

Tuesday, October 15, 2024

7:00 PM

McFarland Municipal Center
5915 Milwaukee St, McFarland
Community Room

AGENDA

The public may attend in-person or remotely through the Zoom webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/84087260504>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 840 8726 0504

Press *9 to raise/lower hand. Press *6 to mute/unmute.

1. CALL TO ORDER, ROLL CALL.

2. PUBLIC APPEARANCES.

- a. This is an opportunity for members of the public to address the Plan Commission for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Commission about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Commission should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Commission for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to community.development@mcfarland.wi.us to be included as part of the meeting.

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the September 17, 2024 Plan Commission meeting.

4. PUBLIC HEARINGS.

- a. Public hearing on a Certified Survey Map requested by MCGN Properties, LLC for a property located at 4719 Burma Road, McFarland, WI.
- b. Public hearing on a Conditional Use Permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development at 4719 Burma Rd, McFarland, WI.

5. BUSINESS.

- a. Discussion and action on a Certified Survey Map requested by MCGN Properties, LLC for a property located at 4719 Burma Road, McFarland, WI.
- b. Discussion and action on a Conditional Use Permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development at 4719 Burma Rd, McFarland, WI.

- c. Discussion and action on Site Design Review permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development located at 4719 Burma Road.

6. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, November 19, 2024 at 7:00 PM

7. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or village.clerk@mcfarland.wi.us by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

Plan Commission Minutes September 17, 2024, at 7:00 P.M.

Members Present: Carolyn Clow, Stephanie Brassington, Chris Reynolds, Austen Conrad, Peter Bloechl-Anderson, Scott Peters

Members Absent: Jill Halverson,

Staff Present: Andrew Bremer, Kong Thao

1. CALL TO ORDER, ROLL CALL

Chair Clow called the meeting to order at 7:00 P.M.

2. PUBLIC APPEARANCES.

There were no public appearances during this section.

3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the August 28, 2024, Plan Commission meeting.

Clow moved to approve the minutes of the August 28, 2024, Plan Commission meeting. Conrad seconded the motion. Motion carried 5-0-1, with an abstention from Peters.

4. BUSINESS.

- a. Discussion and action on a Site Design Review permit requested by Carlos Aranda (Capital Custom Contractors) for renovations to the existing building located at 4307 Triangle Street.

Thao provided summary on the agenda item highlighting the proposed changes to the property. The Commission discussed details of the applicant's proposed use on the property, parking requirements and affirmation of an unused building.

Clow motioned to approve a site design review permit requested by Carlos Aranda for renovations to the existing building located at 4307 Triangle Street with the following condition of approval:

1. Applicant to provide one exterior downcast wall mounted light fixture to the building's rear entrances.
2. Applicant to restripe the front yard off-street parking lot designation available parking spaces.
3. Applicant to maintain the existing green space in the rear as pervious area.

4. Applicant to obtain a building permit, fence permit and a sign permit from the Building Inspector.

5. SCHEDULE NEXT MEETING DATE.

- a. Wednesday, October 9, 2024 @ 7:00PM (Tentative joint meeting with Community Development Authority).
- b. Tuesday, October 15 at 7:00PM – Plan Commission regular meeting.

6. ADJOURNMENT.

Conrad motioned to adjourn; Peters seconded the motion. Motion carried 6-0.
Meeting adjourned at 7:20 P.M.

**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, October 15, 2024

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Public hearing on a Certified Survey Map requested by MCGN Properties, LLC for a property located at 4719 Burma Road, McFarland, WI.

PREVIOUS ACTION:

The developer previously met separately with several of the adjacent property owners prior to the pre-application meeting to introduce themselves and their proposed concept.

May 18, 2024 - Pre-application meeting was adjourned prior to completion of the agenda item due to severe weather.

June 18, 2024 - Plan Commission held a pre-application meeting for the proposed development.

July 16, 2024 - Plan Commission held public hearings on Ordinance 2024-16, an ordinance to amend the Future Land Use map and Ordinance 2024-17, an ordinance to rezone the property from R-1 to R-3.

August 6, 2024 - Parks & Recreation Committee recommended forgoing the previously proposed Lot 2 parkland dedication but continue with a 40-foot public trail easement.

August 28, 2024 - Plan Commission recommended to the Village Board approval of Ordinance 2024-16 an ordinance to amend the Future Land Use map and Ordinance 2024-17, an ordinance to rezone the property from R-1 to R-3.

September 10, 2024 - Village Board approval of Ordinance 2024-16 and Ordinance 2024-17.

ISSUE SUMMARY:

MCGN Properties, LLC (Tom Gunderson and Clayton McDonough), are seeking approval of a Certified Survey Map for the existing 1.6 acre (including right-of-way) parcel 154/0610-033-0560-1, located at 4719 Burma Road for a proposed 12-unit multifamily development which includes an 8-unit and 4-unit building, and a public easement along the east lot line of the property up to 40-foot wide. The purpose of the CSM is to:

1. Dedicate 33-feet of right-of-way along Burma Road to the Village. The property is part of the 1951 Assessor's Plat of the Village of McFarland and the right-of-way has not been previously dedicated as part of any prior land divisions.
2. Dedicate a 40' wide public access easement to the Village. As part of previous discussions related to rezoning the property, the Parks & Recreation Committee and Plan Commission indicated a desire for an easement for the purposes of the Village constructing a recreational trail to Indian Mound Conservancy. Within the packet is a copy of the associated Public Trail Easement Agreement as prepared by the Village Attorney. The easement would be signed and recorded after the CSM is recorded.



Staff have noted to the applicant that the notes related to Lot 2, previously the 4,462 square feet parkland dedication, should be stricken from the CSM as this potential parkland dedication was dismissed as part of the approval of Ordinance 2024-17.

Other Staff Comments

No other concerns from the Village Engineer, Director of Public Works, Fire and Police Chiefs.

Public Comments

The Department did not receive any written public comments regarding the CSM prior to publication of the meeting packet.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

Per Ordinance 2024-16, the future land use designation of the property is Multiple Family Residential.

ORDINANCE REFERENCE:

Sec. 56-39 Certified Survey Map

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

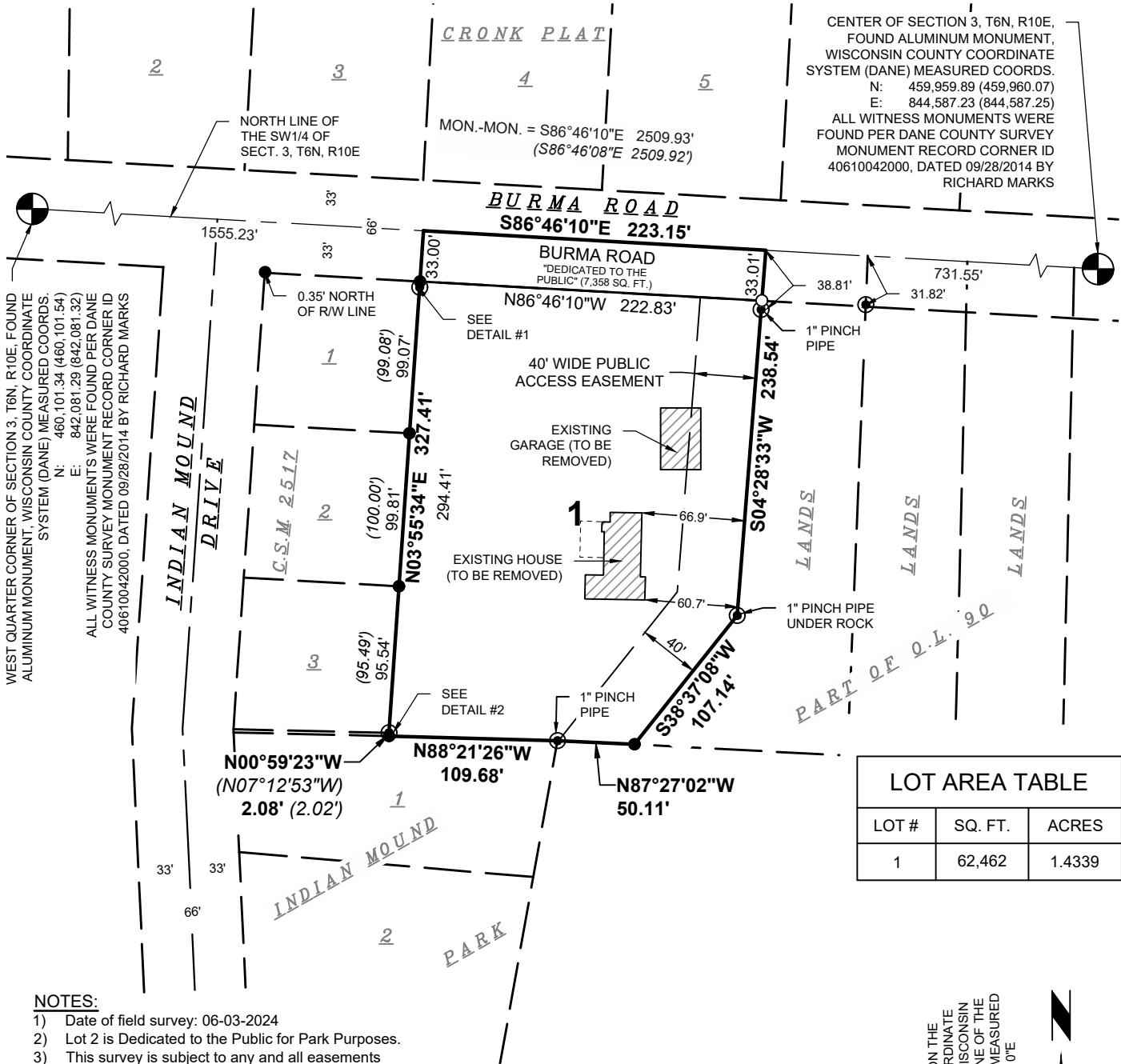
This item is for public hearing only. The Business portion of the agenda includes discussion and potential action on the proposed Certified Survey Map. If there are unresolved public concerns as part of the public hearing testimony, the Plan Commission can postpone action to the next meeting as desired so that those concerns can be analyzed by staff as directed by the Plan Commission.

ATTACHMENTS:

1. 1240539_BNDY-CSM
2. Burma Road Trail Easement

CERTIFIED SURVEY MAP No.

PART OF OUTLOT 90, ASSESSOR'S PLAT OF THE VILLAGE OF McFARLAND, AS RECORDED IN VOLUME 14 OF PLATS, ON PAGES 16-27, DOCUMENT NUMBER 824385, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST OF THE SOUTHWEST QUARTER, SECTION 3, TOWNSHIP 06 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, DANE COUNTY, WISCONSIN.



LOT AREA TABLE		
LOT #	SQ. FT.	ACRES
1	62,462	1.4339

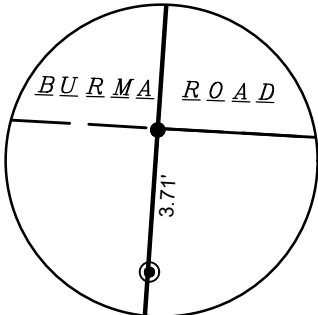
NOTES:

- 1) Date of field survey: 06-03-2024
- 2) Lot 2 is Dedicated to the Public for Park Purposes.
- 3) This survey is subject to any and all easements and agreements both recorded and unrecorded.

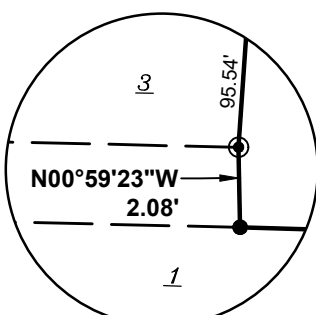
LEGEND

- 3/4" SOLID IRON REBAR FOUND
- ⊙ 1" IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 3/4" x 18" IRON REBAR SET, WT. 1.50 LBS/FT
- () INDICATES RECORDED INFORMATION

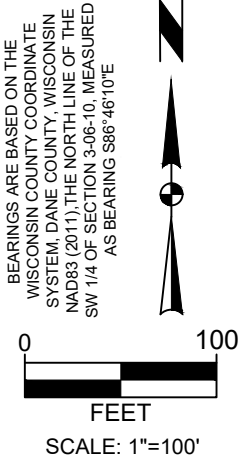
DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT



DETAIL #1
SCALE: 1"=5'



DETAIL #2
SCALE: 1"=5'



TOTAL PLATTED AREA = 69,820 SQ. FT.
(1.6028 ACRES)

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____



SURVEYED FOR:
MCGN Properties, LLC
6222 Sommer Valley Cr.
DeForest, WI 53532

SURVEYED BY:
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
(608) 838-0444
www.snyder-associates.com

FN: 124.0539.30
DATE: 07-01-24
REVISIONS:
REV1: 08-15-24
REV2
REV3

SHEET 1 OF 3

PART OF OUTLOT 90, ASSESSOR'S PLAT OF THE VILLAGE OF McFARLAND, AS RECORDED IN VOLUME 14 OF PLATS, ON PAGES 16-27, DOCUMENT NUMBER 824385, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST OF THE SOUTHWEST QUARTER, SECTION 3, TOWNSHIP 06 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, DANE COUNTY, WISCONSIN.

_____ as owner(s), we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map hereon. We further certify that this Certified Survey map is required by S236.34 to be submitted to the Village of McFarland for approval. Witness the hand and seal of said owner this _____ day of _____, 2024.

CERTIFIED SURVEY MAP No. _____

PART OF OUTLOT 90, ASSESSOR'S PLAT OF THE VILLAGE OF McFARLAND, AS RECORDED IN VOLUME 14 OF PLATS, ON PAGES 16-27, DOCUMENT NUMBER 824385, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST OF THE SOUTHWEST QUARTER, SECTION 3, TOWNSHIP 06 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Adam R. Gross, Professional Land Surveyor, hereby certify: that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the Land Division Ordinances of the Village of McFarland and under the direction of MCGN Properties, LLC, as owner of said land, I have surveyed, divided and mapped this Certified Survey Map; that such Certified Survey Map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is more fully described as follows:

Part of Outlot 90, Assessor's Plat of the Village of McFarland, as recorded in Volume 14 of Plats, on pages 16-27, as Document Number 824385, Dane County Registry and located in the Northeast Quarter of the Southwest Quarter of Section 3, Township 6 North, Range 10 East, Village of McFarland, Dane County, Wisconsin, more fully described as follows:

Commencing at the West Quarter corner of said Section 3, thence S86°46'10"E, along the North line of the Southwest Quarter of said Section 3, 1555.23 feet to the point of beginning; thence continuing along said North line S86°46'10"E, 223.15 feet; thence S04°28'33"W, 238.54 feet; thence S38°37'08"W, 107.14 feet to the northerly line of Lot 1, Certified Survey Map Number 16277 (C.S.M.), Dane County Registry; thence N87°27'02"W along said northerly line said Lot 1, 50.11 feet to the northeast corner of Lot 1, INDIAN MOUND PARK plat, Dane County Registry; thence along the northerly line of said Lot 1, INDIAN MOUND PARK plat, N88°21'26"W, 109.68 feet to the southeasterly corner of Lot 3, Certified Survey Map Number 2517 (C.S.M.), Dane County Registry; thence along the easterly line of said Lot 3, N00°59'23"W, 2.08 feet; thence continuing along the easterly line of said C.S.M. 2517, N03°55'34"E, 327.41 feet to the point of beginning. This description contains approximately 69,820 square feet or 1.6028 acres.

Dated this _____ day of _____, 2024.

Signed:
Adam R. Gross, P.L.S. No. 3017
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
608-838-0444
agross@snyder-associates.com

VILLAGE OF McFARLAND APPROVAL

Resolved that this Certified Survey Map, including any dedications shown thereon, has been duly filed with and approved by the Village of McFarland Board of the Village of McFarland, Dane County, Wisconsin.

Signed this _____ day of _____, 2024

Cassandra Suettinger, Deputy Administrator/Clerk

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2024, at _____ o'clock ____m. and recorded in Volume _____ of Certified Survey Maps on pages _____, as Doc. No. _____.

Kristi Chlebowski, Dane County Register of Deeds

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

 SNYDER & ASSOCIATES	SURVEYED FOR: MCGN Properties, LLC 6222 Sommer Valley Cr. DeForest, WI 53532	SURVEYED BY: Snyder & Associates, Inc. 5010 Voges Road Madison, WI 53718 (608) 838-0444 www.snyder-associates.com	FN: 124.0539.30
			DATE: 07-01-24
			REVISIONS:
			REV1: 08-15-24
			REV2
			REV3
			SHEET 3 OF 3

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**PUBLIC TRAIL
EASEMENT
AGREEMENT**

This Public Trail and Utility Easement Agreement (“Agreement”) is made by and between MCGN Properties, LLC, a Wisconsin limited liability company (the “Grantor”) and the Village of McFarland, a Wisconsin municipal corporation (the “Grantee”).

This document is a grant of easement and not a conveyance and is not subject to a transfer return or fee per Tax 15.01, Wis. Admin. Code.

A. Grantor is the fee title holder of certain real property in the Village of McFarland, Dane County, State of Wisconsin, legally described as Lot One (1), Certified Survey Map No. _____ recorded in the Office of the Register of Deeds for Dane County on _____, 2024 in Vol. ____ of Certified Survey Maps on pages _____ as Document No. ____ (“CSM #____”) and as depicted on the attached and incorporated Exhibit A (the “Property”).

B. Grantee has requested, and Grantor has agreed to grant, a permanent easement (“the Easement”) over certain portions of the Property depicted as a “40’ Wide Public Access Easement” on Exhibit A (the “Easement Area”) on the terms and conditions contained herein.

AGREEMENT

For good and valuable consideration, the receipt and sufficiency of which are acknowledged, the parties agree as follows:

1. Grant of Easement. Grantor grants to Grantee and its successors and assigns a perpetual easement over, under and across the Easement Area with rights of ingress, egress and use.

2. Easement rights.

2.1. *Multi-use pathway.* The Grantee and its guests and invitees, including the general public to the extent permitted by the Grantee, shall be permitted to use the Easement Area for purposes of a public multi-use trail. Such use may include travel across the Easement Area, including for recreational purposes, by pedestrians and non-motorized vehicles, and for access to the adjacent public park owned by the Grantee located on Lot 1, Dane County Certified Survey Map #16277. Grantee shall also have the right of access to, upon and through the Easement Area by Grantee’s personnel and contractors, including the use of maintenance vehicles and equipment, to maintain the trail or the adjacent public park.

2.2. *Utility Facilities and Services.* The Grantee shall have the perpetual right within the Easement Area to conduct surveys and to construct, erect, install, maintain, inspect,

After Recording Return To:
Cassandra Suettinger
Deputy Administrator/Clerk
Village of McFarland
5915 Milwaukee Street
PO Box 110
McFarland, WI 53558

Tax Parcel No. 154/0610-033-0311-1

operate, repair, move, remove, replace and reconstruct electric distribution lines and trail lighting, facilities and services and accessories and appurtenances related to the foregoing, along with regulatory or informational signage (the "Facilities). The parties acknowledge that Grantee intends to, and agree that it may, grant sub-easements authorizing other entities to construct and operate any of the foregoing Facilities and to exercise any of the rights in connection therewith as are provided in this section 2.2.

3. Construction, repair, maintenance, upkeep, and replacement responsibilities.

3.1. *Construction.* The Grantor shall grade the Easement Area at its expense in accordance with plans approved by the Grantee at the time it completes grading for Grantor's development on the Property. The Grantee may, at its sole expense, construct a public trail comprised of gravel, concrete, asphalt or any other suitable material within the Easement Area, along with benches, trash receptacles and similar trail amenities,

3.2. *Easement Area maintenance.* The Grantee shall be solely responsible for maintaining the trail and all other amenities installed by Grantee at its expense. The Grantor shall be solely responsible for maintaining the remainder of the Easement Area, except that routine mowing of turf grasses shall be the responsibility of the Grantee.

3.3. *Utility Facilities.* The Grantee or its assignees shall be responsible for the repair, maintenance, upkeep, and replacement of any utility Facilities constructed within the Easement Area by, or on behalf of, Grantee.

4. Rights retained by Grantor. Grantor shall retain the right to use the Easement Area in any manner that does not interfere with the rights of Grantee under this Agreement. In addition, Grantor shall have the right to install and maintain retaining walls, parking stalls and a trash receptacle and a reasonable enclosure for the same to the extent permitted pursuant to a site plan approved for Grantor's development under applicable zoning regulations. All improvements installed by Grantor shall be maintained in good condition at the sole expense of Grantor.

5. Covenants Run with Land. All of the terms and conditions in this Agreement, including the benefits and burdens, shall run with the land and shall be binding upon, inure to the benefit of, and be enforceable by the Grantor and Grantee and their respective successors and assigns.

6. Non-Use. Non-use or limited use of the Easement rights granted in this Agreement shall not prevent the benefiting party from later use of the Easement rights to the fullest extent authorized in this Agreement.

7. Governing Law. This Agreement shall be construed and enforced in accordance with the internal laws of the State of Wisconsin.

8. Entire Agreement. This Agreement sets forth the entire understanding of the parties with respect to the grant of rights in and to the Easement Area and may not be changed except by a written instrument executed and acknowledged by all parties to this Agreement, including the holders of any sub-easements granted by Grantee, and duly recorded in the office of the

Attest: _____
Cassandra Suettinger
Deputy Administrator/Clerk

STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

This instrument was acknowledged before me this ____ day of _____, 2024 by Carolyn A. Clow and Cassandra Suettinger, to me known to be the person who executed the foregoing instrument by virtue of the authority vested in them by the Village of McFarland and who acknowledged the same.

*Notary Public, State of Wisconsin
My commission expires:

*Names must be printed or typed below each signature.

MORTGAGEE CONSENT

The undersigned, as Grantor's mortgagee, hereby consents to the foregoing Public Trail Easement, and agrees that its interest as mortgagee is subordinate to the interests granted by said instrument.

By: _____
*

STATE OF WISCONSIN)
) ss.
COUNTY OF _____)

This instrument was acknowledged before me this ____ day of _____, 2024 by _____ to me known to be the person who executed the foregoing instrument by virtue of the authority vested as duly authorized agent of _____ and who acknowledged executing the same as the voluntary act and authorized deed of the mortgagee.

*
Notary Public, State of Wisconsin
My commission expires:

This Instrument Drafted By:

Allen D. Reuter
Reuter, Whitish & Evans, S.C.
Madison, Wisconsin

VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, October 15, 2024

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Public hearing on a Conditional Use Permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development at 4719 Burma Rd, McFarland, WI.

PREVIOUS ACTION:

The developer previously met separately with several of the adjacent property owners prior to the pre-application meeting to introduce themselves and their proposed concept.

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September 10, 2024 - Village Board approval of Ordinance 2024-16 and Ordinance 2024-17.

ISSUE SUMMARY:

MCGN Properties, LLC (Tom Gunderson & Clayton McDonough), are requesting a conditional use permit to construct two multifamily buildings composed of one four-unit building and one eight-unit building for a proposed total of 12 units located at 4719 Burma Road. The existing property is 1.6 acres (including right of way). With the right-of-way dedication, the lot size is 62,462 square feet or 1.43 acres. Per Sec. 62-69 Permitted uses, R-3 General Residence districts allow multifamily dwellings up to eight units/acre by right, and up to 15 units/acre with a conditional use permit. The proposed project will have a net density (less right of way) of 8.4 units/acre; therefore, the applicants are requesting approval of a CUP.

PROPOSED DEVELOPMENT CHARACTERISTICS

The proposed multifamily project includes two apartment buildings, with the north building including four three-bedroom units and the south building including eight two-bedroom units.

The proposed four-unit building to the north is 25 feet from the front yard lot line. Each building is two stories, not exceeding 35 feet, with all units having a separate ground floor entry and no common interior hallways or shared garages. Each three-bedroom unit includes two



garage spaces and two apron spaces for parking. Each two-bedroom unit includes a single garage space and a single apron space for parking. There is a designated dumpster for the tenants and 4 additional general parking stalls. The total parking provided is 36 parking stalls (10 more than required per the Zoning Code), or an average of three stalls per dwelling unit.

The project includes a series of 4 bioretention basins that are interconnected and located to the north, east and south of the proposed buildings to capture runoff. The project includes a 6-foot high privacy fence along a portion of the western side of the lot to screen vehicle headlights to adjacent single-family homes.

EXISTING PROPERTY & NEIGHBORHOOD CONDITIONS

- Property Size: 1.6 Acres, including right-of-way
- Current Use: Single Family Residence
- Adjacent Uses: North (8-unit, two-story apartments), West/East (single family homes), South (single family & Indian Mound Conservancy)
- Comprehensive Plan Future Land Use Designation: Multiple Family Residential
- Current Zoning: R-3 General Residence
- Adjacent Zoning: North (R-3 General Residence), West/East (R-1 Singly Family Residence), South (R-1 & CO Conservancy)
- Natural Features: The property includes tall trees along the west, east and south lot lines and includes some topographical challenges along the same sides with a peak elevation of 880 feet to the southeast corner and a low elevation of 859 feet to the northwest.
- Neighborhood Density, Building Heights, Lot Coverage:
 - 4707 Burma (Indian Mound Condominium): 7 dwelling units, ~10.2 DU/AC, 1-2 stories with pitched roofs, ~28% lot coverage
 - 4716-4802 Burma: five 8-unit buildings, ~21.6 DU/AC, 2-story buildings with pitched roofs, ~50% lot coverage, 1.5 off-street parking stalls per unit.
 - 4810-4914 Burma: five duplex buildings, ~5.8 DU/AC, 1-story buildings with pitched roofs, ~13-28% lot coverage.
 - 6101-6105 Indian Mound: three single family homes, ~4.3 DU/AC, 1-story buildings with pitched roofs, ~30% lot coverage.
 - 6107 Indian Mound: one single family home, ~0.7 DU/AC, 2-story building with pitched roof, ~5% lot coverage

CONDITIONAL USE PERMIT REQUIREMENTS

The packet includes the Applicant's responses to Sec. 62-111, Conditional Use Standards. Sec. 62-114 provides that prior to granting of any conditional use, the Plan Commission may stipulate or impose such conditions and restriction upon the establishment, location, construction, maintenance, and operation of the conditional use as deemed necessary to promote the public health, safety, and general welfare of the community and to secure compliance with the standards and requirements specified in Sec. 62-111.

The property is currently zoned R-3 General Residence. Sec. 62-68(i), Statement of Purpose, R-3 General Residence District, states that this district is "*established to stabilize and protect*



certain medium density residential areas in the Village and to promote and encourage a suitable environment for family life where children are members of most families. Development in the R-3 District is limited primarily to smaller multiple-family dwellings, boarding homes, convalescent homes and recreational facilities to serve residents of the district."

The CUP, and associated site plan, are consistent with the concepts previously presented to the Plan Commission through the previous meetings involving the preapplication, comprehensive plan amendment, and rezone. The proposed use is also consistent with the statement of purpose for the R-3 District. In Staff's opinion, the applicant's response to Sec. 62-111 are generally adequate, with noted amendments to the development proposal.

- *Sec. 62-111(a), The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.* The proposed site plan includes a proposed 4-foot wide private sidewalk from the general off-street parking lot to the right-of-way and a 4-foot wide public sidewalk from the proposed driveway east to a new curb ramp at where the existing driveway is located. Staff recommends the following modifications to improve safety:
 - Include a 5-foot wide public sidewalk within the full right-of-way from side lot line to side lot line. The Village standard specifications require a minimum 5-foot wide public sidewalk. Staff also recommends the sidewalk extend the full width of the right-of-way to provide individuals parking on the south side of Burma Road safer access to the development and to enable the continuation of the public sidewalk to adjacent properties with future reconstruction of Burma Road or redevelopment of those properties.
 - Revise the private 4-foot wide sidewalk to a 6-foot wide sidewalk. The Village's standard specification for sidewalk width, where the sidewalk is immediately adjacent to the roadway/curb is 6-feet wide to provide a safer buffer distance to vehicular traffic. Staff recommends using the same standard for the proposed private sidewalk.
 - Installation of *watch for pedestrian crossing* signs on both sides of Burma Road near the proposed curb ramp.
 - Installation of one exterior light pole facing north along the southern edge of the parking lot area. The light pole shall not exceed 15 feet in height and shall include a full cut-off light fixture to minimize disturbance to adjacent homes. Building mounted lights should also utilize downcast full cut off light fixtures to minimize disturbance to adjacent properties.
- *Sec. 62-111(b), The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.* In addition to the prior comments on exterior lighting, the site plan does not contain design details regarding the proposed fence along the west side of the development or details about a dumpster enclosure. Per Chapter 8-VII, staff recommends a solid fence made of wood or plastic six feet in height. Per Section (i), Appendix B Landscaping Standards, staff recommends a solid fence constructed of masonry, plastic composite, or commercial-grade wood fencing materials, a minimum of six feet and a maximum of eight feet tall,



with a gate enclosing the fourth side, and shrubs planted on the east and south side to soften the appearance. Given the proposed location of the dumpster area, and other on-site landscaping, the gate may face Burma Road.

- *Sec. 62-111(d), Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.* Per review by the Fire Chief, the proposed access road will need to be marked or signed as No Parking in order to meet IFC 503.3. The Village Engineer's staff report recommends a few points of clarification and corrections to the proposed private sewer lateral, water lateral, fire hydrant, and water meters as shown on the associated site plans. These are included as part of the condition of approval in agenda item 5.c.
- *Sec. 62-111(j)(2), The prevention and control of water pollution including sedimentation.* As submitted, the northwesterly infiltration basin discharges to Burma Road via a pipe which flows over the curb onto Burma Road. The Village Engineer recommends this discharge be converted to a reverse-flow curb inlet.

Staff notes that the packet includes the applicant's responses to questions b, i, and j8. Due to the style of the application form, longer responses to the questions did not fit in the space given.

This is not a supplemental response from the applicant to be included with their submittal, but the full response. On a hard copy, the text cannot be scrolled through, therefore a supplemental form was provided.

OTHER STAFF COMMENTS

The packet includes review letter from the Village Engineer (including Director of Public Works comments) but also captures the Fire Chief's previous comments made at the August 28, 2024 Plan Commission meeting, regarding the marking the access driveway and fire hydrant.

C&ED COMMENTS

Assuming the Commission is comfortable with action, Agenda item 5.b. includes action on the conditional use permit. This agenda item 5.b. must be approved prior to Agenda item 5.c for the site design review of the proposed building, which allows the proposed 8.4 units/acre development's density, as required for multifamily dwellings which exceed 8 units/acre up to 15 units/acre under Sec. 62-69 Permitted Uses for R-3 General Residence district. Denial of the CUP would not allow for action of the Site Design Review Permit as submitted.

PUBLIC COMMENTS

The Department did not receive any written public comments regarding the CUP prior to publication of the meeting packet.

FINANCIAL/BUDGET IMPACT:

The applicant will be responsible for the cost of constructing the private development, along with applicable building permit and impact fees. The estimated summary of impact fees is included in Agenda item 5.c.

VILLAGE PLAN REFERENCE:

[Comprehensive Plan, 2017](#)



Chapter 4 Land Use, pages 29-43 provide relevant goals, objectives, policies, and initiatives.

Objective #2 states *"Guide development for an efficient land use pattern."* Policy #3, *"Plan for a land use pattern that enhances economic opportunities and quality of life, and that complements the plans of neighboring communities, Dane County, and the Capital Area Regional Planning Commission (CARPC)."* Policy #5 *"Actively promote infill development and redevelopment where opportunities present themselves, particularly for underutilized properties along Terminal and Triangle Drive, Highway 51, Farwell Street, and the downtown area."*

Initiative #3 states *"provide for compatible reinvestment along Lake Waubesa and in residential areas. The Village encourages redevelopment that weaves new uses skillfully into the existing fabric, strengthening neighborhoods and the Village's economic health while minimizing negative impacts."* The plan states on page 42, *"3. Provide for Compatible Reinvestment along Lake Waubesa and in Residential Areas...the Village will also consider community-sensitive infill development including on larger parcels on mainly residential sites that have been passed over for development, such as one at the southeast corner of Siggelkow and Marsh Roads, or that may have single residence on one or several acres, such as sites along Burma Road and Exchange Street."*

Chapter 6 Housing and Neighborhood Policies, pages 61-62, provides other relevant goals, objectives, policies, and initiatives. Objective #1 states *"expand the range of quality and affordable housing choices for empty nesters, seniors, and the McFarland workforce, while remaining a family-oriented community"*. Objective #2 states *"design and support neighborhoods that are welcoming, attractive, safe, and bike and pedestrian oriented."*

Initiatives #3 states...*"promote infill development where appropriate."* Policy #1 states, *"encourage a supply of vacant lots, homes for sale, and developable land for housing in order to maintain a vibrant housing market and enhance affordability."* Policy #2 states, *"guide new Village housing to planned neighborhoods and mixed use areas with convenient access to commercial and recreational facilities, transportation, schools, shopping, services, and jobs"*.

Policy #3 states, *"integrate two and multiple family developments into the fabric of neighborhoods and the community, rather than isolating and concentrating them"*. Policy #4 states *"allow higher-end multiple family housing for McFarland's workforce and elderly, including owner-occupied options at lower price points than possible for single family housing"*.

[Housing Needs Assessment, 2023](#)

This plan identified a shortage of renter-occupied housing units in the Village, including market rate apartments. The proposed multifamily development includes 12 new units, ranging from two- to three-bedroom units. The Housing Needs Assessment provides low and high projections on rental housing demand by 2030 based on 2020 data. Population projections and target vacancy rate for low projections show the total rental units needed by 2030 is 117, or approximately 15 net new units constructed per year. For high projections, a total of 293 rental units is needed by 2030, or approximately 37 net new units constructed per year. The plan calculates a 0.0% vacancy rate between rental and owner-occupied units. This would indicate that there is a high demand for additional housing opportunities for both rental and owner-occupied units. Typically, a 1-2% vacancy rate would indicate a healthy range. The plan also identified an under supply of rental units at 80% or more of the County median income.

Housing Goal #1 (page 67) states *"increase the supply of ownership and rental units."* The concepts within Housing Goal #3, create healthy neighborhoods is also applicable including



"varied housing types, size and price points, including both owner- and renter-occupied units. This enables more people to stay in the neighborhood through shifting housing needs, and it limits future instability due to changes in the housing market."

Dane County Regional Housing Strategy

From September 2022 to August 2023, an 80-person Housing Advisory Committee (HAC), including representatives from McFarland, joined together through a strategic planning process to create the Dane County Regional Housing Strategy (RHS). The RHS Action Plan identified five housing priorities to guide future efforts around housing:

1. Increase the number of housing units attainable to low-income and moderate-income households.
2. Increase the overall number of housing units.
3. Provide housing, resources and protections for the most vulnerable populations.
4. Rehabilitate and preserve affordability of existing housing.
5. Provide more pathways to homeownership.

Capital Area Regional Planning Commission, 2050 Regional Development Framework, 2022

The 2050 Regional Development Framework is a nonbinding regional advisory land use guide for the Dane County region. This plan identifies six strategies to guide regional development patterns:

1. Focus growth in centers and along corridors.
2. Prioritize growth in already developed areas.
3. Plan areas for quality business growth.
4. Plan complete neighborhoods.
5. Preserve stewardship areas.
6. Preserve farming area.

These six strategies are design to address the region's top priorities including reducing greenhouse gas emissions and foster community climate resilience; increase acces to jobs, housing an services for all people; and conserve farmland, water resources, natural areas, and fiscal resources.

ORDINANCE REFERENCE:

Sec. 62-111. Conditional Use Standards

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This item is for discussion only. The Business portion of the agenda includes discussion and potential action on the proposed Conditional Use Permit. If there are unresolved public concerns as part of the public hearing testimony, the Plan Commission can postpone action to the next meeting as desired so that those concerns can be analyzed by staff as directed by the Plan Commission.

ATTACHMENTS:



1. 4719 Burma Road CSM, CUP, SDR App_09.03.24
2. 4719 Burma Road - Full Responses to CUP 9.26.2024
3. 4719 Burma Road - CUP & Site Deisgn Review VE Ltr_10.07.2024



Plan Commission Application – 2024

~Application must be completed in full~

Applicant		Applicant's Agent	
Property Owner (if different)		Name	
Address		Address	
Email		Email	
Phone #		Phone #	

Parcel No(s). _____ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants; e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☒ YES ☐ NO (If "yes" state the nature and the date(s) of the previous application.)

Concept plan has been discussed and the rezoning public hearing was held in July.

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2024 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2024 Meeting date of:

December 5 (2023) -----	January 16
January 9 -----	February 20
February 6 -----	March 19
March 5 -----	April 16
April 9 -----	May 21
May 7 -----	June 18
June 4 -----	July 16
July 9 -----	August 20
August 6 -----	September 17
September 3 -----	October 15
October 8 -----	November 19
November 5 -----	December 17 (Pending)
December 10 -----	January 21, 2025 (Pending)

Applications requiring a public hearing will be scheduled for a hearing according to the schedule above. If there is written or verbal public opposition submitted as part of the public hearing the Plan Commission will postpone action on the application to a subsequent meeting so that concerns can be analyzed. If there is no public opposition and no unresolved issues by Village Staff or Plan Commission members, the Plan Commission may take action on the application at the same meeting as the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing may not be acted on the same night as the Public Hearing.

X


Signature of Applicant/Agent

9/3/24
Date



www.mcfarland.wi.us/communityandeconomicdevelopment | 5915 Milwaukee St, McFarland, WI 53558 | 608.838.3154

Conditional Use Permit Application

Statement of Purpose

The Village of McFarland Zoning Code is based upon the division of the Village into districts, within which districts the use of land and buildings, and bulk and location of buildings and structures in relation to the land, are mutually compatible and substantially uniform. However, there are certain uses which, because of their unique characteristics, cannot be properly classified as unrestricted permitted uses in any particular district, without consideration, in each case, of the impact of those uses upon neighboring land or public facilities, and of the public need for the particular use of a particular location. Such uses, nevertheless, may be necessary or desirable to be allowed in a particular district, provided that due consideration is given to location, development and operation of such uses. Such uses are classified as conditional uses. As used in this Subdivision, the term "substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion (Sec. 62-105(b)).

Submittal Requirements

Applicants shall submit one (1) hard copy of this application, along with the applicable fee, to the Community & Economic Development Department 5915 Milwaukee Street, PO Box 110, McFarland, WI 53558. In addition to the one hard copy, applicants shall submit one (1) electronic (pdf) copy to community.development@mcfarland.wi.us. Applicants shall also complete the separate [Plan Commission Application](#). Please refer to the second page of the Plan Commission Application for a list of submittal deadlines and meeting dates.

Per Sec. 62-108(a)(4) of the Village's Zoning Code, applicants may be required to provide additional information as may be required by the Plan Commission or other authorities, boards, commissions or officers of the Village. The Plan Commission may require such other information as may be necessary to determine and provide for an enforcement of this Chapter, including a plan showing contours and soil types; high-water mark and groundwater conditions; bedrock, vegetative cover, specifications for areas of proposed filling, grading, and lagooning; location of buildings, parking areas, traffic access, driveways, walkways, open spaces and landscaping; plans of buildings, sewage disposal facilities, water supply systems and arrangements of operations.

Per Sec. 62-108(a)(6) upon request by the Village Board, Plan Commission or Zoning Administrator, the applicant shall provide reports and studies, prepared by a qualified professional, addressing any applicable standard. The applicant is solely responsible for the cost of such reports and studies. A qualified professional is one with appropriate education, experience, license and/or certification pertinent to the

applicable standard, and the professional's qualifications should be provided with the report or study (e.g. a curriculum vitae or resume). If necessary, expertise is not available from staff or other appropriate governmental agency, the Village Board, Plan Commission or Zoning Administrator may consult with a third-party consultant to effectively evaluate the application. The Zoning Administrator will select the consultant. The applicant is solely responsible for all reasonable costs and expenses associated with such consultation. Applicants retain the right to withdraw an application if they choose not to pay consultant fees.

Per Sec. 62-114(a), prior to the granting of any conditional use, the Plan Commission, or the Village Board on appeal, may stipulate or impose such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the conditional use as deemed necessary to promote the public health, safety and general welfare of the community, and to secure compliance with the standards and requirements specified in Section 62-111. In all cases in which conditional uses are granted, the Plan Commission or Village Board shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated or imposed in connection therewith are being and will be complied with. Such conditions may include specifications for, without limitation because of specific enumeration:

1. Landscaping;
2. Type of construction;
3. Construction commencement and completion dates;
4. Sureties;
5. Lighting;
6. Fencing;
7. Operational control;
8. Hours of operation;
9. Traffic circulation;
10. Deed restrictions;
11. Access restrictions;
12. Setbacks and yards;
13. Type of shore cover;
14. Specified sewage disposal and water supply systems;
15. Planting screens;
16. Piers and docks;
17. Increased parking; or
18. Any other requirements necessary to fulfill the purpose and intent of this Chapter

Applicants are encouraged to review the full list of [Conditional Use regulations](#) within the Village's Zoning Code prior to completing this application.

Village of McFarland – Conditional Use Permit Application

Applicant/Owner		Applicant's Agent (If applicable)	
Applicant Address		Agent Address	
Email		Email	
Applicant's Phone #		Agent's Phone #	
Project Site Address		Project Site Parcel #	
Current Zoning		Proposed Zoning (If applicable)	
Current Lot Size (Square Feet)		Current Building Size (Square Feet)	
Proposed Lot Size (If applicable)		Proposed Building Size (If applicable)	
Proposed Use		Number of Residential Units (If applicable)	
Describe the Proposed Operations (hours of operation, number of employees, truck delivery schedules, outdoor storage needs, etc.)			
Describe any Proposed Changes to the Building Interior*			
Describe any Proposed Change to the Building Exterior or Site**			

* Changes to the interior of a building may require approval of a Building Permit after consideration of the CUP.

**Changes to the exterior of the building or site may require approval of a Site Design Review Permit from the Plan Commission.

Please contact Department Staff to determine if a Building Permit or Site Design Review permit are required.

Sec. 62-111, Conditional Use Standards

Applicants are required to provide a detailed description addressing each item described in Sec. 62-111, (a) through (j) and (j)1 through (j)9. Applicants shall describe why in their opinion each standard is met by providing substantial evidence. Written responses such as “see plans” are not acceptable. The applicant must identify what specific portion of the project or plans supports the contention that a standard will be met by including, for example, a detailed description of compliance with any applicable Village land use plan or zoning regulations regarding light, dust, particulate emissions, noise, frequency, vibration, traffic, nuisances, odors, visibility, health, safety welfare and the environment. Applicants may attach submittal information to the application, including any reports, studies, or site plans.

Sec. 62-111(a) – The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Sec. 62-111(b) – The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

Sec. 62-111(c) – The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Sec. 62-111(d) – Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.

Sec. 62-111(e) – Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Sec. 62-111(f) – The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.

Sec. 62-111(g) – The proposed use does not violate floodplain regulations governing the site.

Sec. 62-111(h) – That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.

Sec. 62-111(i) – That, when applying the standards to any new construction of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

Sec. 62-111(j) – In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.

1. The maintenance of safe and healthful conditions.

2. The prevention and control of water pollution including sedimentation.
3. Existing topographic and drainage features and vegetative cover on the site.
4. The location of the site with respect to floodplains and floodways of rivers and streams.
5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
6. The location of the site with respect to existing or future access roads.
7. The need of the proposed use for a shoreland location.
8. Its compatibility with uses on adjacent land.
9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

DISCLAIMER

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

Applicant's Name (Print): Tom Gundersen Date: 9/3/24

Applicant's Signature: 

Site and Design Plans

Check List

Date received: 8/16/2024

Subject property address: 4719 Burma Road

Landowner's name: MCGN Properties, LLC

Landowner's address: 6222 Sommer Valley Cr.
DeForest, WI 53532

Landowner's phone/fax: 608-535-0876

Landowner's email: mcdonough2004@gmail.com

Agent's name: Tom Gunderson

Agent's address: _____

Agent's phone/fax: _____

Agent's email: _____

- X A. Title Block that indicates name and address of the current property owner.
- X B. Name and signature of the designer.
- X C. Date of original plan and latest date of revised plan.
- X D. North arrow and graphic scale. Said scale shall not be smaller than 1 inch equals 100 ft.
- X E. Existing zoning R-3 Proposed rezoning yes X no
- X F. All property lines, and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- X G. All required building setback lines.
- X H. The location of all access points and connections to public streets, off-street parking, and loading areas on the subject property including a summary of the number of parking stalls, accessible parking stalls, and labels indicating the dimension of such areas.
- X I. All existing and proposed building structures and paved areas, including walks, drives, decks, patios, balconies, fences, retaining walls, utility poles, exterior utility and mechanical equipment, and any accessory structures.
- X J. Existing and proposed site and building signage.
- X K. Color exterior façade elevations of all proposed buildings including descriptions of materials and colors.
- X L. The location of all outdoor storage areas; including proposed screening materials and colors._
- X M. The location of existing and proposed drainage facilities including stormwater and erosion control plan.
- X N. The location and type of any permanently protected green space areas.
- X O. The location and elevation of any wetlands or floodplains.

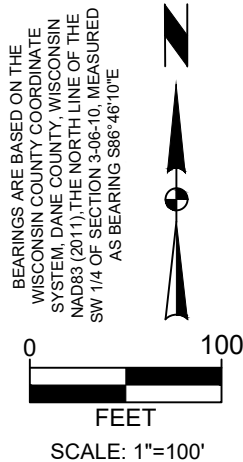
- X P. Grading Plan including existing & proposed topography shown at a contour interval of not more than two (2) ft.
- X Q. In the legend, data for the subject property:
- (1) Lot area
 - (2) Building area
 - (3) Paved area
 - (4) Total impervious area
 - (5) Landscaping points provided and required for building foundations, gross floor area, street frontage, and paved area.
 - (5) Building height
 - (6) Existing zoning, proposed zoning
 - (7) Number of parking stalls provided and required.
- X R. Landscaping Plans including proposed species, quantity and planting size. Refer to Appendix B of the Village's Zoning Code for more information.
- X S. Hydrant locations and Fire Department Connection.
- X T. Lighting Plans including photometrics and description of fixture types, heights and orientation.
- X U. Utility plans, including the location of existing and proposed overhead or underground site utilities, including piping and meter sizes and associate appurtenances.
- X V. Existing or proposed easements.
- X W. A legal description of the subject property.

General Comments: _____

No signage is proposed. Lighting for driveway will be wall mounted lights adjacent to garage doors.

Note: In addition to Site and Design Permit approval, a building permit from the Village Building Inspector is required prior to the start of construction of any building, fence, or sign.

PART OF OUTLOT 90, ASSESSOR'S PLAT OF THE VILLAGE OF McFARLAND, AS RECORDED IN VOLUME 14 OF PLATS, ON PAGES 16-27, DOCUMENT NUMBER 824385, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST OF THE SOUTHWEST QUARTER, SECTION 3, TOWNSHIP 06 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, DANE COUNTY, WISCONSIN.



- 1) Date of field survey: 06-03-2024
- 2) Lot 2 is Dedicated to the Public for Park Purposes.
- 3) This survey is subject to any and all easements and agreements both recorded and unrecorded.

LOT AREA TABLE		
LOT #	SQ. FT.	ACRES
1	62,462	1.4339

BEARINGS ARE BASED ON THE
WISCONSIN COUNTY COORDINATE
SYSTEM, DANE COUNTY, WISCONSIN
NAD83 (2011), THE NORTH LINE OF THE
SW 1/4 OF SECTION 3-06-10, MEASURED
AS BEARING S86°46'10"E

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

FN: 124.0539.30
DATE: 07-01-24
REVISIONS:
REV1: 08-15-24
REV2
REV3

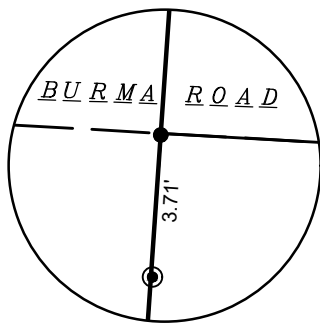
SHEET 1 OF 3

Page 33 of 61

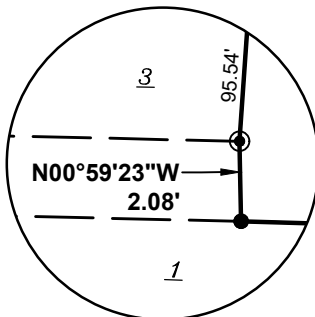
LEGEND

- 3/4" SOLID IRON REBAR FOUND
- 1" IRON PIPE FOUND
(UNLESS OTHERWISE NOTED)
- 3/4" x 18" IRON REBAR SET, WT. 1.50
LBS/FT
- () INDICATES RECORDED
INFORMATION

DISTANCES ARE MEASURED TO THE
NEAREST HUNDREDTH OF A FOOT



DETAIL #1
SCALE: 1"=5'



DETAIL #2
SCALE: 1"=5'

TOTAL PLATTED AREA = 69,820 SQ. FT.
(1.6028 ACRES)



SURVEYED FOR:
MCGN Properties, LLC
6222 Sommer Valley Cr.
DeForest, WI 53532

SURVEYED BY:
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
(608) 838-0444
www.snyder-associates.com

V:\Projects\2024\124.0539.30\CADD\1240539_BNDY-CSM.dwg

PART OF OUTLOT 90, ASSESSOR'S PLAT OF THE VILLAGE OF McFARLAND, AS RECORDED IN VOLUME 14 OF PLATS, ON PAGES 16-27, DOCUMENT NUMBER 824385, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST OF THE SOUTHWEST QUARTER, SECTION 3, TOWNSHIP 06 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, DANE COUNTY, WISCONSIN.

_____ as owner(s), we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on the map hereon. We further certify that this Certified Survey map is required by S236.34 to be submitted to the Village of McFarland for approval. Witness the hand and seal of said owner this _____ day of _____, 2024.

CERTIFIED SURVEY MAP No. _____

PART OF OUTLOT 90, ASSESSOR'S PLAT OF THE VILLAGE OF McFARLAND, AS RECORDED IN VOLUME 14 OF PLATS, ON PAGES 16-27, DOCUMENT NUMBER 824385, DANE COUNTY REGISTRY, LOCATED IN THE NORTHEAST OF THE SOUTHWEST QUARTER, SECTION 3, TOWNSHIP 06 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Adam R. Gross, Professional Land Surveyor, hereby certify: that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the Land Division Ordinances of the Village of McFarland and under the direction of MCGN Properties, LLC, as owner of said land, I have surveyed, divided and mapped this Certified Survey Map; that such Certified Survey Map correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is more fully described as follows:

Part of Outlot 90, Assessor's Plat of the Village of McFarland, as recorded in Volume 14 of Plats, on pages 16-27, as Document Number 824385, Dane County Registry and located in the Northeast Quarter of the Southwest Quarter of Section 3, Township 6 North, Range 10 East, Village of McFarland, Dane County, Wisconsin, more fully described as follows:

Commencing at the West Quarter corner of said Section 3, thence S86°46'10"E, along the North line of the Southwest Quarter of said Section 3, 1555.23 feet to the point of beginning; thence continuing along said North line S86°46'10"E, 223.15 feet; thence S04°28'33"W, 238.54 feet; thence S38°37'08"W, 107.14 feet to the northerly line of Lot 1, Certified Survey Map Number 16277 (C.S.M.), Dane County Registry; thence N87°27'02"W along said northerly line said Lot 1, 50.11 feet to the northeast corner of Lot 1, INDIAN MOUND PARK plat, Dane County Registry; thence along the northerly line of said Lot 1, INDIAN MOUND PARK plat, N88°21'26"W, 109.68 feet to the southeasterly corner of Lot 3, Certified Survey Map Number 2517 (C.S.M.), Dane County Registry; thence along the easterly line of said Lot 3, N00°59'23"W, 2.08 feet; thence continuing along the easterly line of said C.S.M. 2517, N03°55'34"E, 327.41 feet to the point of beginning. This description contains approximately 69,820 square feet or 1.6028 acres.

Dated this _____ day of _____, 2024.

Signed:
Adam R. Gross, P.L.S. No. 3017
Snyder & Associates, Inc.
5010 Voges Road
Madison, WI 53718
608-838-0444
agross@snyder-associates.com

VILLAGE OF McFARLAND APPROVAL

Resolved that this Certified Survey Map, including any dedications shown thereon, has been duly filed with and approved by the Village of McFarland Board of the Village of McFarland, Dane County, Wisconsin.

Signed this _____ day of _____, 2024

Cassandra Suettinger, Deputy Administrator/Clerk

REGISTER OF DEEDS CERTIFICATE

Received for recording this _____ day of _____, 2024, at _____ o'clock ____m. and recorded in Volume _____ of Certified Survey Maps on pages _____, as Doc. No. _____.

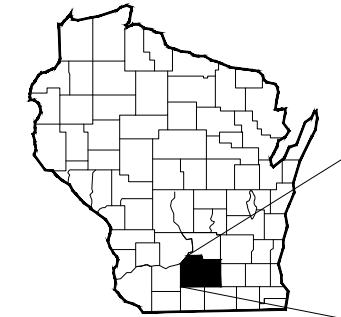
Kristi Chlebowski, Dane County Register of Deeds

C.S.M. NO. _____
DOC. NO. _____
VOL. _____ PAGE _____

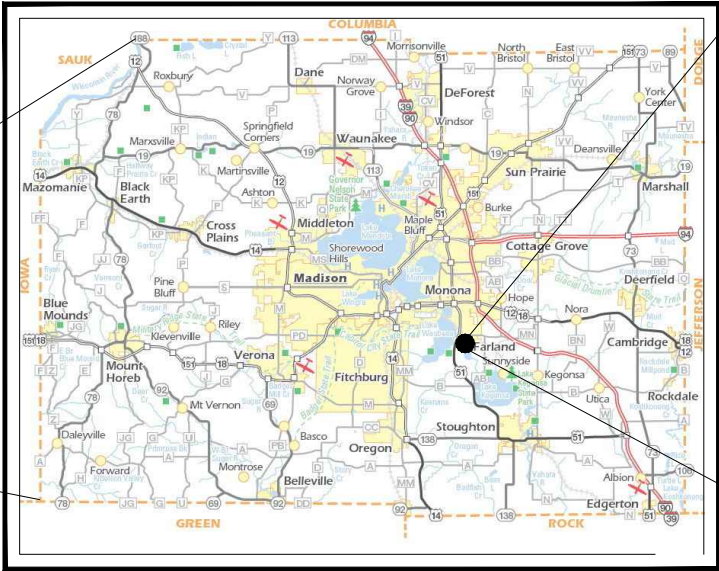
 SNYDER & ASSOCIATES	SURVEYED FOR: MCGN Properties, LLC 6222 Sommer Valley Cr. DeForest, WI 53532	SURVEYED BY: Snyder & Associates, Inc. 5010 Voges Road Madison, WI 53718 (608) 838-0444 www.snyder-associates.com	FN: 124.0539.30
			DATE: 07-01-24
			REVISIONS:
			REV1: 08-15-24
			REV2
			REV3
			SHEET 3 OF 3

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4719 BURMA ROAD DEVELOPMENT
VILLAGE OF McFARLAND
SECTION 3, TOWNSHIP 6N, RANGE 10E



REGIONAL MAP



DANE COUNTY
DANE COUNTY, WISCONSIN



SITE LOCATION MAP
VILLAGE OF McFARLAND,
DANE COUNTY, WISCONSIN

Sheet List Table	
Sheet Number	Sheet Title
C100	TITLE SHEET
C300	PROPOSED SITE PLAN
C400	GRADING PLAN
C401	EROSION CONTROL PLAN
C500	UTILITY PLAN
C501	UTILITY TABLES
C701	EROSION CONTROL NOTES
C702	EROSION CONTROL DETAILS
L-100	LANDSCAPE NOTES & DETAILS
L-200	LANDSCAPE PLAN

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSTANCES FEATURES SHOWN ARE IN EXACT LOCATION INDICATED.



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

4719 BURMA ROAD DEVELOPMENT

VILLAGE OF MCFARLAND, DANE COUNTY, WI

TITLE SHEET

SNYDER & ASSOCIATES, INC. |

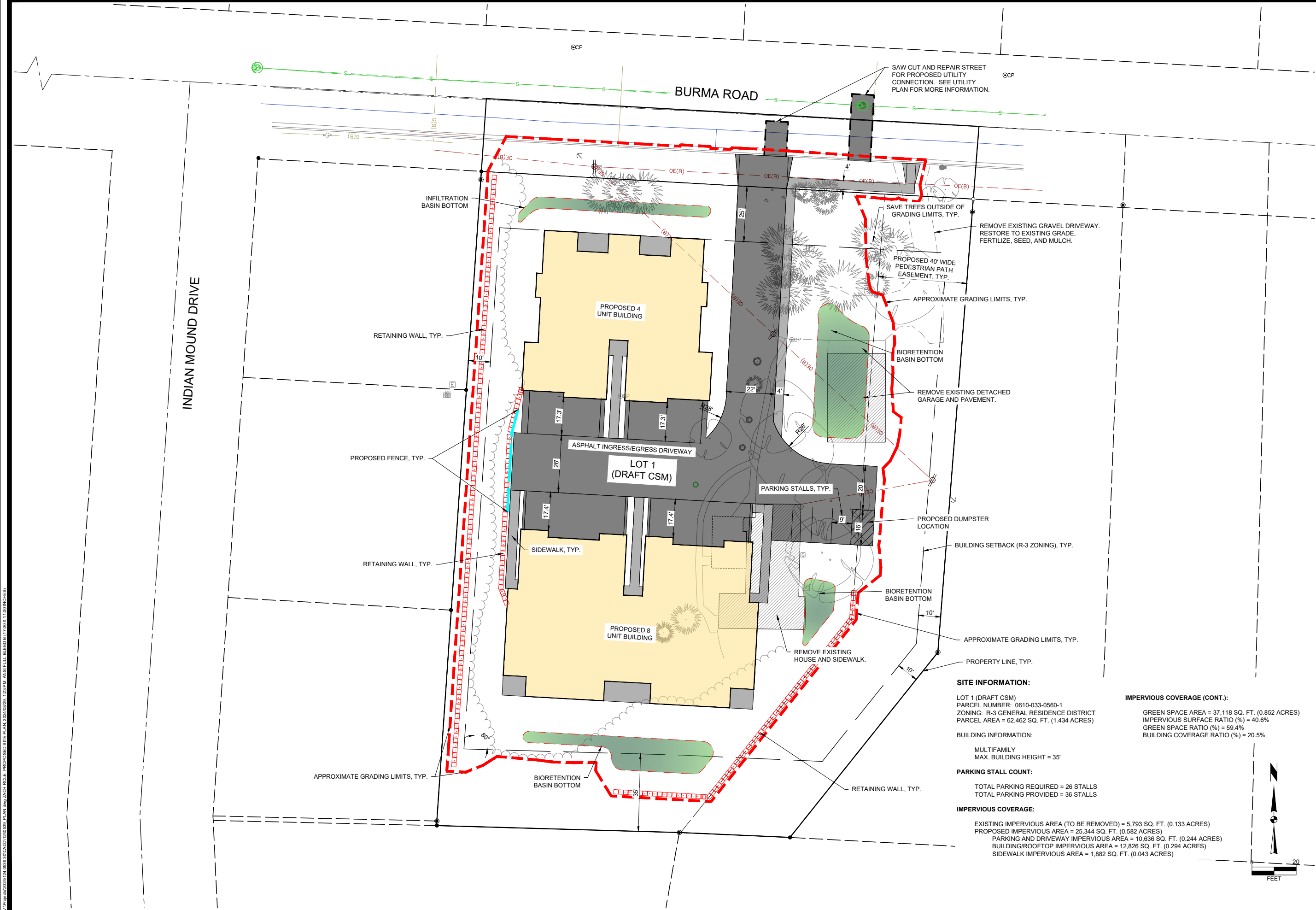


Project No: 124.0539.30

Sheet C100

4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
3	FIRE TRUCK TURNAROUND	08-19-24	MLC
2	GRADING & UTILITY UPDATES	08-16-24	ZLR
1	REVISED LAYOUT	08-12-24	MLC
MARK	REVISION	DATE	BY
Engineer:	MLC	Checked By:	CHKD
Technician:	TECH	Date:	07-01-2024
T-R-S: TTN-RRW-SS			Scale: 1" = ##'
Project No: 124.0539.30			Sheet C100

V:\p0004\1204120\0039\30CADD\1204120\0039 SITE PLAN.dwg ZACH ROLE: PROPOSED SITE PLAN 2024/09/26 1:23 PM, AND FILL BLEED 8 (1700 X 1100 INCHES)



SITE INFORMATION:

LOT 1 (DRAFT CSM)
PARCEL NUMBER: 0610-033-0560-1
ZONING: R-3 GENERAL RESIDENCE DISTRICT
PARCEL AREA = 62,462 SQ. FT. (1.434 ACRES)

BUILDING INFORMATION:

MULTIFAMILY
MAX. BUILDING HEIGHT = 35'

PARKING STALL COUNT:

TOTAL PARKING REQUIRED = 26 STALLS
TOTAL PARKING PROVIDED = 36 STALLS

IMPERVIOUS COVERAGE:

EXISTING IMPERVIOUS AREA (TO BE REMOVED) = 5,793 SQ. FT. (0.133 ACRES)
PROPOSED IMPERVIOUS AREA = 25,344 SQ. FT. (0.582 ACRES)
PARKING AND DRIVEWAY IMPERVIOUS AREA = 10,636 SQ. FT. (0.244 ACRES)
BUILDING/ROOFTOP IMPERVIOUS AREA = 12,826 SQ. FT. (0.294 ACRES)
SIDEWALK IMPERVIOUS AREA = 1,882 SQ. FT. (0.043 ACRES)

IMPERVIOUS COVERAGE (CONT.):

GREEN SPACE AREA = 37,118 SQ. FT. (0.852 ACRES)
IMPERVIOUS SURFACE RATIO (%) = 40.6%
GREEN SPACE RATIO (%) = 59.4%
BUILDING COVERAGE RATIO (%) = 20.5%

4719 BURMA ROAD DEVELOPMENT

PROPOSED SITE PLAN

VILLAGE OF MCFARLAND, DANE COUNTY, WI



Project No: 124.0539.30
Sheet C300

SNYDER & ASSOCIATES, INC.

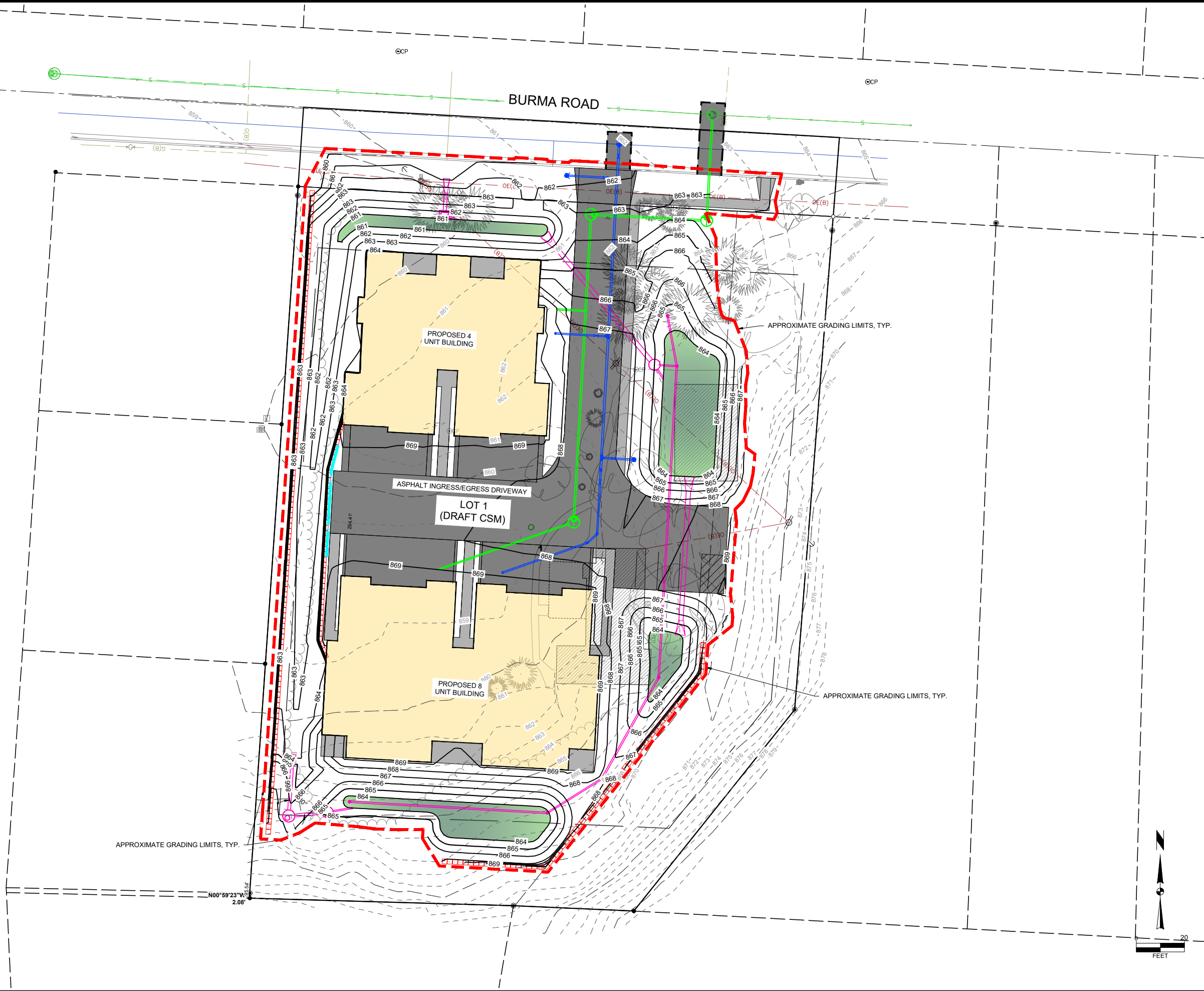
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MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
3	FIRE TRUCK TURNAROUND	08-19-24	MLC
2	GRADING & UTILITY UPDATES	08-16-24	ZLR
1	REVISED LAYOUT	08-12-24	MLC
MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: CHKD	Scale: 1" = 20'	
Technician: TECH	Date: 07-01-2024	T-R-S: TTN-RRW-SS	

Sheet C300

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INDIAN MOUND DRIVE



4719 BURMA ROAD DEVELOPMENT

GRADING PLAN

VILLAGE OF MCFARLAND, DANE COUNTY, WI



Project No: 124.0539.30

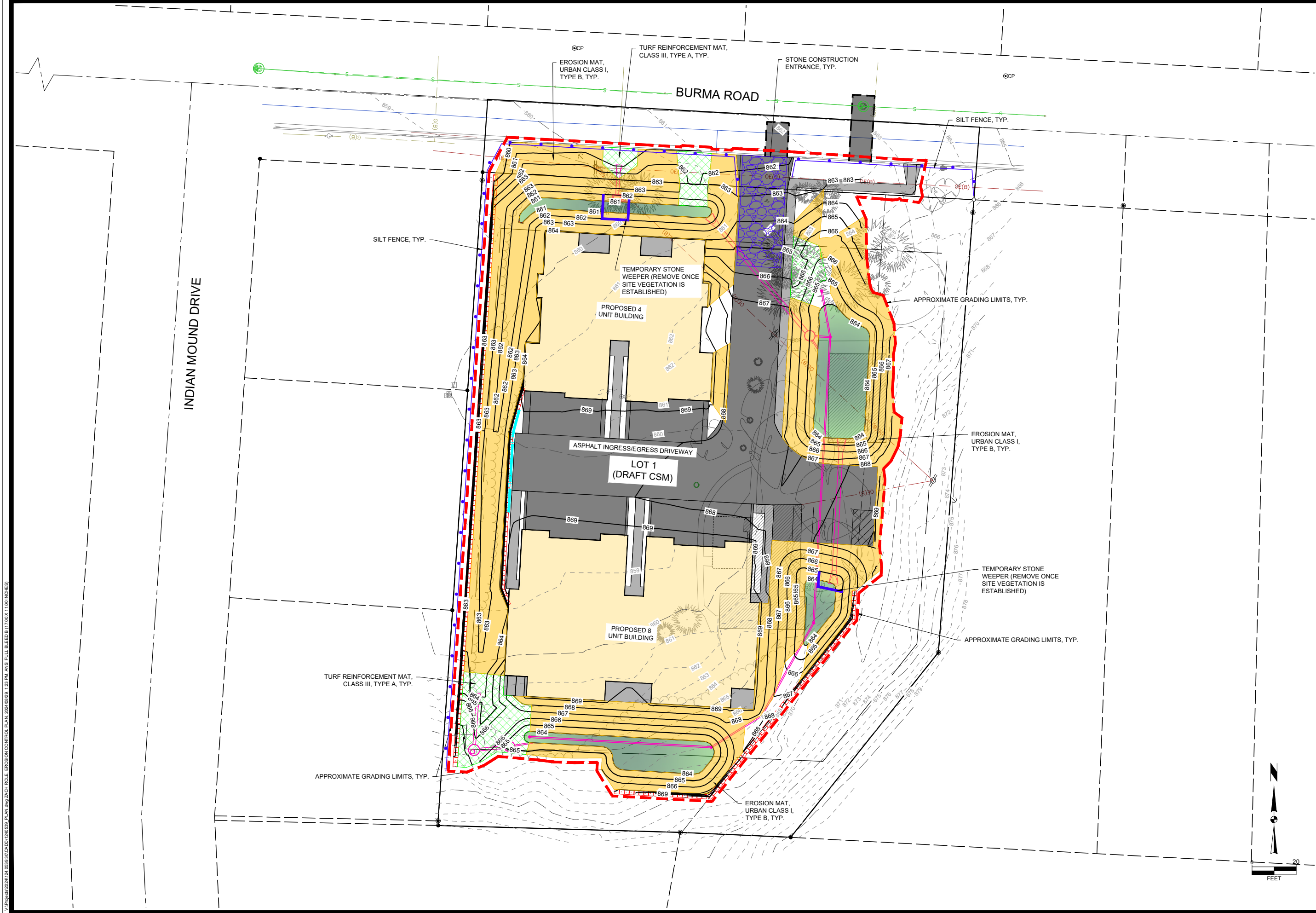
Sheet C400

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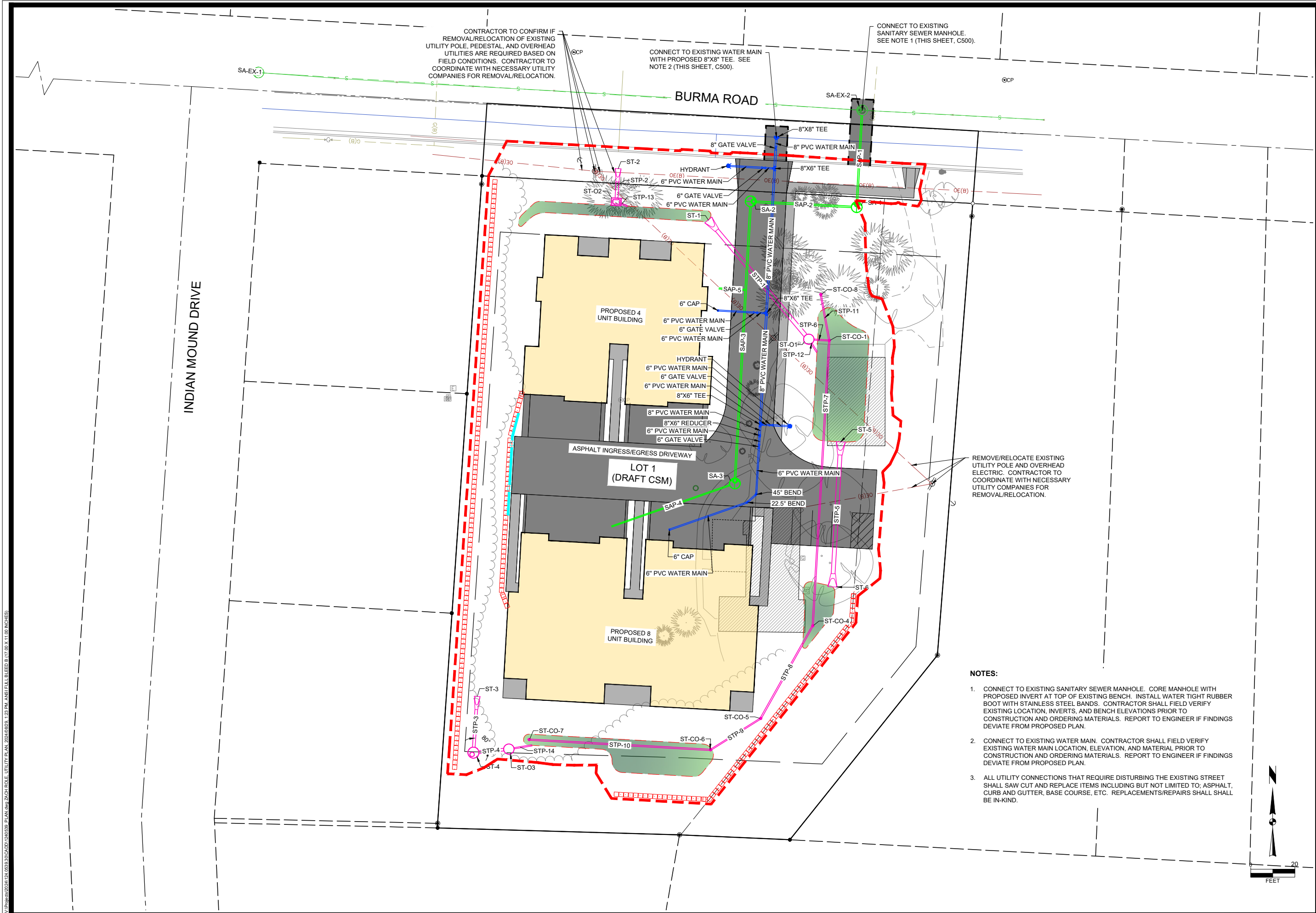
4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
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MARK	REVISION	DATE	BY
Engineer:	MLC	Checked By: CHKD	Scale: 1" = 20'
Technician:	TECH	Date: 07-01-2024	T-R-S: TTN-RRW-SS
Project No: 124.0539.30			Sheet C400

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4719 BURMA ROAD DEVELOPMENT		EROSION CONTROL PLAN		SNYDER & ASSOCIATES, INC.		Sheet C401	
VILLAGE OF MCFARLAND, DANE COUNTY, WI							
SNYDER & ASSOCIATES							
Project No: 124.0539.30		Sheet C401					
4 SIDEWALK, GRADING, UTILITIES UPDATES 09-03-24 ZLR		3 FIRE TRUCK TURNAROUND 08-19-24 MLC		2 GRADING & UTILITY UPDATES 08-16-24 ZLR		1 REVISED LAYOUT 08-12-24 MLC	
MARK		REVISION		DATE		BY	
Engineer: MLC		Checked By: CHKD		Scale: 1" = 20'			
Technician: TECH		Date: 07-01-2024		T-R-S: TTN-RRW-SS			
Project No: 124.0539.30							
5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com							

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4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
3	FIRE TRUCK TURNAROUND	08-19-24	MLC
2	GRADING & UTILITY UPDATES	08-16-24	ZLR
1	REVISED LAYOUT	08-12-24	MLC
MARK	REVISION	DATE	BY
Engineer:	MLC	Checked By:	CHKD
Technician:	TECH	Date:	07-01-2024
Scale:		1" = 20'	
T-R-S:		TTN-RRW-SS	
Project No.:		124.0539.30	
Sheet		C500	

4719 BURMA ROAD DEVELOPMENT

UTILITY PLAN

VILLAGE OF MCFARLAND, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

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SNYDER & ASSOCIATES

Project No: 124.0539.30

Sheet C500

V:\p000\41022412\0039\30CA00\120039_Plan.dwg ZACH ROE, UTILITY TABLES, 2/24/2029, 2:24 PM, ANSI FULL BLEED B (17.00 X 11.00 INCHES)

SANITARY SEWER STRUCTURE SCHEDULE					
STRUCTURE NAME	STRUCTURE TYPE	FRAME / GRATE	NORTHING	EASTING	RIM / TC
SA-1	PRECAST 48 IN DIA	NEENAH R-1550 TYPE B NON-ROCKING LID	459966.58	843801.64	863.49
SA-2	PRECAST 48 IN DIA	NEENAH R-1550 TYPE B NON-ROCKING LID	459969.13	843753.61	863.07
SA-3	PRECAST 48 IN DIA	NEENAH R-1550 TYPE B NON-ROCKING LID	459841.22	843746.38	867.49

SANITARY SEWER PIPE TABLE						
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	SLOPE
SAP-1	PVC	8	SA-1	SA-EX-2	44	1.00%
SAP-2	PVC	8	SA-2	SA-1	48	1.00%
SAP-3	PVC	8	SA-3	SA-2	128	1.00%
SAP-4	PVC	6	X-SA-NUL-1	SA-3	59	1.00%
SAP-5	PVC	6	X-SA-NUL-3	X-SA-NUL-2	12	1.00%

STORM SEWER STRUCTURE TABLE								
STRUCTURE NAME	STRUCTURE TYPE	NORTHING	EASTING	RIM EL	INVERTS IN	INVERTS OUT	FRAME / GRATE	DEPTH
ST-1	18" HDPE FES	459960.77	843734.39		SE = 861.00			
ST-2	12" RCP FES	459984.05	843693.52		S = 860.83			
ST-3	12" HDPE FES	459744.63	843629.62		S = 863.20			
ST-4	48" PRECAST MANHOLE W/ BEEHIVE GRATE	459719.07	843627.86	866.75	E = 863.38	N = 863.38	NEENAH 4342 BEEHIVE	3.37
ST-5	18" HDPE FES	459860.12	843794.42		S = 864.00			
ST-6	18" HDPE FES	459794.32	843790.64			N = 864.00		
ST-CO-1	CLEANOUT	459906.07	843789.23	864.00	S = 861.50 N = 861.50	W = 861.50		2.50
ST-CO-4	CLEANOUT	459776.66	843781.70	864.00	SW = 861.50	N = 861.50		2.50
ST-CO-5	CLEANOUT	459734.63	843758.12	867.78	SW = 861.50	NE = 861.50		6.28
ST-CO-6	CLEANOUT	459720.36	843735.36	864.00	W = 861.50	NE = 861.50		2.50
ST-CO-7	CLEANOUT	459725.01	843653.11	864.00		E = 861.50		2.50
ST-CO-8	CLEANOUT	459926.97	843785.37	864.67		S = 861.50		3.17
ST-O1	OUTLET STRUCTURE 48" I.D. PRECAST	459906.61	843779.94	865.25	E = 861.50 SE = 864.00	NW = 861.50	HAALA CG48TM TOP MOUNT CONE GRATE	3.75
ST-O2	OUTLET STRUCTURE 2'X3' PRECAST	459968.97	843692.67	862.50	E = 861.00	N = 861.00	HAALA BCTM2X3 TOP RAISED GRATE	1.50
ST-O3	OUTLET STRUCTURE 48" I.D. PRECAST	459720.72	843643.93	865.75	E = 864.00	W = 863.50	HAALA CG48TM TOP MOUNT CONE GRATE	2.25

WATER MAIN PIPE TABLE			
NAME	PIPE DIA. (IN.)	MATERIAL	LENGTH
LWM-100	6	C900 PVC	4
LWM-101	6	C900 PVC	16
LWM-102	6	C900 PVC	4
LWM-104	6	C900 PVC	4
LWM-105	6	C900 PVC	8
LWM-106	6	C900 PVC	17
LWM-107	6	C900 PVC	4
LWM-108	6	C900 PVC	21
LWM-109	6	C900 PVC	5
LWM-110	6	C900 PVC	37
WM-1	8	C900 PVC	4
WM-2	8	C900 PVC	8
WM-3	8	C900 PVC	64
WM-4	8	C900 PVC	49
WM-5	8	C900 PVC	4

WATER MAIN FITTING TABLE				
FITTING NAME	SIZE (IN.)	TYPE	NORTHING	EASTING
WF-1	8	8"X8" TEE	459998.27	843765.27
WF-2	8 x 6	8"X6" TEE	459984.11	843764.47
WF-3	8 x 6	8"X6" TEE	459918.44	843760.76
WF-4	8 x 6	8"X6" TEE	459867.97	843757.90
WF-5	8 x 6	8"X6" REDUCER	459862.98	843757.62
WF-6	6	6" CAP	459919.69	843738.66
WF-7	6	45° BEND	459836.26	843756.11
WF-8	6	22.5° BEND	459832.59	843752.00
WF-9	6	6" CAP	459820.25	843716.67

WATER MAIN APPURTENANCE TABLE			
APPURTENANCE NAME	TYPE	NORTHING	EASTING
WA-1	8" GATE VALVE	459993.28	843764.99
WA-2	6" GATE VALVE	459984.39	843759.48
WA-3	HYDRANT	459985.30	843743.47
WA-4	6" GATE VALVE	459918.73	843755.75
WA-5	6" GATE VALVE	459867.69	843762.90
WA-6	HYDRANT	459867.21	843771.38
WA-7	6" GATE VALVE	459857.98	843757.34

STORM SEWER PIPE TABLE								
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	TO	LENGTH (FT)	START INV	END INV	SLOPE
STP-1	N12 HDPE	18	ST-O1	ST-1	71	861.50	861.00	0.71%
STP-2	RCP	12	ST-O2	ST-2	15	861.00	860.83	1.13%
STP-3	N12 HDPE	12	ST-4	ST-3	26	863.38	863.20	0.72%
STP-4	N12 HDPE	12	ST-O3	ST-4	16	863.50	863.38	0.72%
STP-5	N12 HDPE	18	ST-6	ST-5	66	864.00	864.00	0.00%
STP-6	PERFORATED HDPE	6	ST-CO-1	ST-O1	9	861.50	861.50	0.00%
STP-7	PERFORATED HDPE	6	ST-CO-4	ST-CO-1	130	861.50	861.50	0.00%
STP-8	PERFORATED HDPE	6	ST-CO-5	ST-CO-4	48	861.50	861.50	0.00%
STP-9	PERFORATED HDPE	6	ST-CO-6	ST-CO-5	27	861.50	861.50	0.00%
STP-10	PERFORATED HDPE	6	ST-CO-7	ST-CO-6	82	861.50	861.50	0.00%
STP-11	PERFORATED HDPE	6	ST-CO-8	ST-CO-1	21	861.50	861.50	0.00%
STP-12	N12 HDPE (EMERGENCY DRAW DOWN PIPE WITH REMOVABLE CAP)	6	X-ST-NUL-1	ST-O1	7	864.00	864.00	0.00%
STP-13	N12 HDPE (EMERGENCY DRAW DOWN PIPE WITH REMOVABLE CAP)	6	X-ST-NUL-2	ST-O2	5	861.00	861.00	0.00%
STP-14	N12 HDPE (EMERGENCY DRAW DOWN PIPE WITH REMOVABLE CAP)	6	X-ST-NUL-3	ST-O3	11	864.00	864.00	0.00%



Project No: 124.0539.30

Sheet C501

4719 BURMA ROAD DEVELOPMENT

UTILITY TABLES

VILLAGE OF MCFARLAND, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. |

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MADISON, WISCONSIN 53718
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Project No: 124.0539.30

Sheet C501

4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
3	FIRE TRUCK TURNAROUND	08-19-24	MLC
2	GRADING & UTILITY UPDATES	08-16-24	ZLR
1	REVISED LAYOUT	08-12-24	MLC
MARK	REVISION	DATE	BY
Engineer:	MLC	Checked By: CHKD	Scale: 1" = 1'
Technician:	TECH	Date: 07-01-2024	T-R-S: TTN-RRW-SS

\\p06649\24\121\0519\3\CA\001\20059.DWG: L EROS: NOTE: 46g ZACHROLE EROSION CONTROL NOTES: 20240809, 1:24 PM, AND FULL BLEED: 8/17/2024 11:00 AM (8/17/2024)

CONSTRUCTION SEQUENCE

1. INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT'S AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL. ADDITIONALLY INSTALL CONSTRUCTION EQUIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXITS WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXITS TO FUNCTION PROPERLY.
2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SITE CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFF. AT NO TIME FROM THE START OF ROUGH GRADING UNTIL SITE STABILIZATION SHALL AN UNBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE SITE.
3. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH. ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS WILL BE STABILIZED IMMEDIATELY WITH SEED AND MULCH.
4. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.
5. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
6. INSTALL ANY UTILITIES.
7. COMPLETE FINAL GRADING FOR PARKING LOT & DRIVES AND STABILIZE WITH GRAVEL.
8. COMPLETE FINAL GRADE OF THE SITE.
9. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED, FERTILIZED, SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH OTHER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
10. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING.

11. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE:

30.50 LBS/ACRE OF KENTUCKY BLUEGRASS
17.50 LBS/ACRE OF RED FESCUE
17.50 LBS/ACRE OF HARD FESCUE
22.00 LBS/ACRE OF PERENNIAL RYE GRASS

THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE LOCAL MUNICIPALITY.

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR STEEPER.
MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30.

TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS UNTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED, SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED, SEEDED OR MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING SPRING.

12. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
13. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
14. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE.

EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WisDNR) TECHNICAL STANDARD, FOUND AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 10 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WisDOT STANDARD SPECIFICATIONS USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1050.
9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 1063.
12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WisDNR TECHNICAL STANDARD 106B.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED.
15. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
16. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
17. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WisDNR TECHNICAL STANDARDS.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
20. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1, USE CLASS I URBAN, TYPE A EROSION CONTROL MATTING. FOR SLOPES GREATER THAN 4:1 BUT LESS THAN 2.5:1, USE CLASS I URBAN TYPE B. FOR SLOPES GREATER THAN 2.5:1 USE CLASS I TYPE B. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WisDNR TECHNICAL STANDARDS.
21. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I TYPE B EROSION CONTROL MATTING. ELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WisDOT'S FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WisDNR TECHNICAL STANDARDS.
22. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.
23. ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL.
24. WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.
25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
3	FIRE TRUCK TURNAROUND	08-19-24	MLC
2	GRADING & UTILITY UPDATES	08-16-24	ZLR
1	REVISED LAYOUT	08-12-24	MLC
MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: CHKD	Scale: 1" =	
Technician: TECH	Date: 07-01-2024	T-R-S: TTN-RRW-SS	
Project No: 124.0539.30			Sheet C701

4719 BURMA ROAD DEVELOPMENT

EROSION CONTROL NOTES

VILLAGE OF MCFARLAND, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. |

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



GENERAL LANDSCAPE NOTES

1.

UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
2.

NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
3.

THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
4.

ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
5.

MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
6.

ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
7.

TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
8.

LIVE PLANTS CAN BE PLANTED IN THE FIELD DURING THE GROWING SEASON FROM MAY 1 THROUGH OCTOBER 1. ANY SUGGESTED PLANTING TIMES NOT IN THIS WINDOW SHALL BE APPROVED BY LANDSCAPE ARCHITECT. IF PLANTING OCCURS OUTSIDE OF THIS WINDOW, ADDITIONAL MEASURES MAY NEED TO BE TAKEN (I.E. MULCH) TO ENSURE PLANT SURVIVAL. IN THESE INSTANCES, THE CONTRACT PRICE MAY NEED TO BE ADJUSTED ACCORDINGLY.
9.

PLANTS SHOULD BE WATERED IN AFTER INSTALLATION TO ENSURE THEIR SURVIVAL. THIS TYPICALLY INVOLVES WATERING AT TIME OF INSTALLATION AND 2 TIMES WEEKLY FOR A ONE MONTH PERIOD OR UNTIL GROUND FREEZE UP IF NATURAL RAINFALLS ARE INSUFFICIENT. A SINGLE WATERING EVENT INVOLVES WATERING THE SOIL IN THE PLANTED AREAS TO THE POINT OF SATURATION BUT STOPPING SHORT OF SOIL DISPLACEMENT. SHOULD VERY DRY CONDITIONS DEVELOP WITHIN ONE YEAR OF PLANTING, ADDITIONAL WATERINGS MAY BE NECESSARY. CONSULTANT OR LANDSCAPE ARCHITECT WILL DETERMINE THIS AND CONTRACT PRICES MAY BE ADJUSTED TO ACCOMMODATE THIS ACTION.
10.

ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
11.

ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
12.

CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY AND THEFT.
13.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
14.

THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
15.

THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
16.

THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
17.

LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. IF IRRIGATION IS INCLUDED, COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
18.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
19.

PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEO TO A DEPTH OF 8" - 12".
20.

ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION PER RATE IDENTIFIED BY A SOIL TEST.
21.

TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
22.

THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.

23.

ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
24.

ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
25.

ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
26.

ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
27.

EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
28.

WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
29.

WHEN PLANTER POTS ARE SHOWN ON PLANS, CONTRACTOR SHALL INCLUDE THE FOLLOWING: PLANTER MIX, ANNUAL FLOWER PLANTING PROGRAM (INCLUDES 2 PLANTINGS FOR THE 1ST YEAR (SPRING AND FALL) AND WINTER HAND-WATERING AS NEEDED, UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO PROVIDE ANNUAL PLANTING SELECTION FOR REVIEW BY OWNER. IRRIGATION FOR PLANTERS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT.
30.

PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
31.

THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.

MCFARLAND LANDSCAPE REQUIREMENTS

STREET YARDS ON CORNER LOTS AND ALL FRONT YARDS SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE PER FIFTY (50) LINEAL FEET OF STREET FRONTAGE.

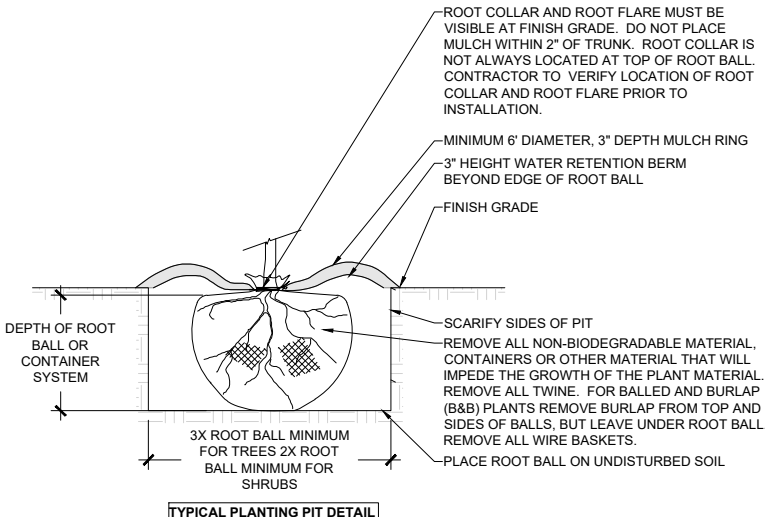
REQUIRED: 224 LF / 50 = 5 CANOPY TREES
PROVIDED: 5 CANOPY TREES

REAR YARDS AND INTERIOR SIDE YARDS SHALL CONTAIN A MIX OF CANOPY, EVERGREEN, AND OTHER TREES EQUIVALENT TO AT LEAST ONE (1) PER FIFTY (50) LINEAL FEET, AND INCLUDING LARGE SHRUBS ALONG AT LEAST THIRTY (30) PERCENT OF THE INTERIOR SIDE AND REAR PROPERTY LINES. THE TREES AND SHRUBS MAY BE CLUSTERED.

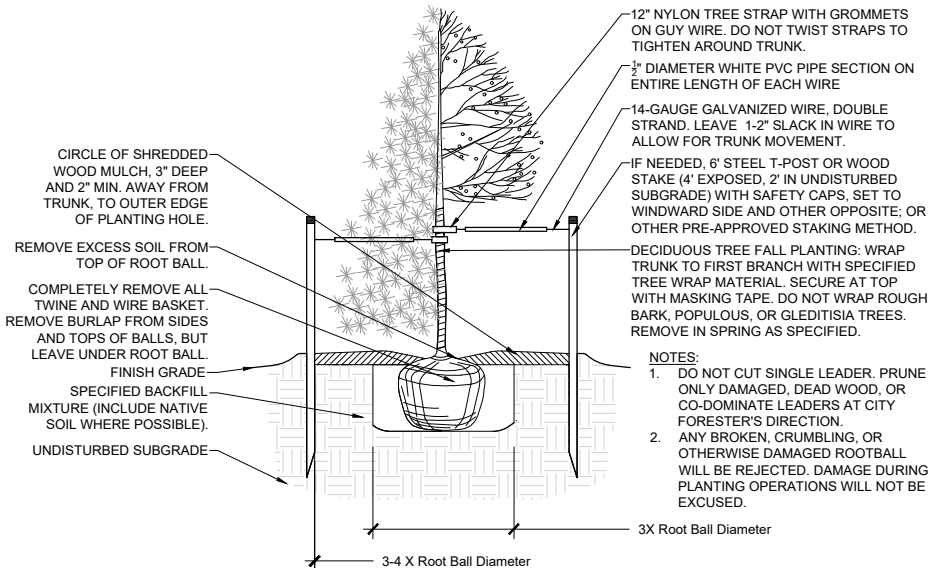
REQUIRED: 769 LF / 50 = 16 CANOPY TREES
PROVIDED: 18 CANOPY TREES

LANDSCAPE POINTS CALCULATIONS

	SITE MEASUREMENT	POINTS REQUIRED	POINTS PROVIDED
BUILDING FOUNDATION	879 FT	50 PTS PER 100 FT -- 440	487
GFA	12,826 FT	20 PTS PER 1,000 FT -- 257	310
STREET FRONTAGE	224 FT	50 PTS PER 100 FT -- 112	120
PAVED AREA	12,518 SF	100 PTS PER 10,000 SF - 126	160
TOTAL POINTS -		935	1077

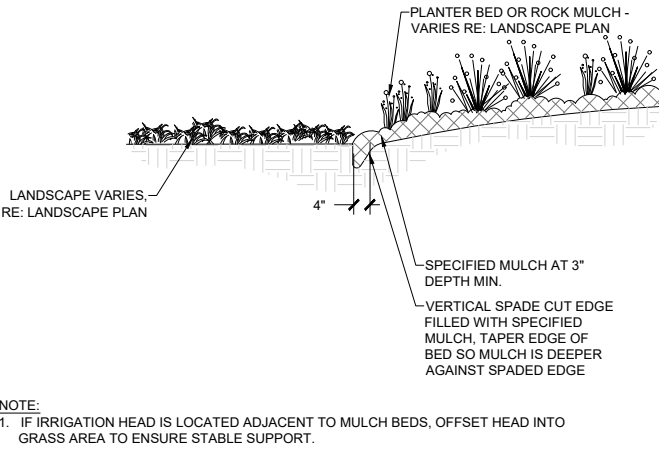


3 PLANTING PIT



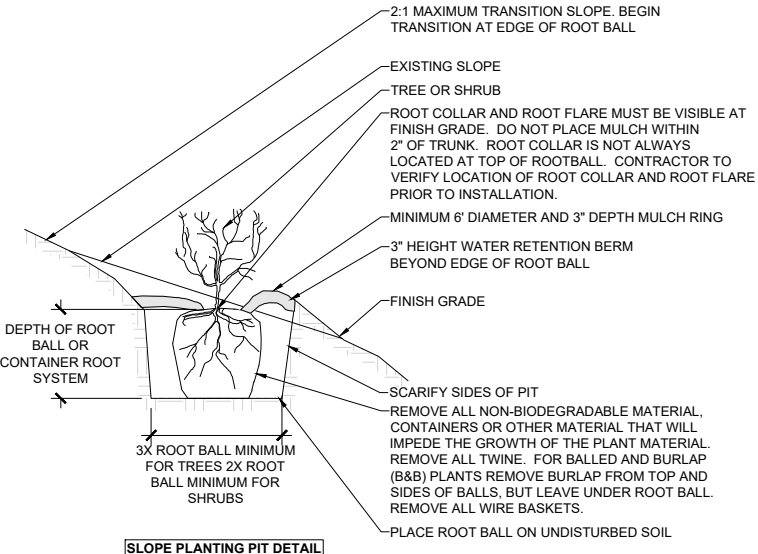
1 TREE PLANTING

SCALE: 1/2" = 1'-0"



2 SPADE CUT EDGE

SCALE: 1/2" = 1'-0"



NO SCALE

4719 BURMA ROAD

LANDSCAPE NOTES & DETAILS

VILLAGE OF MCFARLAND, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC. |



Project No: 124.0539.30

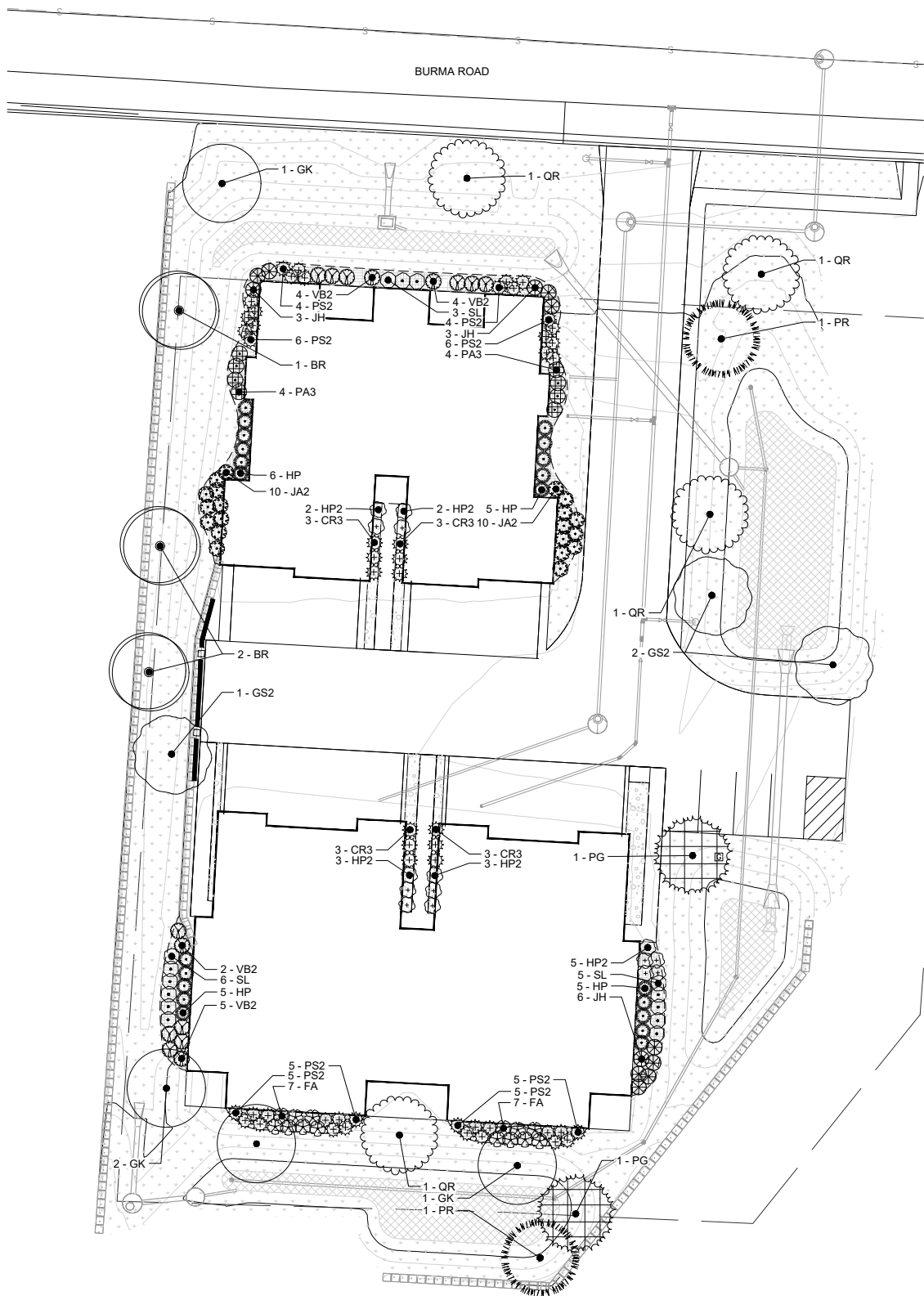
Sheet L-100

4	SIDEWALK, GRADING, UTILITIES UPDATES	09-03-24	ZLR
3	FIRE TRUCK TURNAROUND	08-19-24	MLC
2	GRADING & UTILITY UPDATES	08-16-24	ZLR
1	REVISED LAYOUT	08-12-24	MLC
MARK	REVISION	DATE	BY
Engineer: MLC	Checked By: CHKD	Scale: 1" =	
Technician: TECH	Date: 07-01-2024	T-R-S: TTN-RRW-SS	

Project No: 124.0539.30

Sheet L-100

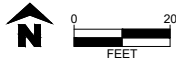
5010 VOICES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	POINTS	TOTAL POINTS
CANOPY TREES								
	BR	3	BETULA NIGRA	RIVER BIRCH	6-FT. HT.	B&B	40	120
	GS2	3	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.0-IN. CAL.	B&B	40	120
	GK	4	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2.0-IN. CAL.	B&B	40	160
	QR	4	QUERCUS RUBRA	NORTHERN RED OAK	2.0-IN. CAL.	B&B	40	160
EVERGREEN TREES								
	PG	2	PICEA GLAUCA	WHITE SPRUCE	5-FT. HT.	B&B	30	60
	PR	2	PINUS RESINOSA	RED PINE	5-FT. HT.	B&B	30	60
EVERGREEN SHRUBS								
	JH	12	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	12-IN. HT.	#3 CONT	3	36
	JA2	20	JUNIPERUS HORIZONTALIS 'ANDORRA'	ANDORRA JUNIPER	12-IN. HT.	#3 CONT	3	60
TALL SHRUBS								
	VB2	15	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	36-IN. HT.	#3 CONT	5	75
MEDIUM SHRUBS								
	HP	21	HYDRANGEA PANICULATA	PANICLE HYDRANGEA	24-IN. HT.	#3 CONT	5	105
	PA3	8	PHYSOCARPUS ALTERNANS	DWARF NINEBARK	24-IN. HT.	#3 CONT	5	40
SMALL SHRUBS								
	FA	14	FORSYTHIA X 'ARNOLD'S DWARF'	ARNOLD'S DWARF FORSYTHIA	18-IN. HT.	#3 CONT	3	42
ORNAMENTAL GRASSES								
	CR3	12	CAREX SPRENGELII	LONG-BEAKED SEDGE	8-IN HT.	3" POT		
	HP2	15	HOSTA FORTUNEI	PLANTAIN LILY	6-IN. HT.	#1 CONT.		
	PS2	40	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	8-IN HT.	#1 CONT.		
	SL	14	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	8-IN HT.	#1 CONT.		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT		
GROUND COVERS								
	NN	2,862 SF	BIO PLUGS	BIO PLUGS	4"	12" O.C.		
	TS2	17,246 SF	TURF	SEE CONSTRUCTION NOTES FOR TYPE	SEED			
MULCH								
	RM2	593 SF	ROCK MULCH	SEE CONSTRUCTION NOTES FOR TYPE	--			
	WC	1,788 SF	WOOD MULCH	SEE CONSTRUCTION NOTES FOR TYPE	--			
								1038

LANDSCAPE CONSTRUCTION NOTES

- ROCK MULCH SHALL BE AMERICAN HERITAGE FRACTURED 1 1/2" STONE PROVIDED BY CIRCLE B LANDSCAPE SUPPLY (608.849.9200). PROVIDE 3" DEPTH ROCK MULCH IN ALL PLANTING BEDS AS INDICATED ON THE PLAN OVER GEOTEXTILE WEED FABRIC. MULCH LANDSCAPE BEDS SHALL HAVE A SPADE CUT EDGER WHEN PERIMETER IS NOT CONCRETE CURB.
- WOOD MULCH SHALL BE DOUBLE SHREDDED PREMIUM OAK BARK PROVIDED BY CIRCLE B LANDSCAPE SUPPLY (608.849.9200) PROVIDE 3" DEPTH ROCK MULCH IN ALL PLANTING BEDS AS INDICATED ON THE PLAN OVER GEOTEXTILE WEED FABRIC. MULCH LANDSCAPE BEDS SHALL HAVE A SPADE CUT EDGER WHEN PERIMETER IS NOT CONCRETE CURB. ALL TREES PLANTED OUTSIDE PLANTING BED SHALL HAVE A 3" DEPTH DOUBLE SHREDDED HARDWOOD MULCH TO A MIN. 3 FOOT PERIMETER.
- TURF SEED SHALL BE SUN & SHADY GRASS SEED PROVIDED BY CIRCLE B LANDSCAPE SUPPLY (608.849.9200) OR APPROVED EQUAL
- TREE PLANTING, RE: DETAIL L/100
- SPADE CUT EDGER, RE: DETAIL ON L/100
- PLANTING PIT, RE: DETAIL ON L/100



LEGEND

--- SPADE CUT EDGE

4719 BURMA ROAD

LANDSCAPE PLAN

SNYDER & ASSOCIATES, INC.

Project No: 124.0539.30

Sheet L-200

4SIDEWALK, GRADING, UTILITIES UPDATES09-03-24ZLR

3FIRE TRUCK TURNAROUND08-19-24MLC

2GRADING & UTILITY UPDATES08-16-24ZLR

1REVISED LAYOUT08-12-24MLC

MARKREVISIONDATEBY

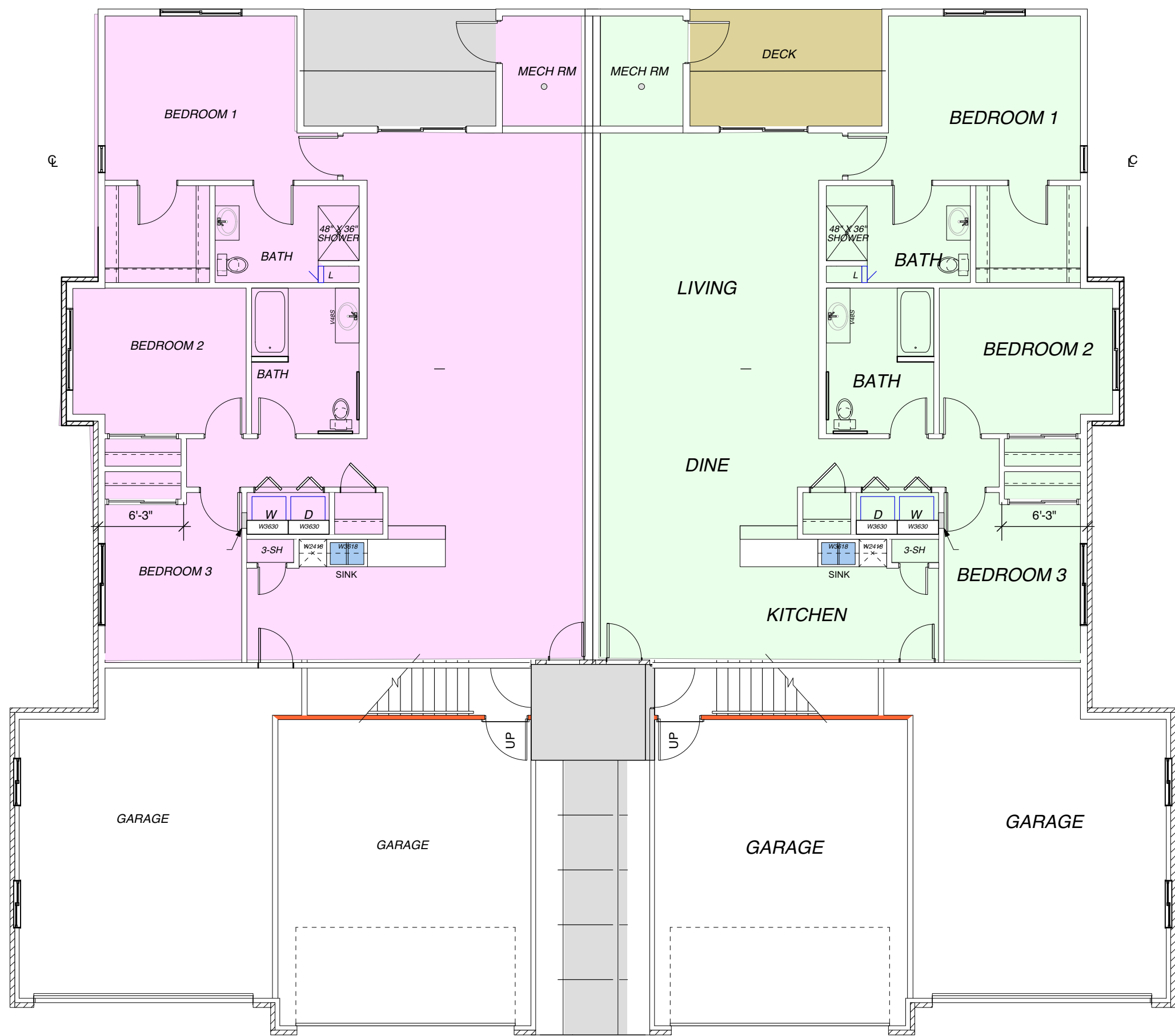
Engineer: MLCChecked By: CHKDScale: 1" =

Technician: TECHDate: 07-01-2024T-R-S: TTN-RRW-SS

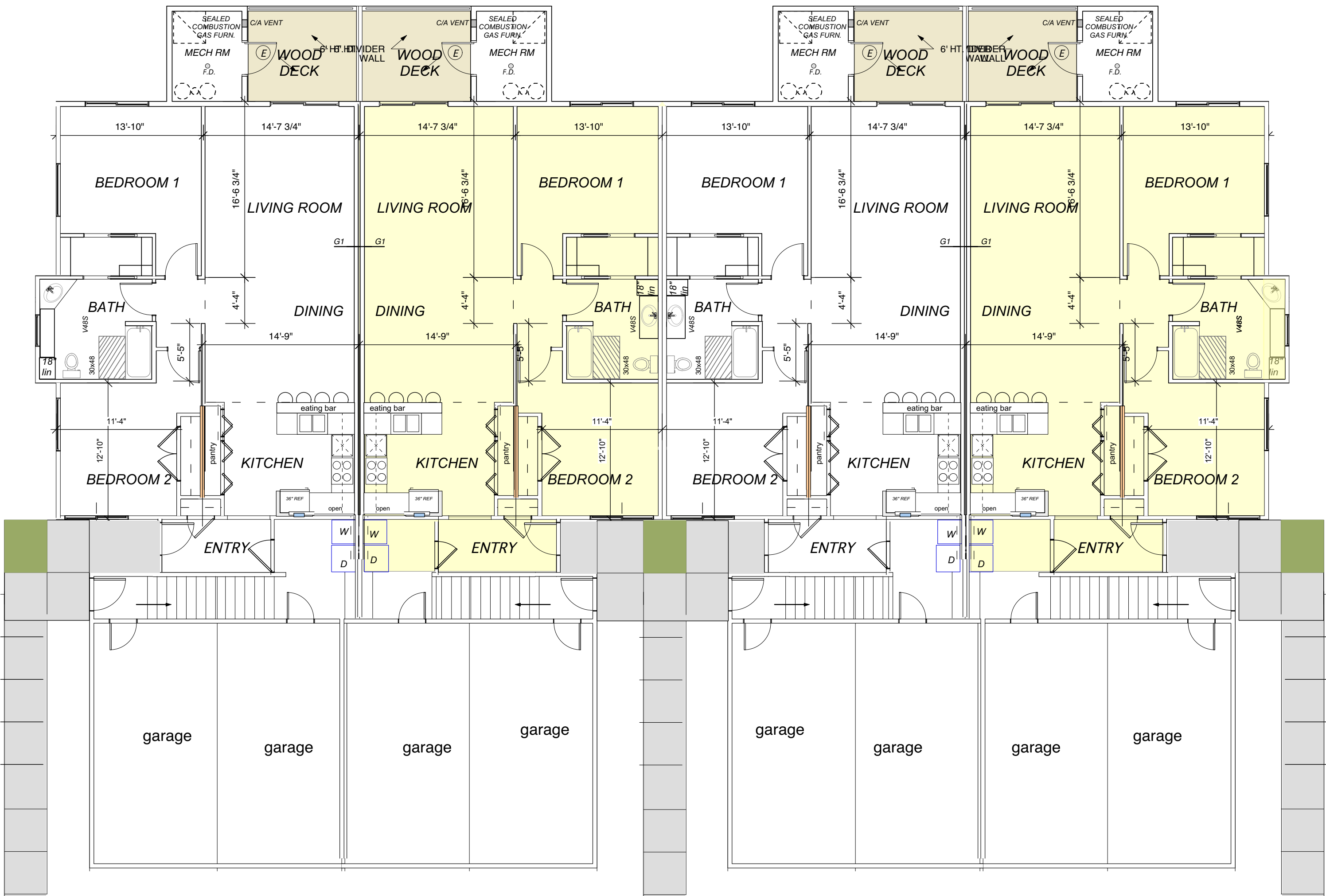
VILLAGE OF MCFARLAND, DANE COUNTY, WI

5010 VOICES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

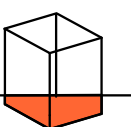
Sheet L-200



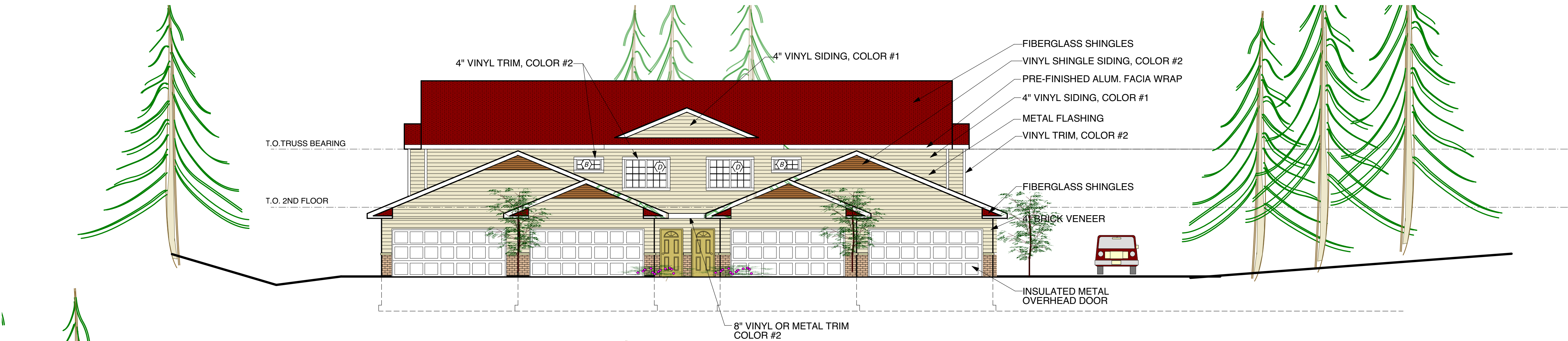
2 Levels of 3 Bedroom Units = 4 units



2 Levels of 4 of 2 Bedroom Units = 8 units

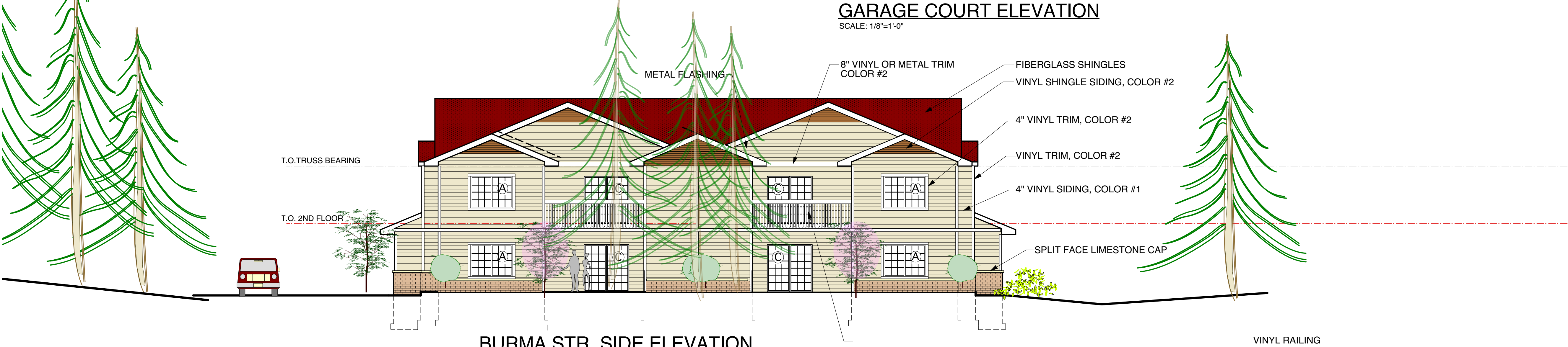
architect		project	
 SIEGER ARCHITECTS		FLOOR PLANS	
73 White Oaks In Madison, WI 53711		Clayt & Tom 12 UNIT APARTMENT McFarland, WI	
Phone: 608.347.7332		owner	
		LGC DEVELOPMENT 4908 Meinders Rd. McFarland, WI 53558	
		A1.1	
		5/24	

*NOTE: Drawings are 50% scale for 11x17 print sets.



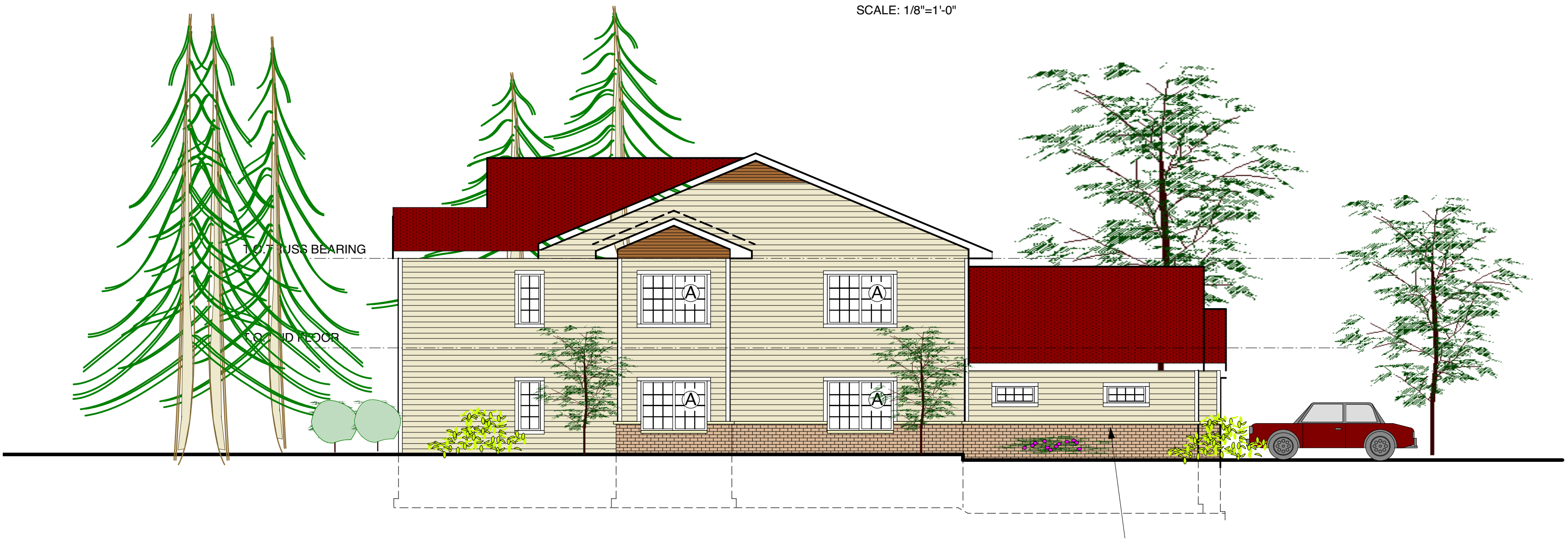
GARAGE COURT ELEVATION

SCALE: 1/8"=1'-0"



BURMA STR. SIDE ELEVATION

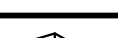
SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION - WEST to Neighbors (typical E&W)

SCALE: 1/8"=1'-0"

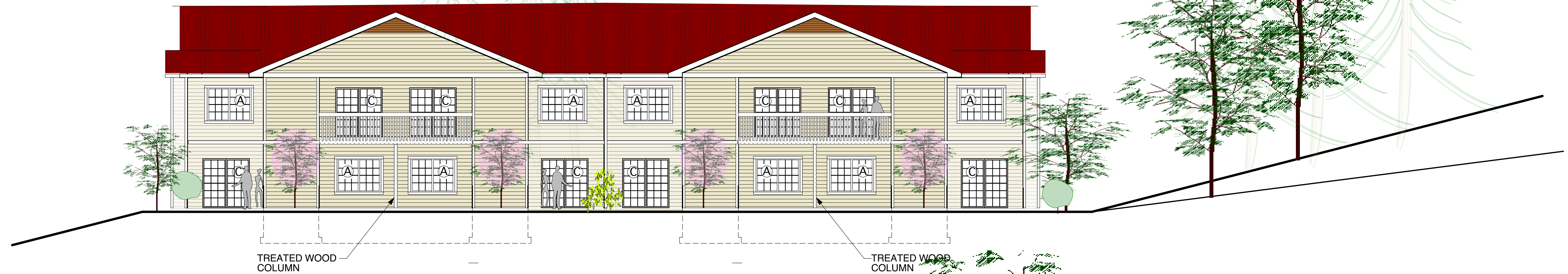
4 UNIT - 3 BEDROOMS

		BUILDING #1/ 4unit Elevations		A4.1
architect		project	BURMA ROAD 12 UNIT APARTMENT McFarland, WI	
73 White Oaks Ln Phone: 608.347.7332		owner	LGC DEVELOPMENT 4908 Meinders Rd. McFarland, WI 53558	
SIEGER LLC ARCHITECTURE Madison, WI 53711				6/24

*NOTE: Drawings are 50% scale for 11x17 print sets.



GARAGE COURT ELEVATION
SCALE: 1/8"=1'-0"



BACK ELEVATION



LEFT SIDE ELEVATION - WEST to Neighbors (typical E&W)
SCALE: 1/8"=1'-0"

8 UNIT - 2 BEDROOMS

architect  **SIEGER LLC**
ARCHITECTURE
73 White Oaks Ln Madison, WI 53711
Phone: 608.347.7332

BUILDING #2/ 8unit Elevations	
project	BURMA ROAD 12 UNIT APARTMENT McFarland, WI
owner	LGC DEVELOPMENT 4908 Meinders Rd. McFarland, WI 53558

A4.2

6/24

*NOTE: Drawings are 50% scale for 11x17 print sets.

4719 Burma Road Conditional Use Responses

The following are the Applicant's full responses to Sec. 62-111 Conditional Use Standards. This is not a supplemental response from the applicant to be included with their submittal, but the full response as indicated in their application. On a hard copy, the textbox cannot be scrolled through, therefore a supplemental form was provided.

Sec. 62-111(a) – The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

There will be one private drive entry point onto Burma Road. All vehicles will be able to exit in a forward fashion onto Burma Road with no need to back into Burma Road. The exterior site lighting adjacent to the garage doors will provide a safe environment at night without interfering with neighboring properties.

Sec. 62-111(b) – The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

The proposal is for quality market rate housing. There is no evidence that a market rate project like this will have any negative effect on land values. A fence along the west drive aisle will be utilized to block headlights from the single housing to the west. The trees along the eastern and southern lot lines will remain. No garage doors will front Burma Road.

Sec. 62-111(c) – The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Plans meet all setback requirements. Utilities, access driveways and storm water management plans have minimal effect on existing properties or the developability of surrounding properties.

Sec. 62-111(d) – Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.

Adequate gas, electric, sanitary sewer and water are adjacent to the development. Drainage requirements and internal driveways are provided in the site plan submittal.

Sec. 62-111(e) – Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Ingress/egress for the site is through one private driveway. All vehicles will be able to exit in a forward fashion onto Burma Road with no need to back into Burma Road.

Sec. 62-111(f) – The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.

This proposal provides market rate medium density housing that promotes a suitable environment for family life where children are members of most families. All zoning requirements for R-3 conditional use have been met with the proposal.

Sec. 62-111(g) – The proposed use does not violate floodplain regulations governing the site.

No floodplains are adjacent to the proposed project.

Sec. 62-111(h) – That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.

All zoning requirements for R-3 conditional use have been met with the proposal.

Sec. 62-111(i) – That, when applying the standards to any new construction of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

The proposal directly responds to McFarland's current market and demographic changes. There is an unarguable demand in McFarland for this type of market rate townhome product with little supply. Beyond meeting this demand, the project also provides many needed and wanted benefits to the Village and directly relates to "lifecycle housing" as referred to above in the comp plan. The proposal will attract a resident base with minimal demands on public services, and maximizing the tax base of the site. All within the constraints of R3 conditional use standards.

Sec. 62-111(j) – In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.

1. The maintenance of safe and healthful conditions.

Property management of the project will be handled so the owners investment and quality of life of the residents are protected.

2. The prevention and control of water pollution including sedimentation.

Approved erosion control measures will be applied and enforced throughout construction. Upon completion there will be bioretention and infiltration basins established to help prevent water pollution and sediment erosion.

3. Existing topographic and drainage features and vegetative cover on the site.

The proposed site conforms with the existing site and grading/topography as can be seen from the grading plan submittal. Native vegetation in the bioretention and infiltration basins will require annual inspection and periodic maintenance. The plan submittal contains a landscaping plan meeting the requirements for the proposed development.

4. The location of the site with respect to floodplains and floodways of rivers and streams.

No floodplains, floodways, rivers or streams are adjacent to the proposed project.

5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.

Erosion potential is addressed in grading plan, landscape plan, and erosion control plan. To be reviewed and approved by all necessary parties.

6. The location of the site with respect to existing or future access roads.

The private driveway location addresses the ingress/egress for the project with respect to all existing roads.

7. The need of the proposed use for a shoreland location.

NA. Not a shoreland location.

8. Its compatibility with uses on adjacent land.

The density and building styles provide an ideal transition from the existing single family to the west and east. The proposed buildings have similar exterior finishes and architecture as single family homes in the neighborhood. Benefits to the adjacent land include no garages face the neighboring properties for visual appeal. Adequate parking is proposed to minimize street parking/congestion. The site plan fits into the walkable community with ample green space, a path easement from Burma Road to the south and a sidewalk connection to the north.

9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Village sanitary system will be utilized. Village engineer will confirm the capacity of the existing system has adequate capacity as part of his review.

October 7, 2024

Mr. Andrew Bremer, AICP
Community & Economic Development Director
Village of McFarland
5915 Milwaukee Street
P.O. Box 110
McFarland, WI 53558

Subject: 4719 Burma Road Plan Submittal Review

Dear Andrew:

We have received the proposed plans dated September 3, 2024 a proposed multi-family housing development at 4719 Burma Road. The submittal has been reviewed from a public works perspective. We have consolidated our comments with Public Works staff, which are listed below and organized by document/sheet. There are enough updates to the plans that we recommend a revised set be submitted prior to Village approval.

Stormwater Management/Erosion Control Plan

Site stormwater is proposed to be treated by a group of four bioretention areas throughout the site. The model outputs submitted with this package show conformance with the Village standards for this development, including the recent changes to the Village ordinance for incorporating the 200-year storm as well as green infrastructure.

In large events, the southerly two devices have overland flow to the northerly devices (east and west, respectively). The northwesterly device then discharges to Burma Road via a pipe which flows over the curb onto Burma Road. We recommend that this discharge be converted to a reverse-flow curb inlet, which would outflow during storms. It does introduce a chance of freezing, in which case outflow would go over the top of berm and onto the street. This would be the case for large storms anyway, and we suggest the reverse-flow curb inlet sets up the Village for more convenient plumbing into storm sewers in the future.

In similar large events, the northeasterly device discharges overland onto the private driveway and then onto the street. We are comfortable with this arrangement as it reduces flow over the pedestrian only sidewalk portion of the lot frontage, and the private drive will receive regular snow removal in the winter.

Construction Plans

Sheet C300 – The proposed sidewalk (both on private property and in the Burma Road right-of-way) is shown to be 4-feet wide. We recommend the walk be 5 feet along Burma Road to meet Village standard (and extended across the entire lot frontage) and

6-feet wide along the private roadway for safety reasons. Signage for the new crosswalk should also be included in the updated plans.

Sewer laterals are shown with a cap. We presume this is just temporary until the building is connect, but this should be confirmed.

The existing water main in Burma Road is 10-inch ductile iron. The new water connections will need to be sized accordingly.

Because a new hydrant is proposed in public right-of-way, this should be connected to the Burma Road main independent of the private water service. Ductile iron pipe should be used for all water piping in the right-of-way.

The developer should advise what size water meter(s) are desired so the Village can pre-order them.

All existing sewer and water laterals to the property need to be abandoned at the main (with a commensurate pavement patch as needed). Pavement patches will need to extend at least to the center of the street, or full-width if the excavation crosses the centerline.

The connection to existing sanitary sewer manhole SA-EX-2 will need to include modifications to the flow line to both receive the new flow and to not impede future maintenance.

Landscape Plan – There are two new trees shown near the right-of-way (or partially in the right-of-way). Those should be shifted south to both keep them on private property and to provide a corridor for the new sidewalk.

Please feel free to contact us with any questions or comments regarding this review.

Regards,
TOWN & COUNTRY ENGINEERING, INC.

A handwritten signature in blue ink, appearing to read "Brian Berquist".

Brian Berquist, P.E.
President

cc: Mr. Lee Igl, Director of Public Works, Village of McFarland (*via email*)

Mr. Matthew Schuenke, Administrator, Village of McFarland (*via email*)

BRB:brb

J:\JOB#S\McFarland\MC-232-M6 4719 Burma Road Review\2. Client Correspondence\4719 Burma Review 1 Updated.docx

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, October 15, 2024

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on a Certified Survey Map requested by MCGN Properties, LLC for a property located at 4719 Burma Road, McFarland, WI.

PREVIOUS ACTION:

ISSUE SUMMARY:

Information regarding this agenda item is found under Agenda item 4.a.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion, second, to approve a Certified Survey Map requested by MCGN Properties, LLC for a property located at 4719 Burma Road, McFarland, conditioned on:

- 1. Removal of Note #2 on Sheet 1 of the CSM.*
- 2. Recording of the Public Trail Easement Agreement prior to obtaining a building occupancy permit.*

ATTACHMENTS:

None

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, October 15, 2024

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on a Conditional Use Permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development at 4719 Burma Rd, McFarland, WI.

PREVIOUS ACTION:

ISSUE SUMMARY:

Background information regarding this item is found under Agenda Item 4.b.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion, second, to approve a Conditional Use Permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development at 4719 Burma Road, McFarland, WI with the following conditions of approval:

- 1. Revise the site design plans to address the comments in the Village Engineer's staff report dated October 7, 2024.*
- 2. Installation of watch for pedestrian crossing signs on both sides of Burma Road near the proposed curb ramp. Final location to be coordinated with the Public Works Department.*
- 3. The proposed access road will need to be marked or signed as No Parking.*
- 4. Installation of one exterior light pole facing north along the southern edge of the parking lot area. The light pole shall not exceed 15 feet in height and shall include a full cut-off light fixture. Building mounted light fixture shall be downcast full-cut off. Applicant to provide staff with a cut sheet for proposed exterior light fixtures and a photometric lighting plan per the Site Design Review Checklist for review and approval by staff prior to obtaining a building permit.*
- 5. The proposed fence along the west side of the development shall be a solid fence made of wood or plastic material measuring six feet in height.*
- 6. The proposed dumpster shall be placed in an enclosure meeting the requirements of*



Section (i) of Appendix B, Landscaping Standards, of the Municipal Code, excepting the need for gate side to be oriented toward the interior of the site.

Applicant to provide the Community & Economic Development Director updated site design sheets meeting the conditions of approval prior to obtaining building permits.

ATTACHMENTS:

None

VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, October 15, 2024

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on Site Design Review permit requested by MCGN Properties, LLC for a proposed 12-unit multifamily development located at 4719 Burma Road.

PREVIOUS ACTION:

ISSUE SUMMARY:

The background information for this item can be found under Agenda Item 4.b. The following will include the the Staff review on the Site Design Review permit application.

SEC. 62-310(e) - Site Design Standards

- **Grading.** The proposed development project removes the existing single family home, detached garage and pavement on the property. The proposed development includes 25,344 square feet of impervious surface area (40.6%) which includes parking and driveway, building footprint, and sidewalk. The layout of the public trail easement is included in the site plan submitted. No trails are proposed on the property at this time, and would be constructed by the Village at a date to be determined. A retaining wall will run along the easement at the southeast corner to the south of the property lot line. An additional retaining wall will run parallel with the west lot line and another where the proposed 6-foot fence is proposed. The grading plan includes an interconnected system of four bioretention basins to the north, east, and south which capture and retain runoff on site. The packet includes the Village Engineer and Public Works Director's comments related to the submitted erosion control plan. At the northwesterly infiltration basin discharges to Burma Road via a pipe which flows over the curb onto Burma Road, the Village Engineer recommends this discharge be converted to a reverse-flow curb inlet.
- **Landscaping.** The proposed project's landscaping points calculation table, found on Sheet L-100, states there are 1077 points provided. Staff's review of the Plant Schedule on Sheet L-200 shows the table stated 1038 points. The 1038 appears to be the correct total points value based off the Plant Schedule proposed. Included in the Plant Schedule table are some discrepancies with the value of points per plant type. Per Appendix B Village of McFarland Landscaping Standards, the section establishes the number of points given per plant type. From the Plant Schedule, this discrepancy applies to the *Medium Shrub* (Medium Deciduous Shrub), which is equal to 3 points per plant instead of 5 and the *Small Shrub* (low deciduous shrub) equal to 1 point per plant instead of 3. This point difference reduces the total 1038 points by 83 points, for a new net total of



953 points provided. This is still a surplus of 18 points from the 935 points required.

One additional detail that is missing from the landscaping plan is the number of existing trees on the property. Found on Sheet C-300, at the northeast corner of the lot, a note reads, “*SAVE TREES OUTSIDE OF GRADING LIMITS, TYP.*” These trees are not identified in the landscaping plan; however, can be counted towards the total points provided. Staff's site inspection of the property confirms existing trees beyond the identified grading limits; however, whether they are the property of the applicant's lot or not is unknown. Regardless, any additional tree to be counted would continue to increase the surplus in landscaping points provided. This standard has been met. The Village Engineer's letter comments on two proposed trees near the right-of-way (or partially in the right-of-way). The two mentioned trees should be shifted south, closer to private property and to provide a corridor for the new sidewalk.

- **Building Relationship.** The proposed development includes two buildings on the property with the 4-unit building (the northernmost building) with a front yard setback of 25 feet meeting the standard for R-3 General Residence District. Both buildings meet the minimum side yard setback of 10 feet. The 8-unit building is the southernmost building and has a rear yard setback of ~60 feet, minimum required is 35 feet. Included in the submittal is a fence along a portion of the western side of the lot to screen vehicle headlights to adjacent single-family homes. The proposed 4 additional parking stalls are positioned where cars pulling in would point their headlights away from street view and south towards a retaining wall, minimizing impact on adjacent properties. The applicant has stated the project will try to minimally impact existing trees along the shared property lines, as mentioned in the review of the Landscaping standard related to Sheet C-300. In Staff's opinion, this standard has been met.
- **Lighting.** The applicants have indicated that lighting for the driveway and joint parking area will be limited to wall mounted lights adjacent to each garage unit. Per Sec. 62-172(i)(6), *Lighting. Any lighting used to illuminate off-street parking areas shall be directed away from residential properties and public streets in such a way as not to create a nuisance. In no instance shall exterior lighting be oriented so that the lighting is visible from a property located within a residential zoning district, and in no case shall such lighting exceed 0.50 footcandles measured at the lot line.* Staff recommend as a condition of approval, installation of one exterior light pole facing north along the southern edge of the parking lot area. The light pole shall not exceed 15 feet in height and shall include a full cut-off light fixture. Staff also recommends the use of downcast full cut off building mounted light fixtures to minimize disturbance to surrounding properties. Applicant to provide staff with a cut sheet for proposed exterior light fixtures and a photometric lighting plan per the Site Design Review Checklist for review and approval by staff prior to obtaining a building permit.
- **Utility Service.** The Village Engineer's letter includes comments on the existing water main on Burma Road which is 10-inch ductile iron. The comments stated that new water connections will need to be sized accordingly. A new hydrant is proposed in the right-of-way, and should be connected to the Burma Road main independent of the private water service. The Fire Chief's comments are reflected in the Village Engineer's letter related to the hydrant locations and water lateral connections.
- **Building Design.** The proposed buildings will be 35 feet in height. The applicant is



proposing a dumpster adjacent to the additional 4 parking stalls near the east lot line. As a condition of approval, additional design details are required to meet the standards within Section (i) of Appendix B of the Village Landscaping Standards regarding trash enclosures.

DEPARTMENT STAFF COMMENTS

- The packet includes a letter from the Village Engineer and Public Works Director's and their comments on the proposed Site Design Review. These have been reflected in the review for the section standards above and in the agenda item 5.b. Conditional Use Permit. The letter also includes concerns previously mentioned by the Village Fire Chief's regarding marking the north-south access drive as a No Parking - Fire Lane.
- No additional comments from the Police Chief.

PUBLIC COMMENTS

The Department did not receive any written public comments regarding the site design review permit prior to publication of the meeting packet.

FINANCIAL/BUDGET IMPACT:

The developers will be responsible for the costs of developing the property. At the Parks & Recreation Committee meeting on August 6, 2024, the Committee voted to recommend to the Village Board that MCGN Properties provide a full parkland fee in lieu of dedication in the estimated amount of \$36,041.72. The following includes an estimate of applicable impact fees including credit for the existing single family unit to be razed. These fees do not include standard building permit fees and are subject to change based on the approved fees at the time of building permit submittal.

- Park Land Impact Fee: $\$3,276.52 \times 11 = \$36,041.72$
- Park Improvement Fee: $\$2,124.95 \times 11 = \$23,374.45$
- Water Well Fee (assuming 1 ½ meter) = \$5,585.00
- Water Tower Fee (assuming 1 ½ meter) = \$1,865.00
- Library Impact Fee: $\$431 \times 11 = \$4,741.00$
- Public Safety Center Fee: $\$1,673 \times 11 = \$18,403.00$
- Total Estimated Impact Fees (not including other building permit fees) = \$90,010.17

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

Sec. 62-70 Bulk Standards-Residential Districts
Sec. 62-172 Required Off-Street Parking Facilities
Sec. 62-310 Site Design Review
Appendix B Landscaping Standards



BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion, second, to approve the Site Design Review permit requested by MCGN Properties, LLC for a proposed development of two multifamily residential buildings totaling 12-units located at 4719 Burma Road, with the following conditions of approval:

- 1. Revise the site design plans to address the comments in the Village Engineer's staff report dated October 7, 2024.*
- 2. Installation of watch for pedestrian crossing signs on both sides of Burma Road near the proposed curb ramp. Final location to be coordinated with the Public Works Department.*
- 3. The proposed access road will need to be marked or signed as No Parking.*
- 4. Installation of one exterior light pole facing north along the southern edge of the parking lot area. The light pole shall not exceed 15 feet in height and shall include a full cut-off light fixture. Building mounted light fixture shall be downcast full-cut off. Applicant to provide staff with a cut sheet for proposed exterior light fixtures and a photometric lighting plan per the Site Design Review Checklist for review and approval by staff prior to obtaining a building permit.*
- 5. The proposed fence along the west side of the development shall be a solid fence made of wood or plastic material measuring six feet in height.*
- 6. The proposed dumpster shall be placed in an enclosure meeting the requirements of Section (i) of Appendix B, Landscaping Standards, of the Municipal Code, excepting the need for the gate side to be oriented toward the interior of the site.*

Applicant to provide the Community & Economic Development Director updated site design sheets meeting the conditions of approval prior to obtaining building permits.

ATTACHMENTS:

None