

Tuesday, January 2, 2024

6:30 PM

McFarland Municipal Center
5915 Milwaukee St, McFarland
Community Room

AGENDA

The public may attend in-person or remotely through the Zoom webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/81165360391>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 811 6536 0391

Press *9 to raise/lower hand. Press *6 to mute/unmute.

1. CALL TO ORDER, ROLL CALL.

2. PUBLIC APPEARANCES.

- a. This is an opportunity for members of the public to address the Parks and Recreation Committee for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Committee about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Committee should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Committee for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to public.works@mcfarland.wi.us to be included as part of the meeting.

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the Parks & Recreation Committee meeting held on December 5, 2023.

4. BUSINESS.

- a. Discussion and action to make a recommendation to the Village Board regarding the Inclusive Park equipment.
- b. Discussion and action to make a recommendation to the Village Board regarding the Highland Oaks Park restroom project and authorize the project for bid.
- c. Discussion regarding updates to Chapter 2 - Parks and Recreation Facility Policy

5. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, February 6, 2024 at 6:30 p.m.

6. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or village.clerk@mcfarland.wi.us by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

VILLAGE OF MCFARLAND
Parks and Recreation Committee Minutes

Tuesday, December 5, 2023 - 6:30 PM

1. CALL TO ORDER, ROLL CALL.

Trustee Jerke called the regular meeting of the Parks and Recreation Committee to order at 6:30 PM in the Community Room of the Municipal Center. This meeting was also held via Zoom webinar.

Members present: TJ Jerke, Luke Fessler, Sarah Kuba, Tanya Lancaster, Lori Wisnicky, Jessica Tokar

Members not present: Justin Rupert

Staff Present: Parks Superintendent Sayer Larson, Director of Public Works Lee Igl, Assistant to the Public Works Director Aimee Irwin, and Parkitecture staff Blake Theisen.

2. PUBLIC APPEARANCES.

- a. *This is an opportunity for members of the public to address the Parks and Recreation Committee for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Committee about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Committee should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Committee for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to public.works@mcfarland.wi.us to be included as part of the meeting.*

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

None.

3. APPROVAL OF MINUTES.

- a. *Motion to approve the minutes of the Parks & Recreation committee meeting held on November 7, 2023.*
Motion by Trustee Jerke, seconded by Kuba, to approve the minutes of the Parks & Recreation committee meeting held on November 7, 2023. Motion carries 5 - 0 - 1, with Lancaster abstaining.

4. BUSINESS.

- a. *Acknowledgment of volunteer service for McFarland parks.*
Larson provided an overview of volunteer service provided throughout the year and extended a thank you to those who volunteered.
- b. *Discussion and action regarding an Eagle Scout project for Orchard Hill Disc Golf Course.*

Drew Tokheim, a Boy Scout, presented his Eagle Scout project to the committee for their review and approval.

Motion by Trustee Jerke, seconded by Trustee Fessler, to approve an Eagle Scout project as presented for Orchard Hill Disc Golf Course. Motion carries 6 - 0 - 0.

c. Discussion regarding the Inclusive Park equipment and design

Theisen presented the updated site plan and early renderings for equipment at Inclusive Park. Theisen explained that approval of the equipment layout would occur at either January or February's committee meeting. No action was required on this item.

d. Discussion regarding aquatics

Theisen presented a summary of the Public Information Meeting (PIM) as well as reviewing the survey results for aquatics.

Amanda Wegner, 6120 Creamery Ct, and President of McFarland Sharks provided comment from the Sharks regarding the number of lanes for a possible pool, and she explained that the Sharks currently rent at Goodman pool. Wegner stated she could be contacted with any additional comments regarding possible aquatics amenities.

5. SCHEDULE NEXT MEETING DATE.

a. Tuesday, January 2, 2024 at 6:30 p.m.

6. ADJOURNMENT.

Motion by Trustee Fessler, seconded by Kuba, to adjourn at 8:12 p.m.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin board in accordance with Open Meetings Law.

Respectfully submitted,

Aimee Irwin

Assistant to the Public Works Director

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, January 2, 2024

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Sayer Larson, Parks Superintendent, Lee Igl, Public Works Director,
Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding the Inclusive Park equipment.

PREVIOUS ACTION:

The Parks and Recreation Committee recommended approval of the concept to develop the park at the school, offered approval for Phase 1 of the improvement, and entered into planning/design agreement for Phase 2 at its meeting on June 6, 2023.

At its August 1, 2023, meeting, the Committee was updated on next steps for the project as the planning process was beginning.

The Committee began the planning process at its September 5, 2023, meeting.

The site plan was discussed and approved by the committee at their meeting on November 7, 2023.

ISSUE SUMMARY:

The inclusive park at Waubesa Intermediate School, phase 1(a) and 1(b), has begun. The Village and School District are sharing in the costs to bring the facility forward, helping to mitigate the cost impact for any one party. The design, bidding, and installation of the inclusive playground is phase 2. The site plan was presented to the committee and approved on November 7, 2023.

Parkitecture presented the draft equipment and design to the committee at the December 5, 2023, meeting. Parkitecture will review the final equipment selected and staff are seeking recommendation from the committee for authorization to purchase.

FINANCIAL/BUDGET IMPACT:

The total cost estimate for the project as is included in the accepted Capital Improvement Plan and proposed 2024 Budget is \$2.1 million, being shared by the Village and School District through various sources. The equipment cost for the village as enclosed on the quote is \$665,400.00. The equipment cost for the school district equipment is \$218,285.00.

VILLAGE PLAN REFERENCE:

[Inclusive Playground Master Plan - December 14, 2020](#)

ORDINANCE REFERENCE:



None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion, second to recommend approval to the Village Board regarding the Inclusive Park equipment and authorize for purchase as presented.

ATTACHMENTS:

1. 23_1226 McFarland Inclusive Playground Renderings
2. 23_1226 Waubesa Inclusive Playground Quote and Component Lists
3. 23_1226 Waubesa Intermediate School Playground Renderings
4. 23_1226 Waubesa Intermediate School Playground Quote and Inclusions



McFarland Inclusive Playground

1180309-02-03-04 • 12.19.2023





McFarland Inclusive Playground

1180309-02-03-05 • 12.19.2023





McFarland Inclusive Playground

1180309-02-03-03 • 12.19.2023

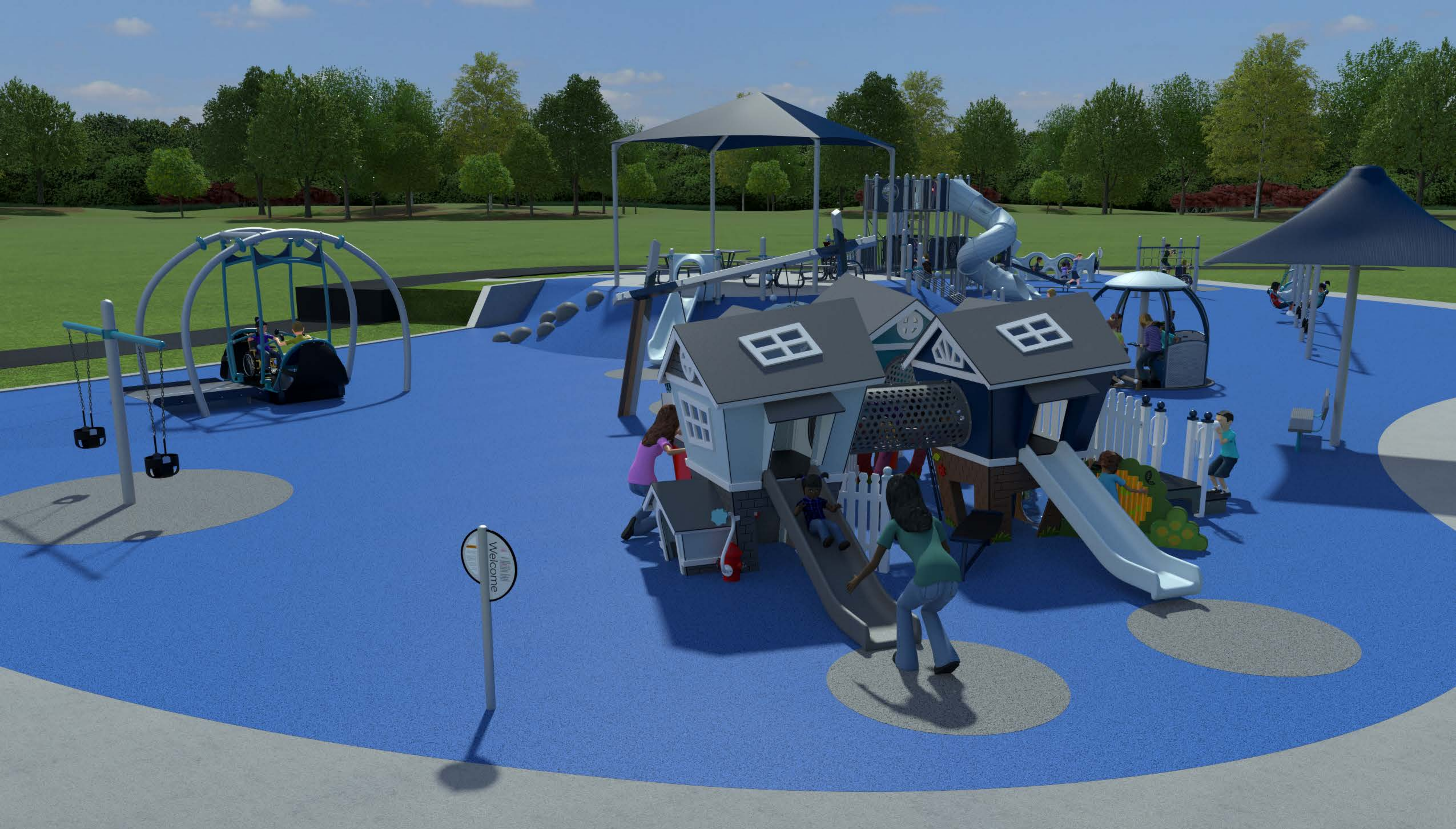




McFarland Inclusive Playground

1180309-02-03-06 • 12.19.2023







1180309-02-03-02 • 12.19.2023





McFarland Inclusive Playground

1180309-02-03-01 • 12.19.2023





The play components identified on this plan are IPEMA certified. (Unless model number is preceded with *) The use and layout of these components conform to the requirements of ASTM F1487. To verify product certification, visit www.ipema.org.
SKYWAYS SHADES NOT IPEMA CERTIFIED
PLEASE SEE QUOTATION FOR SPECIAL SKYWAYS NOTES

THIS PLAY AREA & PLAY EQUIPMENT IS DESIGNED FOR AGES 2-12 YEARS UNLESS OTHERWISE NOTED ON PLAN.

IT IS THE MANUFACTURER'S OPINION THAT THIS PLAY AREA DOES CONFORM TO THE A.D.A. ACCESSIBILITY STANDARDS, ASSUMING AN ACCESSIBLE PROTECTIVE SURFACING IS PROVIDED, AS INDICATED, OR WITHIN THE ENTIRE USE ZONE.

THIS CONCEPTUAL PLAN WAS BASED ON INFORMATION AVAILABLE TO US. PRIOR TO CONSTRUCTION, DETAILED SITE INFORMATION INCLUDING SITE DIMENSIONS, TOPOGRAPHY, EXISTING UTILITIES, SOIL CONDITIONS, AND DRAINAGE SOLUTIONS SHOULD BE OBTAINED, EVALUATED, & UTILIZED IN THE FINAL DESIGN. PLEASE VERIFY ALL DIMENSIONS OF PLAY AREA, SIZE, ORIENTATION, AND LOCATION OF ALL EXISTING UTILITIES, EQUIPMENT, AND SITE FURNISHINGS PRIOR TO ORDERING. SLIDES SHOULD NOT FACE THE HOT AFTERNOON SUN.

CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE TO MEET THE MAXIMUM FALL HEIGHT FOR THE EQUIPMENT (REF. ASTM F1487 STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATION FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE, SECTION 8 CURRENT REVISION). THE SUBSURFACE MUST BE WELL DRAINED. IF THE SOIL DOES NOT DRAIN NATURALLY IT MUST BE TILED OR SLOPED 1/8" TO 1/4" PER FOOT TO A STORM SEWER OR A "FRENCH DRAIN".

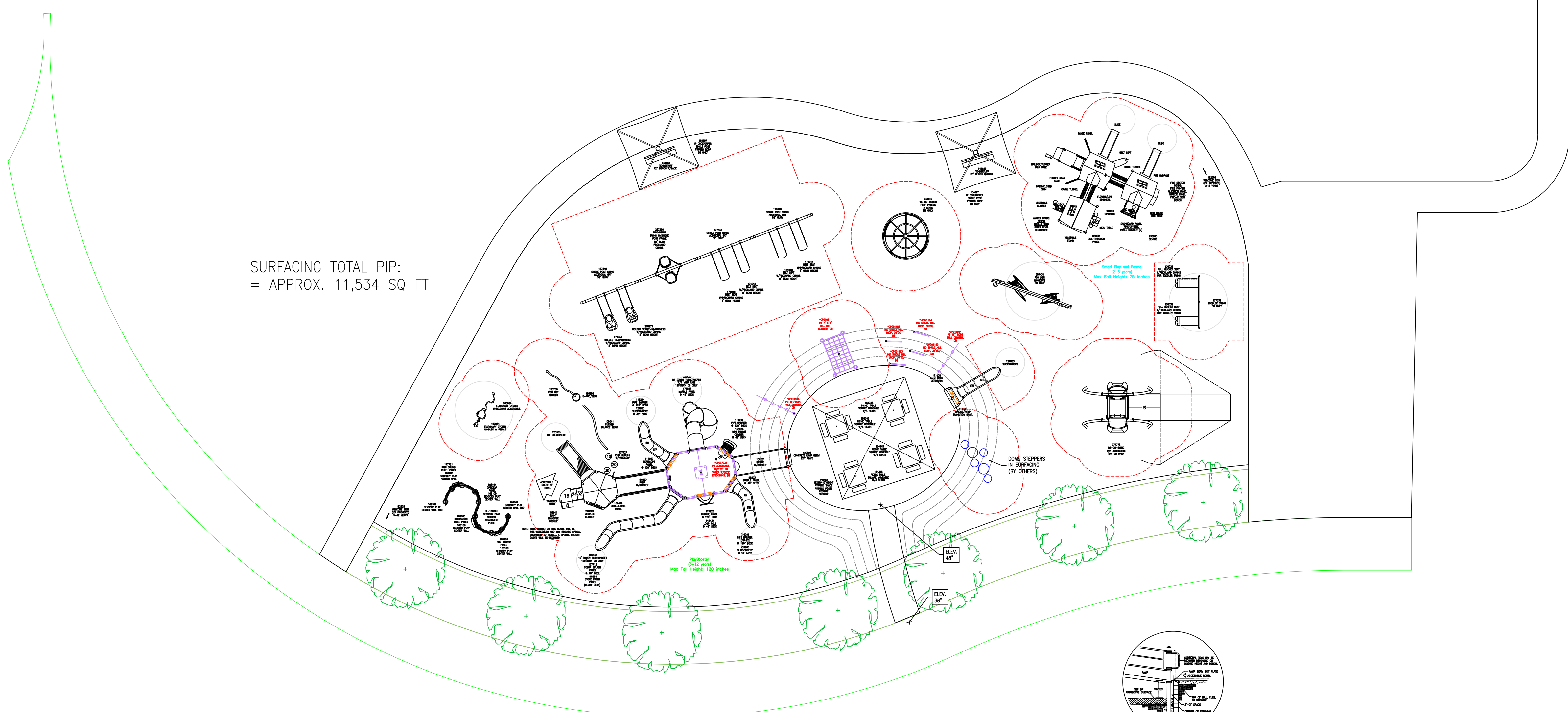
IT IS THE MANUFACTURER'S OPINION AND INTENT THAT THE LAYOUT OF THESE COMPONENTS CONFORM WITH THE U.S. CONSUMER PRODUCT SAFETY COMMISSION'S (CPSC) "HANDBOOK FOR PUBLIC PLAYGROUND SAFETY".

DESIGNED BY:

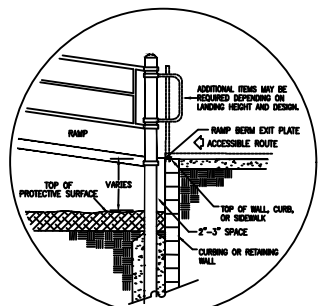
CBA

COPYRIGHT: 12/19/23
LANDSCAPE STRUCTURES, INC.
601 7th STREET SOUTH - P.O. BOX 198
DELAND, MINNESOTA 55328
PH: 1-800-328-0035 FAX: 1-763-972-6091

12/5/23	1180309-02-02	CBA
11/20/23	1180309-02-01	MGA
Date	Previous Drawing #	Initials



SURFACING TOTAL PIP:
= APPROX. 11,534 SQ FT



SUGGESTED ELEVATED RAMP BERM EXIT PLATE
24" PLUS DECK TO SPACE FOR INSTALLATION
REFER TO RAMP BERM EXIT PLATE INSTALLATION SHEET
SEE PLAN FOR ELEVATION OF PLATE

5-12 YEARS

TOTAL ELEVATED PLAY COMPONENTS	15		
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	9	REQUIRED	8
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	9	REQUIRED	0
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	23	REQUIRED	0
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	14	REQUIRED	14

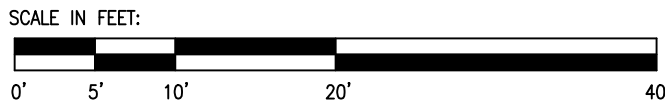
2-5 YEARS

TOTAL ELEVATED PLAY COMPONENTS	18		
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	13	REQUIRED	9
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	18	REQUIRED	6
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	11	REQUIRED	11

SURFACING:
TOTAL PIP = 10,778 SQ FT
10' = 1,632 SQ FT
8' = 2,004 SQ FT
7' = 367 SQ FT
6' = 272 SQ FT
4' = 6,503 SQ FT

BLUE = 10,298 SQ FT
GRAY = 480 SQ FT

NOTE: SOME ITEM(S) ON THIS QUOTE WILL BE PRE-ASSEMBLED AND MAY REQUIRE SPECIAL EQUIPMENT TO INSTALL. A SPECIAL FREIGHT QUOTE WILL BE REQUIRED



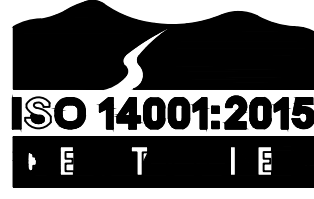
McFarland Inclusive Playground

McFarland, WI

Gerber Leisure
Products, Inc.
Kyla Reamon

SYSTEM TYPE:
PlayBooster & Forma

DRAWING #:
1180309-02-03





Gerber Leisure Products, INC.

PO Box 42
Mount Horeb, WI 53572
Phone: 800-236-7758

Prepared by: Kyla Reamon/ kyla@gerberleisure.com

QUOTE

DATE:	12/19/2023
QUOTE Name:	Inclusive Playground
Valid Until:	30 days

Customer

Village of McFarland
Attn: Inclusive Playspace
5915 Milwaukee Street
McFarland, WI - 53558, USA

DESCRIPTION	QTY	PRICE	AMOUNT
New Landscape Structures play equipment, per attached 2D, 3Ds & Component List	1	370905	370,905.00
Discount on equipment, per Kyla	1	-25905	-25,905.00
Freight to installer	3	1400	4,200.00
Professional installation of above listed equipment	1	106575	106,575.00
Poured-in-Place Rubber Surfacing, delivered & installed (<i>includes aggregate base</i>)	1	209625	209,625.00
			0.00
To be completed by a General Contractor or Owner			
*Can be completed by Gerber Leisure Products for an additional fee			
Excavation, site prep/leveling			
Concrete Pad and sidewalk			
Site restoration and reseeding			
Concrete border or sidewalks surrounding playspace			
Marking or private lines and building permits			
Final Color Selection			0.00
<i>The equipment that I have proposed would comply with the current ADA guidelines in and of itself assuming that accessible resilient surfacing is supplied underneath the equipment including under and around the auxiliary ground level equipment, and an access pathway to the area is provided</i>			

TERMS AND CONDITIONS

1. Full payment of materials is due to place the order

- Customer will be billed for applicable installation services and surfacing materials at start of work
- Additional agreed upon services will be billed upon completion of the project
- Final payment will be due within 30 days of invoice date
- Please mail or email signed price quote to the address above

Customer Acceptance (sign below):

x _____

Print Name:

Subtotal	\$665,400.00
Taxable	\$0.00
Tax rate	0.000%
Tax due	\$0.00
Other	\$0.00
TOTAL Due	\$665,400.00

If you have any questions about this price quote, please contact: Kyla Reamon at 608-437-7037 / kyla@gerberleisure.com

Thank You For Your Business!

Gerber Leisure Products, INC.

PO Box 42
Mount Horeb, WI 53572
Phone: 800-236-7758

Prepared by: Kyla Reamon / kyla@gerberleisure.com

QUOTE

DATE:	12/19/2023
QUOTE Name:	Inclusive Playground
Valid Until:	30 days

Customer
Village of McFarland Attn: Inclusive Playspace 5915 Milwaukee Street McFarland, WI - 53558, USA

DESCRIPTION	Includes	Does NOT Include
New Landscape Structures play equipment, per attached 2D, 3Ds & Component List	all equipment listed and shown on corresponding documents	discounts, shipping, installation, surfacing
Discount on equipment, per Kyla	discount from manufacturer LIST pricing of equipment	discounts of any other kind, unless included in this quote
Freight to installer	safe delivery of the listed equipment to a previously agreed upon location, or our installers warehouse for storage	unloading of freight if not shipped to our warehouse
Professional installation of above listed equipment	digging footing holes, assembly of equipment, concrete for footings, project management, calling diggers, coordination of materials	excavation, site prep/leveling, surfacing, installation of surfacing, private lines marking or responsibility
Poured-in-Place Rubber Surfacing, delivered & installed	fall protecting rubber, 50/50 color/black top coat, 7-year warranty, aggregate sub-base, delivery & installation	site security, on-site drop test
Concrete border and flatwork	BY GENERAL CONTRACTOR	
Excavation, site prep/leveling	BY GENERAL CONTRACTOR	
<i>The equipment that I have proposed would comply with the current ADA guidelines in and of itself assuming that accessible resilient surfacing is supplied underneath the equipment including under and around the auxiliary ground level equipment, and an access pathway to the area is provided</i>		

TERMS AND CONDITIONS

1. Full payment on materials is due to place the order.

2. Customer will be billed for applicable installation services at start of work

3. Additional services (surfacing) will be billed upon completion of the project

4. Payment will be due within 30 days of invoice date

5. Please mail or email signed price quote to the address above

Customer Acceptance (sign below):

x _____

Print Name:

If you have any questions about this price quote, please contact: Kyla Reamon at 608-437-7037 /kyla@gerberleisure.com

Thank You For Your Business!

PlayBooster (5-12 years)

*** Palette Overridden ***

Direct Bury Aluminum

CG: Metallic Silver/Lagoon/Seafoam/Slate

ProShield® Finish

Posts/Arches:		Metallic Silver
Clamps/Ball Connectors:		Lagoon *
Play Components:		Denim *

Polyethylene

Slide Hoods/O-Zone®:		Seafoam
Slides/Tunnels/Gliders/E-Pods®:		Seafoam

Permalene®

Primary Permalene:		Recycled Denim w/Black *
Secondary Permalene:		Recycled Seafoam w/Black

TenderTuff

Barriers/Ladders/Benches:		Gray
Wheels/Rings/Rollers:		Gray
Decks/Step Ladders:		Gray

Cables

Cables:		Black
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Swings

Posts:		Metallic Silver
Beams:		Lagoon
Clamps:		Denim *
Molded Bucket Seats:		Seafoam
Seat Harness:		Lagoon

Vibe®/SteelX®

Secondary Panels:		Lagoon
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Shade

Upper Sails:		Denim FR *
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QTY	NO.	DESCRIPTION
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Freestanding Play

Custom

4	CP001153	Single hill loop, 36"OC DB
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Play Components:  Denim=314

Motion & More Fun

1	248819A	We-Go-Round™ w/Perf Panels And 2 Seats We-Go-Round™ w/Perf Panels And w/2 Seats
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Posts/Arches:		Metallic Silver=349
Play Components:		Denim=314
Slides/Tunnels/Gliders/E-Pods®:		Seafoam=536
Primary Permalene:		Recycled Denim w/Black=814

Sensory Play

QTY	NO.	DESCRIPTION
4	168100A	Sensory Play Center Wall DB Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
2	168101A	Sensory Play Center Wall End DB Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
5	168661A	Sensory Play Station Plate Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
1	168103A	Fun Mirror Panel Primary Permalene:  Recycled Denim w/Black=814
1	168105A	Imagination Table Primary Permalene:  Recycled Denim w/Black=814
1	168104A	Optigear Panel Primary Permalene:  Recycled Denim w/Black=814
1	177721A	Rain Sound Wheel Panel Primary Permalene:  Recycled Denim w/Black=814
Shade		
1	159881C	¹18x18 Shade Pyramid 12'Roof Height 60"Bury Posts/Arches:  Metallic Silver=349 Upper Sails:  Denim FR=509
1	154397A	¹CoolToppers Single Post DB Only Posts/Arches:  Metallic Silver=349 Upper Sails:  Denim FR=509
Signs		
1	182503C	Welcome Sign (LSI Provided) Ages 5-12 years Direct Bury Posts/Arches:  Metallic Silver=349
Site Furnishings		
1	141683A	72" TenderTuff Bench w/Back No Armrests DB Play Components:  Denim=314 Barriers/Ladders/Benches:  Gray=166
2	154345B	Picnic Table Square 3 Seats Play Components:  Denim=314 Barriers/Ladders/Benches:  Gray=166
2	154345A	Picnic Table Square 4 Seats Play Components:  Denim=314 Barriers/Ladders/Benches:  Gray=166
Sports & Fitness		

QTY	NO.	DESCRIPTION
1	100041A	Curved Balance Beam DB
		Play Components:  Denim=314
		Wheels/Rings/Rollers:  Gray=166
Swings		
1	237296A	Friendship Swing w/Single Post Frame 52" Bury ProGuard Chain 0
		Friendship Swing w/Single Post Frame 52" Bury ProGuard Chains
		Posts:  Metallic Silver=349
		Beams:  Lagoon=421
		Clamps:  Denim=314
3	177345A	Single Post Swing Frame 52" Bury Additional Bay 8' Beam Heig
		Single Post Swing Frame 52" Bury Additional Bay 8' Beam Height
		Only
		Posts:  Metallic Silver=349
		Beams:  Lagoon=421
		Clamps:  Denim=314
1	218671C	Molded Bucket Seat 2-5 w/Harness ProGuard Chains 8' Beam Ht
		Molded Bucket Seat 2-5 w/Harness ProGuard Chains 8' Beam
		Height
		Molded Bucket Seats:  Seafoam=536
		Seat Harness:  Lagoon=421
1	177351A	Molded Bucket Seat w/Harness ProGuard Chains for 8' Bm Hgt
		Molded Bucket Seat w/Harness ProGuard Chains for 8' Beam
		Height
		Molded Bucket Seats:  Seafoam=536
		Seat Harness:  Lagoon=421
4	174018A	Belt Seat ProGuard Chains for 8' Beam Height
PlayBooster®		
Bridges & Ramps		
1	156231A	Bridge w/Barriers
		Clamps/Ball Connectors:  Lagoon=421
		Play Components:  Denim=314
		Decks/Step Ladders:  Gray=166
1	120325A	Ramp Berm Exit Plate Concrete Wall
		Clamps/Ball Connectors:  Lagoon=421
		Decks/Step Ladders:  Gray=166

QTY	NO.	DESCRIPTION
1	171539A	Ramp Deck Extension DB 12"Dk
		Posts/Arches:  Metallic Silver=349
		Clamps/Ball Connectors:  Lagoon=421
		Primary Permalene:  Recycled Denim w/Black=814
		Decks/Step Ladders:  Gray=166
1	156233A	Ramp w/Barriers
		Clamps/Ball Connectors:  Lagoon=421
		Play Components:  Denim=314
		Decks/Step Ladders:  Gray=166
Climbers Other		
1	235756A	Fish Net Climber DB (Rope)
		Clamps/Ball Connectors:  Lagoon=421
		Play Components:  Denim=314
		Cables:  Black=005
1	219509A	GeoPlex™ Climber 40" Deck
		Posts/Arches:  Metallic Silver=349
		Clamps/Ball Connectors:  Lagoon=421
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
		Primary Permalene:  Recycled Denim w/Black=814
Climbers W/Permalene Handholds		
1	157427B	Pod Climber w/Handloop 40"Dk DB Right Handhold
		Clamps/Ball Connectors:  Lagoon=421
		Play Components:  Denim=314
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
		Primary Permalene:  Recycled Denim w/Black=814
		Barriers/Ladders/Benches:  Gray=166
1	148434A	Loop Pole Perm Handholds 48"Dk DB
		Clamps/Ball Connectors:  Lagoon=421
		Play Components:  Denim=314
		Primary Permalene:  Recycled Denim w/Black=814
1	153076A	Mini Summit Climber 48"Dk DB
		Posts/Arches:  Metallic Silver=349
		Clamps/Ball Connectors:  Lagoon=421
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
		Primary Permalene:  Recycled Denim w/Black=814
Custom		

QTY	NO.	DESCRIPTION
1	CP010511	7' x 4' Hill Net climber Using thru-clamps for 4ft elevation. Includes clamps, hardware, and 4-7 ga steel ground level posts. DB Posts/Arches: ☐ Metallic Silver=349 Clamps/Ball Connectors: ☒ Lagoon=421 Cables: ☒ Black=005
1	CP037038	Accessible 48/120" PO Tower w/Deck Extensions PO Tower decks to be extended on both ends to allow a 60" turn radius. Includes 8 24" wide perm infills. Standard product to be quoted at other deck locations. Center climbing access to 120" dk. DB NOTE – Item Ships Preassembled; LSI must coordinate freight Posts/Arches: ☐ Metallic Silver=349 Clamps/Ball Connectors: ☒ Lagoon=421 Primary Permalene: ☒ Recycled Denim w/Black=814 Decks/Step Ladders: ☒ Gray=166
2	CP011944	4ft Rope Pull Climber 4ft elevation change. Approximately 9' long in plan. Includes clamps, 4 roto knots, and two posts. DB Posts/Arches: ☐ Metallic Silver=349 Clamps/Ball Connectors: ☒ Lagoon=421 Slides/Tunnels/Gliders/E-Pods®: ☐ Seafoam=536
Decks		
1	152911B	Curved Transfer Module Right 40"Dk DB Posts/Arches: ☐ Metallic Silver=349 Clamps/Ball Connectors: ☒ Lagoon=421 Primary Permalene: ☒ Recycled Denim w/Black=814 Barriers/Ladders/Benches: ☒ Gray=166 Decks/Step Ladders: ☒ Gray=166
1	178710A	Hexagon Tenderdeck Clamps/Ball Connectors: ☒ Lagoon=421 Decks/Step Ladders: ☒ Gray=166
Enclosures		
2	116244A	Pipe Barrier Above Deck Clamps/Ball Connectors: ☒ Lagoon=421 Barriers/Ladders/Benches: ☒ Gray=166
1	116244B	Pipe Barrier w/Wheel Above Deck Clamps/Ball Connectors: ☒ Lagoon=421 Barriers/Ladders/Benches: ☒ Gray=166 Wheels/Rings/Rollers: ☒ Gray=166

QTY	NO.	DESCRIPTION
1	117957A	Periscope Panel Above Deck Clamps/Ball Connectors:  Lagoon=421 Primary Permalene:  Recycled Denim w/Black=814 Secondary Panels:  Lagoon=421
2	115223A	Bubble Panel Above Deck Clamps/Ball Connectors:  Lagoon=421 Primary Permalene:  Recycled Denim w/Black=814
1	173567A	Marble Panel Above Deck Clamps/Ball Connectors:  Lagoon=421 Primary Permalene:  Recycled Denim w/Black=814
1	115254A	Storefront Panel Clamps/Ball Connectors:  Lagoon=421 Primary Permalene:  Recycled Denim w/Black=814
1	177712A	Color Splash Panel Above Deck Clamps/Ball Connectors:  Lagoon=421 Primary Permalene:  Recycled Denim w/Black=814 Secondary Permalene:  Recycled Seafoam w/Black=836
1	159459A	Ring-a-Bell Panel Above Deck Clamps/Ball Connectors:  Lagoon=421 Play Components:  Denim=314 Primary Permalene:  Recycled Denim w/Black=814 Secondary Permalene:  Recycled Seafoam w/Black=836
Mainstructures		
1	185346A	10' Tower SlideWinder2® Posts/Arches:  Metallic Silver=349 Clamps/Ball Connectors:  Lagoon=421 Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
1	185338B	10' Tower TurboTwister w/1 View Posts/Arches:  Metallic Silver=349 Clamps/Ball Connectors:  Lagoon=421 Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
Motion & More Fun		
1	160054D	Stationary Cyclor Accessible Handles Only Clamps/Ball Connectors:  Lagoon=421 Play Components:  Denim=314
1	160054C	Stationary Cyclor Pedals & Handles Clamps/Ball Connectors:  Lagoon=421 Play Components:  Denim=314

QTY	NO.	DESCRIPTION
1	166809A	E-Pod Seat
		Clamps/Ball Connectors:  Lagoon=421
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
Posts		
2	111404F	108"Alum Post DB
		Posts/Arches:  Metallic Silver=349
8	111404E	116"Alum Post DB
		Posts/Arches:  Metallic Silver=349
2	111404D	124"Alum Post DB
		Posts/Arches:  Metallic Silver=349
1	111404J	76"Alum Post DB
		Posts/Arches:  Metallic Silver=349
2	111404H	92"Alum Post DB
		Posts/Arches:  Metallic Silver=349
Slides		
1	123333A	Rollerslide 40"Dk DB
		Posts/Arches:  Metallic Silver=349
		Clamps/Ball Connectors:  Lagoon=421
		Play Components:  Denim=314
		Slide Hoods/O-Zone®:  Seafoam=536
		Wheels/Rings/Rollers:  Gray=166
		Decks/Step Ladders:  Gray=166
2	124863C	SlideWinder2® 48"Dk DB 1 Straight 1 Right
		Posts/Arches:  Metallic Silver=349
		Clamps/Ball Connectors:  Lagoon=421
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
1	124863C	SlideWinder2® 48"Dk DB 2 Straight
		Posts/Arches:  Metallic Silver=349
		Clamps/Ball Connectors:  Lagoon=421
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
Smart Play and Forma (2-5 years)		
Direct Bury Aluminum		* Palette Overridden *
		CG: Metallic Silver/Lagoon/Seafoam/Slate
ProShield® Finish		
		Posts/Arches:  Metallic Silver
		Clamps/Ball Connectors:  Denim *
		Play Components:  Lagoon
Polyethylene		
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam
		Secondary Slides/Tunnels/Gliders/E-Pods®:  Gray

Smart Play and Forma (2-5 years)

* Palette Overridden *

Direct Bury Aluminum

CG: Metallic Silver/Lagoon/Seafoam/Slate

Permalene®

Primary Permalene:  **Recycled Denim w/Black ***
 Secondary Permalene:  **Recycled Seafoam w/Black**
 Tertiary Permalene:  **Recycled Lagoon w/Black**

TenderTuff

Barriers/Ladders/Benches:  **Gray**
 Decks/Step Ladders:  **Gray**

Cables

Cables:  **Black**

Swings

Posts:  **Metallic Silver**
 Beams:  **Lagoon**

Vibe®/SteelX®

Primary Panels:  **Seafoam**
 Secondary Panels:  **Lagoon**

Shade

Upper Sails:  **Denim FR ***

QTY	NO.	DESCRIPTION
-----	-----	-------------

Forma™

Sensory Play

1	307431A	Fox Den™ Hangouts DB Only Fox Den™ Hangouts, Direct Bury Only
---	---------	--

Posts/Arches:  Metallic Silver=349
 Clamps/Ball Connectors:  Denim=314
 Cables:  Black=005
 Primary Panels:  Seafoam=536
 Secondary Panels:  Lagoon=421

Freestanding Play

Shade

1	154397A	¹CoolToppers Single Post DB Only
---	---------	--

Posts/Arches:  Metallic Silver=349
 Upper Sails:  Denim FR=509

Signs

1	182503A	Welcome Sign (LSI Provided) Ages 2-5 years Direct Bury
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Posts/Arches:  Metallic Silver=349

Site Furnishings

1	141683A	72" TenderTuff Bench w/Back No Armrests DB
---	---------	---

Play Components:  Lagoon=421
 Barriers/Ladders/Benches:  Gray=166

QTY	NO.	DESCRIPTION
Swings		
1	177336A	Toddler Swing Frame
		Posts:  Metallic Silver=349
		Beams:  Lagoon=421
1	277778A	¹We-Go-Swing® for One Wheelchair/One Seat
		Primary Permalene:  Recycled Denim w/Black=814
		Decks/Step Ladders:  Gray=166
		Posts:  Metallic Silver=349
		Beams:  Lagoon=421
2	176038G	Full Bucket Seat ProGuard Chains for Toddler Swing
Smart Play®		
Ages 2-5 Yrs		
1	233083A	Centre Direct Bury
		Slides/Tunnels/Gliders/E-Pods®:  Seafoam=536
		Secondary Slides/Tunnels/Gliders/E-Pods®:  Gray=468
		Primary Permalene:  Recycled Denim w/Black=814
		Secondary Permalene:  Recycled Seafoam w/Black=836
		Tertiary Permalene:  Recycled Lagoon w/Black=821

McFarland Inclusive Playground

Date:12/19/2023

Rep Organization: Gerber Leisure
Products, Inc.

Quote No: 1180309-02-03

By:canderson

Contact Person: Kyla Reamon

Project Title: McFarland Inclusive Playground

Location: McFarland WI

PlayBooster (5-12 years)						
PHASE-1 Direct Bury Aluminum			UNIT		TOTAL	
QTY	NO.	DESCRIPTION	WEIGHT (lb)	PRICE (US \$)	WEIGHT (lb)	PRICE (2024)
PlayBooster®						
Bridges & Ramps						
1	156231A	Bridge w/Barriers			526.0	5,600.00
1	120325A	Ramp Berm Exit Plate Concrete Wall			30.0	525.00
1	171539A	Ramp Deck Extension DB 12"Dk			54.0	930.00
1	156233A	Ramp w/Barriers			554.0	6,705.00
Climbers Other						
1	235756A	Fish Net DB			65.0	3,350.00
1	219509A	GeoPlex Climber 40"Dk			64.0	1,225.00
Climbers W/Permalene Handholds						
1	148434A	Loop Pole Perm Handholds 48"Dk DB			57.0	1,435.00
1	153076A	Mini Summit Climber 48"Dk DB			88.0	1,570.00
1	157427B	Pod Climber w/Handloop 40"Dk DB Right Handhold			69.0	1,850.00
Custom						
2	CP011944	4FT ROPE PULL CLIMBER DB 4ft elevation change. Approximately 9' long in plan. Includes clamps, 4 roto knots, and two posts.	192.0	2,530.00	384.0	5,060.00
1	CP010511	7' X 4' HILL NET CLIMBER DB Using thru- clamps for 4ft elevation. Includes clamps, hardware, and 4-7 ga steel ground level posts.			370.0	7,095.00
1	CP037038	ACCESSIBLE 48/120" PO TOWER W/DECK EXTENSIONS DB PO Tower decks to be extended on both ends to allow a 60" turn radius. Includes 8 24" wide perm infills. Standard product to be quoted at other deck locations. Center climbing access to 120" dk. NOTE – Item Ships Preassembled; LSI must coordinate freight			3620.0	46,825.00
Decks						
1	152911B	Curved Transfer Module			240.0	3,535.00

McFarland Inclusive Playground

Date:12/19/2023

Rep Organization: Gerber Leisure
Products, Inc.

Quote No: 1180309-02-03

By:canderson

Contact Person: Kyla Reamon

Project Title: McFarland Inclusive Playground

Location: McFarland WI

PlayBooster (5-12 years)						
PHASE-1 Direct Bury Aluminum			UNIT		TOTAL	
QTY	NO.	DESCRIPTION	WEIGHT (lb)	PRICE (US \$)	WEIGHT (lb)	PRICE (2024)
1	178710A	Right 40"Dk DB Hexagon Tenderdeck			285.0	3,755.00
Enclosures						
2	115223A	Bubble Panel Above Deck	38.0	1,085.00	76.0	2,170.00
1	177712A	Color Splash Panel Above Deck			83.0	3,780.00
1	173567A	Marble Panel Above Deck			64.0	3,000.00
1	117957A	Periscope Panel Above Deck			63.0	2,080.00
2	116244A	Pipe Barrier Above Deck	51.0	800.00	102.0	1,600.00
1	116244B	Pipe Barrier w/Wheel Above Deck			57.0	1,050.00
1	159459A	Ring-A-Bell Panel Above Deck			54.0	1,850.00
1	115254A	Storefront Panel			24.0	800.00
Mainstructures						
1	185346A	10' Tower SlideWinder2			323.0	7,105.00
1	185338B	10' Tower TurboTwister w/1 View			422.0	9,000.00
Motion & More Fun						
1	166809A	E-Pod Seat			11.0	395.00
1	160054D	Stationary Cyclor Accessible Handles Only			17.0	1,105.00
1	160054C	Stationary Cyclor Pedals & Handles			34.0	2,050.00
Posts						
2	111404F	108"Alum Post DB	28.0	380.00	56.0	760.00
8	111404E	116"Alum Post DB	29.0	395.00	232.0	3,160.00
2	111404D	124"Alum Post DB	30.0	455.00	60.0	910.00
1	111404J	76"Alum Post DB			19.0	330.00
2	111404H	92"Alum Post DB	23.0	355.00	46.0	710.00
Slides						
1	123333A	Rollerslide 40"Dk DB			364.0	9,655.00
2	124863C	SlideWinder2 48"Dk DB 1 Straight 1 Right	178.0	3,335.00	356.0	6,670.00
1	124863C	SlideWinder2 48"Dk DB 2 Straight			178.0	3,335.00
Freestanding Play Custom						
4	CP001153	SINGLE HILL LOOP, 36"OC DB	23.0	190.00	92.0	760.00
Motion & More Fun						

McFarland Inclusive Playground

Date:12/19/2023

Rep Organization: Gerber Leisure
Products, Inc.

Quote No: 1180309-02-03

By:canderson

Contact Person: Kyla Reamon

Project Title: McFarland Inclusive Playground

Location: McFarland WI

PlayBooster (5-12 years)						
PHASE-1 Direct Bury Aluminum			UNIT		TOTAL	
QTY	NO.	DESCRIPTION	WEIGHT (lb)	PRICE (US \$)	WEIGHT (lb)	PRICE (2024)
1	248819A	We-Go-Round w/Perf Panels - 2 seats DB Only ¹			2100.0	37,310.00
Sensory Play						
1	168103A	Fun Mirror Panel			46.0	2,960.00
1	168105A	Imagination Table			20.0	915.00
1	168104A	Optigear Panel			41.0	3,865.00
1	177721A	Rain Sound Wheel Panel			56.0	2,710.00
4	168100A	Sensory Play Center Wall DB	88.0	1,710.00	352.0	6,840.00
2	168101A	Sensory Play Center Wall End DB	38.0	1,135.00	76.0	2,270.00
5	168661A	Sensory Play Station Plate			0.0	0.00
Shade						
1	159881C	18x18 Shade Pyramid 12'Roof Height 60"Bury ¹			777.0	8,950.00
1	154397A	CoolToppers Single Post Pyramid (12'x12') DB Only ¹			266.0	5,050.00
Signs						
1	182503C	Welcome Sign (LSI Provided) Ages 5-12 years Direct Bury			24.0	0.00
Site Furnishings						
1	141683A	72" TenderTuff Bench w/Back No Armrests DB			121.0	790.00
2	154345B	Picnic Table Square 3 Seats	242.0	1,715.00	484.0	3,430.00
2	154345A	Picnic Table Square 4 Seats	273.0	1,895.00	546.0	3,790.00
Sports & Fitness						
1	100041A	Curved Balance Beam DB			71.0	1,050.00
Swings						
4	174018A	Belt Seat ProGuard Chains for 8' Beam Height	8.0	160.00	32.0	640.00
1	237296A	Friendship Swing w/Single Post Frame 52" Bury ProGuard Chains			351.0	4,135.00
1	218671C	Molded Bucket Seat (2-5 yrs) w/Harness ProGuard Chains for 8' Beam Height			50.0	1,090.00
1	177351A	Molded Bucket Seat (5-12 yrs) w/Harness ProGuard Chains for 8' Beam Height			48.0	1,090.00
3	177345A	Single Post Swing Frame 52" Bury Additional Bay 8' Beam Height Only	148.0	1,290.00	444.0	3,870.00

McFarland Inclusive Playground

Date:12/19/2023

Rep Organization: Gerber Leisure
Products, Inc.

Quote No: 1180309-02-03

By:canderson

Contact Person: Kyla Reamon

Project Title: McFarland Inclusive Playground

Location: McFarland WI

PlayBooster (5-12 years)

PHASE-1 Direct Bury Aluminum			UNIT		TOTAL	
QTY	NO.	DESCRIPTION	WEIGHT (lb)	PRICE (US \$)	WEIGHT (lb)	PRICE (2024)

Smart Play and Forma (2-5 years)

PHASE-1 Direct Bury Aluminum			UNIT		TOTAL	
QTY	NO.	DESCRIPTION	WEIGHT (lb)	PRICE (US \$)	WEIGHT (lb)	PRICE (2024)

Smart Play®**Ages 2-5 Yrs**

1	233083A	Centre DB ¹			4511.0	61,195.00
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Forma™**Sensory Play**

1	307431A	Fox Den Hangouts DB Only			769.0	19,890.00
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Freestanding Play**Shade**

1	154397A	CoolToppers Single Post Pyramid (12'x12') DB Only ¹			266.0	5,050.00
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Signs

1	182503A	Welcome Sign (LSI Provided) Ages 2-5 years Direct Bury			24.0	0.00
---	---------	---	--	--	------	------

Site Furnishings

1	141683A	72" TenderTuff Bench w/Back No Armrests DB			121.0	790.00
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Swings

2	176038G	Full Bucket Seat	11.0	440.00	22.0	880.00
		ProGuard Chains for Toddler Swing				
1	177336A	Toddler Swing Frame DB Only			136.0	1,405.00
1	277778A	We-Go-Swing w/1 Accessible Bay DB Only ¹			2357.0	39,205.00

SUMMARY				WEIGHT (lb)	PRICE (2024)
PlayBooster (5-12 years) PHASE-1				15,044.0	242,490.00
Total Safety Zone Area = 6328 sq. ft.					
Smart Play and Forma (2-5 years) PHASE-1				8,206.0	128,415.00

McFarland Inclusive Playground

Date:12/19/2023

Rep Organization: Gerber Leisure
Products, Inc.

Quote No: 1180309-02-03

By:canderson

Contact Person: Kyla Reamon

Project Title: McFarland Inclusive Playground

Location: McFarland WI

Total Safety Zone Area = 6328 sq. ft.

ALL PHASES	PlayBooster®	9,047.0	150,975.00
	Freestanding Play	8,923.0	138,845.00
	Smart Play®	4,511.0	61,195.00
	Forma™	769.0	19,890.00
	Total	23,250.0	370,905.00



Waubesa Intermediate

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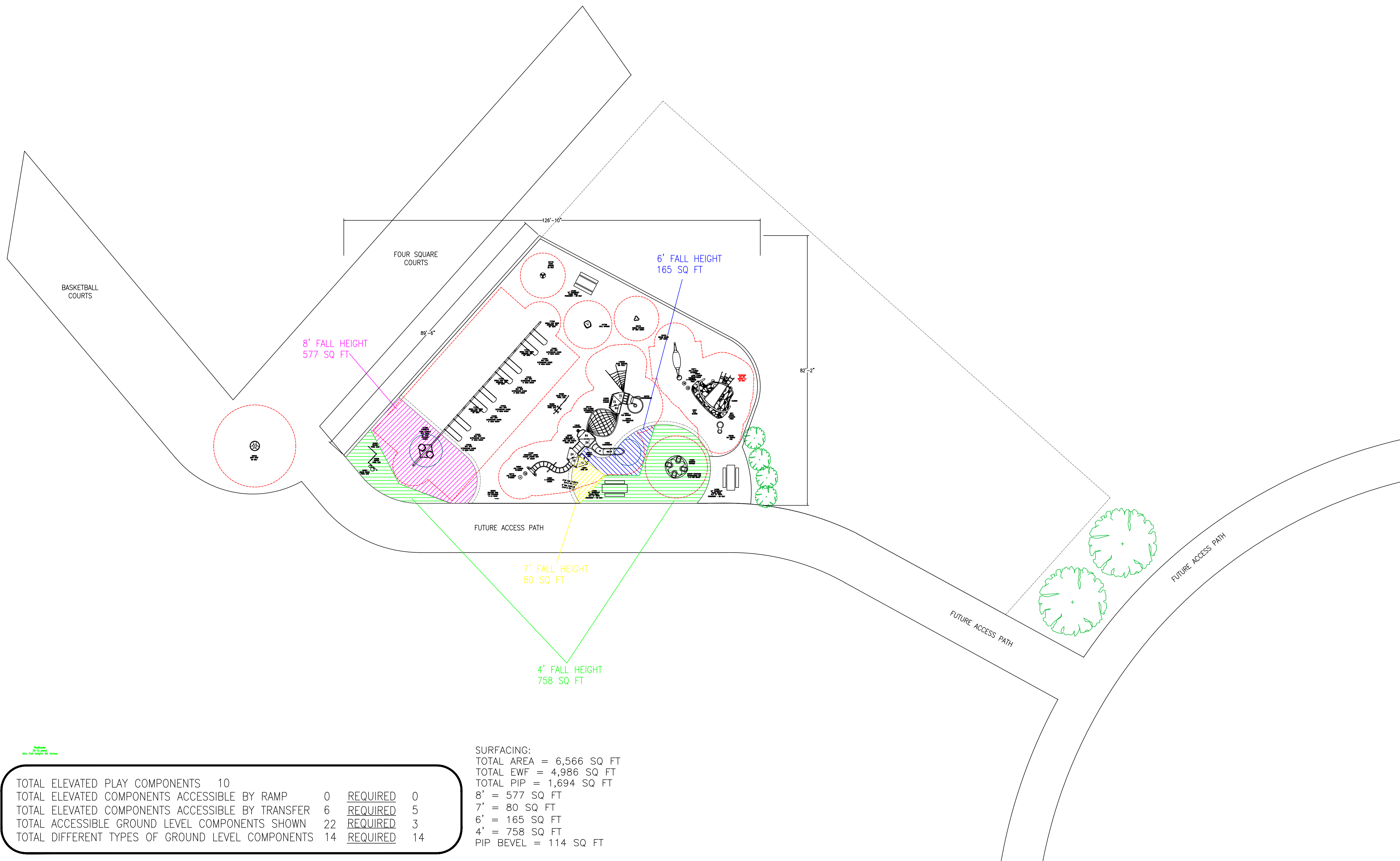




Waubesa Intermediate

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Legend:
Hatched Area: Fall Height 8' or Greater

TOTAL ELEVATED PLAY COMPONENTS	10		
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	6	REQUIRED	5
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	22	REQUIRED	3
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	14	REQUIRED	14

SURFACING:
TOTAL AREA = 6,566 SQ FT
TOTAL EWF = 4,986 SQ FT
TOTAL PIP = 1,694 SQ FT
8' = 577 SQ FT
7' = 80 SQ FT
6' = 165 SQ FT
4' = 758 SQ FT
PIP BEVEL = 114 SQ FT



The play components identified on this plan are IPEMA certified. (Unless model number is preceded with *) The use and layout of these components conform to the requirements of ASTM F1487. To verify product certification, visit www.ipema.org

THIS PLAY AREA & PLAY EQUIPMENT IS DESIGNED FOR AGES 5-12 YEARS UNLESS OTHERWISE NOTED ON PLAN.

IT IS THE MANUFACTURERS OPINION THAT THIS PLAY AREA DOES CONFORM TO THE A.D.A. ACCESSIBILITY STANDARDS, ASSUMING AN ACCESSIBLE PROTECTIVE SURFACING IS PROVIDED, AS INDICATED, OR WITHIN THE ENTIRE USE ZONE.

THIS CONCEPTUAL PLAN WAS BASED ON INFORMATION AVAILABLE TO US. PRIOR TO CONSTRUCTION, DETAILED SITE INFORMATION INCLUDING SITE DIMENSIONS, TOPOGRAPHY, EXISTING UTILITIES, SOIL CONDITIONS, AND DRAINAGE SOLUTIONS SHOULD BE OBTAINED, EVALUATED, & UTILIZED IN THE FINAL DESIGN. PLEASE VERIFY ALL DIMENSIONS OF PLAY AREA, SIZE, ORIENTATION, AND LOCATION OF ALL EXISTING UTILITIES, EQUIPMENT, AND SITE FURNISHINGS PRIOR TO ORDERING. SLIDES SHOULD NOT FACE THE HOT AFTERNOON SUN.

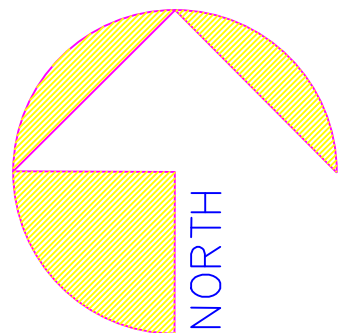
CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE TO MEET THE MAXIMUM FALL HEIGHT FOR THE EQUIPMENT (REF. ASTM F1487 STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATION FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE, SECTION 8 CURRENT REVISION). THE SUBSURFACE MUST BE WELL DRAINED. IF THE SOIL DOES NOT DRAIN NATURALLY IT MUST BE TILED OR SLOPED 1/8" TO 1/4" PER FOOT TO A STORM SEWER OR A "FRENCH DRAIN".

IT IS THE MANUFACTURER'S OPINION AND INTENT THAT THE LAYOUT OF THESE COMPONENTS CONFORM WITH THE U.S. CONSUMER PRODUCT SAFETY COMMISSION'S (CPSC) "HANDBOOK FOR PUBLIC PLAYGROUND SAFETY".

DESIGNED BY:
KLP

COPYRIGHT: 12/20/23
LANDSCAPE STRUCTURES, INC.
601 7th STREET SOUTH - P.O. BOX 198
DELAND, MINNESOTA 55328
PH: 1-800-328-0035 FAX: 1-763-972-6091

12/13/23	23101902-02	KLP
10/19/23	23101902-01	KLP
Date	Previous Drawing #	Initials



Waubesa Intermediate
McFarland, WI

Gerber Leisure
Products, Inc.
Kyla Reamon

SYSTEM TYPE:
Playbooster

DRAWING #:
23101902-03





Playground
Use Red Tagging To Mark

TOTAL ELEVATED PLAY COMPONENTS	10		
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	6	REQUIRED	5
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	22	REQUIRED	3
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	14	REQUIRED	14

SURFACING:
TOTAL AREA = 6,566 SQ FT
TOTAL EWF = 4,986 SQ FT
TOTAL PIP = 1,694 SQ FT
8' = 577 SQ FT
7' = 80 SQ FT
6' = 165 SQ FT
4' = 758 SQ FT
PIP BEVEL = 114 SQ FT



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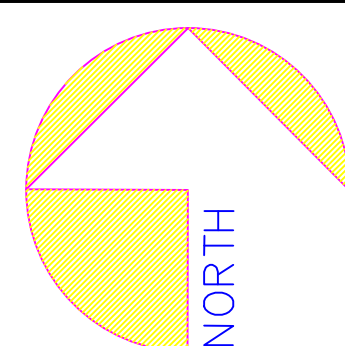
CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE TO MEET THE MAXIMUM FALL HEIGHT FOR THE EQUIPMENT (REF. ASTM F1487 STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATION FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE, SECTION 8 CURRENT REVISION). THE SUBSURFACE MUST BE WELL DRAINED. IF THE SOIL DOES NOT DRAIN NATURALLY IT MUST BE TILED OR SLOPED 1/8" TO 1/4" PER FOOT TO A STORM SEWER OR A "FRENCH DRAIN".

IT IS THE MANUFACTURER'S OPINION AND INTENT THAT THE LAYOUT OF THESE COMPONENTS CONFORM WITH THE U.S. CONSUMER PRODUCT SAFETY COMMISSION'S (CPSC) "HANDBOOK FOR PUBLIC PLAYGROUND SAFETY".

DESIGNED BY:
KLP

COPYRIGHT: 12/20/23
LANDSCAPE STRUCTURES, INC.
601 7th STREET SOUTH - P.O. BOX 198
DELAND, MINNESOTA 55328
PH: 1-800-328-0035 FAX: 1-763-972-6091

12/13/23	23101902-02	KLP
10/19/23	23101902-01	KLP
Date	Previous Drawing #	Initials



Waubesa Intermediate
McFarland, WI

Gerber Leisure
Products, Inc.
Kyla Reamon

SYSTEM TYPE:
Playbooster

DRAWING #:
23101902-03





Gerber Leisure Products, INC.

PO Box 42
Mount Horeb, WI 53572
Phone: 800-236-7758

Prepared by: Kyla Reamon/ kyla@gerberleisure.com

QUOTE

DATE:	12/26/2023
QUOTE Name:	Waubesa School Playground
Valid Until:	30 days

Customer

Waubesa Intermediate School
5605 Red Oak Trail
McFarland, WI 53558

DESCRIPTION	QTY	PRICE	AMOUNT
New Landscape Structures play equipment, per attached 2D, 3Ds & Component List	1	145590	145,590.00
Discount on equipment, per Kyla	1	-11640	-11,640.00
Freight to installer	1	1400	1,400.00
Professional installation of above listed equipment	1	43200	43,200.00
Certified playground wood fiber surfacing, delivered and installed *No fabric included	1	9850	9,850.00
Poured-in-Place Rubber Surfacing, delivered & installed (includes aggregate base)	1	29885	29,885.00
To be completed by general contractor or owner			
Excavation, site prep/leveling			0.00
Concrete sidewalks and border for playground area			
Marking of private lines or fire lanes			
Permits (if needed)			
<i>The equipment that I have proposed would comply with the current ADA guidelines in and of itself assuming that accessible resilient surfacing is supplied underneath the equipment including under and around the auxiliary ground level equipment, and an access pathway to the area is provided</i>			

TERMS AND CONDITIONS

1. Full payment of materials is due to place the order
 2. Customer will be billed for applicable installation services and surfacing materials at start of work
 3. Additional agreed upon services will be billed upon completion of the project
 4. Final payment will be due within 30 days of invoice date
 5. Please mail or email signed price quote to the address above
- Customer Acceptance (sign below):

x _____
Print Name:

Subtotal	\$218,285.00
Taxable	\$0.00
Tax rate	0.000%
Tax due	\$0.00
Other	\$0.00
TOTAL Due	\$218,285.00

If you have any questions about this price quote, please contact: Kyla Reamon at 608-437-7037 / kyla@gerberleisure.com

Thank You For Your Business!

Gerber Leisure Products, INC.

PO Box 42
Mount Horeb, WI 53572
Phone: 800-236-7758

Prepared by: Kyla Reamon / kyla@gerberleisure.com

QUOTE

DATE:	12/26/2023
QUOTE Name:	Waubesa School Playground
Valid Until:	30 days

Customer
Waubesa Intermediate School 5605 Red Oak Trail McFarland, WI 53558

DESCRIPTION	Includes	Does NOT Include
New Landscape Structures play equipment, per attached 2D, 3Ds & Component List	all equipment listed and shown on corresponding documents	discounts, shipping, installation, surfacing
Discount on equipment, per Kyla	discount from manufacturer LIST pricing of equipment	discounts of any other kind, unless included in this quote
Freight to installer	safe delivery of the listed equipment to a previously agreed upon location, or our installers warehouse for storage	unloading of freight if delivered to the site and not our warehouse
Professional installation of above listed equipment	digging footing holes, assembly of equipment, concrete for footings, project management, calling diggers, coordination of materials	excavation, site prep/leveling, surfacing, installation of surfacing, private lines marking or responsibility
Certified playground wood fiber	materials, shipping, installation	fabric, drainage tile
Poured-in-Place Rubber Surfacing, delivered & installed	Aggregate base for PIP surfacing, fall protecting rubber, 50/50 color/black top coat, 7-year warranty, delivery & installation	site security, on-site drop testing
Excavation, site prep/leveling, Marking of private lines, Sidewalks and concrete border		By General Contractor or owner
The equipment that I have proposed would comply with the current ADA guidelines in and of itself assuming that accessible resilient surfacing is supplied underneath the equipment including under and around the auxiliary ground level equipment, and an access pathway to the area is provided		

TERMS AND CONDITIONS

1. Full payment on materials is due to place the order.
 2. Customer will be billed for applicable installation services at start of work
 3. Additional services (surfacing) will be billed upon completion of the project
 4. Payment will be due within 30 days of invoice date
 5. Please mail or email signed price quote to the address above
- Customer Acceptance (sign below):

x _____
Print Name:

If you have any questions about this price quote, please contact: Kyla Reamon at 608-437-7037 /kyla@gerberleisure.com

Thank You For Your Business!

VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, January 2, 2024

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Lee Igl, Public Works Director, Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding the Highland Oaks Park restroom project and authorize the project for bid.

PREVIOUS ACTION:

The Parks & Recreation Committee authorized the purchase of the prefabricated building at their November 7, 2023, meeting.

ISSUE SUMMARY:

The 2023 budget approved a restroom installation at Highland Oaks Park. The committee approved the purchase of the prefabricated building and the plan set at the November 7, 2023, meeting. The building is planned to be installed in the spring of 2024. Enclosed is the project plan for the site work that will need to be completed for the project. The estimated cost for the site work is \$100,000. Staff are seeking approval of the project plan and authorization for bid.

FINANCIAL/BUDGET IMPACT:

Funding for the project will be from the capital projects parks fund.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion and second to recommend approval to the Village Board regarding the Highland Oaks Park restroom project and authorize the project for bid.

ATTACHMENTS:

1. HIGHLAND OAKS PARK PRELIMINARY PLANS
2. Lynx-Plan-and-Specs

2024 SITE IMPROVEMENTS

HIGHLAND OAKS PARK

OSBORN DRIVE

Village of McFarland, Wisconsin

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
1	SITE PLAN– HIGHLAND OAKS PARK
2	EROSION CONTROL – STANDARD CONSTRUCTION DETAILS
3	SITE PLAN– HIGHLAND OAKS PARK
4	PROJECT DETAILS



NO SCALE



LEGEND

UNDERGROUND TELE.	UT
UNDERGROUND CATV.	UCATV
UNDERGROUND ELEC.	UE
OVERHEAD	OH
EXISTING GAS	G
PROPERTY LINE	
EXISTING WATER MAIN	WM
EXISTING SANITARY SEWER	SAN
EXISTING STORM SEWER	STM
EXISTING FENCE LINE	X
SAWCUT	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
NEW STORM SEWER	
NEW WATER MAIN	
NEW SANITARY SEWER	

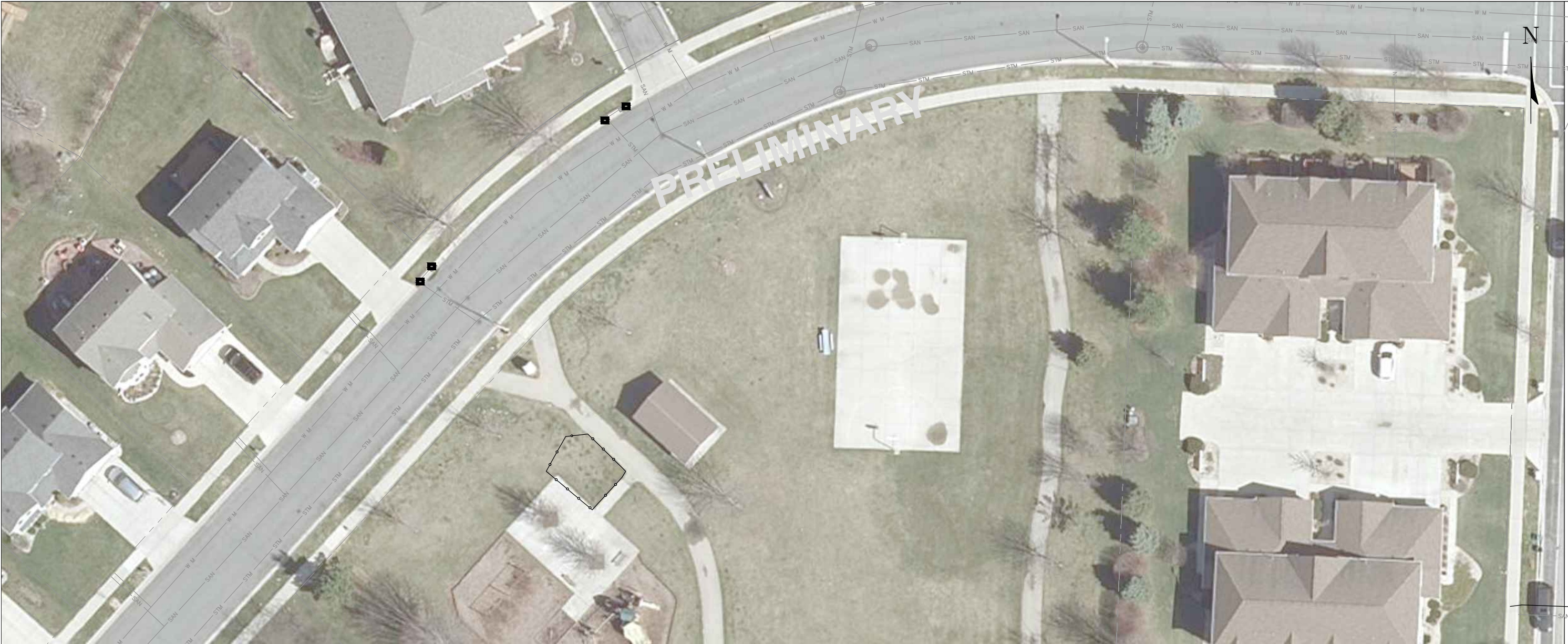
NEW ITEMS:

WATER VALVE	CURB STOP	HYDRANT	MANHOLE	CURB INLET	ENDWALL	GAS WARNING

EXISTING ITEMS:

FLAG POLE	MAILBOX	POWER POLE	LIGHT POLE	LAMP POST	PULL BOX
WATER VALVE	CURB STOP	HYDRANT	WELL	MONITORING WELL	TRACER WIRE
SANITARY MANHOLE	SANITARY VALVE	CLEANOUT	STORM MANHOLE	CURB INLET	CIRCULAR INLET
SQUARE INLET	ENDWALL	STUMP	DECID. TREE	EVERGREEN (RELATIVE SIZE SHOWN)	SHRUB OR HEDGE
CATV. PED.	TELE. PED.	ELEC. PED.	GAS VALVE	STREET SIGN	IRON PIPE
IRON ROD					

NOTES: 1.) EXISTING FEATURES AND LABELS ARE SHOWN WITH SCREENED, LIGHTER LINES.
2.) NEW CONCRETE IS SHOWN SHADED IN PLAN VIEWS
3.) CONCRETE REMOVALS ARE SHOWN BY CROSS-HATCHING



EROSION CONTROL NOTES:

- LOCATIONS MARKED WITH "■" TO RECEIVE INLET FILTER PROTECTION DURING CONSTRUCTION. ALL NEW STREET INLETS MUST ALSO RECEIVE INLET FILTER PROTECTION.
- CONSTRUCT A STONE CHECK DAM IN GUTTER LINE AT ALL LOCATIONS MARKED WITH "▲"
- SURFACE FLOW DIRECTION IS INDICATED WITH
- SILT FENCE INSTALLATION IS INDICATED WITH
- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
- INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING

FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.

- NOTIFY THE OWNER IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION, OR IF DEWATERING WILL OCCUR FROM A HIGH CAPACITY WELL (70 GPM OR MORE). DEWATER ONLY AFTER THE APPROPRIATE WDNR DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES TO EITHER (A) THE SEDIMENT BASIN/TRAP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
- INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE OWNER. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE

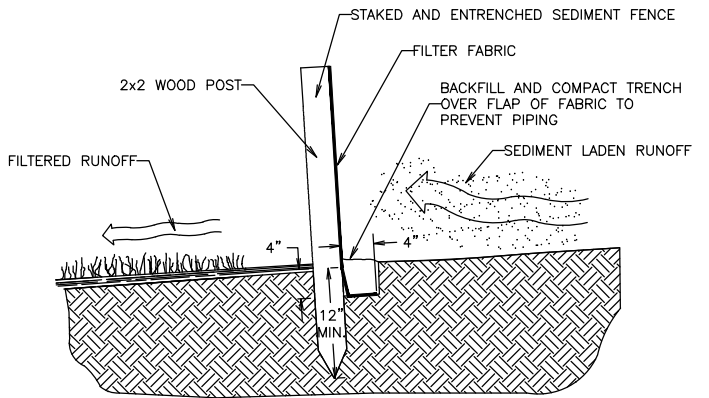
RECEIVING CHANNEL.

- COORDINATE WITH THE OWNER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I, II OR III TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I, II, OR III TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), OR AS DIRECTED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: <http://dnr.wi.gov/botw/>

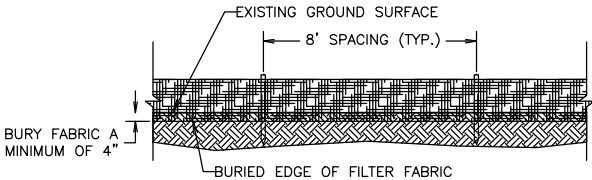
EROSION CONTROL PLAN
AND GENERAL NOTES

2024 SITE IMPROVEMENTS
Highland Oaks Park

Village of McFarland, Wisconsin

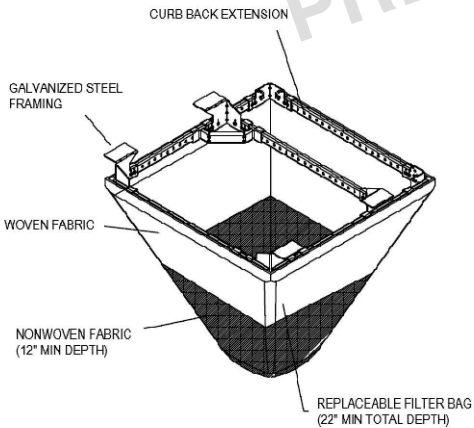


CROSS-SECTION OF A PROPERLY INSTALLED SEDIMENT FENCE



SEDIMENT FENCE DETAIL

DETAIL
SEDIMENT FENCE



GENERAL NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

FRAMED INLET PROTECTION SHALL BE COMPLIANT WITH ALL ASTM STANDARD D8057-17 REQUIREMENTS, INCLUDING:
A. BYPASS OVERFLOW THAT MEETS OR EXCEEDS INLET DESIGN FLOW
B. FRAME AND BAG STRONG ENOUGH TO HANDLE FULL SEDIMENT LOAD.

DETAIL
INLET PROTECTION - FRAMED (W/ CURB BOX)



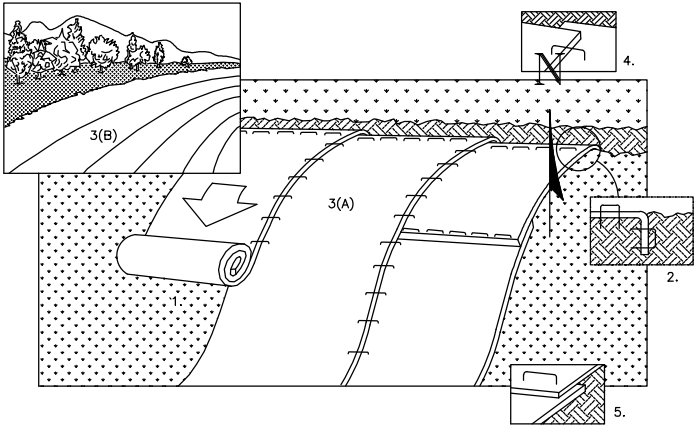
INSTALLATION NOTES:

NO PART OF INLET PROTECTION SHALL BE PROJECTING ABOVE THE GRATE.

FOR COMBINATION INLETS, PROTECTION SHALL CAPTURE RUNOFF ENTERING BOTH GRATE AND CURB OPENING.

A DUAL FABRIC FILTER BAG, WITH NON-WOVEN BOTTOM AND WOVEN TOP SHALL BE USED.

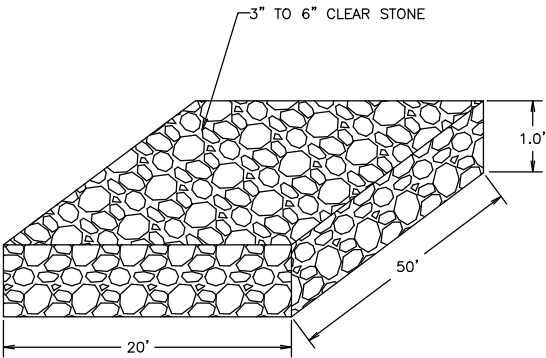
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



NOTE:
REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

DETAIL
EROSION CONTROL MAT - SLOPE INSTALLATION



NOTE:

- ON STREET SURFACES
CRUSHED AGGREGATE BASE STONE
SERVES AS TRACKING PAD.

DETAIL
CLEAR STONE TRACKING PAD

PROJECT DETAILS

2024 SITE IMPROVMENTS
Highland Oaks Park
Village of McFarland, Wisconsin

PROJECT NO.:
MC 216
DRAWN BY:
T.J.S.
CHECKED BY:
B.R.B.
DATE:
12-22-23
REVISIONS:

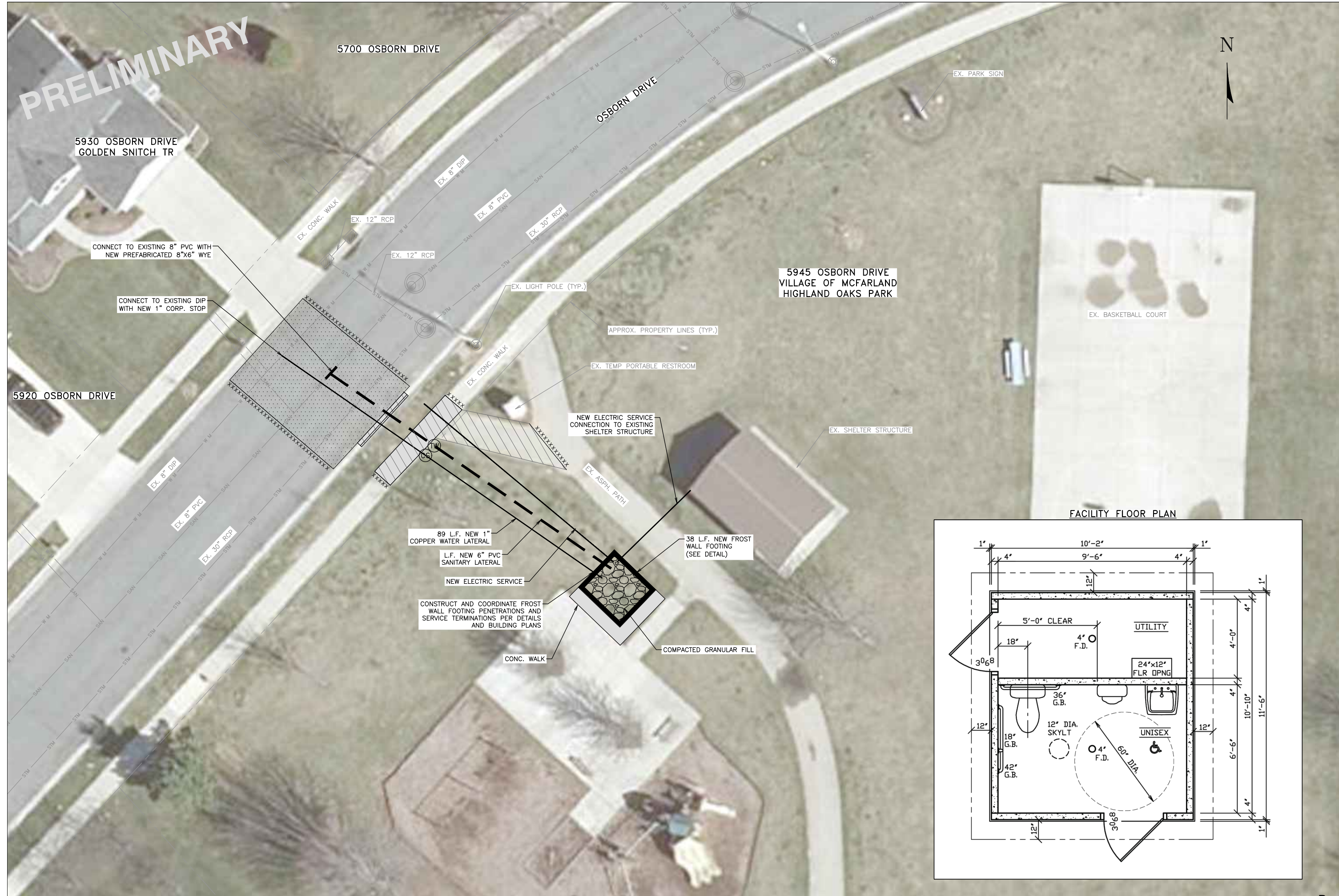
SCALE:
N.T.S.

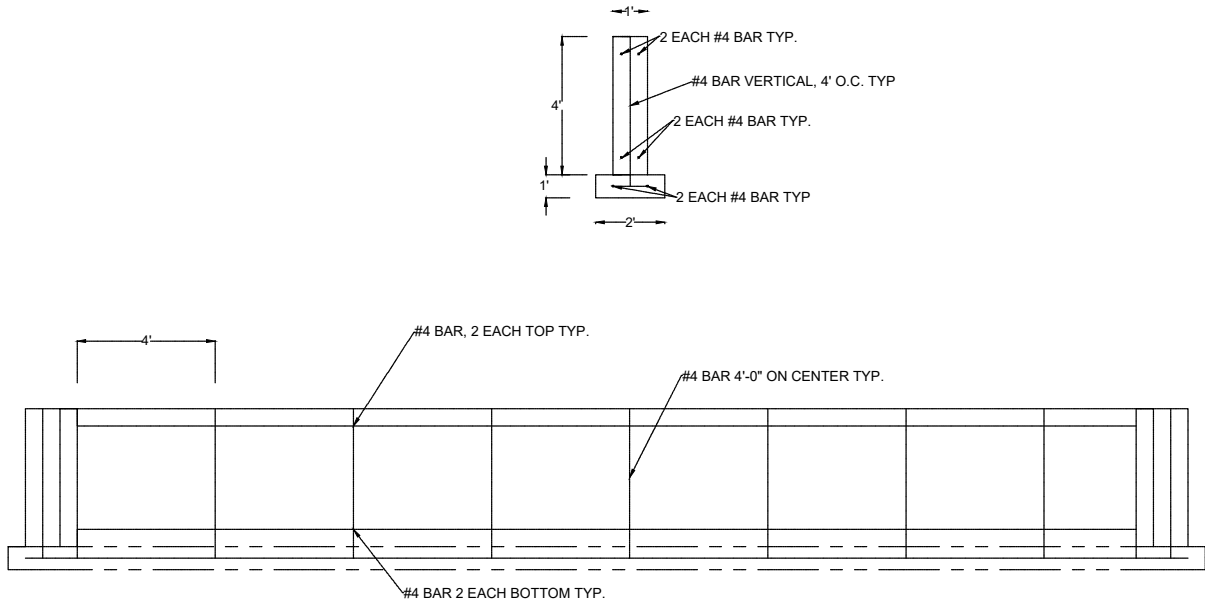
SHEET:
2

6264 Nesbitt Road
Madison, WI 53719
(608) 273-3350
www.tceengineers.net

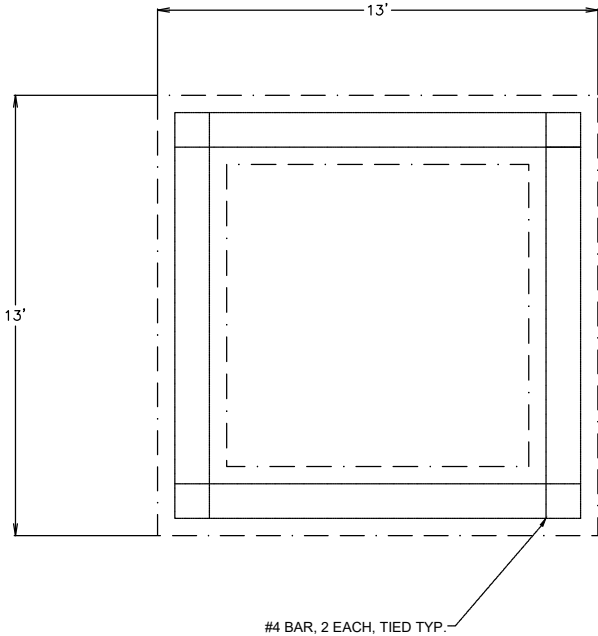
tc TOWN & COUNTRY
ENGINEERING, INC.

PRELIMINARY

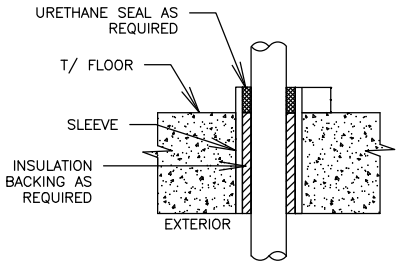




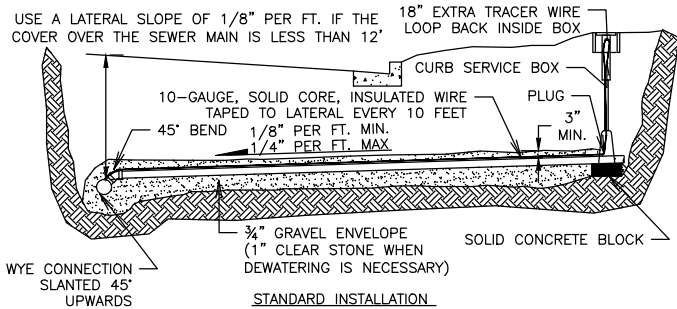
DETAIL
FROST WALL SECTIONS



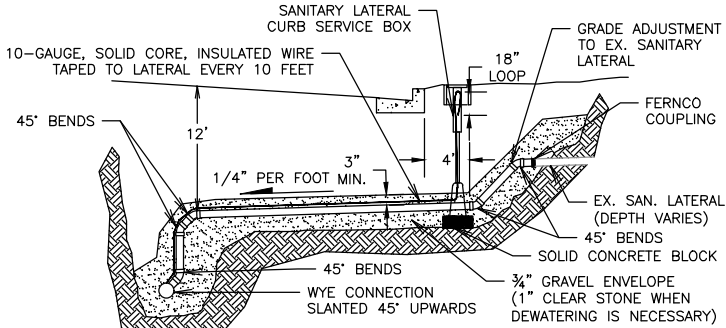
DETAIL
FROST WALL PLAN



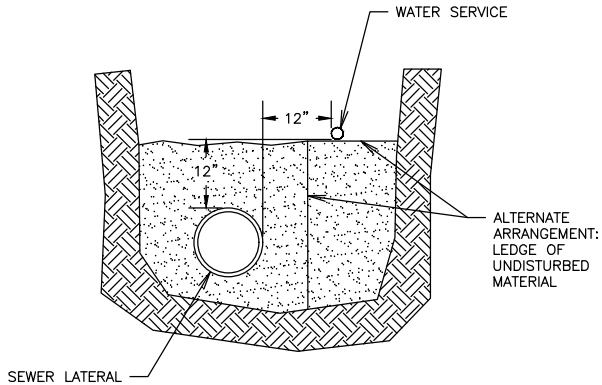
DETAIL
BASE/FLOOR PIPING PENETRATION



- NOTES:
1. CONSTRUCT LATERALS IN CONFORMANCE WITH CHAPTER SPS 382 OF THE WISCONSIN ADMINISTRATIVE CODE.
 2. LATERAL SLOPE SHALL BE 1/4" PER FOOT WHERE SUFFICIENT COVER EXISTS.
 3. CONTRACTOR SHALL VERIFY SIZE, DEPTH, AND LOCATION OF EXISTING LATERALS.
 4. WHERE LATERALS ARE NOT IMMEDIATELY CONNECTED TO BUILDING SEWERS THE ENDS OF THE LATERALS SHALL BE MARKED BY POSITIONING 4"x4" BOARDS VERTICALLY FROM THE ENDS OF THE LATERALS TO AT LEAST 2' ABOVE THE GROUND SURFACE.
 5. THE LOCATION OF ALL SEWER LATERALS CROSSING UNDER THE CURB & GUTTER SHALL BE MARKED BY STAMPING AN "S" IN THE TOP OF THE CURB OVER THE LOCATION OF THE SEWER LATERAL.

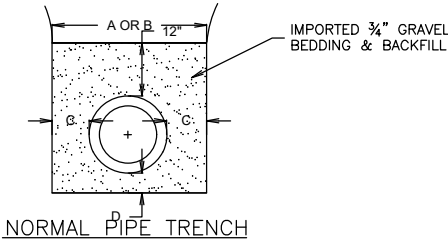


DETAIL
SANITARY SEWER LATERAL

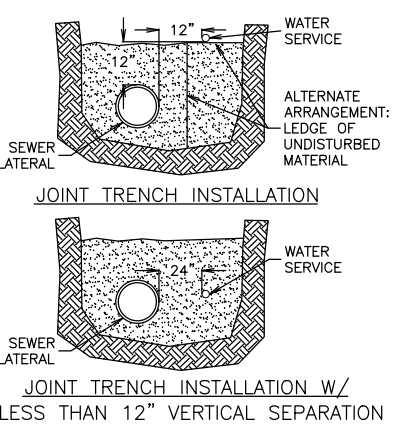
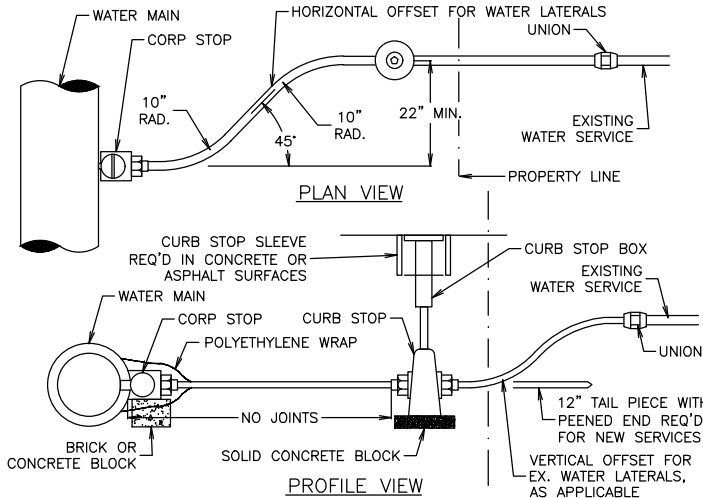


DETAIL
JOINT TRENCH INSTALLATION

- DIMENSIONS:
- A: OUTSIDE DIAMETER OF PIPE PLUS 24" MAXIMUM, EXCEPT NEED NOT BE LESS THAN 36". TRENCH SHIELDS NARROWER THAN 4 FEET INSIDE WIDTH WILL NOT BE REQUIRED UNLESS SPECIFICALLY REQUIRED IN THE PROJECT SPECIFICATIONS.
 - B: FOR ROCK, OUTSIDE DIAMETER OF PIPE PLUS 18" MAXIMUM, EXCEPT NEED NOT BE LESS THAN 36".
 - C: MINIMUM - 6"
 - D: MINIMUM 4" BELOW BARREL AND 3" BELOW BELL.



DETAIL
TRENCH WIDTH AND BEDDING

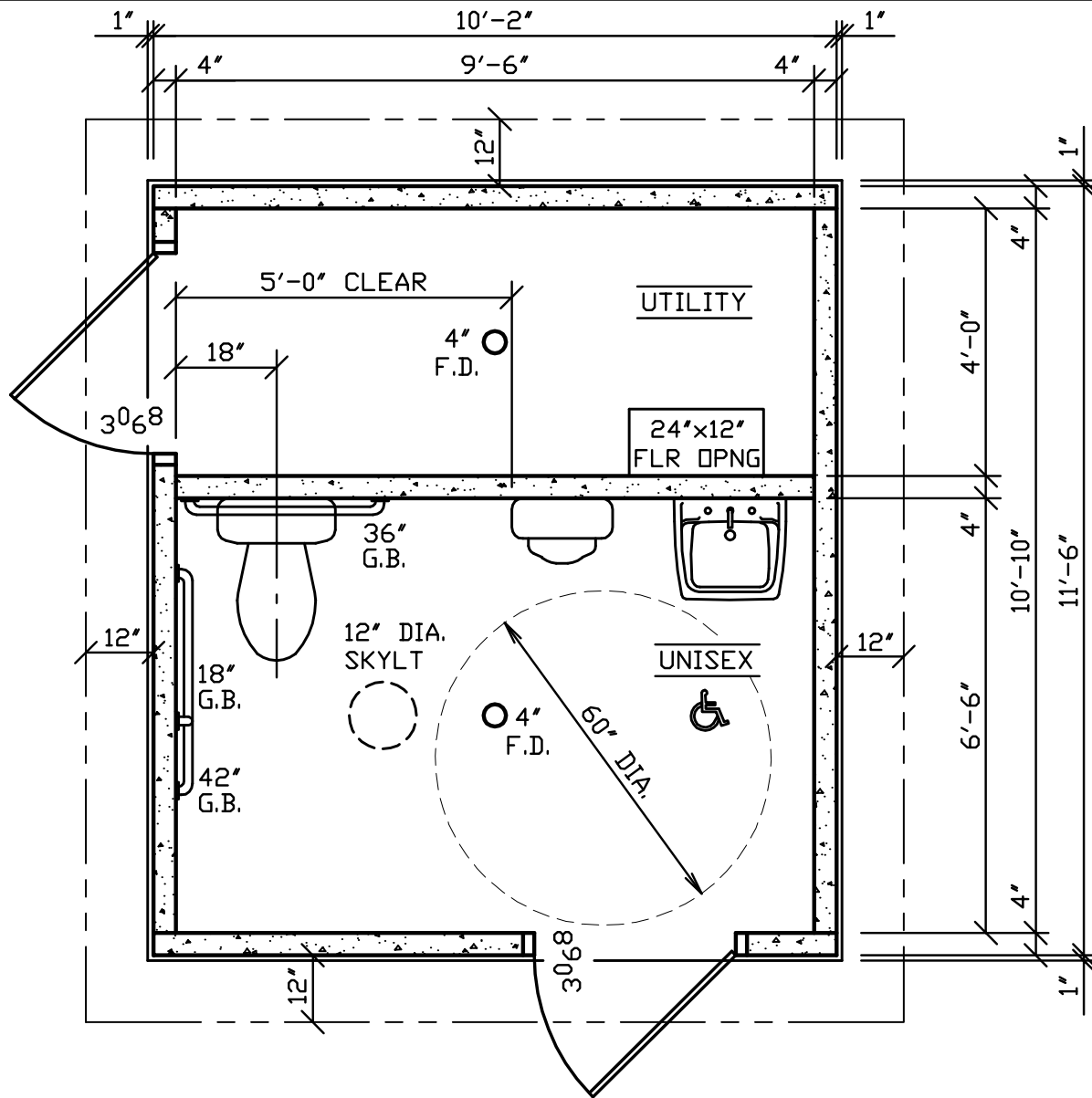


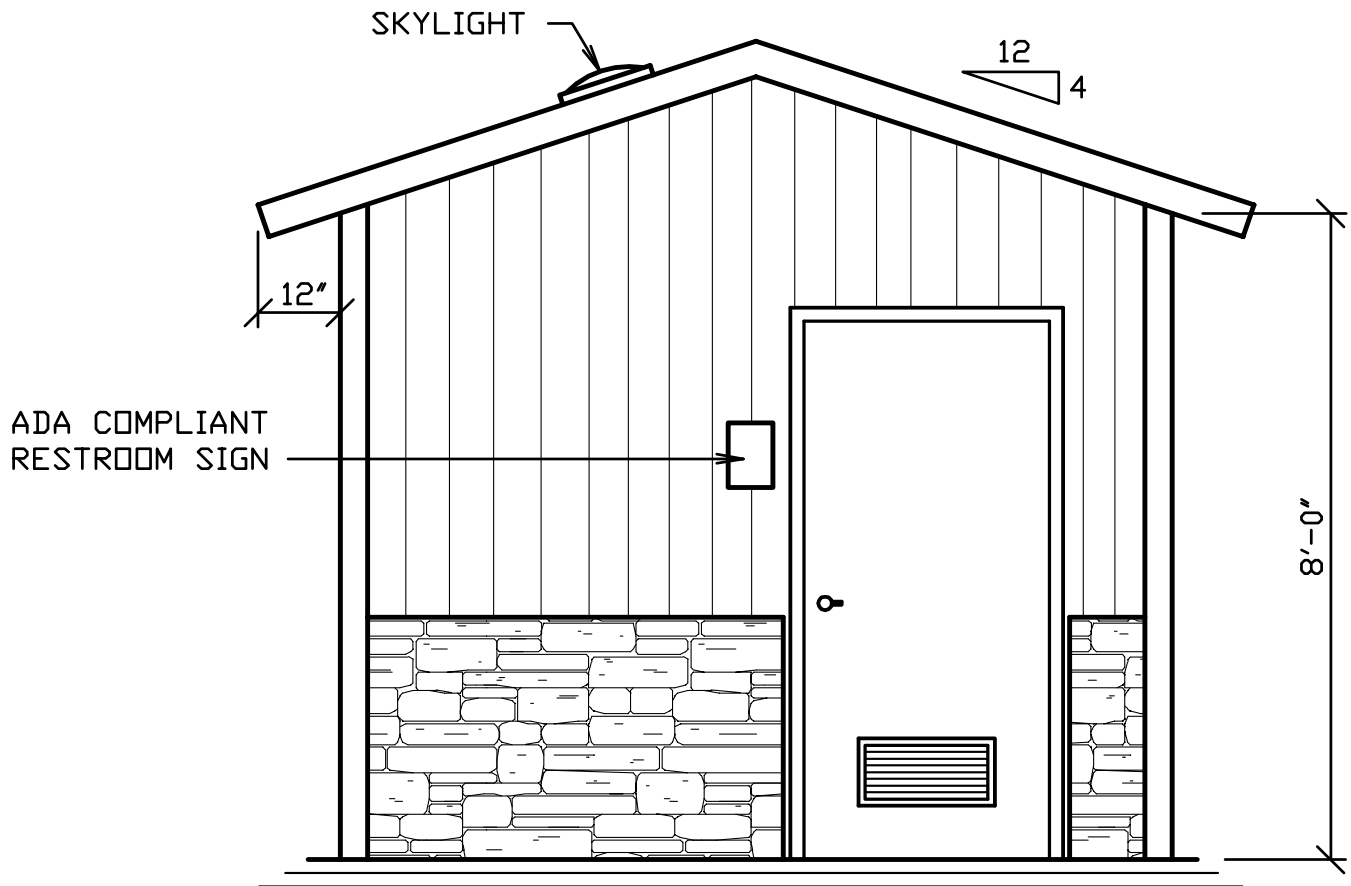
DETAIL
WATER SERVICE INSTALLATION

- NOTES:
- HORIZONTAL AND VERTICAL OFFSETS SHALL BE MADE WITH AN APPROVED PIPE BENDING TOOL. SHARP BENDS OR KINKS IN THE WATER SERVICE ARE NOT ALLOWED.
 - VERTICAL OFFSETS SHALL BE MADE ON THE PROPERTY LINE SIDE OF THE CURB STOP.
 - PLASTIC OR CAST IRON CURB BOX SLEEVES SHALL BE INSTALLED WHERE CURB BOXES ARE INSTALLED IN CONCRETE OR ASPHALT SURFACES.
 - THE SEWER LATERAL SHALL BE LOCATED ON THE DOWNSTREAM SIDE OF THE WATER SERVICE, BASED ON SEWER MAIN FLOW DIRECTION.
 - THE LOCATION OF ALL WATER SERVICES CROSSING UNDER THE CURB & GUTTER SHALL BE MARKED BY STAMPING A "W" IN THE TOP OF CURB OVER THE LOCATION OF THE WATER SERVICE LINE.

- RESTROOM -

LYNX





FRONT ELEVATION

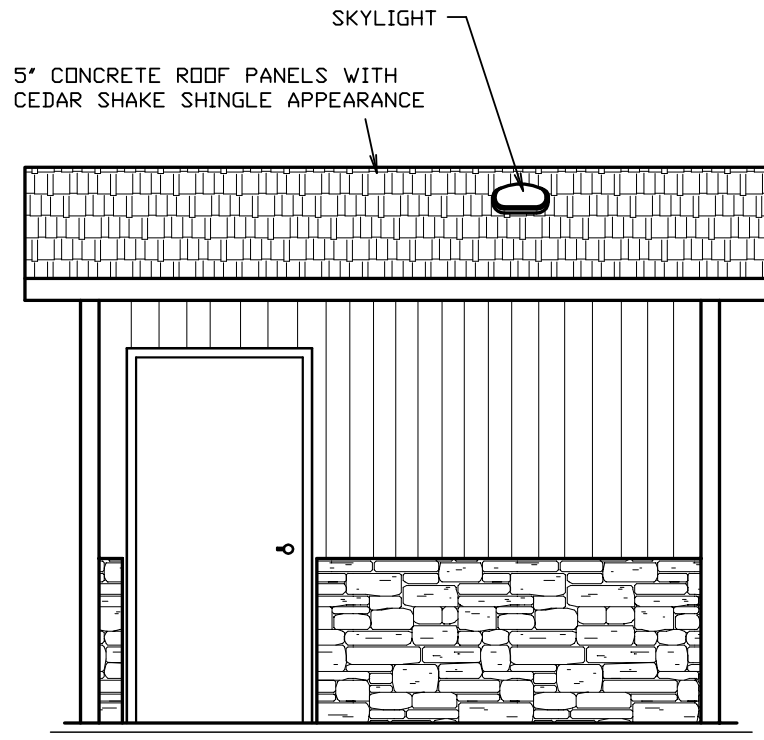
SCALE: 1/4" = 1'-0"

(REAR ELEVATION SIMILAR, EXCEPT NO DOOR)



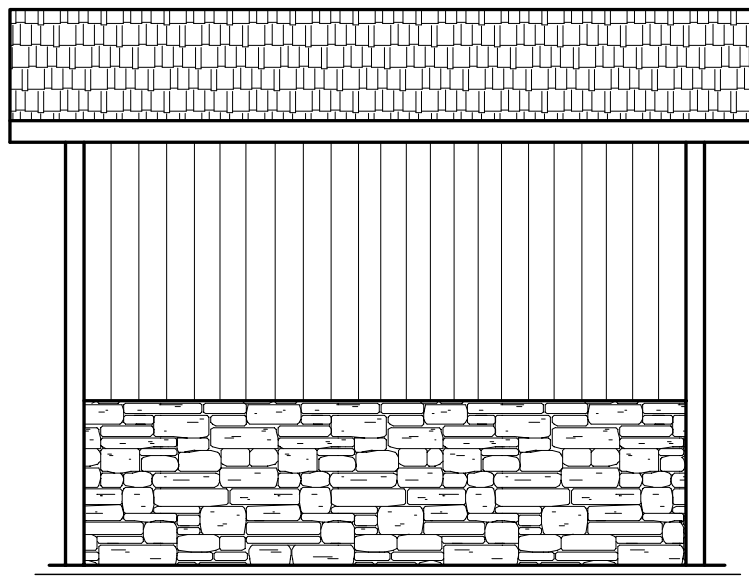
Floor plans are for reference only. This drawing shall not be copied or submitted to others without the consent of this company.

4154 123rd St. Chippewa Falls, WI 54729 | 715-723-7446
HUFFCUTT.COM



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE

- 1.1. Construction and onsite placement of a prefabricated precast concrete restroom building.

2. MANUFACTURER

- 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
- 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
- 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.

3. DESIGN

- 3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.

4. SUBMITTALS

- 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS

1.1. Doors and Frames

- 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.

1.2. Door Hardware

- 1.2.1. Aluminum drip cap. Reese or equal.
- 1.2.2. Door closure with hold open. Cal-Royal or equal.
- 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
- 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
- 1.2.5. Brush style sweep. Reese or equal.
- 1.2.6. ADA compliant threshold. Reese or equal.

1.3. Windows

- 1.3.1. Vinyl frame, obscure glass, operable. Parco or equal.

1.4. Plumbing

1.4.1. Stools

- 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.

- 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.
 - 1.4.3.2. Moen single handle ADA metering faucet.
 - 1.4.4. Water Heater
 - 1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.
 - 1.4.5. Mixing Valve
 - 1.4.5.1. Honeywell thermostatic mixing valve, adjustable.
 - 1.4.6. Floor Drains
 - 1.4.6.1. Sioux Chief on grade adjustable floor drain.
 - 1.4.7. Sediment Filter
 - 1.4.7.1. Rusco sediment filter.
- 1.5. Electrical
 - 1.5.1. Interior
 - 1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.
 - 1.5.1.2. RAB VAN1 lights.
 - 1.5.1.3. GFI receptacles.
 - 1.5.1.4. Murdock super secure.
 - 1.5.2. Exterior
 - 1.5.2.1. RAB Tallpack lights.
 - 1.5.3. Chase
 - 1.5.3.1. 100amp loadcenter.
 - 1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)
 - 1.5.3.3. Soler & Palau exhaust fan.
- 1.6. Interior Hardware
 - 1.6.1. Stainless 3 roll toilet paper dispenser.
 - 1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.6.3. Stainless frame 18" x 36" mirror.
 - 1.6.4. (2) coat hooks
- 1.7. Sealers
 - 1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.
- 1.8. Caulks and Grout
 - 1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

- 1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface.
Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

- 2.1.1. Smooth trowel finish.

2.2. Exterior

- 2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.
- 2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

- 2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

- 2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.
- 2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.
- 2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

- 1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.
- 1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.
- 1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.
- 1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

- 2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.
- 2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

- 2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.
- 2.4. Contractor will perform initial startup of building using O & M manual as a reference. Contractor will also perform any troubleshooting during initial startup.



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**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, January 2, 2024

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Sayer Larson, Parks Superintendent, Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion regarding updates to Chapter 2 - Parks and Recreation Facility Policy

PREVIOUS ACTION:

The policy was recommended for approval by the Committee on January 23, 2020, and adopted by the Village Board on February 10, 2020.

ISSUE SUMMARY:

Please find enclosed Chapter 2 Parks and Recreation Facility Policy with comments provided by Trustee Jerke & Trustee Fessler. The committee previously viewed this document at the November 7, 2023, meeting. This policy was put in place in 2020 after extensive work throughout 2019 to help outline maintenance and management of our facilities within the park system. As we continue to review and develop our policies, the intent here is to continue discussion about the policy as we begin the process of updating its contents.

FINANCIAL/BUDGET IMPACT:

There are certain impacts on revenue gained through rentals and expenses needed for ongoing operations. We will discuss those elements as needed within the review.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Presented for discussion. No action is required at this time.

ATTACHMENTS:

1. Comments_Chapter-2---Athletic-Field-Usage-Policy-

CHAPTER 2 Parks and Recreation Facility Policy

SECTION 2.01 Policy Purpose

McFarland parks and recreational facilities are provided primarily for the use and enjoyment of Village residents and those who pay property taxes to the Village of McFarland.

SECTION 2.02 Organization Responsibilities

The Public Works Department (“Department”) has the responsibility for the maintenance and management of Village parks and facilities. Requests for parks utilization are managed by this Department. Special requests and requests outside the standard scope of usage will be reviewed and approved by the Parks, Recreation, and Natural Resources Committee (“Committee”).

SECTION 2.03 Authorized Users

(a) **Personal/Individual Use.** Individuals wishing to use the public athletic fields may do so at their leisure, providing that another party has not previously reserved the fields. There is no charge for the use of these fields. Individuals may contact the Village to check the availability of a facility at any time. In the event that a field is not in use, but has been prepared for play later in the day, the Village asks that individual users respect this effort and chose an alternative location.

(b) **Organizational League Use:**

- (1) Groups wishing to utilize the public athletic facilities on an on-going basis may do so with prior scheduling approval from the Parks Superintendent. Requests for field use are considered on a first-come, first-served basis, with an attempt to balance the needs of all groups utilizing a particular area. On-going field schedules are kept by the Parks Superintendent to facilitate the organized, efficient use of the fields throughout the year.
- (2) Organized leagues will be charged a maintenance fee for their operation within Village Parks. The fee shall be set on a per individual basis for each season that they operate. The fee shall be set through Appendix A of the Village Code of Ordinances. In kind labor and materials will be considered in lieu of the fee subject to review and approval of the Department.
- (3) The Village does not accept any liability for the participants of these groups. All organized leagues shall sign an indemnification agreement and provide proof of insurance annually unless otherwise waived by the Village Administrator.

- (4) The Village shall utilize the following criteria in determining which organized leagues will be authorized to use McFarland facilities:
- (i) The residency of the requesting league is based on the business location of the organization rather than the residency distribution of individual team members.
 - (ii) The number of teams represented by the organized league and the extent of their scheduling needs.
 - (iii) The effect the league usage will have on Village facilities and whether or not the usage may unduly degrade the condition of the facility or overtax the maintenance capabilities/budget of the Village.
 - (iv) The intended use of the facility, why a particular facility is needed or desired for league use, and what other facility options are available to the league.
 - (v) If the activity is organized or sanctioned by the McFarland School District.
- (5) Appeals of decisions made by the Parks Superintendent, and/or designee, regarding scheduling decisions made in accordance with this section shall be made to the Committee.

(c) **For-Profit Business Groups.** For-profit business groups wishing to utilize the public athletic facilities in McFarland on a short-term basis may do so with prior scheduling approval from the Department. Requests for field use are considered on an individual basis and are granted only after all McFarland groups have been scheduled. Requests for on-going use of a facility must be reviewed and approved by the Parks Superintendent. A field usage fee will be charged for the use of the facilities. This fee shall be established annually as part of Appendix A in the Village Code of Ordinances.

(d) **Village Community Organization Group Use.** The Village shall allow an exemption from the park rental fee for Village Community Organization Groups that do not charge a membership fee and/or are approved for an exemption for this purpose from the Committee. The Committee shall initially create and annually review the list of Community Organizations approved for the fee exemption. The list of exemptions shall be maintained as Appendix A of this Policy. All Village Community Organization Groups shall still be required to secure the deposit fee at the time of rental unless otherwise authorized by the Village Administrator.

SECTION 2.04 Scheduling Usage of Parks and Recreational Facilities

- (a) The Department is assigned the responsibility of master scheduling the use of all Village parks and recreational facilities. All requests to reserve parks and recreational facilities must be approved by the Department. All facilities will be rented on a first come, first serve basis with reservations being accepted annually beginning the day after Martin Luther King Jr. Day.
- (b) All Village parks and recreational facilities with restrooms, covered shelters, green space, and/or specially equipped athletic fields or courts may be reserved by the public. The restrooms shall be available for general use by the public rather than the exclusive use of the reserving group. A shelter reservation entitles exclusive use of the shelter, but not the park and restrooms.
- (c) Organized leagues that are **authorized users** will be permitted to reserve in advance, time that is necessary to accommodate the scheduling of league play throughout the season.
 - (1) **Organizational League Scheduling.** To ensure that no scheduling conflicts will occur throughout the year, all league organizations desiring to use Village Park **facilities** must **submit** to the Department, by **December 15th** of the preceding year, a detailed schedule of dates and times that facilities are proposed to be used. The league organizations shall specifically identify any events in which attendance is expected to be in excess of 200 people at one time.
 - (2) The detailed scheduling by the Village of recreational facility usage during league seasons may be delegated to the recognized league organizations, subject to the following **conditions**:
 - (i) All organized leagues that are based in McFarland, or other groups authorized to use the facility, will be scheduled in a fair and unbiased manner.
 - (ii) Advance scheduling priority of specific days or times during the league season will be permitted, provided that sufficient non-scheduled blocks of time are made available for competing leagues to use at reasonably convenient times.
 - (iii) If the detailed scheduling has not been delegated to a league organization, the Department will schedule the usage.

- (iv) The Village may make certain dates and times unavailable for use by organized leagues. When necessary, the Village may also preempt scheduled events with reasonable notice to the scheduling organization.
- (3) The rescheduling of field usage due to inclement weather or field unavailability shall be done by the league organization that has been assigned the responsibility of doing the detailed scheduling. The league organization shall receive prior approval from the Department prior to initiating the process to reschedule. Make-up dates/times may not be reserved in advance if they fall outside the original block of dates and times assigned to the league. The rescheduling of events shall be done by the league organization in an unbiased manner that provides fair access to all **authorized users**.
- (d) **Usage by the General Public.** The general public will be able to use **non-scheduled time slots** on a first come, first serve basis beginning the day after Martin Luther King Jr. Day annually.

SECTION 2.05 Capital Improvements and Equipment.

- (a) **Facilities** may not be constructed or modified in a Village park by any organization without the prior approval of the Village and a written agreement specifying the purpose and duration of the intended use, liability, **insurance coverage**, maintenance responsibilities, and other details.
- (b) Any league organization that is proposing an improvement to a **recreational facility** or requesting a change in maintenance practices **shall** appear before the **PRNR** Committee to explain the need.
- (c) Any equipment that is placed in a Village park or recreational facility by an organization must have prior approval by the Parks Superintendent or designee and be left in playable condition if it is not removed between scheduled events. *EXAMPLE – soccer goals that are left in playing position may not be secured in such a manner as to prohibit their use by others.* The Village shall not be responsible for any **normal wear and tear** or **damage** that might occur to said equipment. Privately owned equipment that is removed from the park playing area between scheduled events may be kept private and does not need to be made available to other users. *EXAMPLE(s) – bases, field markers, balls, bocce balls, soccer goals and other such portable equipment.*
- (1) Organized groups are not prohibited from working out cooperative financial agreements among themselves for sharing the acquisition, maintenance, and replacement costs of the equipment. The Village shall be provided a copy of any such agreements that exist but will not get involved in the enforcement of private agreements between parties.

- (2) Failure to have cooperative sharing agreements in place shall not prohibit other organized groups from using equipment that is left in place between events.
- (3) All league organizations are responsible for keeping the public areas (i.e. – bathrooms, kitchen areas, storage areas, etc.) in a condition that is neat and orderly in appearance. All equipment, food items and the like that are not for public use or sale, must be secured and not available to the public. All league organizations shall be responsible for keeping the public areas they use during tournaments in a condition that is neat and orderly in appearance. All public areas will be kept to the satisfaction of the Parks Superintendent or designee.

SECTION 2.06 - Fee Structure

- (a) The fees for rental and use of Village Parks and Facilities shall be set by the Village Board annually as part of Appendix A in the Village Code of Ordinances.
- (b) The fee structure may be fully or partially waived by the Committee upon recommendation of Village Staff on a case by case basis based on the following factors:
 - (1) Whether the user organization has made previous or current financial or in-kind contributions to improve Village parks or recreational facilities.
 - (2) The residency of the group requesting the waiver, based on the business location of the organization rather than the residency distribution of individual team members.
 - (3) Whether the requesting group provides ongoing field maintenance services or other activities that are of benefit to other users or to Village residents at large.
 - (4) The nature and cost of services that the Village must provide to support the requested use.
 - (5) Whether the event is of general community interest.
 - (6) Whether the activity benefits the community at large by promoting positive societal values or behaviors.
 - (7) If other agreements are in place that address fee structure.

- (c) All events or programs that are organized or sanctioned by the McFarland School District shall be exempt from fees.
- (d) User fee and security deposit is to be paid at the time the reservation is made.
- (e) Reservations cancelled less than thirty (30) days prior to the event only get the security deposit returned.
- (f) No refunds will be made due to inclement weather or other circumstances.
- (g) If there are damages to the park in excess of the security deposit, the security deposit will not be returned and the excess cost of repair shall be the responsibility of the renter.

Adopted: February 10, 2020

Revised: None.

CHAPTER 2 Parks and Recreation Facility Policy

Appendix A

The following are a list of Village Community Organization Groups that the Committee has determined **may** be exempt from paying the **park shelter rental fee**:

4-H

Ally's Honky Tonk Hustle

American Legion

Boy Scouts

Chamber of Commerce

Family Festival

Friends of McFarland Parks

Friends of the Library

Garden Club

Girl Scouts

JAM Fest

Lioness Club

Lions Club

McFarland Hockey

McFarland Music Boosters

McFarland Soccer Club

McFarland Softball Association

McFarland Youth Center

McFarland Youth Softball

Optimists

School District of McFarland