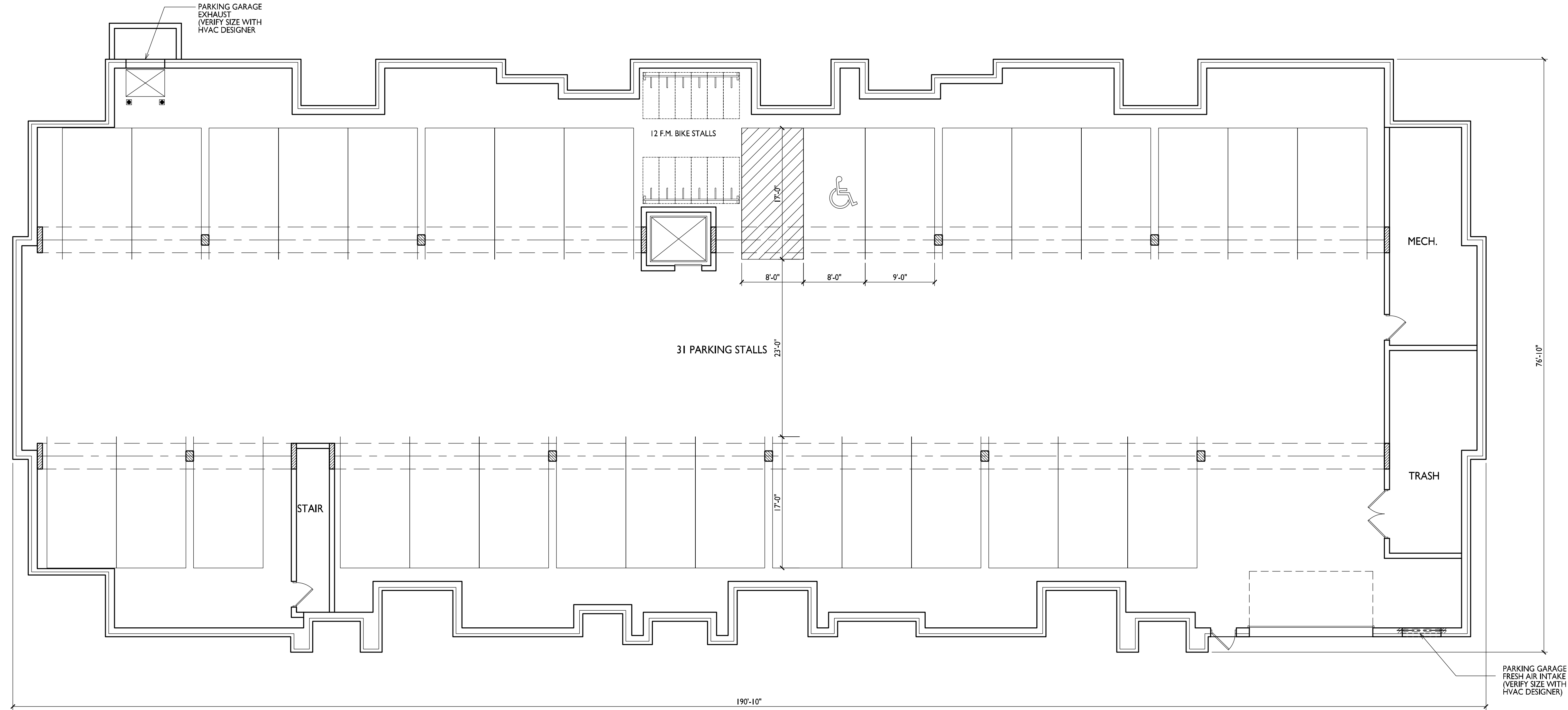
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PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #3  
37 Unit  
Basement Plan**

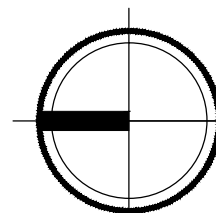
SHEET NUMBER

**A100.3**

PROJECT NO. **2508**

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**BUILDING #3 - 37 UNIT  
BASEMENT PLAN**  
1/8" = 1'-0"



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UNIT MIX:	
STUDIO	7
ONE BEDROOM	18
TWO BEDROOM	12
TOTAL	37

ISSUED  
SIP Submittal - August 05, 2025

PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #3  
37 Unit  
First Floor Plan**

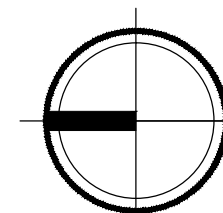
SHEET NUMBER

**A101.3**

PROJECT NO. **2508**

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**BUILDING #3 - 37 UNIT  
FIRST FLOOR PLAN**  
1/8" = 1'-0"

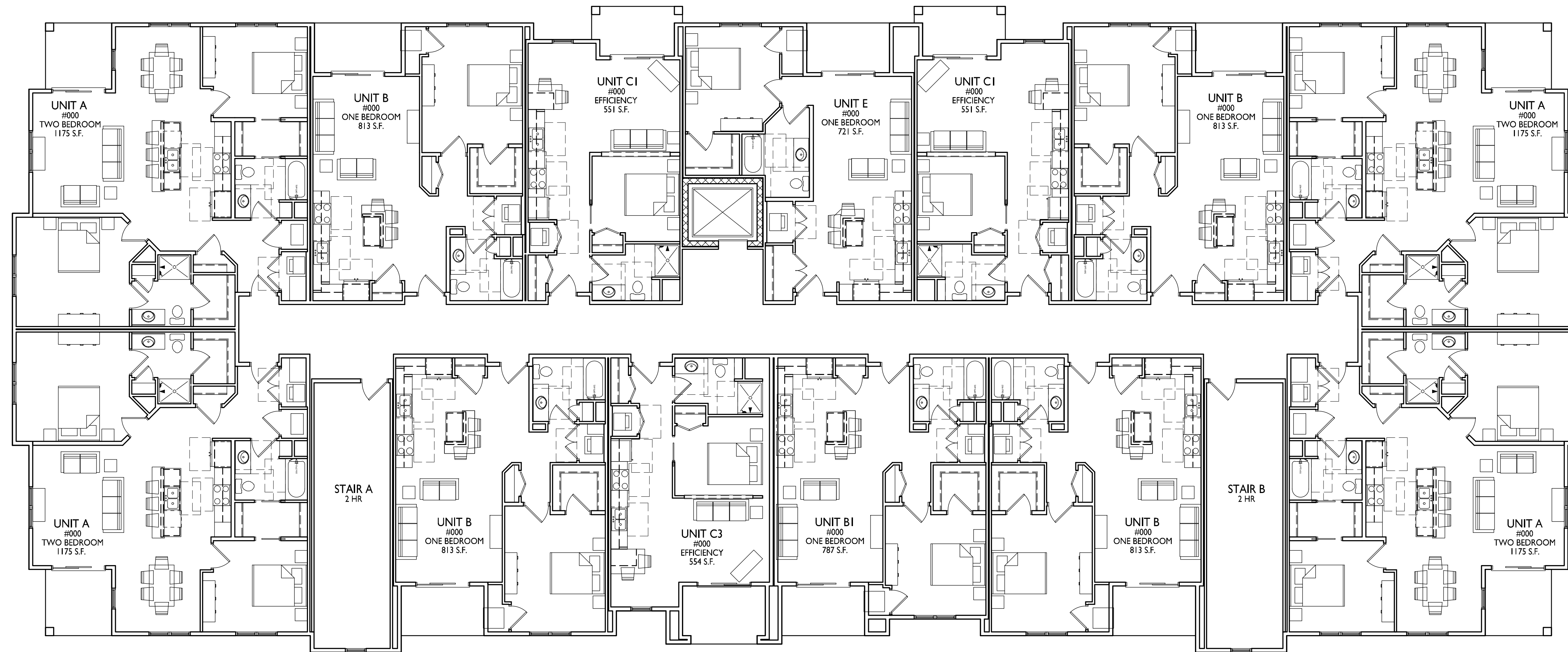


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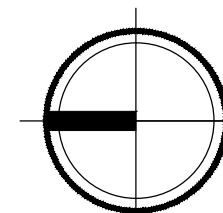


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SIP Submittal - August 05, 2025

PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #3  
37 Unit  
Second Floor Plan**

**BUILDING #3 - 37 UNIT  
SECOND FLOOR PLAN**  
1  
A102.3  
1/8" = 1'-0"



SHEET NUMBER

**A102.3**

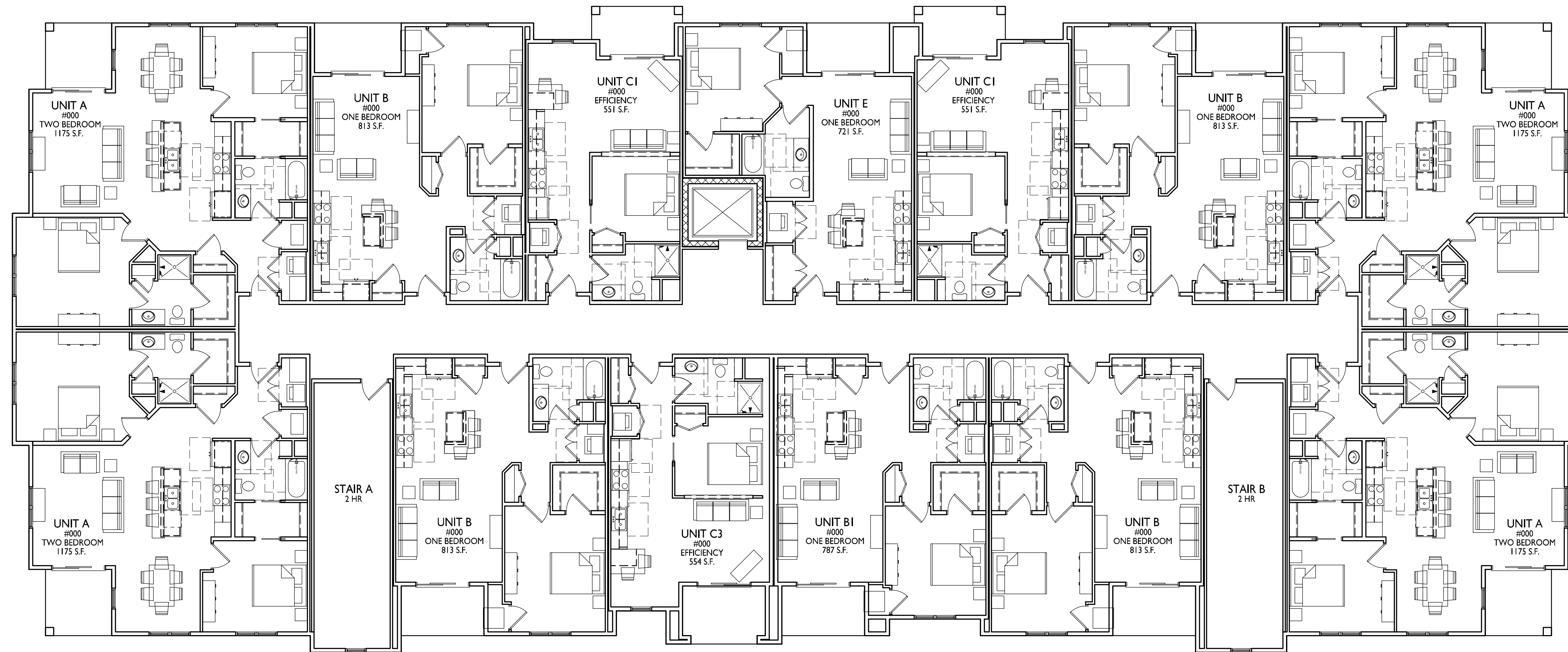
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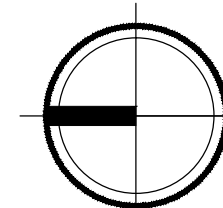


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PROJECT TITLE  
Lakestone  
Properties  
McFarland  
Development

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
Building #3  
37 Unit  
Third Floor Plan

**BUILDING #3 - 37 UNIT  
THIRD FLOOR PLAN**  
1/8" = 1'-0"



SHEET NUMBER

**A103.3**

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TYPICAL MATERIALS

- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM SOFFIT
- COMPOSITE FASCIA
- VINYL WINDOWS
- COMPOSITE BOARD & BATTEN
- COMPOSITE TRIM
- COMPOSITE HORIZONTAL SIDING
- ALUMINUM RAILINGS
- COMPOSITE TRIM
- CAST STONE BAND, HEADERS, SILLS
- STONE VENEER

**BUILDING #3 - 37 UNIT  
WEST ELEVATION**  
1  
A201.3 1/8" = 1'-0"

ISSUED  
SIP Submittal - August 05, 2025



**BUILDING #3 - 37 UNIT  
NORTH & SOUTH ELEVATION**  
2  
A201.3 1/8" = 1'-0"

PROJECT TITLE  
**Lakestone  
Properties  
McFarland  
Development**

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
**Building #3  
37 Unit  
Exterior Elevations**

SHEET NUMBER

**A201.3**

PROJECT NO. **2508**  
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SIP Submittal - August 05, 2025

**BUILDING #3 - 37 UNIT  
EAST ELEVATION**  
1  
A202.3 1/8" = 1'-0"

PROJECT TITLE  
Lakestone  
Properties  
McFarland  
Development

Hwy AB & Elvehjem Rd  
McFarland, Wisconsin  
SHEET TITLE  
Building #3  
37 Unit  
Exterior Elevations

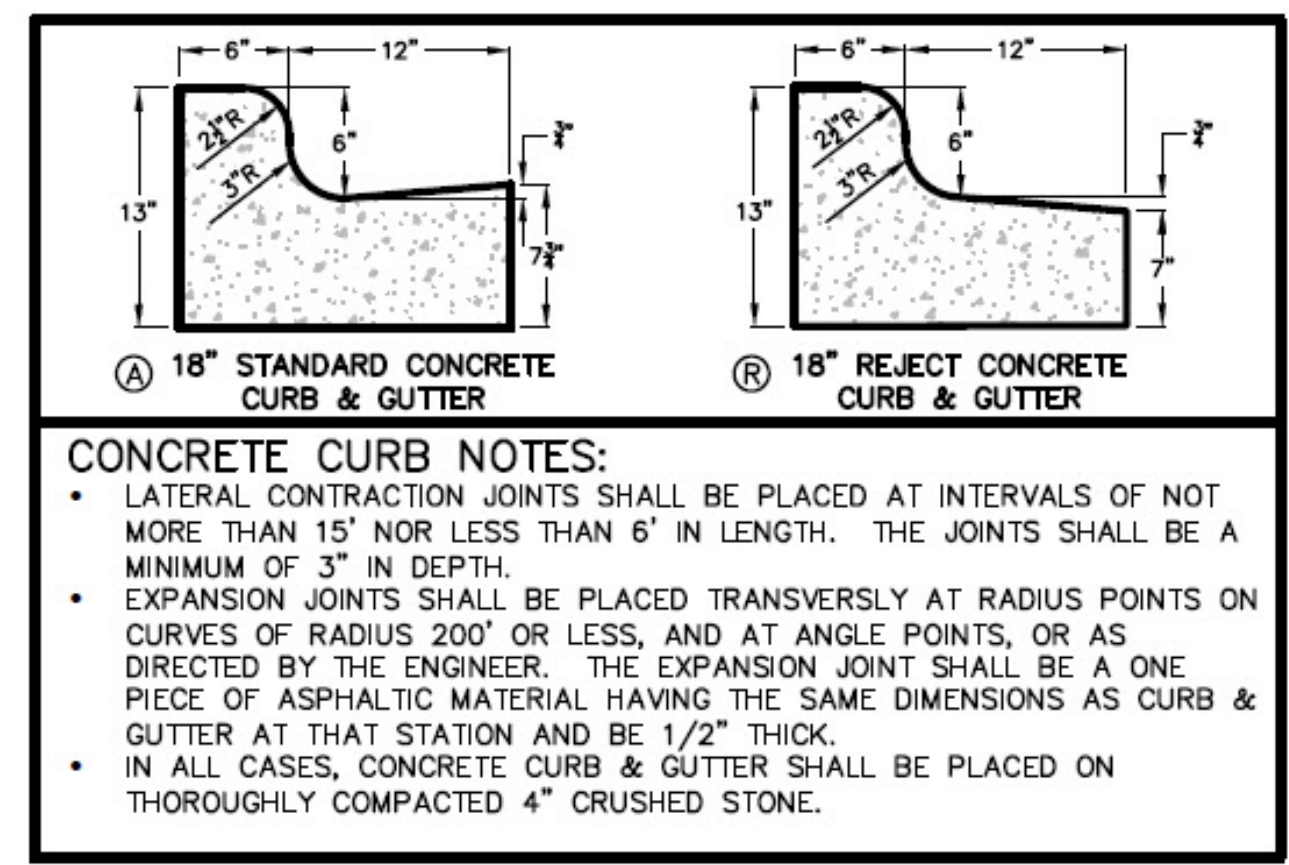
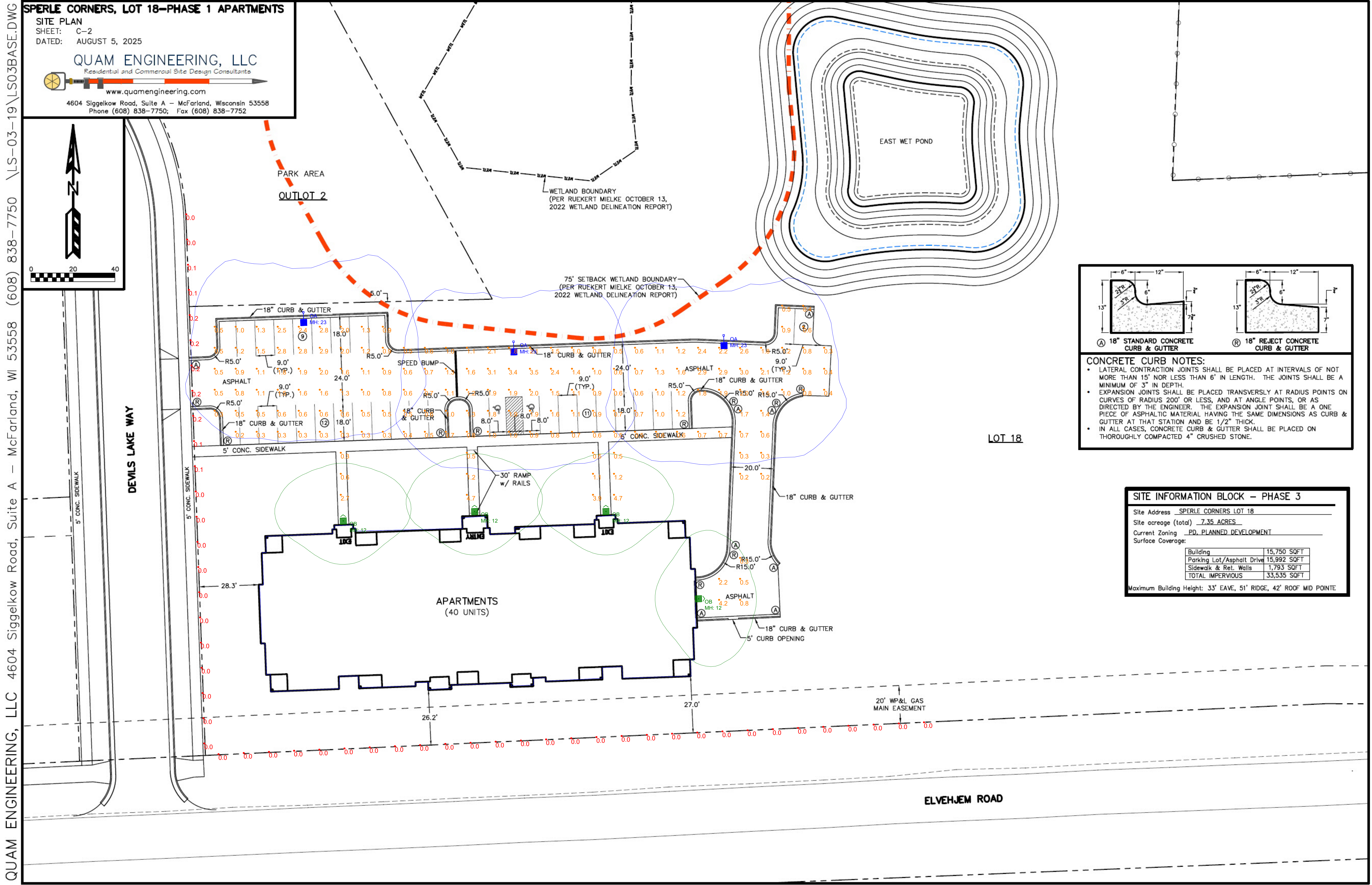
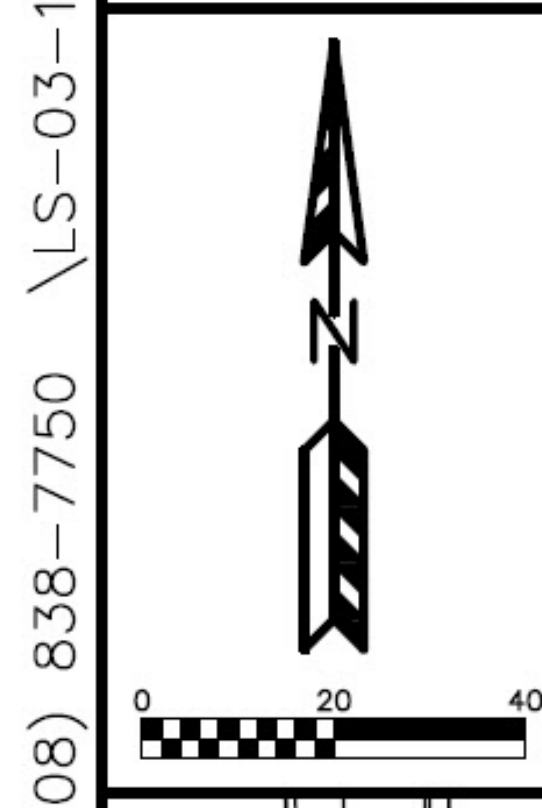
SHEET NUMBER

**A202.3**

PROJECT NO. 2508

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**SPERLE CORNERS, LOT 18--PHASE 1 APARTMENTS**  
 SITE PLAN  
 SHEET: C-2  
 DATED: AUGUST 5, 2025  
**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

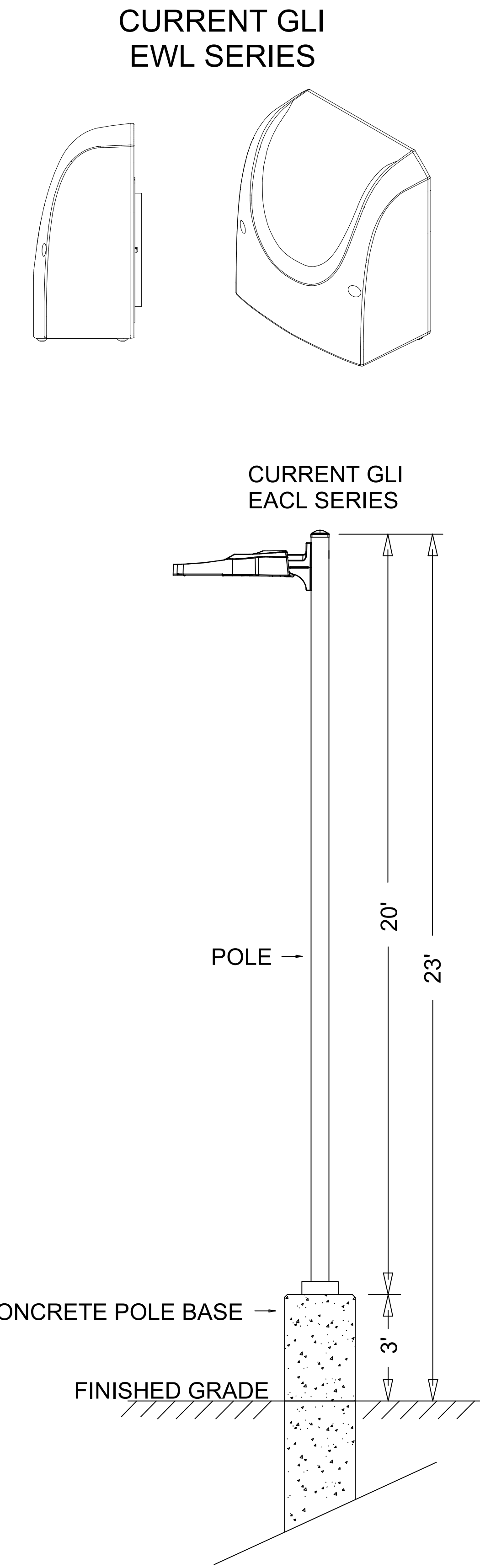


**SITE INFORMATION BLOCK -- PHASE 3**

Site Address: SPERLE CORNERS LOT 18  
 Site acreage (total): 7.35 ACRES  
 Current Zoning: PD, PLANNED DEVELOPMENT  
 Surface Coverage:

Building	15,750 SQFT
Parking Lot/Asphalt Drive	15,992 SQFT
Sidewalk & Ret. Walls	1,793 SQFT
<b>TOTAL IMPERVIOUS</b>	<b>33,535 SQFT</b>

Maximum Building Height: 33' EAWE, 51' RIDGE, 42' ROOF MID POINT



**Luminaire Schedule**

Symbol	Label	Qty	Manufacturer	Description	Luminaire Watts	Luminaire Lumens	LLF
OA	OA	3	CURRENT GLI	EACL010D4AF740X1D1DKBZ + SSSE20-40A-1-E2-DKBZ-UL	73	10000	0.890
OB	OB	4	CURRENT GLI	EWLS02040AF740N1FMDKBZ	27	4000	0.890

**MAINTAINED FOOTCANDLES SHOWN AT GRADE.**

**Calculation Summary**

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Areas	Fc	1.22	4.7	0.2	6.10	23.50
Property Lines	Fc	0.03	0.2	0.0	N.A.	N.A.

**ERI ENGINEERED REPRESENTATION INC.**

www.engineeredrepinc.com  
 262.542.6285 Wauwatosa  
 920.751.3922 Neenah  
 apps@erwi.com

Date: 8/20/2025    Scale: 1"=20'    Layout By: Andy

Project: SPERLE CORNERS - LOT 18

Filename: 250820QU1AKC.AGI

LIGHT LEVELS SHOWN ARE STRICTLY FOR PURPOSES OF ESTIMATING BILL OF MATERIALS AND THE RESULTS ARE BASED ON PROJECT DETAILS GIVEN TO ENGINEERED REPRESENTATION INC. / WALLOCK DAVIES & COMPANY LLC. BEFORE OCCUPANCY OF SPACE. ALL PROJECT DETAILS AND LIGHT LEVELS SHOULD BE VERIFIED TO COMPLY WITH SAFETY AND MUNICIPAL CODES.

## SSSE Series Poles

Square | Straight | Steel



CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

### APPLICATIONS

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

### CONSTRUCTION

<b>Shaft:</b>	One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
<b>Base Cover:</b>	Two-piece square aluminum base cover included standard
<b>Pole Cap:</b>	Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
<b>Hand Hole:</b>	Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
<b>Anchor Bolts:</b>	Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling
<b>Anchor Bolt Part Numbers:</b>	<ul style="list-style-type: none"> <li>• 3/4 x 30 x 3 — TAB-30-M38</li> <li>• 1 x 36 x 4 — TAB-36-M38</li> </ul>

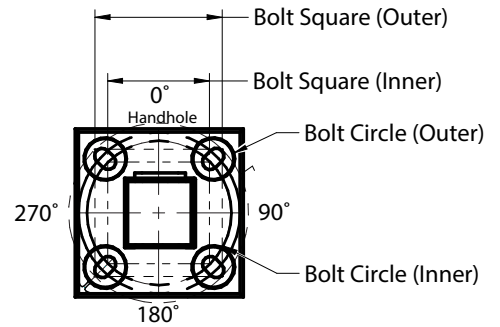
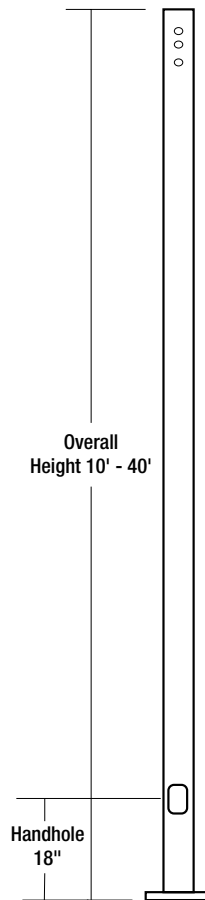
### FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

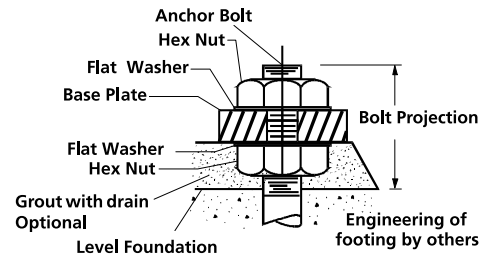


### 10 DAY - EVOLVE EXPRESS SHIP PROGRAM

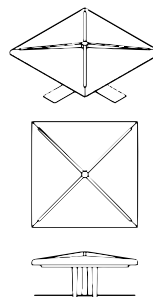
- Ships in 10 days
- Limit of 15 poles



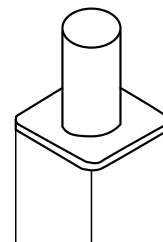
### BASE DETAIL



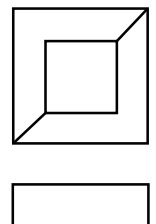
### POLE CAP



### TENON



### BASE COVER



Example: SSSE25-40A-2-E2-DKBZ-UL

SSSE

E2

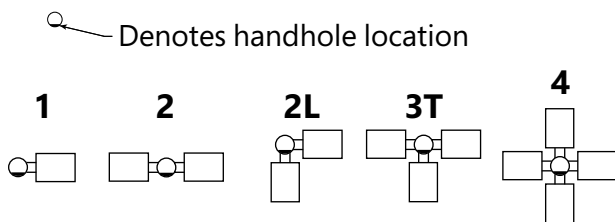
SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	POLE DRILLING	FINISH	OPTIONS
SSSE = Evolve Square Straight Steel Pole <b>EXS</b>	10=10 ft.	40=4" Square	A=0.125"	1 = Single arm mount <b>EXS</b>	<b>E2</b> = Evolve Square Pole <b>UDP01<sup>5</sup></b> = 3/8in HDW range 1.69 - 2.24 <b>UDP02<sup>5</sup></b> = 1/2in HDW range 1.69 - 2.24 <b>UDP03<sup>5</sup></b> = 3/8in HDW range 2.25 - 2.99 <b>UDP04<sup>5</sup></b> = 1/2in HDW range 2.25 - 2.99 <b>UDP05<sup>5</sup></b> = 3/8in HDW range 3.00 - 3.75 <b>UDP06<sup>5</sup></b> = 9/16in HDW range 3.00 - 3.75 <b>UDP07<sup>5</sup></b> = 3/8in HDW range 3.76 - 4.49 <b>UDP08<sup>5</sup></b> = 9/16in HDW range 3.76 - 4.49 <b>UDP09<sup>5</sup></b> = 3/8in HDW range 4.50 - 5.49 <b>UDP10<sup>5</sup></b> = 9/16in HDW range 4.50 - 5.49 <b>UDP11<sup>5</sup></b> = 3/8in HDW range 5.50 - 6.00 <b>UDP12<sup>5</sup></b> = 9/16in HDW range 5.50 - 6.00	<b>DKBZ</b> = Dark Bronze <b>EXS</b> <b>BLCK</b> = Black <b>GRAY</b> = Gray <i>* Contact factory for custom color options</i>	<b>GFI<sup>2</sup></b> = 20 Amp GFCI Receptacle and Cover <b>EHH<sup>2</sup></b> = Extra Handhole <b>C05<sup>2</sup></b> = 0.5" Coupling <b>C07<sup>2</sup></b> = 0.75" Coupling <b>C20<sup>2</sup></b> = 2" Coupling <b>MPB<sup>2</sup></b> = Mid-pole Luminaire Bracket <b>VM1</b> = 1st mode vibration damper <b>EXS</b> <b>VM2<sup>6</sup></b> = 2nd mode vibration damper <b>EXS</b> <b>LAB</b> = Less Anchor Bolts <b>EXS</b> <b>UL</b> = UL Certified
	12=12 ft.	40=4" Square	A=0.125"	2 = Two fixtures at 180° <b>EXS</b>			
	14=14 ft.	40=4" Square	A=0.125" B=.188"	2L = Two fixtures at 90° <b>EXS</b>			
	16=16 ft.	40=4" Square	A=0.125" B=.188"	3T = Three fixtures at 90° <b>EXS</b>			
		50=5" Square	B=.188"	4 = Four fixtures at 90° <b>EXS</b>			
	18=18 ft.	40=4" Square	A=0.125" B=.188"	TA <sup>3</sup> = Tenon (2.38" OD x 4" Tall) <b>EXS</b>			
		50=5" Square	B=.188"	TB <sup>3</sup> = Tenon (2.88" OD x 4" Tall) <b>EXS</b>			
		60=6" Square	B=.188" C=.25"	TC <sup>3</sup> = Tenon (3.5" OD x 6" Tall)			
	20=20 ft.	40=4" Square	A=0.125" B=.188"	TR <sup>1</sup> = Removable Tenon (2.38" x 4") <b>EXS</b>			
		50=5" Square	B=.188"	OT = Open Top (includes pole cap) <b>EXS</b>			
		60=6" Square	B=.188"				
	25=25 ft.	40=4" Square	A=0.125" B=.188"				
		50=5" Square	B=.188" C=.25"				
		60=6" Square	B=.188"				
	30=30 ft.	40=4" Square	B=.188" <b>EXS</b>				
		50=5" Square	B=.188" <b>EXS</b> C=.25"				
		60=6" Square	B=.188"				
	35=35 ft.	60=6" Square	B=.188"				
	40=40 ft.	60=6" Square	B=.188"				

**NOTES:**

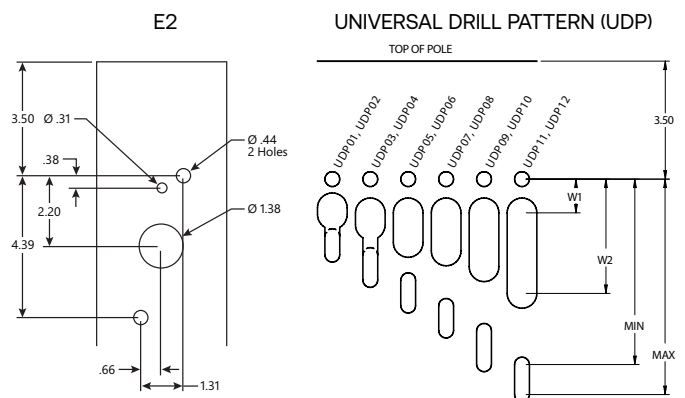
- Removable tenon used in conjunction with side arm mounting. First specify desired arm.
- Specify option location using MOUNTING ORIENTATION logic shown on this page.
- Not available with VM1 - Mode Vibration Damper.
- VM1 recommended on poles 20' and taller with EPA of less than 1. Field installed.
- UDP allow mounting of most popular fixtures on the market
- Factory Installed.

**EXS** Indicates availability in the **EXS 10 Day Evolve Express Ship Program**

### MOUNTING ORIENTATION



### DRILL PATTERNS



### ACCESSORIES- ORDER SEPARATELY

CATALOG NUMBER	DESCRIPTION
VM1 <sup>3</sup>	1st mode vibration damper
VM2SXX*	2nd mode vibration damper

\* XX = 08 for 8', 12 for 12', 15 for 16', 20 for 20', and 24' for 24'.  
**Note:** Field Installed through handhole

MOUNTING HARDWARE		Universal Mounting Patterns					
3/8" OR LESS	7/16" TO 1/2"	UDP01	UDP03	UDP05	UDP07	UDP09	UDP11
"MIN" ATTACHMENT DIMENSION		1.69	2.25	3.00	3.76	4.50	5.50
"MAX" ATTACHMENT DIMENSION		2.24	2.99	3.75	4.49	5.49	6.00
W1 (Wireway min)		0.85	1.00	1.00	1.00	1.00	1.00
W2 (Wireway max)		1.05	1.36	1.88	2.13	2.60	3.00

# Evolve®

## SSSE Series Poles

Square | Straight | Steel

Ordering Information

CUSTOMER NAME \_\_\_\_\_

PROJECT NAME \_\_\_\_\_

DATE \_\_\_\_\_ TYPE \_\_\_\_\_

CATALOG NUMBER \_\_\_\_\_

CATALOG NUMBER	HEIGHT		NOMINAL SHAFT DIMENSIONS	WALL THICKNESS	BOLT CIRCLE (SUGGESTED)	BOLT CIRCLE (RANGE)	BOLT SQUARE (RANGE)	BASE PLATE SQUARE	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT
	FEET	METERS									
SSSE10-40A	10	3.0	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	77
SSSE12-40A	12	3.7	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	90
SSSE14-40A	14	4.3	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	103
SSSE16-40A <b>Exs</b>	16	4.9	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	116
SSSE18-40A <b>Exs</b>	18	5.5	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	129
SSSE20-40A <b>Exs</b>	20	6.1	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	142
SSSE25-40A <b>Exs</b>	25	7.6	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	175

SSSE14-40B	14	4.3	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	152
SSSE16-40B	16	4.9	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	171
SSSE18-40B	18	5.5	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	190
SSSE20-40B	20	6.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	209
SSSE25-40B	25	7.6	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	257
SSSE30-40B <b>Exs</b>	30	9.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	304

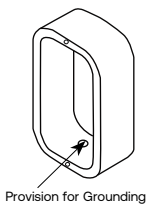
SSSE16-50B	16	4.9	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	219
SSSE18-50B	18	5.5	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	243
SSSE20-50B	20	6.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	267
SSSE25-50B	25	7.6	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	327
SSSE30-50B <b>Exs</b>	30	9.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	387

SSSE25-50C	25	7.6	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	427
SSSE30-50C	30	9.1	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	507

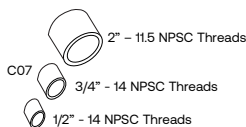
SSSE20-60B	20	6.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	329
SSSE25-60B	25	7.6	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	404
SSSE30-60B	30	9.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	479
SSSE35-60B	35	10.7	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	554
SSSE40-60B	40	12.2	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	629

**NOTES:**  
 1. Factory supplied template must be used when setting anchor bolts. Current will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

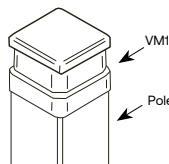
### EHH EXTRA HANDHOLE



### C05 - C07 - C20 - COUPLING



### VM1 - VIBRATION DAMPER 1ST MODE



Field Installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 20' and taller with a total EPA of 1.0 or

### VM2 - VIBRATION DAMPER 2ND MODE



Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

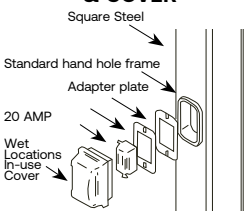
### VM2SXX - VIBRATION DAMPER 2ND MODE



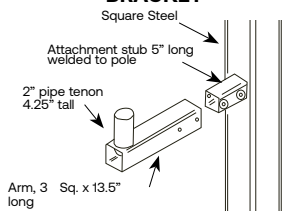
VM2S08 - 8'  
 VM2S12 - 12'  
 VM2S16 - 16'  
 VM2S20 - 20'  
 VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

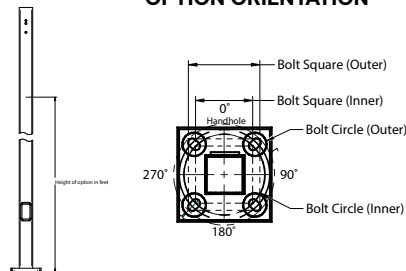
### GFI - 20 AMP GFCI RECEPTACLE & COVER



### MPB - MID POLE BRACKET

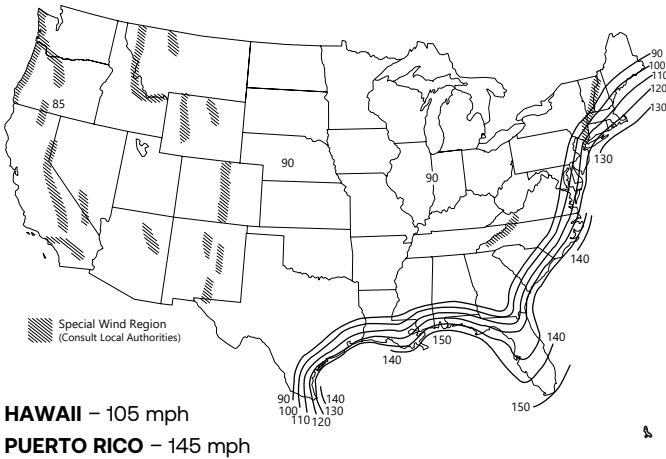


### OPTION ORIENTATION



Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet).  
**Example:**  
 Option C07 should be ordered as: SSSE20-40A-TA-E2-DBT-C07-0-15 (.5 coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.

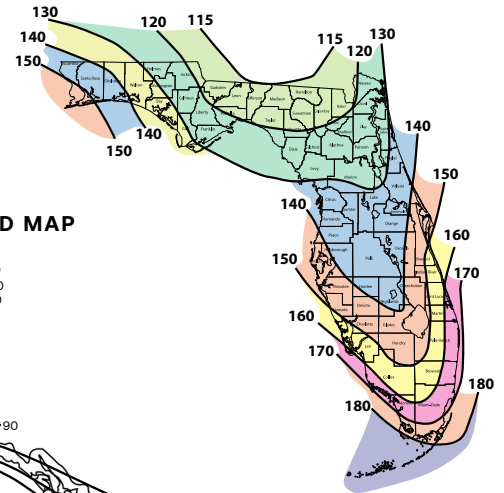
**ASCE7-05 WIND MAP**



**HAWAII** - 105 mph  
**PUERTO RICO** - 145 mph

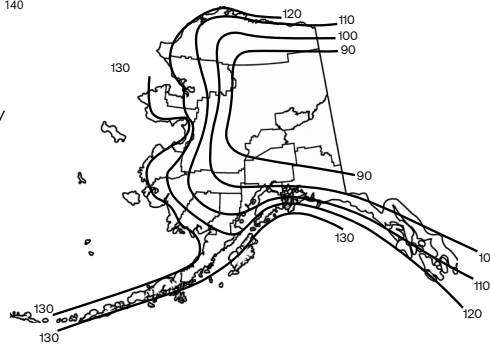
\*Printed with permission from ASCE

**FLORIDA REGION WIND MAP**



Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code

**ALASKA REGION WIND MAP**



**ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds (Use for all locations except Florida)**

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSSE10-40A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSSE12-40A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSSE14-40A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSSE16-40A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSSE18-40A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSSE20-40A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSSE25-40A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR

SSSE14-40B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSSE16-40B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSSE18-40B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSSE20-40B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSSE25-40B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSSE30-40B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR

SSSE16-50B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSSE18-50B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSSE20-50B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSSE25-50B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSSE30-50B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR

SSSE25-50C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSSE30-50C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4

SSSE20-60B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSSE25-60B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSSE30-60B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSSE35-60B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSSE40-60B	8.1	5.8	2.2	NR	NR	NR	NR	NR	NR	NR

**Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds (Use for Florida only)**

Catalog Number	115	120	130	140	150	160	170	180
SSSE10-40A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSSE12-40A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSSE14-40A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSSE16-40A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSSE18-40A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSSE20-40A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSSE25-40A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR

SSSE14-40B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSSE16-40B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSSE18-40B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSSE20-40B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSSE25-40B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSSE30-40B	3.2	2.1	NR	NR	NR	NR	NR	NR

SSSE16-50B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSSE18-50B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSSE20-50B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSSE25-50B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSSE30-50B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSSE25-50C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSSE30-50C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR

SSSE20-60B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSSE25-60B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SS-E30-60B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSSE35-60B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSSE40-60B	1.8	NR	NR	NR	NR	NR	NR	NR

## NOTES

1. Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
2. The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
3. Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
4. Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
5. Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Current's Pole Vibration Application Guide for environmental risk factors and design considerations:  
<http://images.salsify.com/image/upload/s--Uk0Lfj10--/bf7prkg0aey64uqoipso>
6. Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

**Due to our continued efforts to improve our products, product specifications are subject to change without notice.**

**Unwrap poles immediately upon receipt to avoid condensation build up and possible corrosion.**

**Note:** There will be a weld witness mark on the side of the pole with the Factory installed VM2.



CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

## EACL® Series

### LED Area Light/Compact Low Wattage

Current's EAL Series of Area Light Luminaires offer a wide range of optical patterns, color temperatures, lumen packages, and mounting configurations to optimize area light applications, as well as provide versatility in lighting design within the same form factor.

### Construction

<b>Housing:</b>	Die-cast aluminum housing with integral heat sink for maximum heat transfer
<b>Paint:</b>	Corrosion resistant polyester powder paint, minimum 2.0 mil thickness Standard = Black, Dark Bronze Gray, White (RAL & custom colors available) Optional coastal finish available.
<b>Weight:</b>	18 lbs (8.16 kg) Max depending on configuration

### Optical System

<b>Lumens:</b>	2,900 - 20,400
<b>Distribution:</b>	Asymmetric Forward Type IV Asymmetric Wide Type III Asymmetric Narrow/Auto Type II
<b>Efficacy:</b>	123 - 143 LPW
<b>CCT:</b>	3000K, 4000K, 5000K
<b>CRI:</b>	≥70

### Electrical

<b>Input Voltage:</b>	120-277V & 347-480V
<b>Input Frequency:</b>	50/60Hz
<b>Power Factor:</b>	> 90% at rated watts
<b>Total Harmonic Distortion:</b>	< 20% at rated watts

### Surge Protection\*

TYPICAL (120 STRIKES)	ENHANCED (40 STRIKES)
6kV/3kA*	10kV/5kA*

\*Per ANSI C136.2-2015

### Warranty

5 Year (Standard)

### Lumen Maintenance

#### Projected Lxx per IES TM-21-11 at 25°C

LUMEN CODES	LXX(10K) @ HOURS		
	25,000 HR	50,000 HR	60,000 HR
<b>A2, A3, A4, B2, B3, B4, C2, C3, C4D2, D3, D4, E2, E3, E4, F2, F3, F4</b>	L94	L90	L88
<b>H2,H3, H4</b>	L97	L96	L96

Note: Projected Lxx based on LM80 (≥ 10,000 hour testing). Accepted Industry tolerances apply to initial luminous flux and lumen maintenance measurements.

### Luminaire Ambient Temperature Factor

AMBIENT TEMP (°C)	INITIAL FLUX FACTOR	AMBIENT TEMP (°C)	INITIAL FLUX FACTOR
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

### Ratings

<b>Operating Temperature:</b>	-40°C to 50°C
<b>Vibration:</b>	3G vibration per ANSI C136.31-2018
<b>LM-79:</b>	Testing in accordance with IESNA Standards

### Controls

<b>Dimming:</b>	Standard - 0-10V Optional - DALI (Option U)
<b>Sensors:</b>	Photo Electric Sensors (PE) available LightGrid+™ and Daintree Compatible



Not all product variations listed on this page are DLC qualified. Visit [www.designlights.org/search](http://www.designlights.org/search) to confirm qualifications.



CUSTOMER NAME \_\_\_\_\_

PROJECT NAME \_\_\_\_\_

DATE \_\_\_\_\_ TYPE \_\_\_\_\_

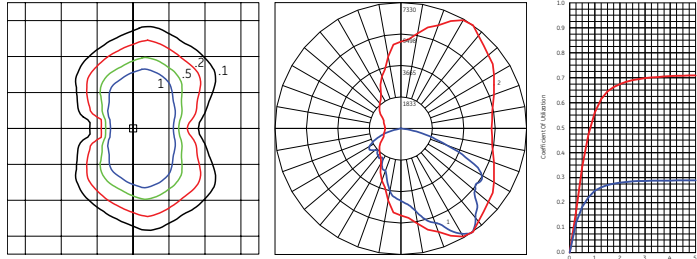
CATALOG NUMBER \_\_\_\_\_

OPTICAL CODE	DIST CODE	CLASSIFICATION	TYPICAL LUMENS		TYPICAL SYSTEM WATTAGE		BUG RATING	
			3000K	4000K & 5000K	120-277V	347-480V	3000K	4000K & 5000K
A4	AF	TYPE IV	2900	2900	21	23	B1-UO-G1	B1-UO-G1
B4			4900	4900	36	38	B1-UO-G1	B1-UO-G1
C4			7300	7300	55		B1-UO-G2	B1-UO-G2
D4			9800	9800	73		B2-UO-G2	B2-UO-G2
E4			12200	12200	95		B2-UO-G2	B2-UO-G2
F4			14700	14700	122		B2-UO-G2	B2-UO-G2
H4			19000	19000	153		B3-UO-G3	B3-UO-G3
A3			AW	TYPE III	2900	3000	21	23
B3	4900	5100			36	38	B1-UO-G1	B1-UO-G1
C3	7400	7600			55		B1-UO-G2	B1-UO-G2
D3	9900	10200			73		B2-UO-G2	B2-UO-G2
E3	12400	12700			95		B2-UO-G2	B2-UO-G2
F3	14900	15300			122		B2-UO-G2	B2-UO-G2
H3	19300	20400			153		B3-UO-G2	B3-UO-G2
A2	AN	TYPE II			2900	3000	21	23
B2			4900	5000	36	38	B1-UO-G1	B1-UO-G1
C2			7300	7500	55		B2-UO-G1	B2-UO-G2
D2			9800	10100	73		B2-UO-G2	B2-UO-G2
E2			12300	12600	95		B2-UO-G2	B2-UO-G2
F2			14700	15100	122		B3-UO-G2	B3-UO-G3
H2			19100	20200	153		B3-UO-G3	B3-UO-G3

For additional information on Non-Shielded and Shielded EACL IES files, please refer to [LED.com](http://LED.com)

### EACL - Type II - Very Short

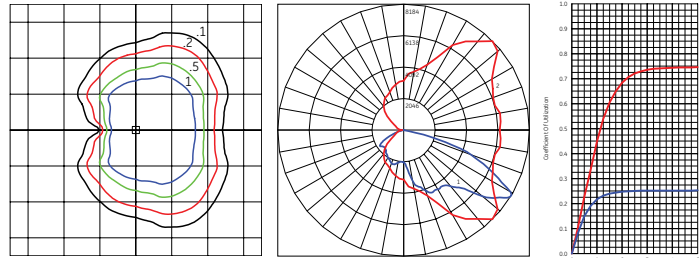
15,100 lumens  
EACL01\_F2AN750\_\_\_.IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade  
 Vertical plane through horizontal angle of maximum candlepower at XX°  
 Vertical plane through horizontal angle of XX°

### EACL - Type III - Short

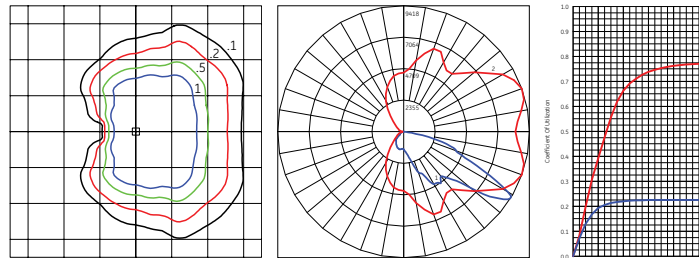
15,300 lumens  
EACL01\_F3AW750\_\_\_.IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade  
 Vertical plane through horizontal angle of maximum candlepower at XX°  
 Vertical plane through horizontal angle of XX°

### EACL - Type III - Very Short

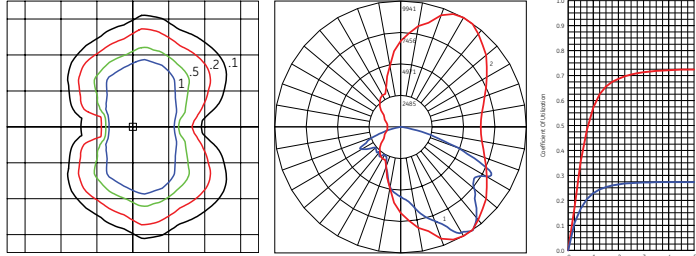
15,000 lumens  
EACL01\_F4AF750\_\_\_.IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade  
 Vertical plane through horizontal angle of maximum candlepower at XX°  
 Vertical plane through horizontal angle of XX°

### EACL - Type II - Very Short

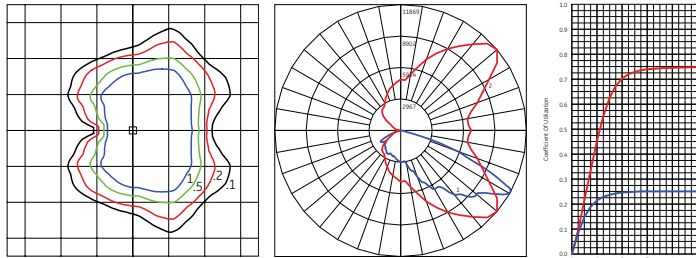
20,200 lumens  
EACL01\_H2AN750\_\_\_IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade  
 Vertical plane through horizontal angle of maximum candlepower at XX°  
 Vertical plane through horizontal angle of XX°

### EACL - Type III - Short

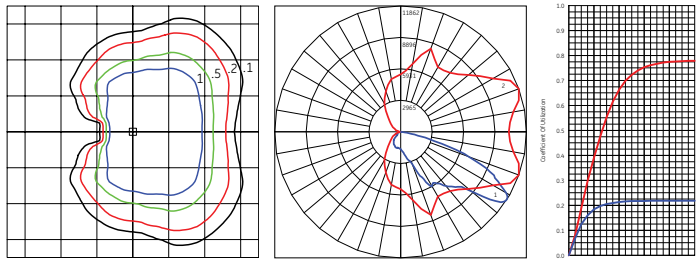
20,400 lumens  
EACL01\_H3AW750\_\_\_IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade  
 Vertical plane through horizontal angle of maximum candlepower at XX°  
 Vertical plane through horizontal angle of XX°

### EACL - Type IV - Very Short

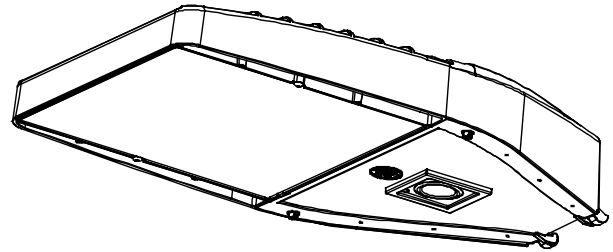
20,000 lumens  
EACL01\_H4AF750\_\_\_IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade  
 Vertical plane through horizontal angle of maximum candlepower at XX°  
 Vertical plane through horizontal angle of XX°

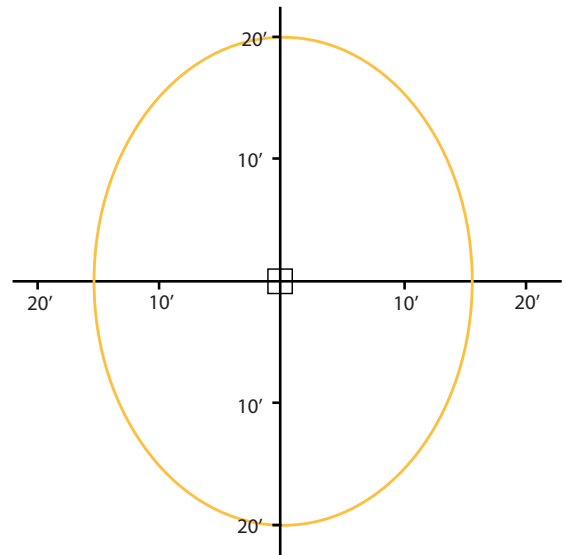
### H-Motion Sensing Option

- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Coverage Radius: 15-20' (4.6-6.1 m).
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
  - Output: Occupied - 100%/Unoccupied - 50%
  - Integral PE Sensor.
  - 5 minute post-occupancy time delay, 5 minute dimming ramp-down.
- Fixture power increase of 1W expected with sensor use.



### H1/4 - Motion Sensing Option (WattStopper)

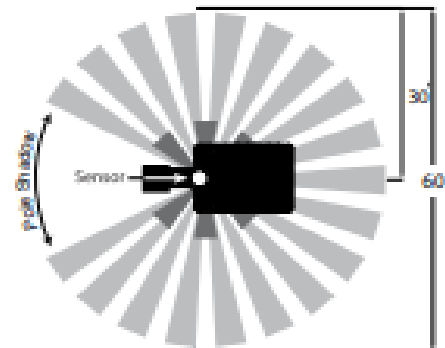
- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Coverage Radius: 15-20' (4.6-6.1 m).
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
  - Output: Occupied - 100%/Unoccupied - 10%
  - PE Sensor: Disabled
  - Ramp/Fade: Disabled
- Adds < 1W to fixture power rating
- Field programmable using FSIR-100 hand held programmer



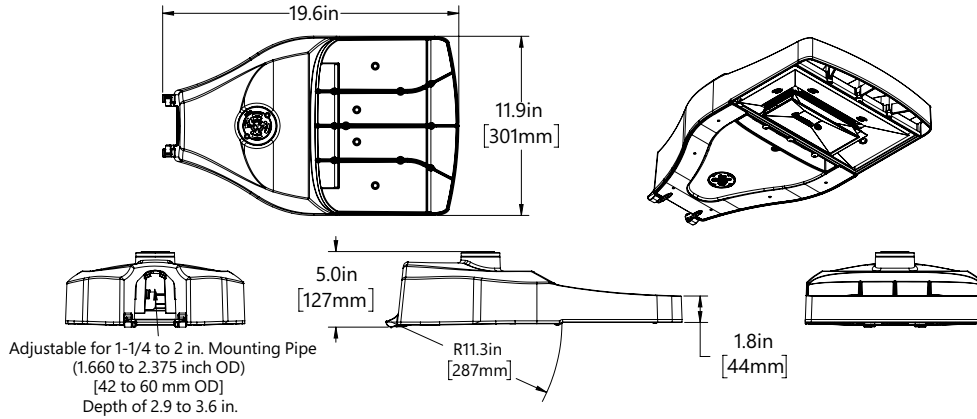
### H2 - Motion Sensing Option (Daintree)

- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Provides a coverage area radius for walking motion of 15-20 ft. (4.57-6.10m)
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
  - Output: Occupied - 100%/Unoccupied - 50%
  - PE Sensor: None
  - Ramp/Fade: 5 Minutes/5 Minutes
- Adds < 1W to fixture power rating
- Requires Daintree Enterprise and wide area control (WAC)

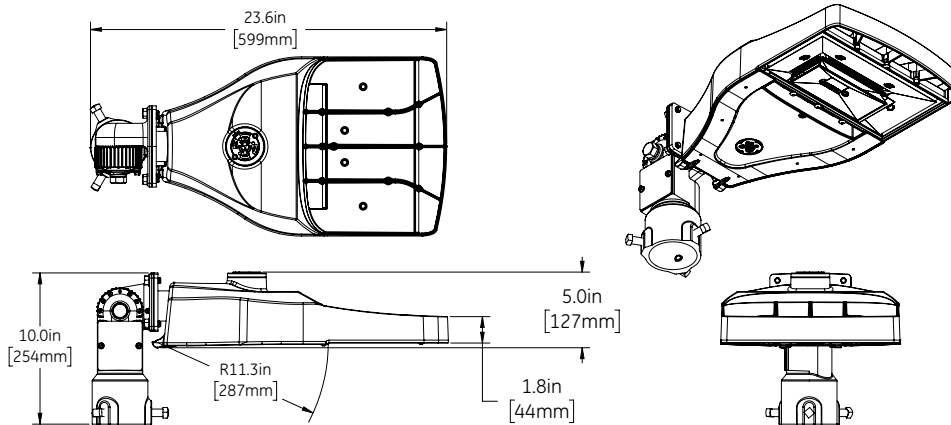
Sensing Pattern Area Fixture  
Up to 30 ft. Mounting Height



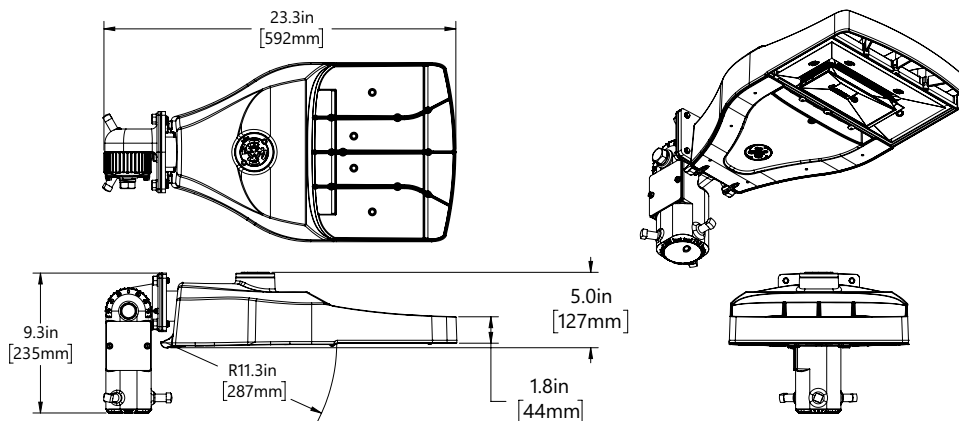
### Integral Slipfitter: C1



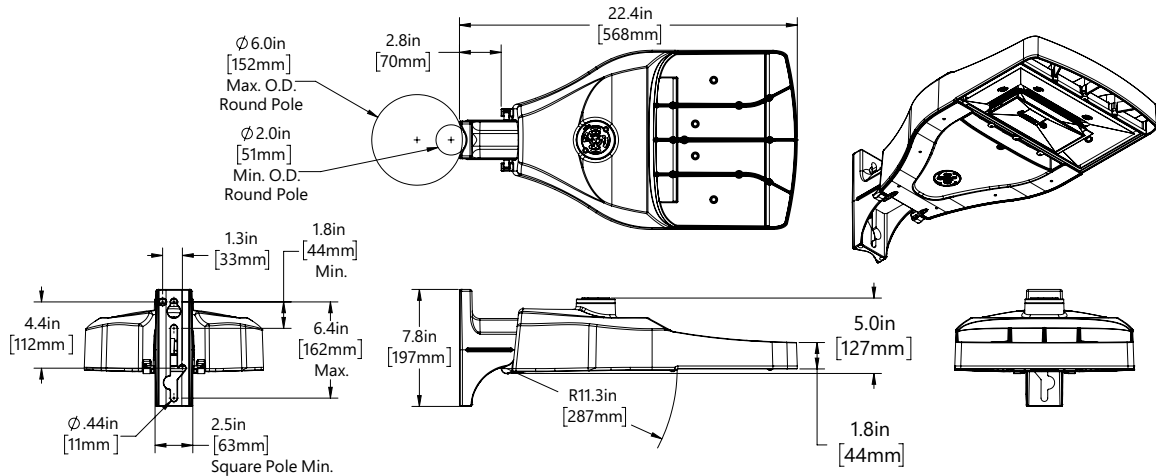
### Knuckle Slipfitter: S1



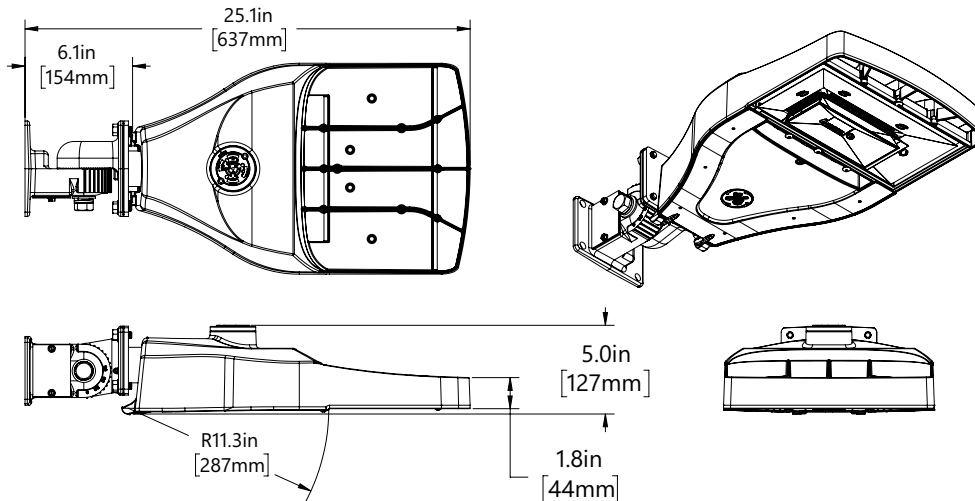
### Knuckle Slipfitter: K1



### Universal Mounting Arm: D1



### Knuckle Wall Mount: V1



### Weight

- 18 lbs (8.16 kg) Max depending on configuration

### Effective Projected Area

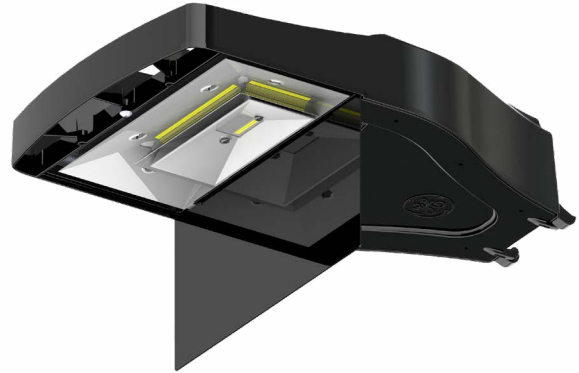
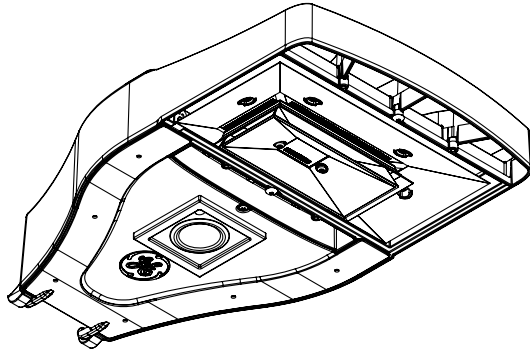
- Integral Slipfitter C1, EPA = 0.31 Min/0.37 Max
- Universal Arm Mount D1, EPA = 0.31 Min / 0.52 Max
- Knuckle Slipfitter S1, K1 downward aim, EPA = 0.46 Min / 0.56 Ma
- Knuckle Slipfitter S1, K1 45° aim, EPA = 0.56 Min / 1.03 Max

CUSTOMER NAME \_\_\_\_\_

PROJECT NAME \_\_\_\_\_

DATE \_\_\_\_\_ TYPE \_\_\_\_\_

CATALOG NUMBER \_\_\_\_\_



### PE Accessories (To Be Order Separately)

SAP NUMBER	PART NUMBER	DESCRIPTION
93123552	WANSI - 277	ANSI 136.41 Dimming PE Danitree Enable, 105-305V
93123553	WANSI - 480	ANSI 136.41 Dimming PE Danitree Enable, 312-530V
93029237	PED-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V
93029238	PED-347-LED-7	ANSI C136.41 Dimming PE, 347V
93029239	PED-480-LED-7	ANSI C136.41 Dimming PE, 480V

SAP NUMBER	PART NUMBER	DESCRIPTION
28299	PEC0TL	STANDARD 120-277V
28294	PEC5TL	STANDARD 480V
80436	PECDTL	STANDARD 347V
73251	SCCL-PECTL	Shorting cap

### Back Light Shield

SHIELD ORIENTATIONS	CUTOFF DISTANCE	SHIELD ORDER LOGIC
Back	Long	ELS-EACL-RBL-BLCK



CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

## EWLS L Series

### LED Wall Pack

The Evolve® LED L Series Wall Pack (EWLS), The Evolve LED L-Series Wall Pack, EWLS, is a designed replacement for 50W to 250W HID, while offering significant energy savings in a long-life LED wall pack. Two-screw housing design enables a fast and simplified installation. The low-watt Egress package is designed to meet recommended illuminance requirements for egress applications such as side and rear exit doors in commercial buildings. Available with Emergency Battery Backup option.

### Construction

<b>Housing:</b>	Aluminum die cast enclosure. Integral heat sink for maximum heat transfer
<b>Lens:</b>	Impact resistant tempered glass
<b>Paint:</b>	Corrosion resistant polyester powder paint, minimum 2.0 mil thickness Color: Black, Dark Bronze, Gray & White (RAL & custom colors available) Optional = Coastal Finish
<b>Weight:</b>	8.5lbs (4 kg)

### Optical System

<b>Lumens:</b>	1,700 to 7,000
<b>Distribution:</b>	Asymmetric Forward
<b>Efficacy:</b>	117- 148 LPW
<b>CCT:</b>	2700, 3000K, 4000K, 5000K
<b>CRI:</b>	≥70

### Electrical

<b>Input Voltage:</b>	120-277V & 347V
<b>Input Frequency:</b>	50/60Hz
<b>Power Factor:</b>	> 90% at rated watts
<b>Total Harmonic Distortion:</b>	≤ 20% at rated watts

### Surge Protection

<b>Surge Protection</b>	10kV/5kA (Standard) 3kV/1.5kA (EMBB)
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\*Per ANSI C136.2-2015

### Emergency Battery Backup

Provides reliable emergency operations when there is a loss to normal power, supported by Independent Secondary Battery.

- Hold-Up Time: 90 minutes @ 1,400 lumens.
- Meet egress light level and uniformity requirements
- Not available in 347V
- Operating Temperature (for EMBB models) 0° to 40°C
- 3kV/1.5kA surge protection for EMBB models.

### Lumen Maintenance

#### Projected Lxx per IES TM-21-11 at 25°C

LUMEN CODES	DISTRIBUTION	LXX(H0K) @ HOURS		
		25,000 HR	50,000 HR	60,000 HR
17, 25 & 40	AF	L99	L99	L99
70	AF	L94	L87	L85

Note: Projected Lxx based on LM80 (≥ 10,000 hour testing). Accepted Industry tolerances apply to initial luminous flux and lumen maintenance measurements.

#### Luminaire Ambient Temperature Factor

AMBIENT TEMP (°C)	INITIAL FLUX FACTOR	AMBIENT TEMP (°C)	INITIAL FLUX FACTOR
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

### Ratings

<b>Operating Temperature:</b>	-40°C to 50°C
<b>Vibration:</b>	3G per ANSI C136.31-2010
<b>LM-79:</b>	Testing in accordance with IESNA Standards

### Controls

<b>Dimming:</b>	Standard - 0-10V
<b>Sensors:</b>	Photo Electric Sensors (PE) available Motion Sensor

### Warranty

5 Year (Standard)

Not all product variations listed on this page are DLC qualified. Visit [www.designlights.org/searchto](http://www.designlights.org/searchto) confirm qualifications.



CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

### Ordering Information

## E W L S 02 AF 70

PROD. ID	GEN	VOLTAGE	OPTIC CODE	DISTRIBUTION	CRI (MIN)	CCT	DIMMING	PE FUNCTION	MOUNTING	COLOR	OPTIONS
E = Evolve W = Wallpack LS = L-Series	02	0 = 120-277V 1 = 120V <sup>1</sup> 2 = 208V <sup>1</sup> 3 = 240V <sup>1</sup> 4 = 277V <sup>1</sup> 8 = 120-240V <sup>10</sup> D = 347V <sup>1</sup>	17 = 1,700 lm <sup>2</sup> 25 = 2,500 lm 40 = 4,000 lm 70 = 7,000 lm	AF = Asymmetric Forward	7 = 70	27 = 2700K <sup>3</sup> 30 = 3000K <sup>3</sup> 40 = 4000K 50 = 5000K	N = No External Dimming Leads D = External Dimming Leads <sup>5</sup>	1 = None 3 = Button PE <sup>17</sup>	CB = Conduit Box Mount <sup>4</sup> FM = Flush Mount	BLCK = Black DKBZ = Dark Bronze GRAY = Gray	EMBB = Emergency Battery Backup <sup>5,6</sup> H = Motion Sensor (Wattstopper) <sup>6,8,9</sup> XXX = Special Options W = Non-Graphical White Box

- <sup>1</sup> Specify single voltage if Button PE option is selected
- <sup>2</sup> Optic code 17 - Not offered in 120-277V, use 120 240V
- <sup>3</sup> Select 2700K or 3000K CCT for IDA approved units
- <sup>4</sup> Must be selected when ordering with Button PE, Motion Sensor, 347V or Emergency Battery Backup
- <sup>5</sup> Not available with motion sensor
- <sup>6</sup> Not available in 347V
- <sup>7</sup> Button PE not available with EMBB. Button PE not available with H Motion Sensor. Motion sensor includes dusk-to-dawn control as well as motion control.
- <sup>8</sup> WS FSIR-100 (Sku# 197634) needed for programming sensor.
- <sup>9</sup> Must select Controls "N" with Motion Sensor "H"

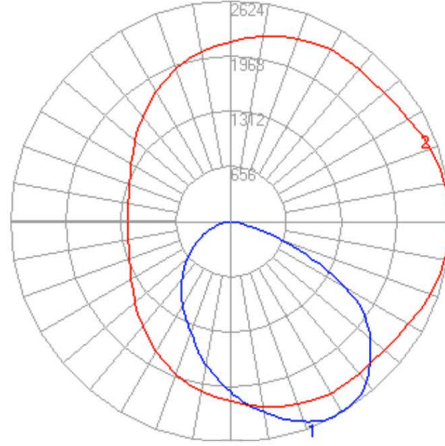
OPTIC CODE	DISTRIBUTION	TYPICAL INITIAL LUMENS			TYPICAL SYSTEM WATTAGE		BUG RATINGS 2700K-5000K
		2700K	3000K	4000K/ 5000K	120-277V	347V	B-U-G
17	AF	1400	1600	1700	12	14	B1-U0-G0
25		2200	2400	2500	17	19	B1-U0-G1
40		3500	3800	4000	27	29	B1-U0-G1
70		6100	6700	7000	52	54	B2-U0-G1
EMBB	-	1300	1400	1400	-	-	B1-U0-G0

For additional information on EWLS IES files, please refer to LED.com

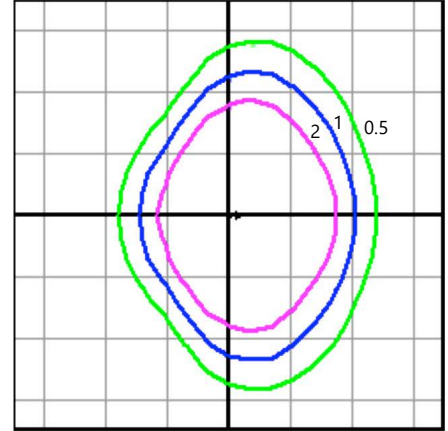
CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

**70AF**  
ASYMMETRIC FORWARD

7000 LUMEN  
EWLS02\_70AF750\_\_\_-120-277V.ies



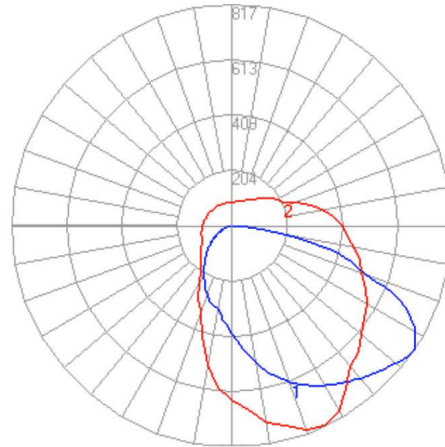
- Vertical plane through horizontal angle of Max. Cd at 0°
- Horizontal cone through vertical angle of Max. Cd at 27°



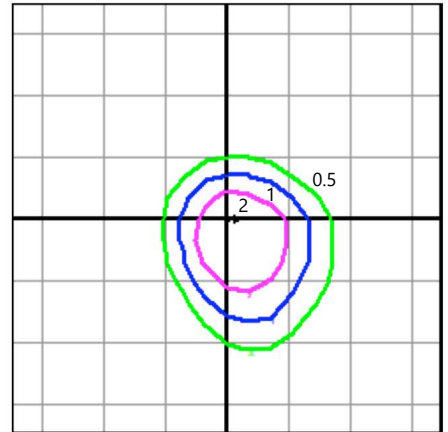
- Mounting Height at 10'
- Initial Footcandle at Grade
- Light Level: 0.5fc, 1fc, 2fc

**EMBB Mode**  
ASYMMETRIC FORWARD

1400 LUMEN  
EWLS02\_EMBB\_\_\_ies



- Vertical plane through horizontal angle of Max. Cd at 295°
- Horizontal cone through vertical angle of Max. Cd at 55°



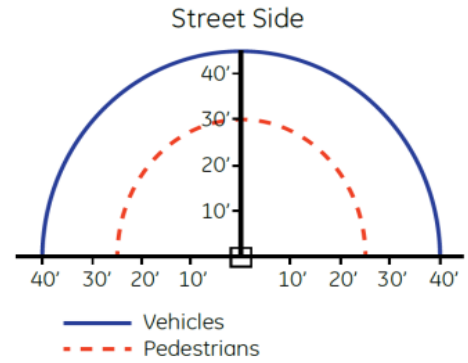
- Mounting Height at 10'
- Initial Footcandle at Grade
- Light Level: 0.5fc, 1fc, 2fc

CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

### H Motion Sensing Option

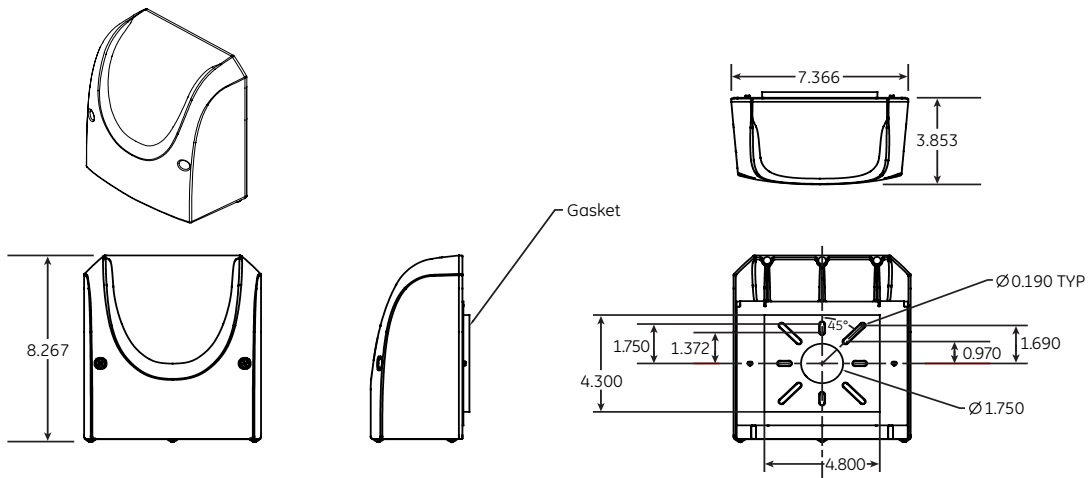
Intended for 8-25ft mounting heights
Provides coverage area radius for walking motion of 25-30 ft
Provides 180° degree coverage (180° degree blocked by wall)
Integrated Photoelectric control
<b>Default Settings:</b>
Output: Occupied - 100%/Unoccupied - 50%
10% dimming after 5 minutes with no occupancy
Adds < 1W to fixture power rating
Field programmable using FSIR-100 hand held programmer
<b>SKU # 197634 (WS FSIR-100)</b>

### Sensing Pattern:

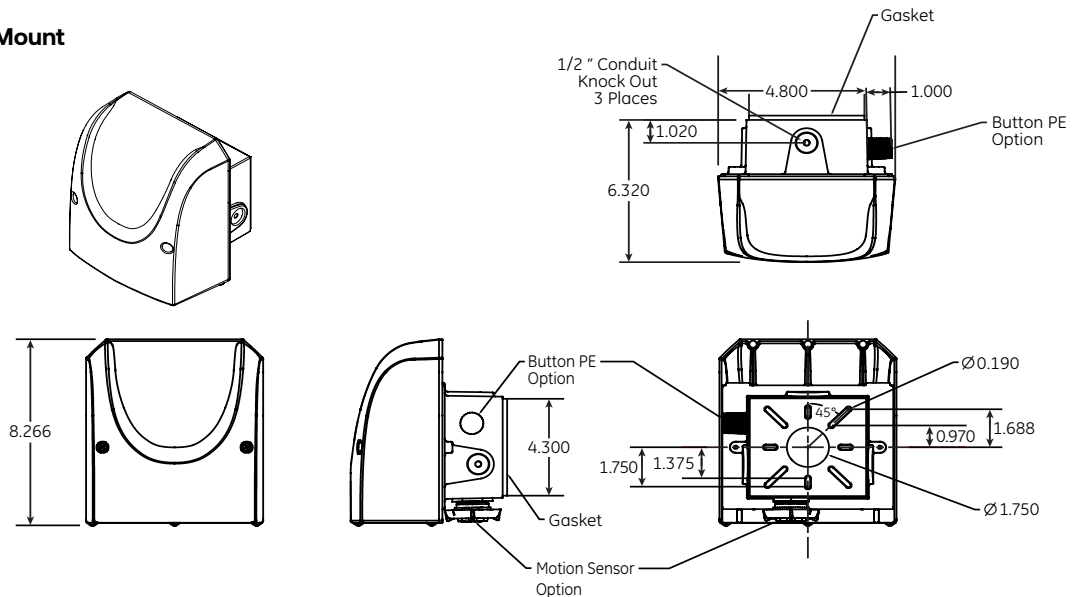


Sensing Pattern Wall Pack Fixture: 8-25 ft.

### Flush Mount



### Conduit Box Mount



CUSTOMER NAME \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 DATE \_\_\_\_\_ TYPE \_\_\_\_\_  
 CATALOG NUMBER \_\_\_\_\_

### Mounting

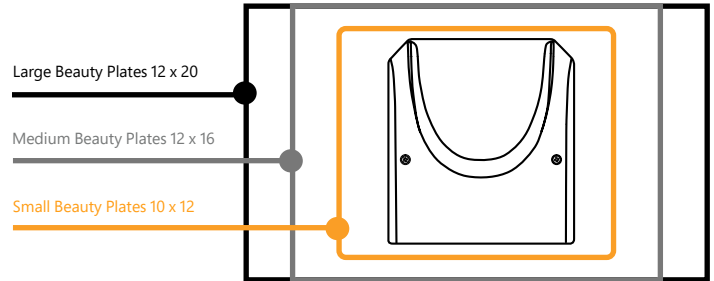
- Mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes.
- Flush Mount: Mounts directly to customer supplied junction box
- Conduit Box Mount: Mounts to walls via separate mounting box with conduit knockouts.

### Accessories

SAP NUMBER	SKU DESCRIPTION	DESCRIPTION	FINISH
93098508	EWLSAE1BLCK	10" x 12" Beauty Plate	BLACK
93098507	EWLSAE1DKBZ	10" x 12" Beauty Plate	DARK BRONZE
93098509	EWLSAE2BLCK	12" x 16" Beauty Plate	BLACK
93078134	EWLSAE2DKBZ	12" x 16" Beauty Plate	DARK BRONZE
93098506	EWLSAE2GRAY	12" x 16" Beauty Plate	GRAY
93082336	EWLSAE2WHITE	12" x 16" Beauty Plate	WHITE
93117503	EWLSAE3BLCK	12" x 20" Beauty Plate	BLACK
93082337	EWLSAE3WHITE	12" x 20" Beauty Plate	WHITE
93060351	EWLSAD	Diffuser	

### Accessories: Escutcheon Plates

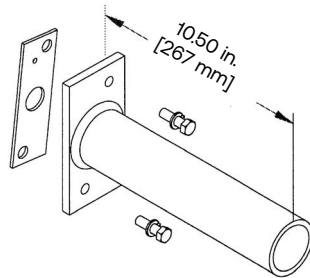
Cover the unsightly debris marks on your building facade with color matched wall pack beauty plates. Mounting hole patterns and dimensions are compatible with typical building surface fastening methods.



### Mounting Arms for Slipfitter Order separately with Mounting Option C1 (Slipfitter)

#### Square pole mounting arm

- 3.5 to 4.5-inch (89 to 114mm) square (will allow 4 fixtures per pole @ 90 degrees.)

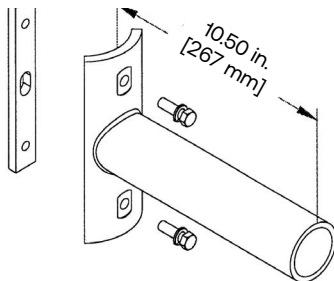


#### Order separately from fixture as catalog number

- SPA-EAMT10BLCK "Black"
- SPA-EAMT10DKBZ "Dark Bronze"
- SPA-EAMT10WHTE "White"
- SPA-EAMT10GRAY "Gray"

#### Round Pole Mounting Arm

- 3.5 to 4.5-inch (89 to 114mm) od (will allow 4 fixtures per pole @ 90 degrees.)



#### Order separately from fixture as catalog number

- RPA-EAMT10BLCK "Black"
- RPA-EAMT10DKBZ "Dark Bronze"
- RPA-EAMT10WHTE "White"
- RPA-EAMT10GRAY "Gray"

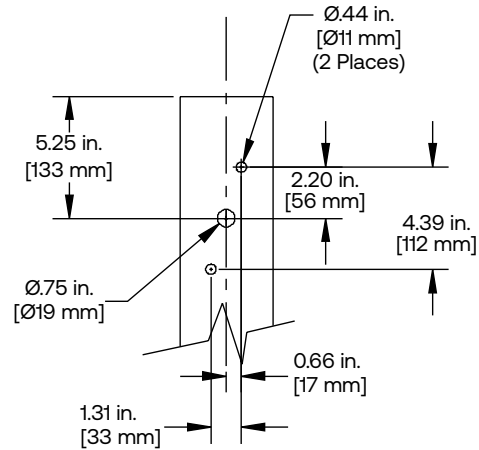
#### Wall Mounting Bracket Adapter Plate

Order separately from fixture as catalog number  
WMB-EAMT06

\*NOTE: For Wall Mounting, order luminaire with mounting arm: C1 = Slipfitter 2" Pipe (2.378 in. OD) supplied with leads.

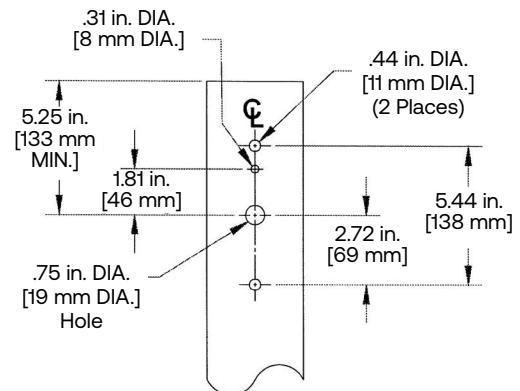
Other mounting patterns are available for retrofit installations. Contact manufacturing for other available mounting patterns.

#### Square pole mounting drilling template

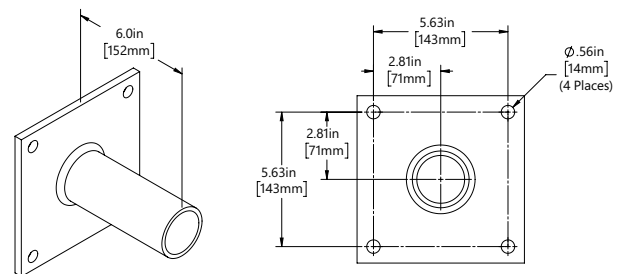


#### Round Pole Mounting Drilling Template

- 3.5 TO 4.5-inch (89 to 114mm) OD round pole mounting arm



#### Wall MOUNTING Bracket Hole Pattern



September 5, 2025

Re: Design Review of Lakestone Properties Sperle Corners Proposed Development

We completed our review of the detailed PUD plan dated August 5, 2025.

We recognize that the project is still developing, and not all items are fully designed and documented. Below is a list of items that we noted that aren't displaying compliance with applicable codes or should be considered during the design of the project.

- The fire lane plan that was submitted previously indicates that the maximum roadway width would be required to comply with turning radius. The current plan submission doesn't include where parking restrictions will be placed on Devils Lake Way. Based on our review on streeting will be permitted in front Lots 3-13. The north/south portion of Devils Lake Way will not be permitted to have street parking. It should be noted that the fire department access requires vertical clearance of 13' 6", with the design utilizing full street width the provided trees can't extend over the street unless they are taller than 13' 6".
  - The department's recommendation is not to permit the current proposed street width.
- Any curb area within 20' of fire hydrant will be required to be signed as no parking. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four-inch-wide yellow stripe placed on the pavement.
- The provide elevations for the apartment buildings on Lot 18 an eave height of 32' 1 1/2", which would require aerial access. The current access width doesn't comply with the 26' width for aerial access.
- The traffic calming devices (speed bumps) are required to be approved by the fire code official and will be required to be submitted. Speed bumps will not be accepted, and any traffic calming must comply with the following:

- Maintain angle of approach or departure for fire apparatus to be 8 degrees or less. (NFPA 1901 12.3.2.2)
- Height less than 8" (NFPA 1901 12.3.2.2)
- The indicated phase 1 apartments site plan has a fire department access road that exceeds 150' without an approved turn-around. Occupancy of phase 1 will not be able to be granted until a turn-around is provided or the access is built out to provide the turn-around.
- When considering the Lot 18 units as a multi-family development the IFC requires (2) separate access roads unless all buildings are equipped with approved automatic fire sprinkler systems. It would be preferable to add a second access road to Elvehjem between the (37) unit and (40) unit apartment buildings. If not added, any building on the lot will require approved automatic fire sprinklers including a shed or an accessory building that is constructed in the future.
- Any building with 3 units or more will require an automatic fire sprinkler system and Knox key box. It is encouraged to provide Knox key boxes on all buildings and especially any buildings that are rented. The plans have not included floor plans for buildings, and it is understood that the floorplans more than likely haven't been developed. It should be noted though that any building with a fire sprinkler will require a riser room that is accessible without entering a private dwelling.
- The buildings will need to comply with IFC section 510 for emergency responder radio coverage.

Code sections for reference:

*SPS 362.0903 (5)(a) Except as provided in pars. (b) to (cm), an automatic sprinkler system installed in accordance with IBC section 903.3 shall be provided throughout all buildings with a Group R fire area.*

*IBC 509.1 Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified*

*for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location shall be constructed of durable materials, permanently installed and readily visible.*

*IBC 916.1 Emergency responder radio coverage shall be provided in all new buildings in accordance with Section 510 of the International Fire Code.*

*IFC 503.2.1 Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).*

*IFC 503.2.4 The required turning radius of a fire apparatus access road shall be determined by the fire code official.*

*IFC 503.3 Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.*

*IFC 503.4.1. Traffic calming devices shall be prohibited unless approved by the fire code official.*

*IFC 504.1 Exterior doors and openings required by this code or the International Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.*

*IFC 507.5.1 Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route*

*around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.*

*Exceptions:*

*1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m).*

*2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).*

*IFC D103.4 Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.*

*IFC D105.1 Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.*

*IFC D105.2 Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.*

*IFC D105.3 At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.*

*IFC D106.1 Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. Exception: Projects having up to 200 dwelling units may have a single approved fire apparatus access road when all buildings, including*

*nonresidential occupancies, are equipped throughout with approved automatic sprinkler systems installed in accordance with Section 903.3.1.1 or 903.3.1.2.*

*VOM 26-146 (a) Required. Newly constructed commercial buildings and residential buildings containing three or more dwelling units, or when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the Fire/EMS Chief may require that a key box be installed in an accessible location. The key box shall be a type approved by the Fire and Emergency Medical Services Department and shall contain those keys found to be necessary to provide emergency access.*

*VOM 26-176 Where the Village water system is available, and any portion of a commercial or industrial building containing 7,000 square feet or more of gross interior area, or a residential building containing more than two dwelling units and containing 7,000 square feet or more of gross interior area, is set back more than 300 feet from the centerline of the nearest abutting public right-of-way, the owner shall install approved fire hydrants at such owner's expense. The set back distances shall be determined by measuring the travel distance from a municipal hydrant along the centerline of a municipal street or private road suitable for travel by fire apparatus.*

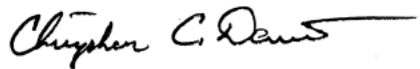
*VOM 26-177 (a) One hydrant shall be located at the main entryway to such building or complex. Additional hydrants shall be provided around the perimeter of the building or complex so that no hydrant is more than 400 feet from any other approved hydrant as described in Section 26-176.*

*VOM 26-181 Fire hydrants shall be marked with the curb painted yellow. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four inch wide yellow stripe placed on the pavement.*

The following items should be noted to assist in the project being completed smoothly and in a timely fashion:

- Village of McFarland is a delegated agent for the State of Wisconsin to perform fire protection and fire alarm systems reviews.
- Before the installation of any fire protection system a work permit is required to be issued by McFarland Fire & Rescue.
- Fire protection and fire alarm system reviews require the submission of architectural plans and would the owner to submit on behalf of the sprinkler and fire alarm contractors.
- Any privately owned piping including underground mains and laterals that are associated with or supply fire sprinkler systems require to be reviewed and inspected by McFarland Fire & Rescue before being concealed by building finishes or ground.
- Approval of the fire sprinkler system will require a flow test witnessed by McFarland Fire & Rescue within 1 year prior to the submission of plans for approval.
- The display of addresses for Lots 1, 10 and 11 may require additional signage at Devil's Lake Way. We would recommend reviewing with building inspection and McFarland Fire & Rescue Department before requesting occupancy inspections.

Sincerely,



Christopher C. Dennis, Chief  
Fire & Rescue Department  
Village of McFarland

CC:

McFarland Fire & Rescue Department Prevention  
McFarland Community Development  
McFarland Public Works

September 8, 2025

Mr. Andrew Bremer, AICP  
Community & Economic Development Director  
Village of McFarland  
5915 Milwaukee Street  
P.O. Box 110  
McFarland, WI 53558

Subject: Sperle Corners Development – Detailed Development Plan Submittal Review

Dear Andrew:

We have received the updated Detailed Development Plan submittal dated August 18, 2025 for Sperle Corners, a proposed new residential development north of Elvehjem Road and west of CTH AB, south of an existing multi-use trail, and east of some existing residential areas on Perrot Place. The preliminary plat, plans, and stormwater management report have been reviewed from a public works perspective. Our comments are shown below, organized by the appropriate document and/or drawing sheet number.

### **Construction Plans**

#### All Sheets

- Confirm water main has 7 feet of cover. Some hydrant locations appear to show closer to 8 feet cover.
- Move all shutoffs for future large water laterals (6-inch and larger) to be within 6 feet of the main.
- Call out future private sewer and water mains as “PRIVATE”

#### Sheet C-3

- Spot grades should be provided at all lot corners and relative high/low points in the grading plan to allow for checking the final grades against the proposed grading plan.

#### Sheet C-6

- The existing hydrant at the current end of Devil’s Lake Way should be removed and relocated to the proposed new dead end at the Elvehjem Road intersection.
- Add main valves on both sides of the proposed hydrant near STA 5+05.
- Add a main valve on the east end of the proposed main connection for testing purposes.

#### Sheet C-7

- A valve should be added to the west leg of the tee at Elvehjem Road, and the northern valve on said tee be moved just north of the nearby proposed hydrant.

Sheet C-10

- The proposed hydrant near STA 55+28 on Elvehjem Road should have valves on both sides of the hydrant tee.
- Add a ditchline profile showing existing ground above the proposed water main to confirm proper bury depth.
- Add insulation between the new water main and proposed storm sewer crossing Elvehjem Road.

Sheet 16

- Confirm that the Village fire apparatus maneuver through the layout with parking as intended.

**Final Plat**

We have no further comments on the plat and recommend Village approval.

**Stormwater Management Plan**

The stormwater management design as proposed will meet the Village, County, and State performance standards, however there are several important items that will be needed prior to recommending Village approval:

- A plan view of the site showing the extent of overland water flow during a 200-year storm (assuming all inlets are plugged) must be provided to ensure water does not enter private properties.
- The Storm Sewer Sizing exhibit shows several pipes over capacity. Explanation should be provided for this (or upsizing of piping).

Please feel free to contact us with any questions or comments regarding this review.

Very truly yours,  
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.  
President

cc: Mr. Lee Igl, Director of Public Works, Village of McFarland (*via email*)

Mr. Matthew Schuenke, Administrator, Village of McFarland (*via email*)

Mr. Ryan Quam, Quam Engineering (*via email*)

BRB:sai

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September 8, 2025

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### Construction Plans

#### All Sheets

- Confirm water main has 7 feet of cover. Some hydrant locations appear to show closer to 8 feet cover. **The water main has 7' of cover. The bottom of 6" water line is assumed to be fairly flat from the hydrant to the tee. The bury line is set approximately 3" above the adjacent curb elevation. The distance from the bury line to the bottom of 6" hydrant lead is to the nearest 0.5' increment and ends up being 8' deep from bury line to bottom of hydrant lead at each of the three hydrants.**
- Move all shutoffs for future large water laterals (6-inch and larger) to be within 6 feet of the main. **The attached plans dated 9-22-25 have been revised to address this item.**
- Call out future private sewer and water mains as "PRIVATE" **The attached plans dated 9-22-25 have been revised to address this item.**

#### Sheet C-3

- Spot grades should be provided at all lot corners and relative high/low points in the grading plan to allow for checking the final grades against the proposed grading plan. **Proposed spot elevations have been added.**

#### Sheet C-6

- The existing hydrant at the current end of Devil's Lake Way should be removed and relocated to the proposed new dead end at the Elvehjem Road intersection. **The attached plans dated 9-22-25 have been revised to address this item (See sheet C-6 and C-11).**
- Add main valves on both sides of the proposed hydrant near STA 5+05. **Valves have been added.**
- Add a main valve on the east end of the proposed main connection for testing purposes. **A 12" valve has been added near station 51+10 as shown on Sheet C-10.**

### Sheet C-7

- A valve should be added to the west leg of the tee at Elvehjem Road, and the northern valve on said tee be moved just north of the nearby proposed hydrant. **The 12" valve has been added near station 58+45 and the 8" valve has been shifted north as shown on sheets C-6 and C-11.**

### Sheet C-10

- The proposed hydrant near STA 55+28 on Elvehjem Road should have valves on both sides of the hydrant tee. **Two 12" valves have been added.**
- Add a ditchline profile showing existing ground above the proposed water main to confirm proper bury depth. **The ditch line profile has been added.**
- Add insulation between the new water main and proposed storm sewer crossing Elvehjem Road. **One 4'x8'x2" insulation sheet has been added.**

### Sheet 16

- Confirm that the Village fire apparatus maneuver through the layout with parking as intended. The existing Devils Lake Way is 32' face to face. **The initial Devils Lake Way design was 28' face to face as discussed with Village staff during the initial staff meeting. The current design is 30' face to face. If the face to face distance needs to be adjusted or if parking needs to be restricted in certain locations, then this will need to be discussed/directed with Village staff and/or Fire Department. This comment should not affect the water main design or delay the Owner Approval Letter.**

### Final Plat

We have no further comments on the plat and recommend Village approval.

### Stormwater Management Plan

The stormwater management design as proposed will meet the Village, County, and State performance standards, however there are several important items that will be needed prior to recommending Village approval:

- A plan view of the site showing the extent of overland water flow during a 200-year storm (assuming all inlets are plugged) must be provided to ensure water does not enter private properties. **This item will be provided by Mark Fendry under a separate email. This comment should not affect the water main design or delay the Owner Approval Letter.**
- The Storm Sewer Sizing exhibit shows several pipes over capacity. Explanation should be provided for this (or upsizing of piping). **This item will be provided by Mark Fendry under a separate email. This comment should not affect the water main design or delay the Owner Approval Letter.**

Please feel free to contact us with any questions or comments regarding this review.

Very truly yours,  
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.  
President

cc: Mr. Lee Igl, Director of Public Works, Village of McFarland (via email)  
Mr. Matthew Schuenke, Administrator, Village of McFarland (via email)  
Mr. Ryan Quam, Quam Engineering (via email)

BRB:sai

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September 5, 2025

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- The fire lane plan that was submitted previously indicates that the maximum roadway width would be required to comply with turning radius. The current plan submission doesn't include where parking restrictions will be placed on Devils Lake Way. Based on our review on streeting will be permitted in front Lots 3-13. The north/south portion of Devils Lake Way will not be permitted to have street parking. It should be noted that the fire department access requires vertical clearance of 13' 6", with the design utilizing full street width the provided trees can't extend over the street unless they are taller than 13' 6".
  - The department's recommendation is not to permit the current proposed street width. **The attached Devils Lake Way Fire Lane Plan has been prepared. It indicates the fire lane with parking on the north and east side of Devils Lake Way and three "No Parking" signs on the south and west side of Devils Lake Way.**
- Any curb area within 20' of fire hydrant will be required to be signed as no parking. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four-inch-wide yellow stripe placed on the pavement. **The painting notes "WITHIN 10' OF FIRE HYDRANT" have been added to the plans. We subsequently received a note from Brian Berquist indicating "-Remove the yellow curb painting lines and notes (the Village does not paint curbs)". Please clarify what is required to satisfy this comment.**
- The provide elevations for the apartment buildings on Lot 18 an eave height of 32' 1 1/2", which would require aerial access. The current access width doesn't

comply with the 26' width for aerial access. The parking lot has been adjusted to include 26' wide driveways to allow for aerial access as shown on the revised Apartments Site Plan.

- The traffic calming devices (speed bumps) are required to be approved by the fire code official and will be required to be submitted. Speed bumps will not be accepted, and any traffic calming must comply with the following:
  - Maintain angle of approach or departure for fire apparatus to be 8 degrees or less. (NFPA 1901 12.3.2.2)
  - Height less than 8" (NFPA 1901 12.3.2.2)The speed bumps have been removed from the plans.
- The indicated phase 1 apartments site plan has a fire department access road that exceeds 150' without an approved turn-around. Occupancy of phase 1 will not be able to be granted until a turn-around is provided or the access is built out to provide the turn-around. A fire lane plan has been prepared for phase 1. The 150' fire lane in the parking lot, as well as the fire lanes in Devils Lake Way and Elvehjem Road will provide sufficient hose length distances.
- When considering the Lot 18 units as a multi-family development the IFC requires (2) separate access roads unless all buildings are equipped with approved automatic fire sprinkler systems. It would be preferable to add a second access road to Elvehjem between the (37) unit and (40) unit apartment buildings. If not added, any building on the lot will require approved automatic fire sprinklers including a shed or an accessory building that is constructed in the future. Buildings will include automatic fire sprinklers.
- Any building with 3 units or more will require an automatic fire sprinkler system and Knox key box. It is encouraged to provide Knox key boxes on all buildings and especially any buildings that are rented. The plans have not included floor plans for buildings, and it is understood that the floorplans more than likely haven't been developed. It should be noted though that any building with a fire sprinkler will require a riser room that is accessible without entering a private dwelling. Buildings will include knox key boxes.
- The buildings will need to comply with IFC section 510 for emergency responder radio coverage. Buildings will comply.

Code sections for reference:

SPS 362.0903 (5)(a) Except as provided in pars. (b) to (cm), an automatic sprinkler system installed in accordance with IBC section 903.3 shall be provided throughout all buildings with a Group R fire area.

IBC 509.1 Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location shall be constructed of durable materials, permanently installed and readily visible.

IBC 916.1 Emergency responder radio coverage shall be provided in all new buildings in accordance with Section 510 of the International Fire Code.

IFC 503.2.1 Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

IFC 503.2.4 The required turning radius of a fire apparatus access road shall be determined by the fire code official.

IFC 503.3 Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

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IFC 504.1 Exterior doors and openings required by this code or the International Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access

roads to exterior openings shall be provided when required by the fire code official.

IFC 507.5.1 Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

Exceptions:

1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m).
2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

IFC D103.4 Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

IFC D105.1 Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet (9144 mm), approved aerial fire apparatus access roads shall be provided. For purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.

IFC D105.2 Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

IFC D105.3 At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial fire apparatus access road is positioned shall be approved by the fire code official.

IFC D106.1 Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads. Exception: Projects having up to 200 dwelling units may have a single approved fire apparatus access road when all buildings, including nonresidential occupancies,

are equipped throughout with approved automatic sprinkler systems installed in accordance with Section 903.3.1.1 or 903.3.1.2.

VOM 26-146 (a) Required. Newly constructed commercial buildings and residential buildings containing three or more dwelling units, or when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for lifesaving or firefighting purposes, the Fire/EMS Chief may require that a key box be installed in an accessible location. The key box shall be a type approved by the Fire and Emergency Medical Services Department and shall contain those keys found to be necessary to provide emergency access.

VOM 26-176 Where the Village water system is available, and any portion of a commercial or industrial building containing 7,000 square feet or more of gross interior area, or a residential building containing more than two dwelling units and containing 7,000 square feet or more of gross interior area, is set back more than 300 feet from the centerline of the nearest abutting public right-of-way, the owner shall install approved fire hydrants at such owner's expense. The set back distances shall be determined by measuring the travel distance from a municipal hydrant along the centerline of a municipal street or private road suitable for travel by fire apparatus.

VOM 26-177 (a) One hydrant shall be located at the main entryway to such building or complex. Additional hydrants shall be provided around the perimeter of the building or complex so that no hydrant is more than 400 feet from any other approved hydrant as described in Section 26-176.

VOM 26-181 Fire hydrants shall be marked with the curb painted yellow. The curb shall be painted to produce a 20-foot stripe extending ten feet to each side of the hydrant. Areas without curbs shall have a four inch wide yellow stripe placed on the pavement.

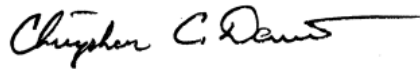
The following items should be noted to assist in the project being completed smoothly and in a timely fashion:

- Village of McFarland is a delegated agent for the State of Wisconsin to perform fire protection and fire alarm systems reviews.
- Before the installation of any fire protection system a work permit is required to be issued by McFarland Fire & Rescue.
- Fire protection and fire alarm system reviews require the submission of architectural plans and would the owner to submit on behalf of the sprinkler and

fire alarm contractors.

- Any privately owned piping including underground mains and laterals that are associated with or supply fire sprinkler systems require to be reviewed and inspected by McFarland Fire & Rescue before being concealed by building finishes or ground.
- Approval of the fire sprinkler system will require a flow test witnessed by McFarland Fire & Rescue within 1 year prior to the submission of plans for approval.
- The display of addresses for Lots 1, 10 and 11 may require additional signage at Devil's Lake Way. We would recommend reviewing with building inspection and McFarland Fire & Rescue Department before requesting occupancy inspections.

Sincerely,

A handwritten signature in black ink that reads "Christopher C. Dennis". The signature is written in a cursive style with a long horizontal flourish at the end.

Christopher C. Dennis, Chief  
Fire & Rescue Department  
Village of McFarland

CC:

McFarland Fire & Rescue Department Prevention  
McFarland Community Development  
McFarland Public Works

  
VILLAGE OF  
**McFarland**  
**SUMMARY SHEET**

**MEETING DATE:** Tuesday, October 21, 2025

**SECTION:** Business

**DEPARTMENT:** Community Development

**CONTACT:** Andrew Bremer, Comm & Eco Dev Director

**AGENDA ITEM:** Discussion and action to make a recommendation to the Village Board regarding renewal of a contract with General Engineering Company for building inspection services.

**PREVIOUS ACTION:**

**ISSUE SUMMARY:**

Included in the packet is a contract to extend the Village's building inspection services with General Engineering Company (GEC). GEC has been serving as the Village's contracted residential and commercial building inspector since 2019. The contract was previously extended three times in 2019, 2020, and 2022. The last two extensions have covered a three-year contract period. Similarly, the contract extension provided in the packet would extend the contract with GEC for another three years through December 31, 2028.

**FINANCIAL/BUDGET IMPACT:**

Under the terms of the contract, the Village is billed an hourly rate for building inspection services up to a maximum of \$100,000 per year. The historical and proposed hourly rates are provided below for reference purposes. Building permit revenue is used to offset the costs of the inspection services. On average, GEC provides about 4-5 hours per day of inspection services.

Hourly Rates:

2019 = \$70.00

2020-2022 = \$70.00

2023-2025 = \$75.00

2026 = \$80.00 (*proposed*)

2027 = \$85.00 (*proposed*)

2028 = \$85.00 (*proposed*)

The average annual hourly rate increase from 2019 through 2028 equates to 2.4% increase per year.

**VILLAGE PLAN REFERENCE:**

**ORDINANCE REFERENCE:**

**BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:**



Recommended motion:

*Motion, second to recommend to the Village Board renewal of a contract with General Engineering Company for building inspection services as provided in the packet.*

**ATTACHMENTS:**

1. Building Inspection Contract (General Engineering)\_10.09.25

# VILLAGE OF MCFARLAND CONTRACT

**Expiration Date:** December 31, 2028  
**Maximum Cost:** \$100,000.00 per year  
**Registered Agent:** Bradley Boettcher  
**Street Address:** 916 Silver Lake Drive, PO Box 340  
**City, State, Zip:** Portage, WI 53901

**THIS CONTRACT**, made and entered into, by and between the Village of McFarland (hereinafter referred to as "VILLAGE") and General Engineering Company (hereafter, "PROVIDER"),

**WHEREAS** VILLAGE, whose address is 5915 Milwaukee St., P.O. Box 110, McFarland, WI 53558, desires to purchase services from PROVIDER for the purpose of receiving Building Inspection services within the Community & Economic Development Department; and

**WHEREAS** PROVIDER, whose address is 916 Silver Lake Drive (PO Box 340), Portage, WI 53901, is able and willing to provide such services;

**NOW, THEREFORE**, in consideration of the above premises and the mutual covenants of the parties hereinafter set forth, the receipt and sufficiency of which are acknowledged by each party, VILLAGE and PROVIDER agree as follows:

- I. TERM. The term of this Contract shall commence as of January 1, 2026, provided all parties have executed this Contract prior to January 1, 2026 and shall end as of the EXPIRATION DATE set forth on page 1 hereof, unless sooner agreed to in writing by the parties or as provided in Section IV. PROVIDER shall complete its obligations under this Contract not later than the EXPIRATION DATE.
- II. SERVICES.
  - A. PROVIDER agrees to provide the services detailed in the attached Schedule A.
  - B. PROVIDER shall commence, carry on and complete its obligations under this Contract with all deliberate speed and in a sound, economical and efficient manner, in accordance with this Contract and all applicable laws. In providing services under this Contract, PROVIDER agrees to cooperate with the various departments, agencies, employees and officers of VILLAGE. Time is of the essence with regard to all dates for completion of any services under this Contract unless expressly provided otherwise.
  - C. PROVIDER agrees to secure at PROVIDER's own expense all personnel necessary to carry out PROVIDER's obligations under this Contract. Such personnel shall not be deemed to be employees of VILLAGE nor shall they or any of them have or be deemed to have any direct contractual relationship with VILLAGE.

- D. All services by PROVIDER shall be performed in a good and workmanlike manner and consistent with all standards of performance customary in the State of Wisconsin as well as any standards of quality advertised by PROVIDER.
- III. ASSIGNMENT/TRANSFER: PROVIDER shall neither assign nor transfer any interest or obligation in this Contract, without the prior written consent of VILLAGE unless otherwise provided herein, provided that claims for money due or to become due PROVIDER from VILLAGE under this Contract may be assigned to a bank, trust company or other financial institution without such approval if and only if the instrument of assignment contains a provision substantially to the effect that the right of the assignee in and to any moneys due or to become due to PROVIDER shall be subject to prior claims of all persons, firms and corporations for services rendered or materials supplied for the performance of the work called for in this Contract. PROVIDER shall promptly provide notice of any such assignment or transfer to VILLAGE.
- IV. TERMINATION.
- A. The Village may terminate this Contract for any reason upon thirty (30) day written notice to PROVIDER.
- B. The following shall constitute grounds for immediate termination:
1. violation by PROVIDER of any State, Federal or local law, or failure by PROVIDER to comply with any applicable States and Federal service standards, as expressed by applicable statutes, rules and regulations.
  2. failure by PROVIDER to carry applicable licenses or certifications as required by law in order to complete the services to be provided under this Contract.
  3. failure of PROVIDER to comply with reporting requirements contained herein.
  4. inability of PROVIDER to perform the work provided for herein.
- C. Failure of the Village Board or the State or Federal Governments to appropriate sufficient funds to carry out VILLAGE's obligations hereunder, shall result in automatic termination of this Contract as of the date funds are no longer available, without notice.
- D. Upon the expiration or any termination of this Contract, all finished and unfinished documents, services, papers, data, products, and the like prepared, produced or made by PROVIDER under this Contract shall at the option of VILLAGE become the property of VILLAGE, and PROVIDER shall be entitled to receive just and equitable compensation, for any satisfactory work completed on such documents, services, papers, data, products. Notwithstanding the above, PROVIDER shall not be relieved of liability to VILLAGE for damages sustained by VILLAGE by virtue of any breach of this Contract by PROVIDER, and VILLAGE may withhold any payments to PROVIDER for the purpose of offset. Notwithstanding the above, all inspection reports and records created by PROVIDER pursuant to this Contract shall immediately become the property of VILLAGE and PROVIDER is not entitled to any additional compensation for providing those reports and records to VILLAGE.
- V. PAYMENT. VILLAGE agrees to make such payments for services rendered under this Contract as and in the manner specified herein and in the attached Schedule B, which is fully incorporated herein by reference. Notwithstanding any language to the contrary in this Contract or its attachments, VILLAGE shall never be required to pay more than the sum set forth on page 1 of this Contract under the heading MAXIMUM COST, for all services rendered by PROVIDER under this Contract.
- VI. REPORTS. PROVIDER agrees to make such reports as are reasonably requested by VILLAGE.

VII. DELIVERY OF NOTICE. Notices, bills, invoices and reports required by this Contract shall be deemed delivered as of the date of postmark if deposited in a United States mailbox, first class postage attached, addressed to a party's address as set forth above. Either party may change the address to which notices should be sent by written notice to the other party.

VIII. INSURANCE.

A. PROVIDER shall indemnify, hold harmless and defend VILLAGE, its boards, committees, agencies, officers, employees and representatives against any and all liability, loss (including, but not limited to, property damage, bodily injury and loss of life), damages, costs or expenses which VILLAGE, its officers, employees, agencies, boards, commissions and representatives may sustain, incur or be required to pay by reason of PROVIDER's acts or omissions in the course of furnishing the services or goods required to be provided under this Contract, provided, however, that the provisions of this paragraph shall not apply to liabilities, losses, charges, costs, or expenses to the extent caused by or resulting from the acts or omissions of VILLAGE, its agencies, boards, commissions, officers, employees or representatives. The obligations of PROVIDER under this paragraph shall survive the expiration or termination of this Contract.

B. In order to protect itself and VILLAGE, its officers, boards, committees, agencies, agents, volunteers, employees and representatives under the indemnity provisions of the subparagraph above, PROVIDER shall, at PROVIDER's own expense, obtain and at all times during the term of this Contract keep in full force and effect the insurance coverages, limits, and endorsements listed below. When obtaining required insurance under this Contract and otherwise, PROVIDER agrees to preserve VILLAGE's subrogation rights in all such matters that may arise that are covered by PROVIDER's insurance. Neither these requirements nor the VILLAGE's review or acceptance of PROVIDER's certificates of insurance is intended to limit or qualify the liabilities or obligations assumed by the PROVIDER under this Contract.

Commercial General Liability.

PROVIDER agrees to maintain Commercial General Liability insurance at a limit of not less than \$1,000,000 per occurrence. Coverage shall include, but not be limited to, Bodily Injury and Property Damage to Third Parties, Contractual Liability, Personal Injury and Advertising Injury Liability, Premises-Operations, Independent PROVIDERS and Subcontractors, and Fire Legal Liability. The policy shall not exclude Explosion, Collapse, and Underground Property Damage Liability Coverage unless the VILLAGE waives such requirement in writing. The policy shall list the VILLAGE as an Additional Insured.

Commercial/Business Automobile Liability.

PROVIDER agrees to maintain Commercial/Business Automobile Liability insurance at a limit of not less than \$1,000,000 Each Occurrence. PROVIDER further agrees coverage shall include liability for Owned, Non-Owned & Hired automobiles. In the event PROVIDER does not own automobiles, PROVIDER agrees to maintain coverage for Hired & Non-Owned Auto Liability, which may be satisfied by way of endorsement to the Commercial General Liability policy or separate Business Auto Liability policy.

Workers' Compensation.

PROVIDER agrees to maintain Workers Compensation insurance to the extent required by law.

Umbrella or Excess Liability.

PROVIDER may satisfy the minimum liability limits required above for Commercial General Liability and Business Auto Liability through an Umbrella or Excess Liability policy provided that the Annual Aggregate limit shall not be less than the highest "Each Occurrence" limit for the Commercial General Liability and Business Auto Liability. PROVIDER agrees to list the VILLAGE as an "Additional Insured" on its Umbrella or Excess Liability policy.

- C. Upon execution of this Contract, PROVIDER shall furnish VILLAGE with a Certificate of Insurance listing VILLAGE as an additional insured and, upon request, certified copies of the required insurance policies. If PROVIDER's insurance is underwritten on a Claims- Made basis, the Retroactive Date shall be prior to or coincide with the date of this Contract. The Certificate of Insurance shall state that professional malpractice or errors and omissions coverage, if the services being provided are professional services is Claims- Made and indicate the Retroactive Date, and PROVIDER shall maintain coverage for the duration of this Contract and for six (6) years following the completion of this Contract. PROVIDER shall furnish VILLAGE, annually on the policy renewal date, a Certificate of Insurance as evidence of coverage. It is further agreed that PROVIDER shall furnish the VILLAGE with a 30-day notice of aggregate erosion, in advance of the Retroactive Date, cancellation, or renewal. It is also agreed that on Claims-Made policies, either PROVIDER or VILLAGE may invoke the tail option on behalf of the other party and that the Extended Reporting Period premium shall be paid by PROVIDER. In the event any action, suit or other proceeding is brought against VILLAGE upon any matter herein indemnified against, VILLAGE shall give reasonable notice thereof to PROVIDER and shall cooperate with PROVIDER's attorneys in the defense of the action, suit or other proceeding. PROVIDER shall furnish evidence of adequate Worker's Compensation Insurance, if required. In case of any sublet of work under this Contract, PROVIDER shall furnish evidence that each and every subcontractor has in force and effect insurance policies providing coverage identical to that required of PROVIDER.
- D. The VILLAGE, acting at its sole option and through its Village Board, may waive any and all requirements contained in this Contract, such waiver to be in writing only. Such waiver may include or be limited to a reduction in the amount of coverage required above. The extent of waiver shall be determined solely by Village Board taking into account the nature of the work and other factors relevant to VILLAGE's exposure, if any, under this Contract.
- IX. NO WAIVER BY PAYMENT OR ACCEPTANCE. In no event shall the making of any payment or acceptance of any service or product required by this Contract constitute or be construed as a waiver by VILLAGE of any breach of the covenants of this Contract or a waiver of any default of PROVIDER and the making of any such payment or acceptance of any such service or product by VILLAGE while any such default or breach shall exist shall in no way impair or prejudice the right of VILLAGE with respect to recovery of damages or other remedy as a result of such breach or default.
- X. NON-DISCRIMINATION. During the term of this Contract, PROVIDER agrees not to discriminate on the basis of age, race, ethnicity, religion, color, gender, disability, marital status, sexual orientation, national origin, cultural differences, ancestry, physical appearance, arrest record or conviction record, military participation or membership in the national guard, state defense force or any other reserve component of the military forces of the United States, or political beliefs against any person, whether a recipient of services (actual or potential) or an employee or applicant for employment, except to the extent that such factors are substantially related to the qualifications of such person to perform the work or receive the services. Such equal opportunity shall include but not be limited to the following: employment, upgrading, demotion, transfer, recruitment, advertising, layoff, termination, training, rates of pay, and any other form of compensation or level of service(s). PROVIDER agrees to post in conspicuous places, available to all employees, service recipients and applicants for employment and services, notices setting forth the provisions of this paragraph.
- XI. RECORDS. Upon request by VILLAGE, PROVIDER shall provide any or all documents and records, including digital records, PROVIDER creates pursuant to its work under this or any

prior Contract with VILLAGE, including, but limited to, records of inspections, without additional compensation from VILLAGE. PROVIDER shall provide such records to VILLAGE in a useable and legible format or program, as may be requested by VILLAGE. PROVIDER also acknowledges and understands that VILLAGE is a governmental entity. As such, all communications and other documents prepared or received by PROVIDER in connection with the services provided by PROVIDER under this Contract may be governed by the Wisconsin Public Records Law and that, in the event of a request for such documents, VILLAGE may be legally obligated to produce them. PROVIDER agrees that it will provide all such documents to VILLAGE if determined by VILLAGE to be necessary to comply with a proper Public Records Law request by either (1) retaining all such documents for a period of not less than seven (7) years after completion of the Work and providing copies to VILLAGE promptly upon request in exchange for the reasonable cost of copying or (2) providing a copy of each such document to VILLAGE upon the expiration of the Contract. In the event PROVIDER fails to make such documents available to VILLAGE as provided herein, PROVIDER shall indemnify VILLAGE for any penalties, costs, expenses (including reasonable attorney fees) incurred due to its inability to comply with the Public Records Law with respect to such documents. The obligations under this paragraph to produce and retain records, including the provisions for indemnity, shall survive the expiration or termination of this Contract.

XII. MISCELLANEOUS.

- A. Registered Agent. PROVIDER warrants that it has complied with all necessary requirements to do business in the State of Wisconsin, that the persons executing this Contract on its behalf are authorized to do so, and, if a corporation, that the name and address of PROVIDER's registered agent is as set forth opposite the heading REGISTERED AGENT on page 1 of this Contract. PROVIDER shall notify VILLAGE immediately, in writing, of any change in its registered agent, his or her address, and PROVIDER's legal status. For a partnership, the term 'registered agent' shall mean a general partner. The person(s) executing this Contract on behalf of PROVIDER individually warrants and represents that he, she or they are duly authorized to enter into this Contract and bind the PROVIDER hereto, and that no signatures other than those shown in the signature blocks below are necessary to make this Contract binding on PROVIDER.
- B. Controlling Law and Venue. It is expressly agreed that in the event of any disagreement or controversy between the parties, Wisconsin law shall be controlling. Venue for any legal proceedings shall lie solely in the Dane County Circuit Court.
- C. Limitation of Contract. This Contract is intended to be an agreement solely between the parties hereto and for their benefit only. No part of this Contract shall be construed to add to, supplement, amend, abridge or repeal existing duties, rights, benefits or privileges of any third party or parties, including but not limited to employees of either of the parties.
- D. Entire Contract. The entire agreement of the parties is contained herein and this Contract supersedes any and all oral agreements and negotiations between the parties relating to the subject matter hereof. The parties expressly agree that this Contract shall not be amended in any fashion except in writing, executed by both parties.
- E. Counterparts. The parties may evidence their agreement to this contract upon one or several counterparts of this instrument, which together shall constitute a single instrument.
- F. Severability. In the event any provision, term or clause contained in this Contract shall be determined unlawful or unenforceable, such determination shall not affect the

remaining provisions of this Contract which shall remain in full force and effect. In the event any such provision, term or clause shall be determined unlawful or unenforceable as to any particular person or circumstances, such determination shall not affect the applicability of such provision to any other person or under any other circumstances.

- G. Relationship of Parties. It is understood, agreed, and is the intent of the parties that the PROVIDER is at all times acting and performing as an independent contractor, not as a servant or employee of VILLAGE, and the PROVIDER shall not hold itself out as such. Nothing in this Contract shall be deemed to create an employment, partnership, or joint venture relationship between VILLAGE and PROVIDER or any of the PROVIDER's employees. Notwithstanding the foregoing, PROVIDER shall be the VILLAGE's "agent" as that term is specifically utilized and defined by the court in *Estate of Lyons v. CNA Ins.*, 207 Wis. 2d 446, 558 N.W.2d 658 (Ct. App. 1996) and as further explained in *Melchert et al. v. Pro Electric Contractors et al.*, 2017 WI 30, for purposes of governmental contractor immunity.

**IN WITNESS WHEREOF**, VILLAGE and PROVIDER, by their respective authorized agents, have caused this Contract and its Schedules to be executed, effective as of the date by which all parties hereto have affixed their respective signatures, as indicated below.

**FOR PROVIDER:**

Date Signed: \_\_\_\_\_  
Michael E. Parrott, Director of Inspections

Date Signed: \_\_\_\_\_  
Adam G. Maier, Programs Manager

**FOR VILLAGE:**

Date Signed: \_\_\_\_\_  
Stephanie Brassington, Village President

Date Signed: \_\_\_\_\_  
Cassandra Suettinger, Deputy Administrator/Clerk

# VILLAGE OF MCFARLAND CONTRACT

## **Schedule A** – Scope of Services

Pursuant to Section II(A) of this Contract, the PROVIDER shall provide the following services:

1. Administer and enforce chs. SPS 320 to 325 and 327, Uniform Dwelling Code, chs. SPS 361 to 366, SPS 375-379 and SPS 381-387 Commercial Building Code, and Building Code of the Village of McFarland, including general construction, plumbing, heating, air conditioning, and erosion control, as applicable. Review permit applications for compliance with applicable zoning codes. In addition, administer and enforce the VILLAGE's zoning codes as directed by the Zoning Administrator.
2. Issue various residential and commercial permits, including building, electrical, plumbing, HVAC, erosion control, occupancy, sign permits, driveway permits, swimming pool permits, demolition permits, permits for the construction of accessory structures, and permits for the operation of bed and breakfast establishments as required under Chapter 62 of the McFarland Municipal Code. PROVIDER shall not collect fees from permit applicants but shall not issue any permits until the applicable fee has been paid to the VILLAGE.
3. Review applications for solar energy systems under §62-210 and wind energy systems under §62-208(a) and approve minor modifications to telecommunications equipment under §62-206(d) of the McFarland Municipal Code.
4. Conduct on-site residential and commercial inspections of work in progress as scheduled by PROVIDER with permit holders to ensure that applicable state or local codes are met, as well as initial inspections of premises that are subject to an application for a permit to keep chickens under §62-69(d), for an alcoholic beverage licenses under §11-58(a), or to operate as a tourist rooming house under §11-358 of the McFarland Municipal Code. Items inspected include footings, foundations, framing, electrical, plumbing, mechanical systems, and sewer and water lateral connections, except that PROVIDER shall not be responsible for performing commercial electrical inspections.
5. Maintain records of permit applications, plans, permits and inspections related to the building inspector's duties.
6. Research questions, problems, and complaints regarding the various codes to be enforced by PROVIDER under this Agreement.
7. Issue warnings, stop work orders, and municipal citations to enforce the VILLAGE's Building and Zoning Codes.
8. Assist the Property Maintenance Code Inspector as needed to ensure compliance with property maintenance codes and ordinances. Assist the Zoning Administrator as needed to ensure compliance with zoning, floodplain zoning, or shoreland zoning codes and ordinances.
9. Perform such other duties as are delegated exclusively to the building inspector, and upon request, perform such other duties as authorized by, the McFarland Municipal Code.
10. Prepare and submit monthly activity reports for inspection services performed during each calendar month of service provided.
11. When requested by the VILLAGE, complete and submit a year-end report to the VILLAGE after the end of each calendar year, and at the termination or expiration of this Contract.

In accomplishing the objectives of this Schedule as detailed above, the PROVIDER will adhere to the concepts, provisions, and inspection features of its proposal dated October 25, 2018.

VILLAGE personnel shall cooperate with the PROVIDER and its agents in the performance of the PROVIDER's obligations hereunder.

# VILLAGE OF MCFARLAND CONTRACT

## **Schedule B** – Payment for Services

For and in consideration of the services provided under this Contract, the VILLAGE will pay PROVIDER the hourly rates provide below plus mileage at the applicable IRS mileage rate as compensation for building inspection services provided, to a maximum of \$100,000 per year.

### Hourly Rates per Year:

- 2026 = \$80.00 per hour
- 2027 = \$85.00 per hour
- 2028= \$85.00 per hour

The VILLAGE shall pay for time and mileage for both the time spent within the Village of McFarland as well as the time and mileage for the commute. The VILLAGE retains the right to require the PROVIDER to use a VILLAGE owned vehicle while performing inspection services under Schedule A within the VILLAGE.

The PROVIDER shall invoice the VILLAGE monthly for the work or other services performed. Said invoices shall include, at a minimum, the dates and hours worked each day for each employee of the PROVIDER rendering services under this Contract, including applicable mileage. The Village shall pay the PROVIDER within 30 days of the receipt of each invoice from the PROVIDER.

PROVIDER will furnish all labor and other services necessary in order to perform the work as specified by the VILLAGE detailed in Schedule A of this Contract.

# VILLAGE OF MCFARLAND CONTRACT

## **Schedule C** – Project Schedule

The term of the agreement shall be from January 1, 2026 until December 31, 2028 unless otherwise provided according to the terms of this contract.