

Tuesday, July 18, 2023

7:00 PM

McFarland Municipal Center
Community Room

AGENDA

You are invited to this meeting through a Zoom webinar. The public may attend in-person or remotely through the webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/81726729769>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 817 2672 9769

Press *9 to raise/lower hand. Press *6 to mute/unmute.

1. CALL TO ORDER, ROLL CALL.
2. PUBLIC APPEARANCES.
 - a. This is an opportunity for members of the public to address the Plan Commission for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Commission about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Commission should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Commission for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to community.development@mcfarland.wi.us to be included as part of the meeting.

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.
3. APPROVAL OF MINUTES.
 - a. Motion to approve the minutes of the June 20, 2023 Plan Commission meeting.
4. PUBLIC HEARINGS.
 - a. Public hearing on a Certified Survey Map (CSM) requested by Kolton and Elizabeth Urso to create a two-acre single family parcel located at 4056 Mahoney Road, Town of Dunn, WI.
 - b. Public Hearing on a Certified Survey Map (CSM) requested by Lineage Logistics Services LLC for 4704 Terminal Drive.
 - c. Public hearing on a Conditional Use Permit requested by Lyschel Bersch for wholesale and warehouse uses for a candle supply business located at 4903 Commerce Court.
5. BUSINESS.
 - a. Discussion and action on a Conditional Use Permit requested by Jason Preisler for an additional fifth dwelling unit located at 6212 South Court.

- b. Discussion and action on a Site Design Review Permit requested by the Village of McFarland and McFarland School District for park improvements at 5605 Red Oak Trail, Waubesa Intermediate School.
- c. Discussion and action to submit a letter of opposition to the Dane County Zoning & Land Regulation Committee, and Town of Dunn Town Board, regarding a proposed cell tower at 3486 CTH MN in the Town of Dunn, Dane County, WI. Dane County CUP #2583.

6. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, August 15, 2023 at 7:00PM.

7. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or village.clerk@mcfarland.wi.us by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

Plan Commission Minutes June 20, 2023, at 7:00 P.M.

Members Present: Carolyn Clow, Stephanie Brassington, Scott Peters, Chris Reynolds, Austen Conrad, Jill Halverson

Members Absent: Peter Bloechl-Anderson

Staff Present: Andrew Bremer, Kong Thao

1. CALL TO ORDER, ROLL CALL

Chair Clow called the meeting to order at 7:00 P.M.

2. PUBLIC APPEARANCES.

None.

3. APPROVAL OF MINUTES

- a. Motion to approve the minutes of the May 16, 2023, Plan Commission meeting.

Clow moved to approve the minutes of the May 16, 2023, Plan Commission meeting. Peters seconded the motion. Motion carried 6-0.

4. PUBLIC HEARINGS

- a. Public hearing for a Conditional Use Permit requested by Jason Preisler for an additional fifth dwelling unit located at 6212 South Court.

The Commission concurred to address the other business items on the agenda as the applicant was not present.

Thao provided summary on the requested public hearing item while highlighting the calculated dwelling units/acre of the property. Further, Thao clarified why a conditional use permit is required based on the additional unit added. The applicant was present to answer questions from the public or the Commission members. Clow opened the public hearing at 7:36 PM. Seeing no person from the public wishing to speak on the item, Clow closed the public hearing at 7:38 PM.

5. BUSINESS

- a. Discussion and action on a Site Design Review Permit requested by CHS for an accessory structure at 4103 Triangle Street.

Thao provided summary on the agenda item emphasizing the Commission's review of the proposed accessory structure's materials and design, while the Board of Zoning Appeal's will discuss the request for a variance based on the proposed location. Staff included that the request is a replacement, stemming from its previous location which caused safety concerns on site. Additional staff comments on the landscaping recommendation were covered based on onsite inspection.

Clow motioned to approve the site/design review requested by CHS for an accessory structure at 4103 Triangle Street with the following conditions of approval,

1. The applicant to obtain a variance to the front yard setback requirement from Sec. 62-72 for M-IC zoning districts through the Board of Zoning Appeals.
2. Applicant to complete the paving of the northern driveway approach.
3. Applicant to submit a landscaping plan in accordance with Appendix B of the Municipal Code, to the Community Development Director for staff approval prior to issuance of a building permit providing a minimum of 17 front yard landscaping points and minimum of 80 landscaping points between the south driveway entrance and south side lot line.

Motion seconded by Peters. Motion passed 6-0.

- b. Discussion and action on a Site Design Review Permit requested by the Village of McFarland for an addition to an existing shed within Lewis Park at 5012 Highland Drive.

Thao provided summary on the agenda item. No significant concerns were raised during staff's review of the request.

Clow motioned to approve a Site Design Review Permit requested by the Village of McFarland for an addition to an existing shed within Lewis Park at 5012 Highland Drive as submitted. Motion seconded by Brassington. Motion passed 6-0.

Clow motioned to recess. Seconded by Brassington. Motion passed 6-0. Recess started at 7:16 PM and resumed at 7:17 PM.

- c. Discussion and action to make a recommendation to the Village Board regarding streetscaping services within Segment 7 of the USH 51 WisDOT Project.

Bremer provided a summary on the agenda item addressing WisDOT's expected timeline, installation of roundabouts at the on and off ramp to USH 51 and Siggelkow Road. Bremer provided how this presents an opportunity for the Village

to provide additional improvements and streetscaping features to the area. The Commission discussed additional locations for roundabouts within the Village, the impact of improvements to traffic back-up and safety.

Clow motioned to recommend to the Village Board to approve a contract with SEH in the amount of \$14,900.00 for streetscaping services within Segment 7 of the USH 51 WisDOT Project. Seconded by Conrad. Motion passes 6-0.

- d. Discussion regarding updates to the Village's Zoning Code related to accessory uses and structures.

Bremer provided a summary of staff findings on the agenda item. Bremer highlighted the redline edits provided in the packet and staff reasoning behind the proposed changes.

Discussion from the Commission included allowance of accessory structures in the side and front yards, accessory structure materials, structure sizes, color, exemptions based on zoning regulation, and desired appearance. Bremer referenced the images included in the packet to assist in describing the buildable spaces. Bremer noted at this point it is staff's preference to consider allowances for accessory dwelling units as part of the full Zoning Code rewrite in 2024. The Plan Commission felt comfortable moving ahead with scheduling a public hearing on the proposed amendments. Staff to schedule a public hearing for a future meeting once the edits have been reviewed with the Village Attorney.

6. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, July 18, 2023 at 7:00PM

7. ADJOURNMENT.

Brassington motioned to adjourn, Conrad seconded the motion. Motion carried 6-0. Meeting adjourned at 8:20 PM.

**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, July 18, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Public hearing on a Certified Survey Map (CSM) requested by Kolton and Elizabeth Urso to create a two-acre single family parcel located at 4056 Mahoney Road, Town of Dunn, WI.

PREVIOUS ACTION:

ISSUE SUMMARY:

Kolton and Elizabeth Urso, applicants and property owners, are seeking approval of a Certified Survey Map to divide a 2 acre parcel from an existing 40 acre parcel 028/0610-094-9000-7 for a future single family home. The applicants also own the adjacent properties to the west and east totaling approximately 96 acres. The associated CSM will create the 2 acre parcel, zoned RR-2 (Dane County Zoning), with the remaining parcel zoned Farmland Preservation (FP-35, Dane County Zoning). The property is within the Village's extraterritorial plat review jurisdiction, which requires the Plan Commission's review per Chapter 56, Subdivision of the Village Code of Ordinance.

EXISTING CONDITIONS

The property is 40 acres and zoned FP-35, Farm Preservation, located in the Town of Dunn.

The property includes approximately 17 acres of farm land and 9 structures in its southern half, while the remaining northern half of the property is largely undeveloped wetlands. Adjacent to the north includes undeveloped wetlands and radio towers. The applicant owns the adjacent lots to the west and east that are used as farmland. Adjacent to the south is another farmland property that includes undeveloped land.

C&ED STAFF COMMENTS

Staff comments to update the description provided on page two of the CSM for Lot 1 which describes the size as 97,713 SF or 2.243 acres, however the map simplifies the space to 87,120 SF and 2 acres. The information should provide a matching description with the map labels.

DEPARTMENT HEADS COMMENTS

No other comments or concerns were received from the Village Engineer, Public Works Director, Fire Chief, and Police Chief.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.



FINANCIAL/BUDGET IMPACT:

The applicant will incur all costs associated with the request.

VILLAGE PLAN REFERENCE:

The property is identified as Agricultural Preservation on the Future Land Use Map of the Village's Comprehensive Plan. Figure 4.1 identifies the General Description of Land Uses Allowed under this classification as *"Envisioned for long-term (15+ year) farming and open space. Also allows farmsteads, limited non-farm housing, and associated home occupations and family businesses. May be served by private well and septic."* The development Policies further describe *"limit non-farm residential development to a maximum density of 1 home per 35 acres of lands in contiguous single ownership, within clusters of smaller individual home sites as opposed to housing on 35+ acre lots."* and *"assure that rural uses do not impede very long-term urban development or road or utility extensions."* In Staff's opinion, the proposed CSM is consistent with the Village's Comprehensive Plan.

The property is also within the Town of Dunn and Village of McFarland 2005 Intermunicipal Cooperative Agreement. The property is located within the Village's "No Annexation Area". Under the Agreement, the Village is restricted from considering approval of submitted annexation petitions.

ORDINANCE REFERENCE:

Chapter 56, Subdivisions.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This item is for discussion only. Action on this item will be considered at the Plan Commission's August 15, 2023 meeting.

ATTACHMENTS:

1. 4056 Mahoney Road_ CSM PC Application_06.01.23
2. McFarland Comprehensive Plan_Map 6_Future Land Use



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner	Kolton and Elizabeth Urso	Applicant's Agent	Birrenkott Surveying
		Name	Mark Pynnonen
Address	1233 N. Page St., Stoughton	Address	1677 N. Bristol St., Sun Prairie
Email	koltonurso@gmail.com	Email	mpynnonen@birrenkottsurveying.com
Phone #	608-770-6035	Phone #	608-837-7463
Fax #		Fax #	608-837-1081

Parcel No(s). 0610-094-9000-7

Type of Proposal – Please check boxes below that apply

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☒ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants; e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

~~The Ursos are considering splitting off a two-acre parcel from their ~96-acres. Address of the proposed CSM: 4056 Mahoney Road. Legal description: Southwest 1/4 of the Southeast 1/4, Section 9, T6N, R10E, Town of Dunn. Current zoning: FP-35, pending a proposed rezone to RR-2. Please see the attached letter of intent.~~

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☒ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2023 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)-----	January 17
January 10 -----	February 21
February 7 -----	March 21
March 7 -----	April 18
April 4 -----	May 16
May 9 -----	June 20
June 6 -----	July 18
July 5 -----	August 15
August 8 -----	September 19
September 5 -----	October 17
October 10 -----	November 21
November 7 -----	December 19 (Pending)
December 5 -----	January 16, 2024 (Pending)

Note, applications requiring a public hearing will be scheduled for a hearing according to the schedule above, with action considered at the next scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

X

Mark A. Fenneman AGENT FOR
Signature of Applicant/Agent KOLTON KRSO

June 1, 2023

Date

Letter of Intent
4056 Mahoney Road
McFarland, WI 53558
Kolton Urso

Hello,

In Jan 2022 my wife and I purchased 3 parcels (~96 acres) at the corner of HWY 51 and Mahoney Road. The property is all zoned FP-35 with approximately 3 acres of non-farmed land with structures on it. We are looking to create two (2) 2-acre residential envelopes that encompasses the 3 acres that currently have structures on it.

(West Lot) This lot would be a 2-acre spot rezone that contains most of the current structures. This area would remain attached to the farmland. We would be looking to build our future home here.

(East Lot) This lot would be a land division and rezone to create a new 2-acre residential lot. This lot would be directly adjacent to the other lot and overlap with the current non-farmed are. We are planning to sell this lot to relatives.

The goal of this land divisions/rezone is to keep the residential properties clustered and to preserve additional farmland by overlapping the new lot with the current non-farmed area with structures.

We have met with a builder and the location of these two lots capture the two flattest areas for home sites. This will require the least amount of earth moving/shaping and reduce the need for retention wall/ erosion control.

We have had a pre-application meeting with the Town of Dunn, and they have signaled that this plan is acceptable to them and meets the towns Comp. Plan and overall town goals.

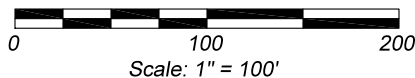
Thank you for the consideration, please reach out to me if you have any questions.

Thank you,

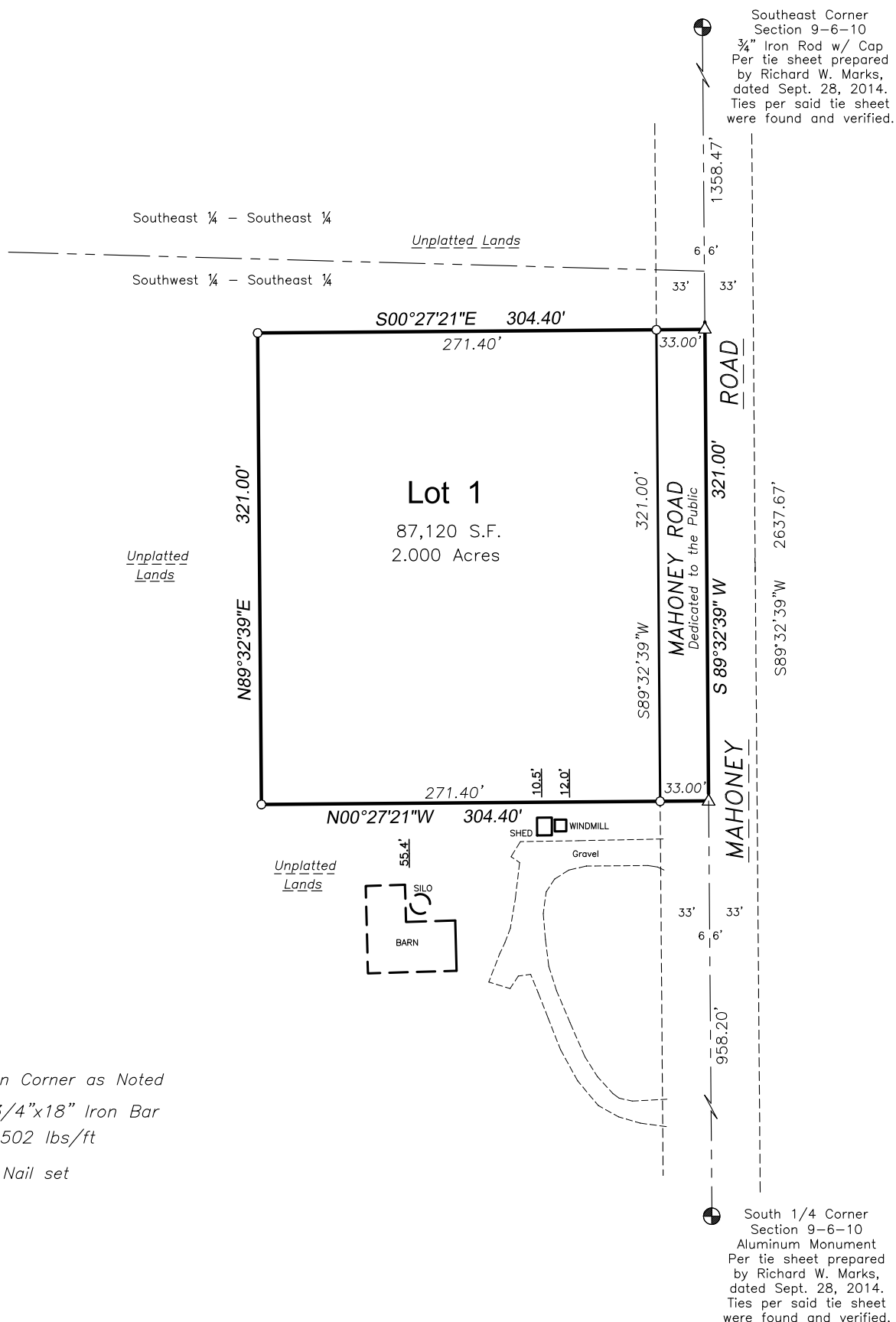
Kolton Urso
608-770-6035
koltonurso@gmail.com



CERTIFIED SURVEY MAP
Part of the Southwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 9, T6N, R10E,
Town of Dunn, Dane County, Wisconsin



Bearings referenced to the South
line of the Southeast $\frac{1}{4}$, bearing
S89°32'39"W



● = Section Corner as Noted
 ○ = Set 3/4"x18" Iron Bar
 Wght. 1.502 lbs/ft
 △ = "PK" Nail set

DOCUMENT NO.

Sheet 1 of 3
Office Map No. **220987CSM**



CERTIFIED SURVEY MAP

DATED: June 12, 2023

**Birrenkott
Surveying**
P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

Surveyor’s Certificate:
I, Chris K. Casson, hereby certify that this survey is in full compliance with Chapter 236.34 of Wisconsin Statutes. I also certify that by the direction of the owners listed hereon, I have surveyed and mapped the lands described hereon and that the map is a correct representation of all the exterior boundaries of the land surveyed and the division of that land, in accordance with the information provided.

Chris K. Casson, Professional Land Surveyor No. S-3264

Description:
Part of the Southwest ¼ of the Southeast ¼ of Section 9, T6N, R10E, Town of Dunn, Dane County, Wisconsin, described as follows: Commencing at the Southeast Corner of said Section 9; thence S89°32'39"W, 1358.47 feet along the South line of said Southeast ¼ to the point of beginning; thence continuing along said South line S89°32'31"W, 321.00 feet; thence N00°27'21"W, 304.40 feet; thence N89°32'39"E, 321.00 feet; thence S00°27'21"E, 304.40 feet to said South line and the point of beginning; Containing 97,713 square feet or 2.243 acres.

Owners Certificate:
We, Kolton and Elizabeth Urso, as owners do hereby certify that we have caused the lands described on this Certified Survey Map to be surveyed, divided, dedicated and mapped as represented on this Certified Survey Map. We also certify that this Certified Survey Map is required by S.75.17(1)(a), Dane County Code of Ordinances to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

Kolton Urso, Owner Elizabeth Urso, Owner

State of Wisconsin)
Dane County) ss Personally came before me this _____ day of _____, 2023, the above-named Kolton and Elizabeth Urso to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Dane County, Wisconsin. My Commission Expires

Printed name

Town of Dunn Approval Certificate
This Certified Survey Map, including the road dedication herein, is hereby acknowledged, accepted and approved for recording by the Town Board of the Town of Dunn, Dane County.

Cathy Hasslinger – Clerk/Treasurer Dated _____
Town of Dunn

Notes: Utilities Easement: No poles or buried cables are to be placed on any lot line or corner.
-The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.
-Wetlands, if present, have not been delineated.
-This survey is subject to any and all easements and agreements both recorded and unrecorded.
-Refer to building site information contained in the Dane County Soil Survey.
-This survey shows only above-ground improvements, others may exist. No guarantee is made for below-ground structures.

Approved for recording per Dane County Zoning and Land Regulation Committee

action of _____, 2023 by _____
Daniel Everson, Authorized Representative

Surveyed For:
Kolton & Elizabeth Urso
1233 N Page Street
Stoughton, WI 53589

Surveyed: TAS
Drawn: BTS
Checked: CKC
Approved: CKC
Field book:
File:J:\2022\Carlson

Register of Deeds Certificate:
Received for recording this _____ day of _____, 2023
at _____ o'clock ____ m and recorded in Volume _____ of Certified Survey
Maps of Dane County on Pages _____.

Kristi Chlebowski, Register of Deeds

Sheet 2 of 3
Office Map No.: 220987CSM

Document No. _____
Certified Survey Map No. _____, Volume _____, Page _____



CERTIFIED SURVEY MAP

Dated: June 12, 2023

**Birrenkott
Surveying**
P.O. Box 237
1677 N. Bristol Street
Sun Prairie, Wisconsin 53590
Phone (608) 837-7463
Fax (608) 837-1081

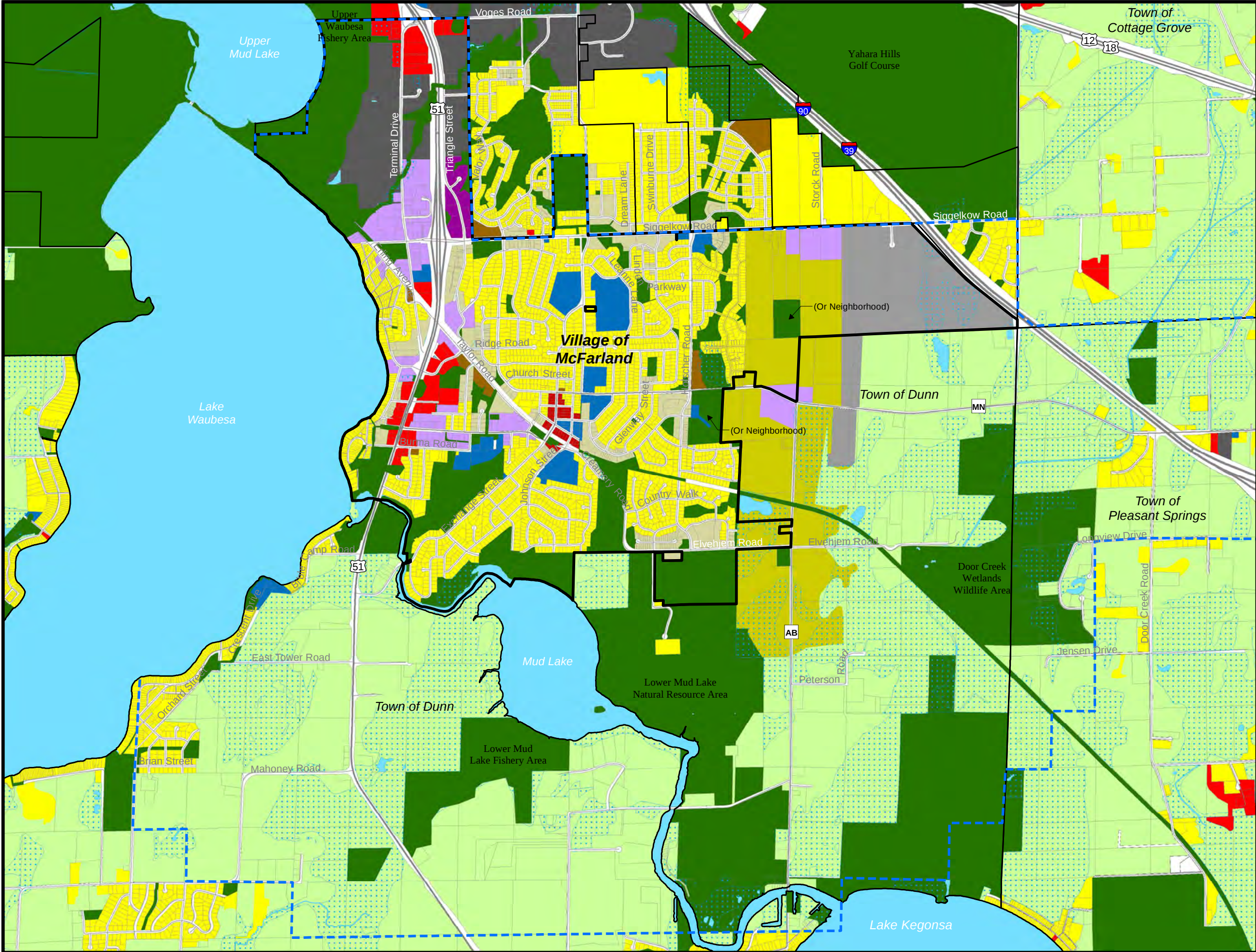
Village of McFarland Certificate:
Resolved that this Certified Survey Map, is hereby acknowledged,
accepted and approved for recorded by the Village of McFarland.

Cassandra Suettinger, Clerk
Village of McFarland

Dated _____

Surveyed For:
Kolton & Elizabeth Urso
1233 N Page Street
Stoughton, WI 53589

Surveyed: TAS
Drawn: BTS
Checked CKC
Approved: CKC
Field book:
File:J:\2022\Carlson



MAP 6

FUTURE LAND USE



COMPREHENSIVE PLAN

Legend

Future Land Use

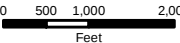
- Single Family Residential
- Two Family and Townhouse Residential
- Multiple Family Residential
- Neighborhood
- Downtown
- Highway and General Commercial
- Commercial Park
- Industrial
- Mixed Use/Flex Commercial
- Institutional and Governmental
- Public Lands, Recreation, and Environmental Corridor
- DNR Wetlands and Potential Wetland Indicators over Undeveloped Lands
- Agricultural Preservation
- Urban Reserve
- Water
- Rights-of-Way

--- Village of McFarland Extraterritorial Jurisdiction Boundary

⬢ Village of McFarland Limits (8/18)

⬢ Other Municipal Limits (2018)

Shapes on this map represent the Village's vision for future land use within the Village and its extraterritorial jurisdiction. For such lands, this map is not intended to represent existing land use or zoning, or to compel property owners to change the use of their land. For example, owners of agricultural or other rural land may maintain their current land use. Actual boundaries between different future use categories and implementing zoning districts may vary somewhat from representations on this map. This map also identifies the City's Marsh Road Neighborhood Plan west of the Interstate and north of Siggelkow Road, and existing land use elsewhere beyond the Village's extraterritorial jurisdiction.



Date: May 2019

Data Sources: Village of McFarland, Dane County LIO, WDNR, and CARPC



VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, July 18, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Public Hearing on a Certified Survey Map (CSM) requested by Lineage Logistics Services LLC for 4704 Terminal Drive.

PREVIOUS ACTION:

ISSUE SUMMARY:

Lineage Logistics Services LLC, applicant and property owner, is requesting approval of a Certified Survey Map (CSM) to combine parcels 154/0710-342-8711-1 and 154/0710-331-8250-7, located at 4704 Terminal Drive. Both parcels are owned and occupied by the applicant. The CSM includes a 50' x 60' area ("Parcel B") between the adjacent 4606 Terminal Drive property. This land area was recently purchased by the applicant from the adjacent landowner and is part of the applicant's driveway.

EXISTING PROPERTY

Parcel 154/0710-342-8711-1 is approximately 19.8 acres and parcel 154/0710-331-8250-7 is approximately 10.5 acres. Together, the combined properties make 30.3 acres and are zoned M-IC, Manufactured Intensive Commercial. Near the west connection to the railroad, approximately 0.8 acres, this land is zoned CO, Conservancy. The properties include a rail road which enters from the southwest corner, traveling east along the south lot line then exits north near the 50' x 60' areas. Across both parcels is a single story 195,146 square foot metal building. West of this building is a rainwater retention pond. Further east, closer to Terminal Drive, includes an 11,000 building. Adjacent along Terminal Drive and outside of the security fence is Lift Station #4.

Adjacent to the north are two parcels owned by Citgo Petroleum at 4606 Terminal Drive, a petroleum manufacturer. These properties are zoned M-IC, Manufactured Intensive Commercial. There are three adjacent properties to the south which include an undeveloped property owned by WI DNR, zoned CO Conserverancy, another petroleum manufacturer at 4516 Siggelkow Road, M-IC and 4712 Terminal Drive, a storage facility zoned C-H Highway Commercial. Adjacent to the east is a multi-family building, zoned PD Planned Development.

C&ED STAFF COMMENTS

The Village's Subdivision Code provides the definition for Collector streets in Sec. 59-139(e)(2) as follows, "*Collector streets shall provide ready collection of traffic from commercial and residential areas and conveyance of this traffic to the major street and highway system and shall be properly related to special traffic generators such as schools, houses of worship and shopping centers and other concentrations of population and to the major streets into which they feed.*" Terminal Drive



is consistent with this definition and is identified by the Madison MPO as a Collector Street. Per Sec. 56-139(w) of the Village's Subdivision Code, collector streets require 70' of ROW width to be dedicated. Staff recommends dedication of the additional two feet to the existing 33' as indicated in the associated CSM's boundary description of Lot 1. The applicant's attorney has raised the question whether this portion of the Subdivision Code is applicable to their CSM since their client is not constructing a new street. Staff is working with the Village Attorney on a response to this concern prior to the Plan Commission taking action on the CSM at their August 15 meeting. Staff also recommends the boundary description and map be updated to reflect the metes and bounds description of the outer boundary of proposed Lot 1.

DEPARTMENT HEAD COMMENTS

No other comments or concerns were received from the Village Engineer, Public Works Director, Fire Chief and Police Chief.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.

FINANCIAL/BUDGET IMPACT:

The applicant will incur all costs associated with the request.

VILLAGE PLAN REFERENCE:

Terminal and Triangle District Plan, 2005 - The property falls within the TID #3 boundary. The associated CSM does not look to add any additional or alter any existing structures and impervious surfaces. The property maintains the existing use.

Comprehensive Plan, 2017 - Future Land Use Map 6 identifies the property as Industrial. The associated CSM does not propose rezoning the property. The current use is consistent with the Future Land Use Map.

ORDINANCE REFERENCE:

Chapter 56 - Subdivisions

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This item is for discussion only. Action on this item will be considered at the Plan Commission's August 15, 2023 meeting.

ATTACHMENTS:

1. 4704 Terminal Drive_CSM PC Application_05.24.23
2. McFarland Comprehensive Plan_Map 6_Future Land Use

May 24, 2023

Village of McFarland
Community & Economic Development
5915 Milwaukee Street
McFarland, WI 53558

Re: *Our Client: Lineage Logistics Services LLC*
RE: Plan Commission Application re: CSM
4704 Terminal Drive, McFarland, Wisconsin

Dear Sir/Madam:

Enclosed please find the Plan Commission Application – 2023 together with the attached documents for the Planning Commission's approval.

Sincerely,

AXLEY BRYNELSON, LLP



Edward J. Lawton
Enclosures
EJL/lt



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner	Lineage Logistics Services LLC	Applicant's Agent	Axley Brynson, LLP
		Name	Attorney Ed Lawton
Address	4704 Terminal Drive, McFarland, WI 53558	Address	N17W24222 Riverwood Drive, Suite. 250, Waukesha, WI 53188
Email		Email	elawton@axley.com
Phone #	(800) 678-7271	Phone #	(262) 409-2278
Fax #		Fax #	(262) 524-9200

154/0710-342-8711-1 and

Parcel No(s). 154/0710-331-8250-7

Type of Proposal – Please check boxes below that apply

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
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☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

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F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants;
e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
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☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

Please reference the attached document.

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☒ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

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***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)-----	January 17
January 10 -----	February 21
February 7 -----	March 21
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Acknowledgements:

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X



Signature of Applicant/Agent

May 19, 2023

Date

Nature of the Development Proposal

Address: 4704 Terminal Drive, McFarland, WI 53558

Parcel Numbers: 154/0710-342-8711-1 and 154/0710-331-8250-7

Legal Description:

Parcel A:

PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER AND PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 33 AND PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, ALL IN TOWN 7 NORTH, RANGE 10 EAST OF THE 4TH P.M., VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN, WHICH FURTHER DESCRIBED AS FOLLOWS:

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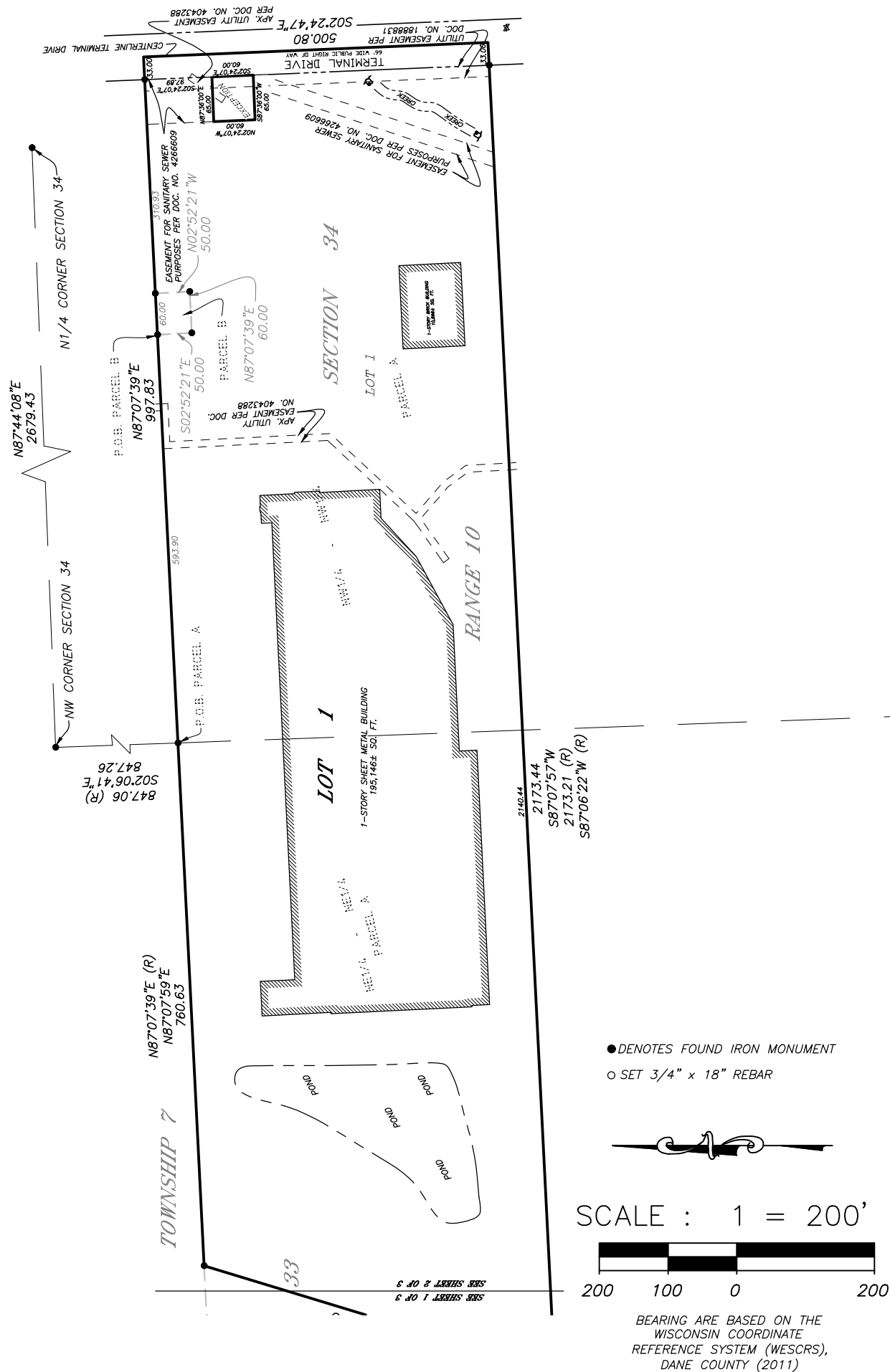
Zoning: MI – Manufacturing and Industrial

Description of Request: Approval of the Certified Survey Map ("CSM") prepared by Michael A. Stang, License No. S-3058-8, of Northwestern Surveying and Engineering, Inc., for both parcels 154/0710-342-

8711-1 and 154/0710-331-8250-7. The purpose of the CSM is to incorporate the property conveyed by Citgo Petroleum Corporation to Lineage Logistics Services LLC into a current CSM of the parcels owned by Lineage Logistics Services LLC.

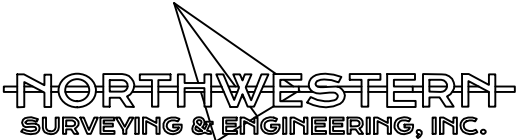
CERTIFIED SURVEY MAP NO. _____

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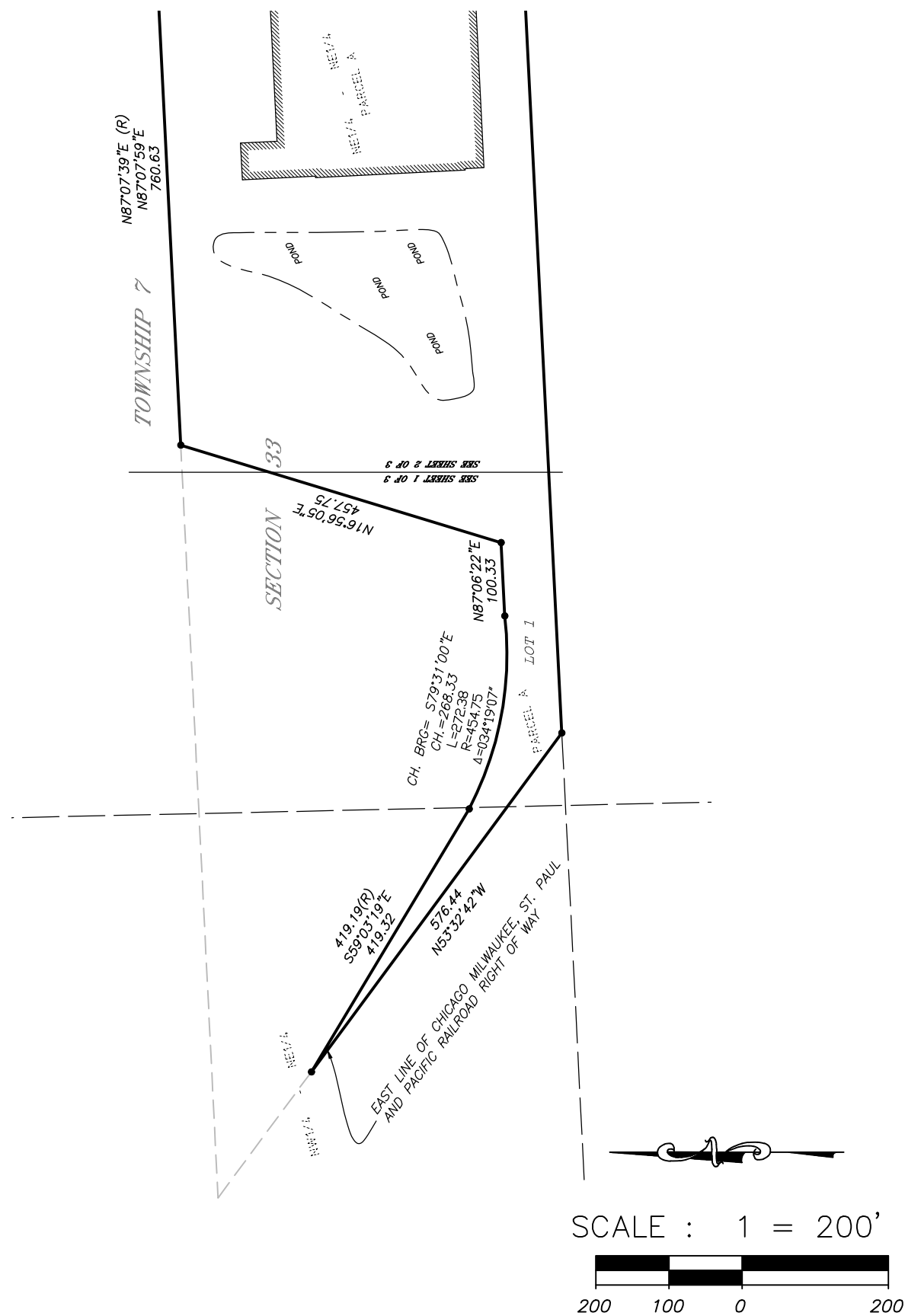
PREPARED FOR: Lineage Logistics Services, LLC,
a Delaware limited liability company

NWSE JOB NO. 23555
SHEET 1 OF 4



CERTIFIED SURVEY MAP NO. _____

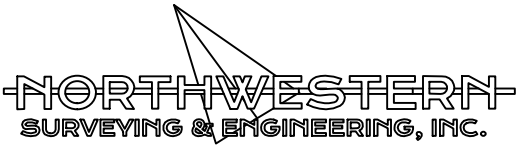
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BEARING ARE BASED ON THE
WISCONSIN COORDINATE
REFERENCE SYSTEM (WESCRS),
DANE COUNTY (2011)

PREPARED FOR: Lineage Logistics Services, LLC,
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NWSE JOB NO. 23555
SHEET 2 OF 4



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SURVEYOR'S CERTIFICATE

I, MICHAEL A. STANG, PROFESSIONAL LAND SURVEYOR S-3058-8, DO HEREBY CERTIFY THAT BY THE DIRECTION OF THE VILLAGE OF MCFARLAND, I HAVE SURVEYED, COMBINED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN.

MICHAEL A. STANG S-3058-8 DATED
PROFESSIONAL LAND SURVEYOR

OWNER'S CERTIFICATE:

LINEAGE LOGISTICS SERVICES, LLC A DELAWARE LIMITED LIABILITY COMPANY, AS OWNER, DO HEREBY CERTIFY THAT SAID OWNER HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, COMBINED, MAPPED, AND DEDICATED AS REPRESENTED HEREON. SAID OWNER FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE VILLAGE OF MCFARLAND FOR APPROVAL.

IN WITNESS WHEREOF, LINEAGE LOGISTICS SERVICES, LLC A DELAWARE LIMITED LIABILITY COMPANY, HAS CAUSED THESE DOCUMENTS TO BE SIGNED BY THEIR REPRESENTATIVE THIS ____ DAY OF _____, 2023

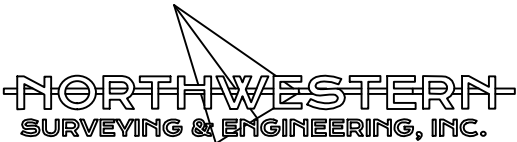
LINEAGE REPRESENTATIVE DATED

STATE OF WISCONSIN
COUNTY OF _____

PERSONALLY CAME BEFORE ME ON THIS ____ DAY OF _____, 2023
THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE
FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, _____ COUNTY, _____ MY COMMISSION EXPIRES

PREPARED FOR: Lineage Logistics Services, LLC,
a Delaware limited liability company



CERTIFIED SURVEY MAP NO. _____

LOCATED IN THE NW1/4-NE1/4 AND THE NE1/4-NE1/4 OF SECTION 33 AND THE NW1/4-NW1/4
OF SECTION 34, T7N, R10W, VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN

VILLAGE OF MCFARLAND PLAN COMMISSION CERTIFICATE

THIS CERTIFIED SURVEY MAP, INCLUDING ANY DEDICATIONS SHOWN THEREON, IS HEREBY APPROVED BY THE PLAN COMMISSION
OF THE VILLAGE OF MCFARLAND ON THIS _____ DAY OF _____, 2023

CASSANDRA SUETTINGER, VILLAGE CLERK/TREASURER

VILLAGE OF MCFARLAND BOARD CERTIFICATE

RESOLVED, THAT THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED AND DEDICATIONS ACCEPTED BY THE VILLAGE BOARD OF
THE VILLAGE OF MCFARLAND ON THIS _____ DAY OF _____, 2023

CASSANDRA SUETTINGER, VILLAGE CLERK/TREASURER

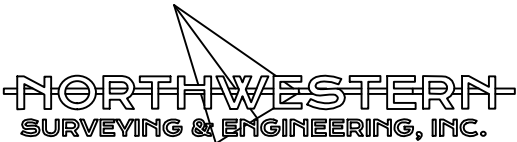
DANE COUNTY REGISTER OF DEEDS CERTIFICATE

RECEIVED FOR RECORDING THIS _____ DAY OF _____, 2023, AT _____ O'CLOCK ____M. AND
RECORDED IN VOLUME _____ OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES _____ AS
DOCUMENT NO. _____

KRISTI CHLEBOWSKI, REGISTER OF DEEDS
DANE COUNTY, WISCONSIN

PREPARED FOR: Lineage Logistics Services, LLC,
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NWSE JOB NO. 23555
SHEET 4 OF 4



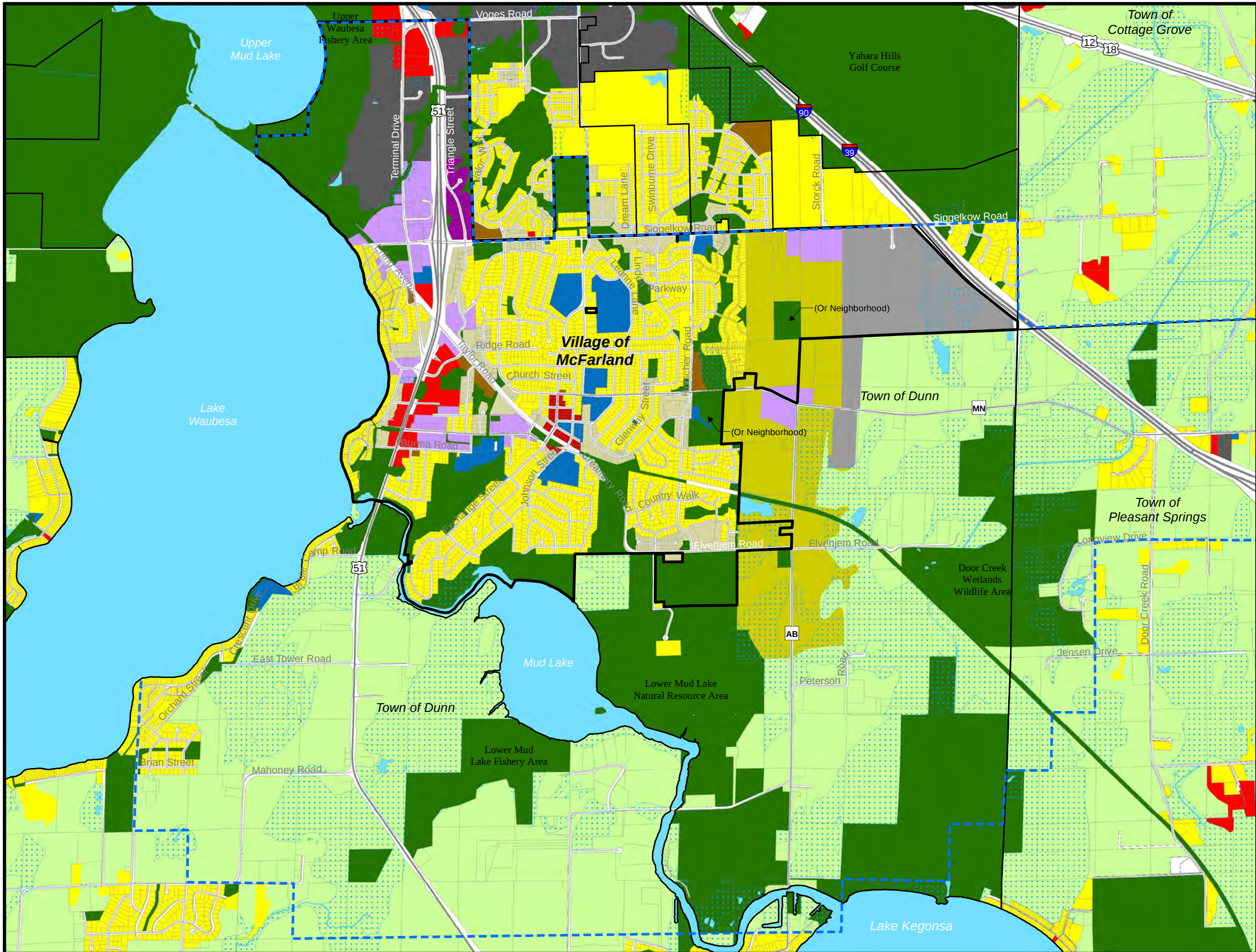
FUTURE LAND USE



Future Land Use

-  Village of McFarland Extraterritorial Jurisdiction Boundary
-  Village of McFarland Limits (8/18)
-  Other Municipal Limits (2018)

Data Sources: Village of McFarland,
Dane County LIO, WDNR, and CARPC



**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, July 18, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Public hearing on a Conditional Use Permit requested by Lyschel Bersch for wholesale and warehouse uses for a candle supply business located at 4903 Commerce Court.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

Lyschel Bersch, applicant, is requesting a conditional use permit to operate a wholesale and warehouse candle supply business located at 4903 Commerce Court. The applicant's submittal does not include any improvements to the interior or the exterior of the property. Additional truck shipping several times a week will be the extent of the activity on the property. The company currently has four employees. The hours of operation will be between 11:00am - 6:00pm.

EXISTING PROPERTY

The property is 1.26 acres and is currently zoned C-P Commercial Park. The property includes an 11,000 SF single tenant commercial building. The property includes three driveways on the property with the main entrance facing Trangle Street. There are 19 off-street parking spaces on the property and a truck loading dock at the building's southeast corner.

Adjacent to the north is 4911 Commerce Court, occupied by Mad City Storage, a moving company. Adjacent to the northwest is 4904 Commerce Ct, occupied by Credo Product Development, an engineering and design firm. Adjacent to the south is 4803 Triangle Street, occupied by Zorn Compressor & Equipment, a distributor of compressed air equipment and parts. Adjacent to the east is mostly undeveloped land which also includes a water retention pond, owned by the Village. All adjacent properties mentioned are zoned C-P Commercial Park.

CONDITIONAL USE PERMIT REVIEW

The packet includes the Applicant's responses to Sec. 62-111, Conditional Uses Standards. Sec. 62-114 provides that prior to granting of any conditional use, the Plan Commission may stipulate or impose such conditions and restrictions upon the establishment, location, construction, maintenance, and operation of the conditional use as deemed necessary to promote the public health, safety, and general welfare of the community and to secure compliance with the standards and requirements specified in Sec. 62-111.



The property is zoned C-P Commercial Park. "Wholesale trade (except for petro terminals) are a conditional use in the C-P District. Sec. 62-68(m), Statement of Purpose, C-P Commercial Park District, states that this district is *"established to provide an esthetically attractive working environment exclusively for and conducive to the development and protection of offices, non-nuisance type manufacturing operations, research and development institutions and limited retail businesses. The essential purpose of this district is to achieve development, which is an asset to the owners, neighbors and the Village, and to promote and maintain desirable economic development in a park-like setting."*

In Staff's opinion, the applicant's responses to Sec. 62-111 are generally adequate. Staff comments are provided below regarding the applicant's responses.

- Sec. 62-111(f) - The applicant's response indicates that they are not proposing any modifications to the building or site plan. This includes no intent to store items outdoors or in any yard spaces.
- Sec. 62-111(h) - The Village's Fire Chief is working with the applicant to determine potential high piled storage requirements on the property in relation to applicable International Fire Codes.
- Sec. 62-111(j)(2) - With no change being proposed to the site or building plan as indicated by the applicant's response, Staff have no concern regarding the potential and control of water pollution, including sedimentation, as the applicant intends to use the property as is.
- Sec. 62-111(j)(8) - The applicant did not indicate why their business will not interfere with other lands. However, based on the proposed operation from their responses and Staff's review of adjacent businesses, staff would concur with the statement.

C&ED STAFF COMMENTS

No additional comments or concerns to add to what was already stated in Staff's review.

DEPARTMENT HEAD COMMENTS

The Village's Fire Chief is working with the applicant to determine potential high piled storage International Fire Code requirements on the property. No additional comments or concerns from the Village Engineer, Public Works Director, and Police Chief.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.

FINANCIAL/BUDGET IMPACT:

The applicant will incur all costs associated with the request.

VILLAGE PLAN REFERENCE:

Comprehensive Plan, 2017 - Future Land Use Map 6 identifies the property as Commercial Park. The Figure 4.1 General Description of Land Uses allowed provides the following



description for Commercial Park, "*Light industrial, office, research, testing, health care, and other compatible and support uses (e.d., day care, health club, bank). Arranged in a controlled commercial, business, or office park setting, where allowable uses and activities include those associated with low levels of environmental impact, noise, odor, vibrations, and particulate emissions. Served by public sewer and water.*" In Staff's opinion, the proposed business is of compatible use, meeting the description for minimal impact on business-related activities.

ORDINANCE REFERENCE:

Sec. 62-111. - Conditional Use Standards

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This item is for discussion only. Action on this item will be considered at the Plan Commission's August 15, 2023 meeting.

ATTACHMENTS:

1. 4903 Commerce Court_Candle Cocoon CUP_06.02.2023
2. McFarland Comprehensive Plan_Map 6_Future Land Use



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner		Applicant's Agent	
		Name	
Address		Address	
Email		Email	
Phone #		Phone #	
Fax #		Fax #	

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X 
Signature of Applicant/Agent

6/2/23
Date



www.mcfarland.wi.us/communityandeconomicdevelopment | 5915 Milwaukee St, McFarland, WI 53558 | 608.838.3154

Conditional Use Permit Application

Statement of Purpose

The Village of McFarland Zoning Code is based upon the division of the Village into districts, within which districts the use of land and buildings, and bulk and location of buildings and structures in relation to the land, are mutually compatible and substantially uniform. However, there are certain uses which, because of their unique characteristics, cannot be properly classified as unrestricted permitted uses in any particular district, without consideration, in each case, of the impact of those uses upon neighboring land or public facilities, and of the public need for the particular use of a particular location. Such uses, nevertheless, may be necessary or desirable to be allowed in a particular district, provided that due consideration is given to location, development and operation of such uses. Such uses are classified as conditional uses. As used in this Subdivision, the term "substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion (Sec. 62-105(b)).

Submittal Requirements

Applicants shall submit one (1) hard copy of this application, along with the applicable fee, to the Community & Economic Development Department 5915 Milwaukee Street, PO Box 110, McFarland, WI 53558. In addition to the one hard copy, applicants shall submit one (1) electronic (pdf) copy to community.development@mcfarland.wi.us. Applicants shall also complete the separate [Plan Commission Application](#). Please refer to the second page of the Plan Commission Application for a list of submittal deadlines and meeting dates.

Per Sec. 62-108(a)(4) of the Village's Zoning Code, applicants may be required to provide additional information as may be required by the Plan Commission or other authorities, boards, commissions or officers of the Village. The Plan Commission may require such other information as may be necessary to determine and provide for an enforcement of this Chapter, including a plan showing contours and soil types; high-water mark and groundwater conditions; bedrock, vegetative cover, specifications for areas of proposed filling, grading, and lagooning; location of buildings, parking areas, traffic access, driveways, walkways, open spaces and landscaping; plans of buildings, sewage disposal facilities, water supply systems and arrangements of operations.

Per Sec. 62-108(a)(6) upon request by the Village Board, Plan Commission or Zoning Administrator, the applicant shall provide reports and studies, prepared by a qualified professional, addressing any applicable standard. The applicant is solely responsible for the cost of such reports and studies. A qualified professional is one with appropriate education, experience, license and/or certification pertinent to the

applicable standard, and the professional's qualifications should be provided with the report or study (e.g. a curriculum vitae or resume). If necessary, expertise is not available from staff or other appropriate governmental agency, the Village Board, Plan Commission or Zoning Administrator may consult with a third-party consultant to effectively evaluate the application. The Zoning Administrator will select the consultant. The applicant is solely responsible for all reasonable costs and expenses associated with such consultation. Applicants retain the right to withdraw an application if they choose not to pay consultant fees.

Per Sec. 62-114(a), prior to the granting of any conditional use, the Plan Commission, or the Village Board on appeal, may stipulate or impose such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the conditional use as deemed necessary to promote the public health, safety and general welfare of the community, and to secure compliance with the standards and requirements specified in Section 62-111. In all cases in which conditional uses are granted, the Plan Commission or Village Board shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated or imposed in connection therewith are being and will be complied with. Such conditions may include specifications for, without limitation because of specific enumeration:

1. Landscaping;
2. Type of construction;
3. Construction commencement and completion dates;
4. Sureties;
5. Lighting;
6. Fencing;
7. Operational control;
8. Hours of operation;
9. Traffic circulation;
10. Deed restrictions;
11. Access restrictions;
12. Setbacks and yards;
13. Type of shore cover;
14. Specified sewage disposal and water supply systems;
15. Planting screens;
16. Piers and docks;
17. Increased parking; or
18. Any other requirements necessary to fulfill the purpose and intent of this Chapter

Applicants are encouraged to review the full list of [Conditional Use regulations](#) within the Village's Zoning Code prior to completing this application.

Village of McFarland – Conditional Use Permit Application

Applicant/Owner		Applicant's Agent (If applicable)	
Applicant Address		Agent Address	
Email		Email	
Applicant's Phone #		Agent's Phone #	
Project Site Address		Project Site Parcel #	
Current Zoning		Proposed Zoning (If applicable)	
Current Lot Size (Square Feet)		Current Building Size (Square Feet)	
Proposed Lot Size (If applicable)		Proposed Building Size (If applicable)	
Proposed Use		Number of Residential Units (If applicable)	
Describe the Proposed Operations (hours of operation, number of employees, truck delivery schedules, outdoor storage needs, etc.)			
Describe any Proposed Changes to the Building Interior*			
Describe any Proposed Change to the Building Exterior or Site**			

* Changes to the interior of a building may require approval of a Building Permit after consideration of the CUP.

**Changes to the exterior of the building or site may require approval of a Site Design Review Permit from the Plan Commission.

Please contact Department Staff to determine if a Building Permit or Site Design Review permit are required.

Sec. 62-111, Conditional Use Standards

Applicants are required to provide a detailed description addressing each item described in Sec. 62-111, (a) through (j) and (j)1 through (j)9. Applicants shall describe why in their opinion each standard is met by providing substantial evidence. Written responses such as “see plans” are not acceptable. The applicant must identify what specific portion of the project or plans supports the contention that a standard will be met by including, for example, a detailed description of compliance with any applicable Village land use plan or zoning regulations regarding light, dust, particulate emissions, noise, frequency, vibration, traffic, nuisances, odors, visibility, health, safety welfare and the environment. Applicants may attach submittal information to the application, including any reports, studies, or site plans.

Sec. 62-111(a) – The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Sec. 62-111(b) – The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

Sec. 62-111(c) – The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Sec. 62-111(d) – Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.

Sec. 62-111(e) – Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Sec. 62-111(f) – The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.

Sec. 62-111(g) – The proposed use does not violate floodplain regulations governing the site.

Sec. 62-111(h) – That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.

Sec. 62-111(i) – That, when applying the standards to any new consecution of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

Sec. 62-111(j) – In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.

1. The maintenance of safe and healthful conditions.

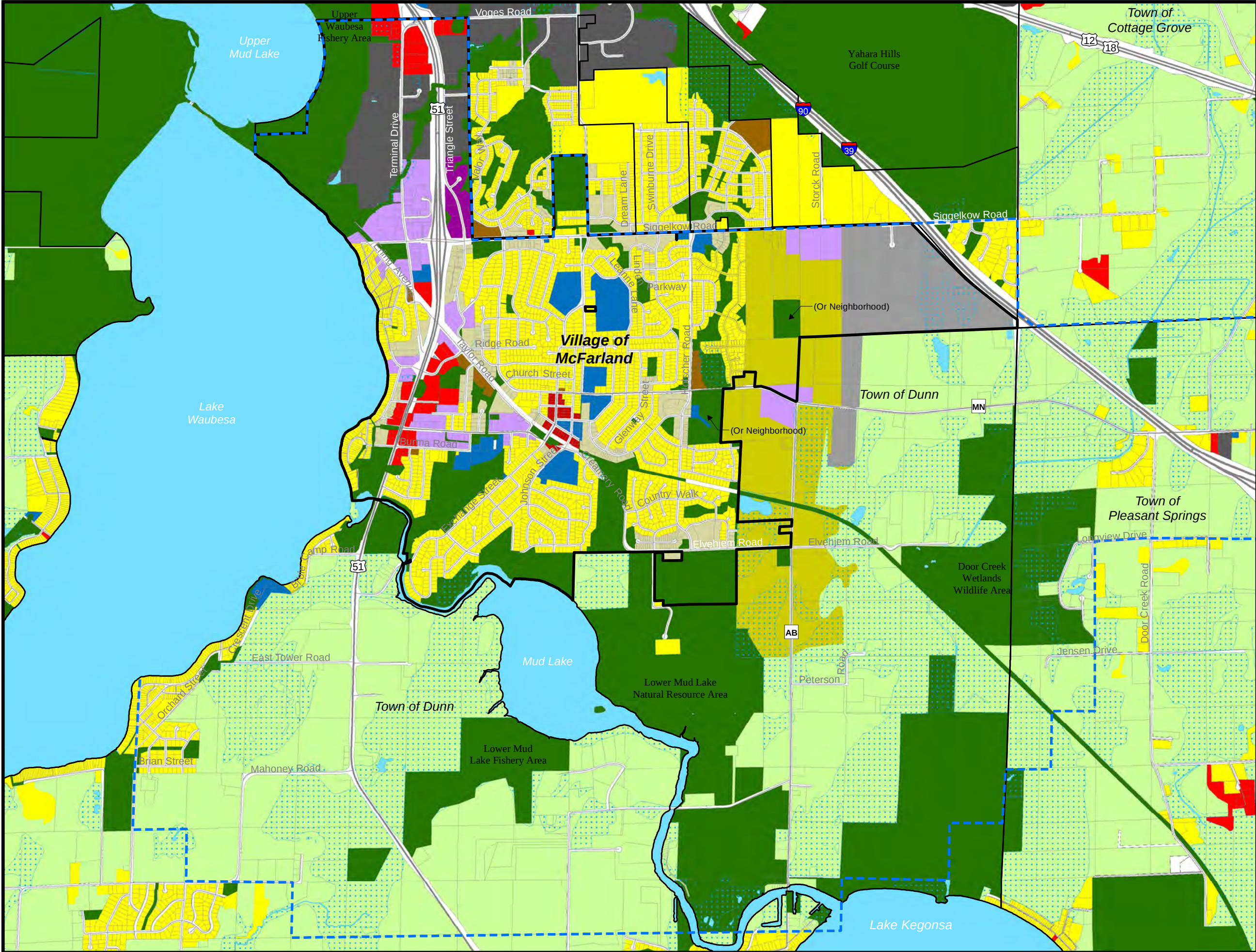
2. The prevention and control of water pollution including sedimentation.
3. Existing topographic and drainage features and vegetative cover on the site.
4. The location of the site with respect to floodplains and floodways of rivers and streams.
5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
6. The location of the site with respect to existing or future access roads.
7. The need of the proposed use for a shoreland location.
8. Its compatibility with uses on adjacent land.
9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

DISCLAIMER

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

Applicant's Name (Print): _____ Date: _____

Applicant's Signature: 



MAP 6

FUTURE LAND USE



COMPREHENSIVE PLAN

Legend

Future Land Use

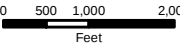
- Single Family Residential
- Two Family and Townhouse Residential
- Multiple Family Residential
- Neighborhood
- Downtown
- Highway and General Commercial
- Commercial Park
- Industrial
- Mixed Use/Flex Commercial
- Institutional and Governmental
- Public Lands, Recreation, and Environmental Corridor
- DNR Wetlands and Potential Wetland Indicators over Undeveloped Lands
- Agricultural Preservation
- Urban Reserve
- Water
- Rights-of-Way

--- Village of McFarland Extraterritorial Jurisdiction Boundary

▣ Village of McFarland Limits (8/18)

▣ Other Municipal Limits (2018)

Shapes on this map represent the Village's vision for future land use within the Village and its extraterritorial jurisdiction. For such lands, this map is not intended to represent existing land use or zoning, or to compel property owners to change the use of their land. For example, owners of agricultural or other rural land may maintain their current land use. Actual boundaries between different future use categories and implementing zoning districts may vary somewhat from representations on this map. This map also identifies the City's Marsh Road Neighborhood Plan west of the Interstate and north of Siggelkow Road, and existing land use elsewhere beyond the Village's extraterritorial jurisdiction.



Date: May 2019

Data Sources: Village of McFarland, Dane County LIO, WDNR, and CARPC



McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, July 18, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on a Conditional Use Permit requested by Jason Preisler for an additional fifth dwelling unit located at 6212 South Court.

PREVIOUS ACTION:

June 20, 2023 - Public hearing held for this item

ISSUE SUMMARY:

Jason Preisler, applicant and property owner, is requesting a conditional use permit to add an additional dwelling unit in the basement level of the existing four-unit multi-family building.

The proposed new unit will be approximately 650-700 SF with one bedroom, one bathroom, intended for a maximum occupancy of 2 persons. The existing space includes usable plumbing for kitchen and bathroom use. The new unit will include its own separate meter and a basement egress window on the north-west side of the building. An existing stairwell exit will also serve as the new unit's private entrance. Per Sec. 62.-69, multifamily dwellings are permitted by right up to eight units/acre and by conditional use permit up to 15 units/acre. The current density is 7.1. The fifth unit would increase the density to 8.8, requiring a conditional use.

EXISTING PROPERTY

The property is 0.57 acres and zoned R-3 General Residence. The property includes a single four-unit multi-family building and a garage located in the front yard. The property includes 12 off-street parking spaces and a pier in its rear yard providing access to Lake Waubesa.

Adjacent to the north and south are single-family homes. Both properties are zoned R-1B Single Family Residence. Adjacent to the east is undeveloped property owned by the Village. This property is zoned CO Conservancy. As a lakefront property, adjacent to the west is Lake Waubesa.

CONDITIONAL USE PERMIT REVIEW

The packet includes the Applicant's responses to Sec. 62-111, Conditional Uses Standards. Sec. 62-114 provides that prior to granting of any conditional use, the Plan Commission may stipulate or impose such conditions and restrictions upon the establishment, location, construction, maintenance, and operation of the conditional use as deemed necessary to promote the public health, safety, and general welfare of the community and to secure compliance with the standards and requirements specified in Sec. 62-111.



The property is zoned R-3 General Residence. Sec. 62-68(i), Statement of Purpose, R-3 General Residence District, states that this district is "*established to stabilize and protect certain medium density residential areas in the Village and to promote and encourage a suitable environment for family life where children are members of most families. Development in the R-3 District is limited primarily to smaller multiple-family dwellings, boarding homes, convalescent homes and recreational facilities to serve residents of the district.*"

In Staff's opinion, the applicant's responses to Sec. 62-111 are generally adequate. Staff notes that several of the applicant's responses indicated the fifth unit will increase the density to 8.4 DU/AC. The actual amount is 8.8 DU/AC. The parcel data for the size of the property shows discrepancies among multiple sources found. Staff determined the property size should be 0.565, or 0.57 acres as this value has been consistent with prior assessments before 2023 through Access Dane. This value may impact the density analysis within the applicant's responses to Sec. 62-111(a), (b), (f), (i). Additional staff comments regarding the applicant's responses are provided below:

- Sec. 62-111(b). The applicant has indicated to staff that the remaining common areas of the basement will still be accessible to the building's tenants for storage use and laundry use.
- Sec. 62-111(d). Staff comments on the applicant's intent to utilize existing utilities within the basement while adding the egress window, located on the north-west side of the building.
- Sec. 62-111(h). The Public Works Department has identified that the additional fifth dwelling unit will require the property owner to privately contract for trash and recycling pick-up per Sec. 50-4(3) of the Municipal Code.

STAFF COMMENTS

The Public Works Department has identified that the additional fifth dwelling unit will require the property owner to privately contract for trash and recycling pick-up per Sec. 50-4(3) of the Municipal Code. No other comments or concerns were received from the Village Engineer, Public Works Director, Fire Chief, and Police Chief.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.

FINANCIAL/BUDGET IMPACT:

The applicant will incur all costs associated with the request.

VILLAGE PLAN REFERENCE:

Comprehensive Plan, 2017 - Future Land Use Map 6 identifies the property as Single Family Residential. The use of the property is unchanged with this request as it is still used for residential purposes.

ORDINANCE REFERENCE:



Sec. 50-4(c) Approved Waste and Refuse Containers
Sec. 62-111. - Conditional Use Standards

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Motion, and second, to approve a Conditional Use Permit requested by Jason Preisler for an additional fifth dwelling unit located at 6212 South Court, with the following condition of approval:

1. The applicant to provide confirmation of private trash and recycling pick-up services for the property to Village Public Works Department prior to receiving an occupancy permit for the fifth dwelling unit.
2. Applicant to provide payment for all applicable Village impact fees for the additional fifth dwelling unit as part of the building permit.

ATTACHMENTS:

1. 6212 South Court_Preisler CUP_05.09.2023
2. McFarland Comprehensive Plan_Map 6_Future Land Use
3. 6212 South Court - MFR CUP Review 6.5.23

I purchased the 4-unit complex at 6212 South Ct. in October 2022. Each of the 4 units are 2 bedroom, 1 bathroom units and are approximately 1,000 square feet. I am seeking approval to convert a section of the basement space into a 5th unit, which would be 1 bedroom, 1 bathroom with max occupancy of 2 persons. This section of the basement is already configured with a separate stairwell exit, separate electrical and plumbing, with an existing kitchen and bathroom. This proposed unit will be located in the building in the existing usable space and will be approximately 700 square feet.

This project is not adding any additional square footage to the actual property and no expanded footprint to the building.

Additionally, this conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long-term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the allowable 8 dwelling units per acre allowable by right.

Currently, the property has 6 garage parking stalls and an additional 6 off-street parking spots on a parking pad located on the property, for a total of 12 off-street parking spots. Sec. 62-70 requires two off street parking spots per one or two bedroom units. As such, even with the addition of the 5th unit, no additional parking is needed to be added and there would still be an additional two spaces above the minimum code requirement.

The only required site improvement is to add a basement egress window to the North side of the building.

Thank you for your consideration of this conditional use permit.

Jason Preisler

,



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner		Applicant's Agent	
		Name	
Address		Address	
Email		Email	
Phone #		Phone #	
Fax #		Fax #	

Parcel No(s). _____ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants; e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☒ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2023 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)-----	January 17
January 10 -----	February 21
February 7 -----	March 21
March 7 -----	April 18
April 4-----	May 16
May 9-----	June 20
June 6-----	July 18
July 5 -----	August 15
August 8 -----	September 19
September 5 -----	October 17
October 10-----	November 21
November 7 -----	December 19 (Pending)
December 5-----	January 16, 2024 (Pending)

Note, applications requiring a public hearing will be scheduled for a hearing according to the schedule above, with action considered at the next scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

X **Preisler, Jason** Digitally signed by Preisler, Jason
Date: 2023.05.09 08:35:58 -05'00'

5/9/2023

Signature of Applicant/Agent

Date



Applicant - Owner	Jason Preisler	Applicant's Agent	
Address	2234 Colladay Point Dr. Stoughton, WI 53589	Address	
Email	jason.preisler@gmail.com	Email	
Phone #	(414) 465-9963	Phone #	
Fax #		Fax #	
Project Site Address	6212 South Ct. McFarland, WI 53558	Parcel No.	

Conditional Uses

The McFarland zoning code identifies land uses, which are not permitted, permitted, and permitted upon approval of a conditional use permit. Conditional uses are land uses not permitted outright but may be allowed if certain standards and conditions are met and Plan Commission grants approval.

All submitted Plan Commission applications which encompasses a request for a Conditional Use Permit (CUP) must include “substantial evidence”, which identifies specifically how the proposed conditional use meets each of the standards listed below. Substantial evidence is defined as facts and information other than merely personal preferences or speculation directly pertaining to the requirements and conditions the applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

Written responses such as “see plans” are not acceptable. The applicant must identify what specific portion of the project or plans supports the contention that a standard will be met by including for example a detailed description of compliance with any applicable regulations regarding light, dust, particulate emissions, noise, frequency, vibration, traffic, nuisances, odors, visibility, health, safety welfare and the environment. All written responses to CUP standards must be submitted as part of your Plan Commission Application.

Sec. 62-111, Conditional Use Standards

- a. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- b. The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- c. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

- d. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- e. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- f. The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- g. The proposed use does not violate floodplain regulations governing the site.
- h. That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.
- i. That, when applying the standards to any new consecution of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.
- j. In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.
 - 1. The maintenance of safe and healthful conditions.
 - 2. The prevention and control of water pollution including sedimentation.
 - 3. Existing topographic and drainage features and vegetative cover on the site.
 - 4. The location of the site with respect to floodplains and floodways of rivers and streams.
 - 5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
 - 6. The location of the site with respect to existing or future access roads.
 - 7. The need of the proposed use for a shoreland location. (if applicable)
 - 8. Its compatibility with uses on adjacent land.
 - 9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Sec. 62-111, Conditional Use Standards

- a. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

This conditional use permit is to add a 5th unit to an existing 4-unit rental property (two story building with two units on each level). Currently the 4-units are 2 bedroom, 1 bathroom units, approximating 1,000 square feet each. The proposed 5th unit would be a 1 bedroom, 1 bathroom unit, approximating 650-700 square feet located in a finished basement. Currently, the property has 6 garage parking stalls and an additional 6 off-street parking spots on a parking pad located on the property, for a total of 12 off-street parking spots. Sec. 62-70 requires two off street parking spots per one or two bedroom units. As such, even with the addition of the 5th unit, no additional parking is needed to be added and there would still be an additional two spaces above the minimum code requirement.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric.

This conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the allowable 8 dwelling units per acre allowable by right.

Based on these facts, the additional 5th unit would not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- b. The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

This conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the 8 dwelling units per acre allowable by right and substantially less than the maximum 15 dwelling units per acre by conditional use permit.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The proposed 5th unit will be one bedroom, one bathroom with a maximum occupancy of 2 persons.

In no way would increasing the dwelling units per acre to only 5% more than the allowable right substantially impair or diminish the use, value or enjoyment of other property in the neighborhood. The purpose of providing one additional rental unit does not contradict the R-3 purpose statement to promote and encourage a suitable environment for family life.

- c. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric. There will be no impact to the normal and orderly development and improvement of the surrounding properties.

- d. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.

The only site-improvement to be made will be adding a basement egress window.

- e. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The property is located on a dead-end street. It is the third unit from the end of the road. Adding an additional one bedroom, one bathroom unit has a minimal impact to the traffic on this road.

- f. The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.

This conditional use permit is to add a 5th unit to an existing 4-unit rental property. The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The conditional use will conform to all applicable regulations of the district.

This conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long-term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the 8 dwelling units per acre allowable by right and substantially less than the maximum 15 dwelling units per acre by conditional use permit.

The total square footage of the property is approximately 25,961 square feet. Sec 62.70 Bulk Standards – Residential Districts require 500 square feet of usable open space per dwelling. This additional unit would bring the required usable space to 2,500 square feet. On a conservative measurement there is over 10,000 square feet of usable space. This is excluding the garage,

parking pad and building. The garage and parking pad is approximately 90' x 75' (6,750 sq ft.) and the building is approximately 55' x 60' (3,300 sq ft.). That leaves approximately 16,000 sq. ft. of other space on the property.

- g. The proposed use does not violate floodplain regulations governing the site.

N/A. There is no change to the use of the property.

- h. That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.

The addition of the 5th unit is not changing the use of the building and will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation. See responses above related to code compliance with parking and bulk standards.

- i. That, when applying the standards to any new consecution of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

This conditional unit permit is to add a 5th unit to an existing 4-unit rental property. The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The conditional use will conform to all applicable regulations of the district.

In no way would increasing the dwelling units per acre to only 5% more than the allowable right substantially impair or diminish the use, value or enjoyment of other property in the neighborhood. The purpose of providing one additional rental unit does not contradict the R-3 purpose statement to promote and encourage a suitable environment for family life.

- j. In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.

- 1. The maintenance of safe and healthful conditions.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric.

The building and each individual dwelling has sufficient means of egress in accordance with applicable building codes. There is sufficient space in accordance with building code Sec 62-70 to provide a safe and healthful unit.

2. The prevention and control of water pollution including sedimentation.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric.

There is no foreseeable impact to water pollution associated with this conditional use permit.

3. Existing topographic and drainage features and vegetative cover on the site.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building.

The addition of a basement egress window will have minimal impact to the existing topographic and drainage features and vegetative cover on the site.

4. The location of the site with respect to floodplains and floodways of rivers and streams.

The property is located on Lake Waubesa, however an additional unit to the existing building, with existing city sewer and water will not impact the water.

5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.

The only expected impact to the existing building is the addition of one basement egress window. There is no impact to the erosion potential as no changes are being made to the building and there is no expansion of the footprint.

6. The location of the site with respect to existing or future access roads.

There is no change to the existing footprint to the building.

7. The need of the proposed use for a shoreland location. (if applicable)

The use of the property is not changing.

8. Its compatibility with uses on adjacent land.

The use of the property is not changing and remains compatible with the uses on adjacent land. There is no change to the zoning of the property.

9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

There is existing city sewer and water at the property. The proposed 5th unit will not impact waste disposal.

EXHIBIT "A"

Legal Description

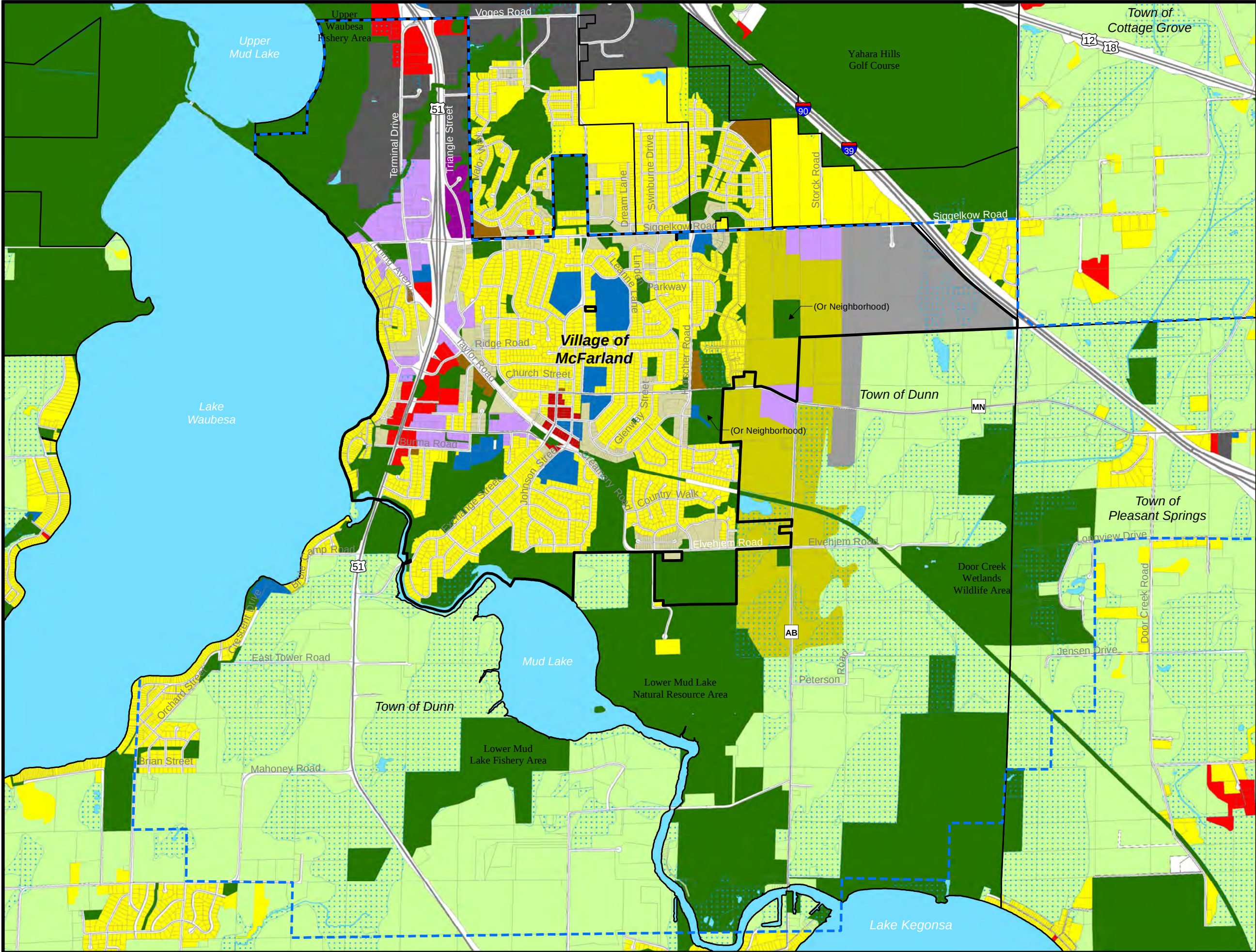
Part of Outlot 22, Assessor's Plat of the Village of McFarland, in the Village of McFarland, Dane County, Wisconsin, more particularly described as follows: Commencing at an iron stake at the Northeast corner of said Outlot 22; thence South 19° 25' East, 40.0 feet to an iron stake; thence South 3° 34' West, 97.32 feet to an iron stake; thence South 70° 35' West, 170.14 feet to an iron stake; thence North 15° 51' West, 129.88 feet to an iron stake; thence North 70° 35' East, 199.7 feet to the point of beginning; EXCEPT that part contained in Warranty Deed recorded in Vol. 793 of Records, page 349, as #1512673.

Said parcel includes all lands lying Westerly of the extended Northerly and Southerly lines of the above described parcel to the shoreline of Lake Waubesa.

Tax Parcel No.:

154-0610-044-0552-8

122090238



MAP 6

FUTURE LAND USE



COMPREHENSIVE PLAN

Legend

Future Land Use

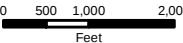
- Single Family Residential
- Two Family and Townhouse Residential
- Multiple Family Residential
- Neighborhood
- Downtown
- Highway and General Commercial
- Commercial Park
- Industrial
- Mixed Use/Flex Commercial
- Institutional and Governmental
- Public Lands, Recreation, and Environmental Corridor
- DNR Wetlands and Potential Wetland Indicators over Undeveloped Lands
- Agricultural Preservation
- Urban Reserve
- Water
- Rights-of-Way

--- Village of McFarland Extraterritorial Jurisdiction Boundary

⬢ Village of McFarland Limits (8/18)

⬢ Other Municipal Limits (2018)

Shapes on this map represent the Village's vision for future land use within the Village and its extraterritorial jurisdiction. For such lands, this map is not intended to represent existing land use or zoning, or to compel property owners to change the use of their land. For example, owners of agricultural or other rural land may maintain their current land use. Actual boundaries between different future use categories and implementing zoning districts may vary somewhat from representations on this map. This map also identifies the City's Marsh Road Neighborhood Plan west of the Interstate and north of Siggekow Road, and existing land use elsewhere beyond the Village's extraterritorial jurisdiction.



Date: May 2019

Data Sources: Village of McFarland, Dane County LIO, WDNR, and CARPC



McFarland

VILLAGE OF
Fire & Rescue

www.mcfarland.wi.us | 5915 Milwaukee St, McFarland, WI 53558 | 608.838.3278

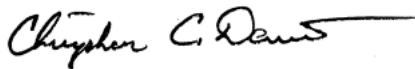
June 5, 2023

Re: 6212 South Court Condition Use Permit (CUP)

We reviewed the application for a CUP of 6212 South Court submitted by Jason Preisler. The application was complete and provided the required information for Fire & Rescue Department review. The application is requesting an additional apartment to be constructed in the building. Mr. Preisler has been in communication with the Fire & Rescue Department over the last several months on preparing to make the modifications required for the building. The main requirement will be the additional egress requirements which Mr. Preisler is indicating will be completed.

Based on the submitted information the Fire & Rescue Department has determined that the proposed CUP is acceptable without additional requirements.

Sincerely,



Christopher C. Dennis, EFO
Fire & Rescue Chief
Village of McFarland

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, July 18, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on a Site Design Review Permit requested by the Village of McFarland and McFarland School District for park improvements at 5605 Red Oak Trail, Waubesa Intermediate School.

PREVIOUS ACTION:

June 6, 2023 - Parks and Recreation Committee recommended approval to the Village Board on Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

June 13, 2023 - Village Board approves the plan submittal for an Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

ISSUE SUMMARY:

The McFarland School District and Village of McFarland are jointly requesting a site design review permit for the development of an inclusive park, softball field improvements, shelter, access drive, six-stall parking lot, and various paths at Waubesa Intermediate School. The proposed project will be scheduled for two phases with a proposed timeline beginning in Fall 2023 and completing in Summer 2024. Phase 1 includes construction of a seasonal shelter providing public restrooms, storage, and concessions located near the softball fields and construction of a new accessible parking area with the driveway entrance along Leanne Lane.

The additional parking includes access road, pedestrian accommodation, and related stormwater improvements.

Phase 2 includes a new playground, inclusive park amenities, and associated support infrastructure. Phase 2 would be constructed in the Summer of 2024 for completion prior to the 2024/2025 school year beginning. The Phase 2 improvements are only conceptual at this time and the applicants are only requesting approval of Phase 1 improvements. Details regarding the proposed inclusive playground are to be determined at a later date with input from the Village Parks & Recreation Committee and applicable staff. If any portions of the final Phase 2 playground design require a building permit, then a site design review permit will be required.

EXISTING PROPERTY

The property is 24.2 acres and zoned R-1 Single Family Residence. The property includes the Waubesa Intermediate School, two softball fields, a dropoff loop to the north and staff parking lot. The property includes 117 offstreet parking stalls and 5 ADA stalls. The property includes outdoor school amenities such as a playground, open sports fields, and a dedicated prairie space.

The property is surrounded by single family homes on all sides. Adjacent to the west and south



are a single family homes zoned R-1 Single Family Residence. Adjacent to the north and east are single family homes zoned R-1A Single Family Residence.

SEC. 62-310 SITE DESIGN REVIEW

- **Grading & Surfacing.** The additional surfacing of Phase 1 will include a 26' wide asphalt driveway with a turnaround tee for firesafety accessibility. The driveway is composed of a 6' wide ADA walkway from the parking area to the building and a 20' wide fire access lane. The packet includes letters from the Fire Chief and Village Engineer regarding the proposed improvements.
- **Landscaping.** Per Sec. 62-70. - Bulk Standards - Residential Districts of the Village Ordinance, there are no minimum landscaping points required for properties in R-1 District. However, Sheet C100 of the applicant's submittal, includes a general layout of the proposed park improvements with landscaping across both Phases. Sheet C200 of the plan submittal includes details on the proposed species and sizes for Phase 1. The proposed landscaping includes up to 11 additional trees, totaling 305 landscaping points provided.
- **Building Relationship.** The location of the proposed shelter provides access and support to the nearby softball fields. The multi-use paved walkways increase connectivity among the site's amenities and uses while encouraging safe, clear pathways to park activity. The conceptual site plan incorporates a treeline along the adjacent Leanne Lane to buffer the playground area. New and restored playground areas are within adequate proximity to the building, supporting recess activities and other school programs. The proposed building's footprint will be 2,186 square feet. The proposed building's location meets the setback requirements for all yards as the building is setback over 300 feet from the west, east, and south lot lines. As an accessory structure to the principle building, the proposed building's footprint is less than 1 percent to the entire property.
- **Lighting.** The submittal includes details about lighting fixtures that will be used in the park shelter. In Staff's opinion, the specifications and downward direction of the lighting do not appear to create a spillover or a disturbance to the adjacent properties. Additionally, the shelter is located near the center of the lot and setback at a distance where light spillover is not a concern.
- **Utility service.** The park shelter includes new water and sanitary lateral connections built as part of Phase 1 of the project. The packet includes a letter from the Village Engineer related to Phase 1's improvements.
- **Building Design.** The proposed materials for the shelter appear to be of durable and weather resistant material with a green metal roof. The proposed colors associated with the shelter are complementary to the principle school's building while providing a blend of shaded seating and walkable space around the building. The proposed building includes a concessions window, two unisex restrooms, designated gender restrooms, water bubblers, and storage space. The structure will include brick layering around the base of the building followed by traditional sidings to complete the building.

C&ED STAFF COMMENTS

The plan submittal is consistent with the elements described in the [Inclusive Playground Master](#)



[Plan of 2020](#). The full plan can be found on the Parks and Recreation Committee page.

DEPARTMENT HEADS COMMENTS

The packet includes letters from the Village Engineer and Fire Chief related to Phase 1 of the proposed project. No additional comments or concerns at this time from the Police Chief and Public Works Director.

PUBLIC COMMENTS

The Department did not receive any comments or concerns prior to the publication of this meeting's packet.

FINANCIAL/BUDGET IMPACT:

Phase 1(a) for the facility is estimated between \$700,000 to \$900,000 with Phase 1(b) around \$200,000 to provide access to the site as well as necessary utilities. Phase 2 of the project will largely be dependent on the design of the park that is intended and could range from \$1-2 million. The Village will work more to better identify these costs throughout the planning process outlined in the proposal for this work. The Village and School District will share in the costs to bring the facility forward, helping to mitigate the cost impact for any one party.

VILLAGE PLAN REFERENCE:

Comprehensive Plan, 2017 - The Future Land Use Map 6 identifies the property as Institutional and Governmental. The use is consistent with future land use and is unchanged with the proposed project.

Inclusive Playground Master Plan, 2020 - The plan identifies no playground within the park system that is solely dedicated to this purpose prior to the publication of this packet. The Site Design review submittal for an Inclusive Playground Park is consistent with the descriptions and proposed elements of this master plan.

McFarland Strategic Implementation Plan, 2022-2023 - Identified in Section (D) of Village Government, Objective (4), the objective states, "*Continue discussions with School District on partnerships with the Village to share and expand services for the benefit of the Community.*"

Further the plans includes the proposed project in Section (G) Park/Conservancy Systems, Objective (4)(iii), "*Conduct planning and design process for Inclusive Park in partnership with School District.*"

ORDINANCE REFERENCE:

Sec. 62-310. - Site/Design Review

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Motion, and second, to approve a Site Design Review permit requested by the Village of McFarland and McFarland School District for the park improvements at 5605 Red Oak Trail, Waubesa School.

ATTACHMENTS:

1. 5605 Red Oak Trail_Inclusive Park Site Design App_07.10.2023
2. 20230713 - 5605 Red Oak Trail MFR site design review



3. 20230713 - 5605 Red Oak Trail Village Engineer Letter of Review

Co Applicant
Village of McFarland
Attn: Matt Schuenke



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner		Applicant's Agent	
		Name	
Address		Address	
Email		Email	
Phone #		Phone #	
Fax #		Fax #	

Parcel No(s). _____ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 +F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants;
e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☐ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2023 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)	January 17
January 10	February 21
February 7	March 21
March 7	April 18
April 4	May 16
May 9	June 20
June 6	July 18
July 5	August 15
August 8	September 19
September 5	October 17
October 10	November 21
November 7	December 19 (Pending)
December 5	January 16, 2024 (Pending)

Note, applications requiring a public hearing will be scheduled for a hearing according to the schedule above, with action considered at the next scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

X



Signature of Applicant/Agent

Date

Site and Design Plans

Check List

Date received: June 1, 2023

Subject property address: 5605 Red Oak Trail
McFarland, WI 53558

Landowner's name: School District of McFarland

Landowner's address: 5101 Farwell Street
McFarland, WI 53558

Landowner's phone/fax: 608-838-4520/608-838-3074

Landowner's email: mahonej@mcfds.org

Agent's name: Blake Theisen, Parkitecture

Agent's address: 901 Deming Way, Suite 102
Madison, WI 53717

Agent's phone/fax: 608-664-3910

Agent's email: blake@parkitecture.org

- ✓ A. Title Block that indicates name and address of the current property owner.
- ✓ B. Name and signature of the designer.
- ✓ C. Date of original plan and latest date of revised plan.
- ✓ D. North arrow and graphic scale. Said scale shall not be smaller than 1 inch equals 100 ft.
- ✓ E. Existing zoning R-1 Proposed rezoning yes ✓ no
- ✓ F. All property lines, and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- ✓ G. All required building setback lines.
- ✓ H. The location of all access points and connections to public streets, off-street parking, and loading areas on the subject property including a summary of the number of parking stalls, accessible parking stalls, and labels indicating the dimension of such areas.
- ✓ I. All existing and proposed building structures and paved areas, including walks, drives, decks, patios, balconies, fences, retaining walls, utility poles, exterior utility and mechanical equipment, and any accessory structures.
- ✓ J. Existing and proposed site and building signage. None existing nor proposed in this phase.
- ✓ K. Color exterior façade elevations of all proposed buildings including descriptions of materials and colors.
- ✓ L. The location of all outdoor storage areas; including proposed screening materials and colors.
- ✓ M. The location of existing and proposed drainage facilities including stormwater and erosion control plan.
- N/A N. The location and type of any permanently protected green space areas.
- N/A O. The location and elevation of any wetlands or floodplains.

- ✓ P. Grading Plan including existing & proposed topography shown at a contour interval of not more than two (2) ft.
- ✓ Q. In the legend, data for the subject property:
- (1) Lot area
 - (2) Building area
 - (3) Paved area
 - (4) Total impervious area
 - (5) Landscaping points provided and required for building foundations, gross floor area, street frontage, and paved area.
 - (5) Building height
 - (6) Existing zoning, proposed zoning
 - (7) Number of parking stalls provided and required.
- ✓ R. Landscaping Plans including proposed species, quantity and planting size. Refer to Appendix B of the Village's Zoning Code for more information.
- N/A S. Hydrant locations and Fire Department Connection.
- ✓ T. Lighting Plans including photometrics and description of fixture types, heights and orientation.
- ✓ U. Utility plans, including the location of existing and proposed overhead or underground site utilities, including piping and meter sizes and associate appurtenances.
- N/A V. Existing or proposed easements.
- ✓ W. A legal description of the subject property.

General Comments: _____

Note: In addition to Site and Design Permit approval, a building permit from the Village Building Inspector is required prior to the start of construction of any building, fence, or sign.

File: V:\23.007 McFarland Waubesa Phase 1\CAD\1P-SP.dwg Layout: C100 User: bluem Plotted: Jul 06, 2023 -- 6:45pm

SITE PLAN NOTES

PHASE 1A:
ENTRY DRIVE & ADA PARKING
(SUMMER 2023)

PHASE 1B:
RESTROOM/SHELTER BUILDING
(FALL/WINTER 2023/2024)

PHASE 2:
ARTIFICIAL TURF FIELD,
PLAYGROUND, PATHWAYS,
LANDSCAPING, ETC.
(SUMMER 2024)

LEGEND

- 1 Access Drive
- 2 Shelter & Restrooms
- 3 ADA Parking
- 4 Shade Structure
- 5 Multi-Use Paved Path
- 6 Concrete Sidewalk
- 7 Playground Area
- 8 Stormwater Management Area
- 9 Playground Area - Asphalt
- 10 Softball Field
- 11 Multi-Sport Playing Field
- 12 Restored Prior Playground Area
- 13 Fire Access Turnaround



Revisions:

REVISION #1 7/6/2023

Project #: 23.007
Issued For: Review
Date: 06/05/2023

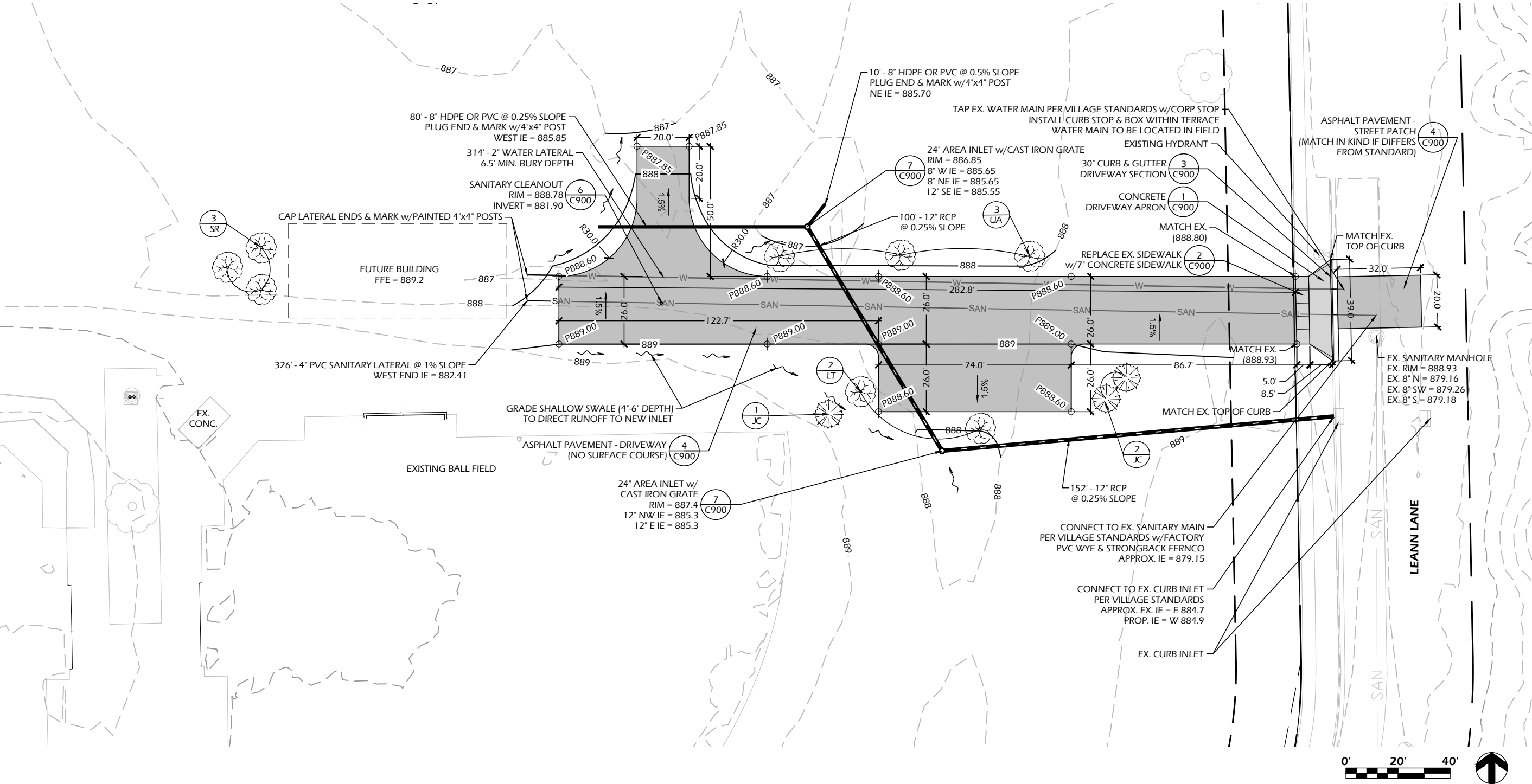
Sheet Number

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RESTORATION MIXES			
SEED MIXES			
DESIGNATION	SEED MIX	RATE (LBS/1000 SF)	
LAWN RESTORATION	WISDOT MIX #40	3.0	
ANNUAL SEED MIX ADDITIVE (USE ONE TYPE)			
DESIGNATION	SEED MIX	RATE (LBS/1000 SF)	USAGE DATES
ANNUAL SEEDING		2.0	GROWING SEASON
COOL WEATHER COVER CROP	OATS	2.0	AFTER SEPTEMBER 15
DORMANT COVER CROP	WINTER WHEAT	2.0	AFTER OCTOBER 15
ADDITIONAL ADDITIVES			
DESIGNATION	TYPE	RATE (LBS/1000 SF)	USAGE DATES
MULCH	STRAW MULCH	PER MANUFACTURER	ALL SEASONS
FERTILIZER	PER SOIL TEST	2.0	ALL SEASONS
SOIL STABILIZER	POLYACRYLIMIDE	PER MANUFACTURER	AFTER NOVEMBER 15

Symb	Botanical name	Common Name	Size (min)	Qty
TREES				
JC	Juniperus chinensis 'Iowa'	Iowa Juniper	5' Ht	3
LT	Liriodendron tulipifera	Tulip Poplar	2" Cal	2
SR	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	1.75"-2" Cal	3
UA	Ulmus x Morton 'Accolade'	Accolade Elm	2" Cal	3

- SITE LAYOUT NOTES**
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 - ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN. WRITTEN DIMENSIONS SUPERSEDE ANY SCALED DIMENSIONS.
 - PROPOSED GRADE AND LEVEL SHALL BE PERIODICALLY REVIEWED IN THE FIELD BY THE OWNER OR A/E.
 - SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE SPECIFICATIONS EXCEPT THOSE AREAS INDICATING OTHERWISE. THIS SHALL INCLUDE ANY AREAS OUTSIDE OF THE PROJECT LIMITS THAT ARE DISTURBED BY CONTRACTOR ACTIVITY.
 - ANY EXISTING STRUCTURES AND/OR UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED, AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR AND INCLUDED IN THE BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAKING. DIGITAL PLAN FILES MAY BE AVAILABLE FROM THE A/E.



Project Name: **WAUBESA INTERMEDIATE SCHOOL PHASE 1**

5605 RED OAK TRAIL
MCFARLAND, WI

Project Name:

Revisions:

REVISION #1 7/9/2023

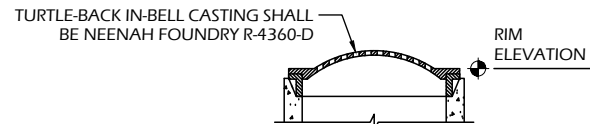
Project #: 23.007
Issued For: Review
Date: 06/05/2023

Sheet Number

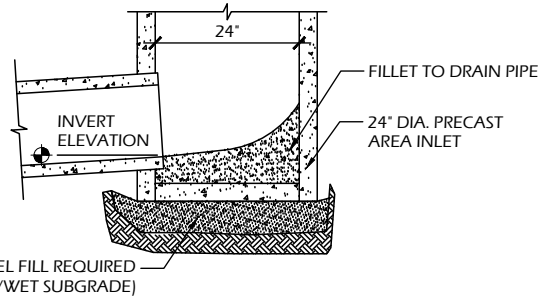
C200

Sheet Title: **SITE LAYOUT, LANDSCAPE & GRADING PLAN**

File: V:\23.007 McFarland Waubesa Phase 1\CAD\1-P-D.dwg Layout: C900 User: bluem Plotted: Apr 27, 2023 - 8:29pm



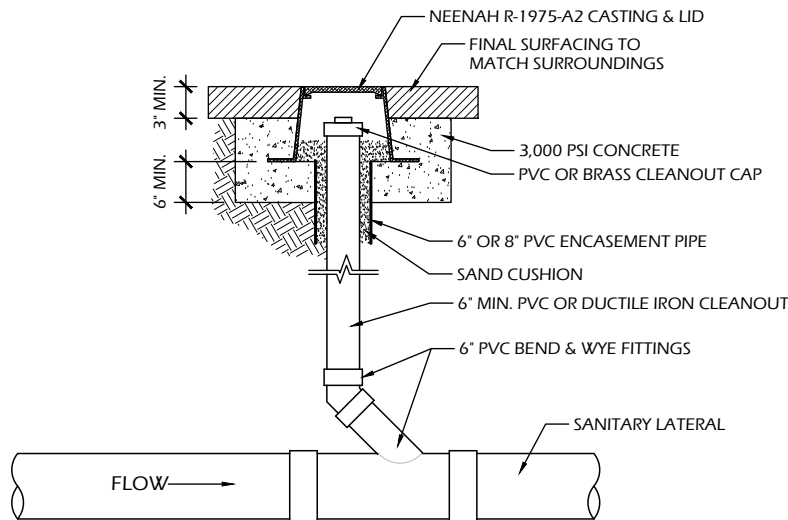
AREA INLET WITH TURTLE-BACK CASTING



AREA INLET BOTTOM SECTION

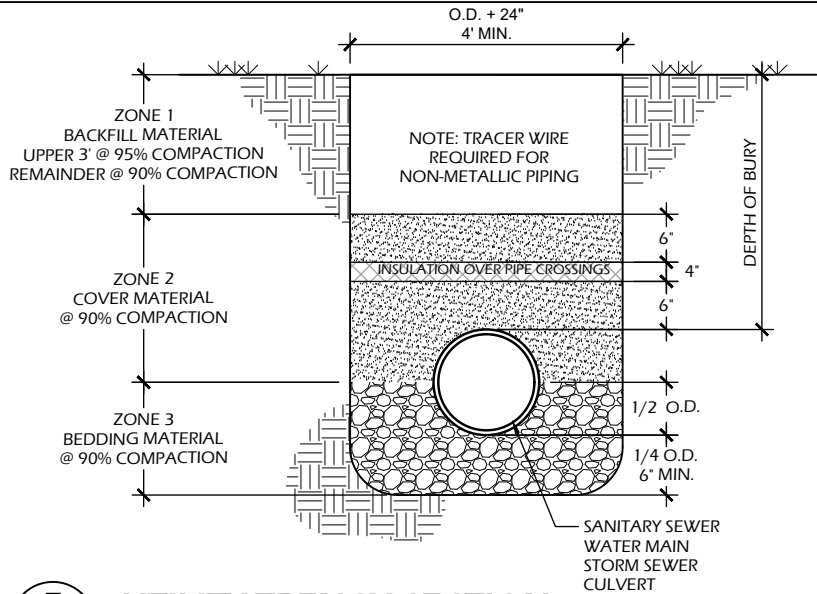
7 AREA INLET

C900 SCALE: NTS



6 SANITARY CLEANOUT

C900 SCALE: NTS

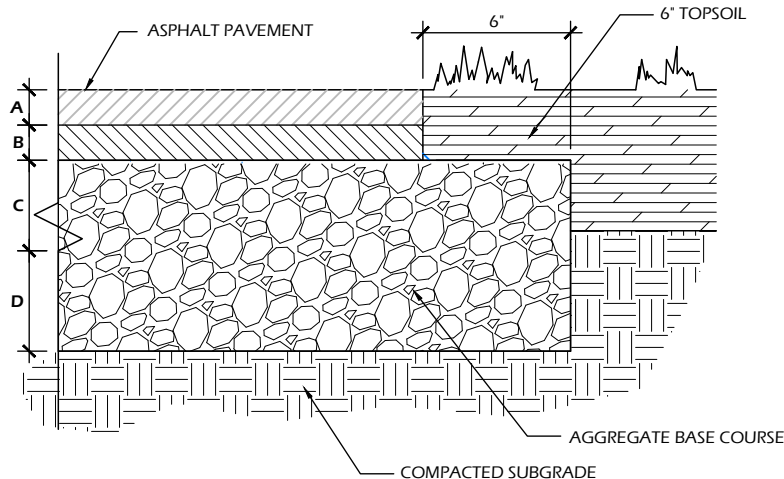


5 UTILITY TRENCH SECTION

C900 SCALE: NTS

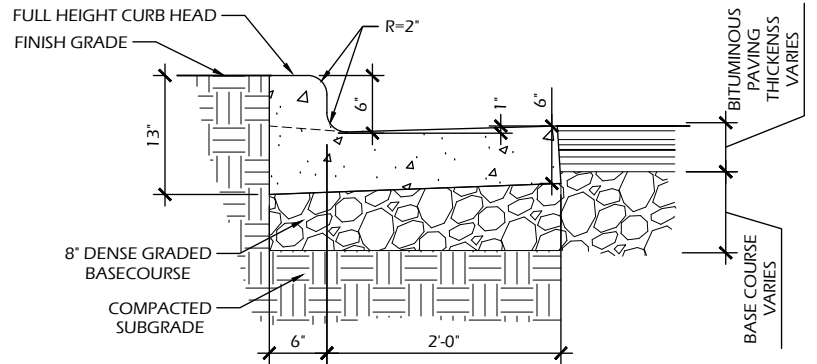
ASPHALT PAVEMENT TYPICAL SECTION - LOCAL STREET PATCH			
	MATERIAL	MATERIAL THICKNESS (INCHES)	PAVEMENT TYPE (WISDOT)
A	BITUMINOUS UPPER LAYER	1.5	5 LT 58-28 S
B	BITUMINOUS LOWER LAYER	1.75	4 LT 58-28 S
C	¾ IN CRUSHED AGGREGATE BASE COURSE	6.0	
D	3 IN BREAKER RUN BASE COURSE	12.0	
TOTAL THICKNESS (INCHES)		21.25	

ASPHALT PAVEMENT TYPICAL SECTION - DRIVEWAY			
	MATERIAL	MATERIAL THICKNESS (INCHES)	PAVEMENT TYPE (WISDOT)
A	BITUMINOUS UPPER LAYER (FUTURE)	1.5	5 LT 58-28 S
B	BITUMINOUS LOWER LAYER	2.25	4 LT 58-28 S
C	¾ IN CRUSHED AGGREGATE BASE COURSE	6.0	
D	3 IN BREAKER RUN BASE COURSE	12.0	
TOTAL THICKNESS (INCHES)		21.75	



4 ASPHALT PAVEMENT

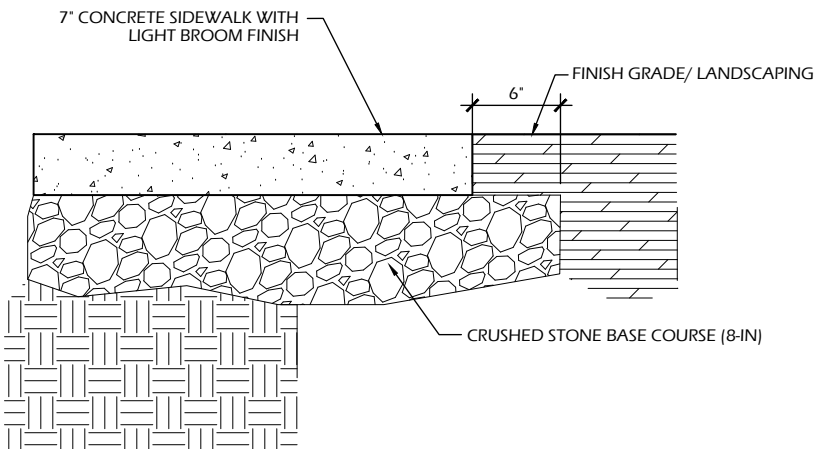
C900 SCALE: NTS



- GENERAL NOTES:
1. SEE TOP OF GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 2. IF SIDEWALK ABUTS CURB, BACK OF CURB TO BE 'STRING LINE' STRAIGHT & RUBBED CLEAN.
 3. PROVIDE CONTROL JOINTS 10' ± O.C. PROVIDE BITUMINOUS EXPANSION JOINTS 50' O.C.
 4. PAVING CONTRACTOR SHALL PROVIDE FLUSH BITUMINOUS TO CONCRETE CURB. IF BITUMINOUS IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.

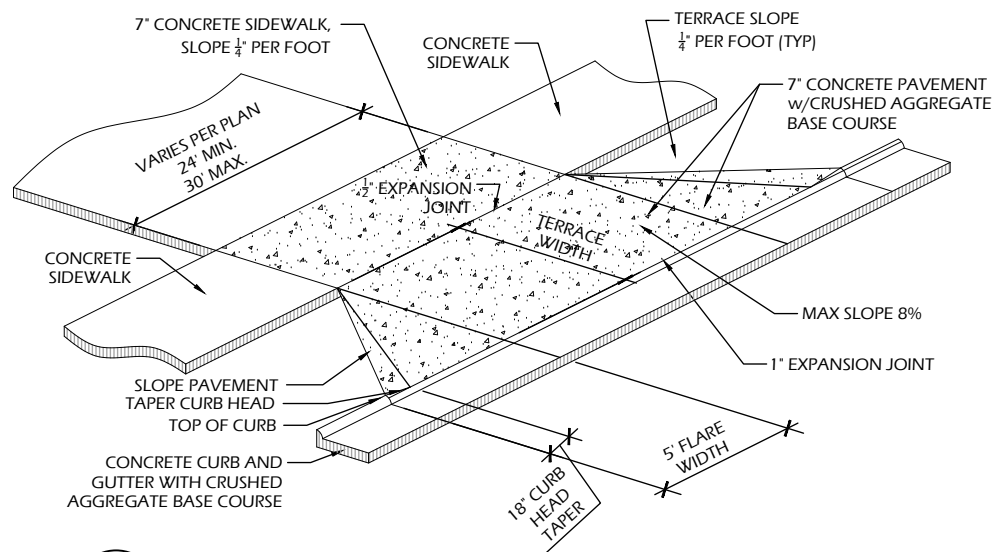
3 30" CURB & GUTTER

C900 SCALE: NTS



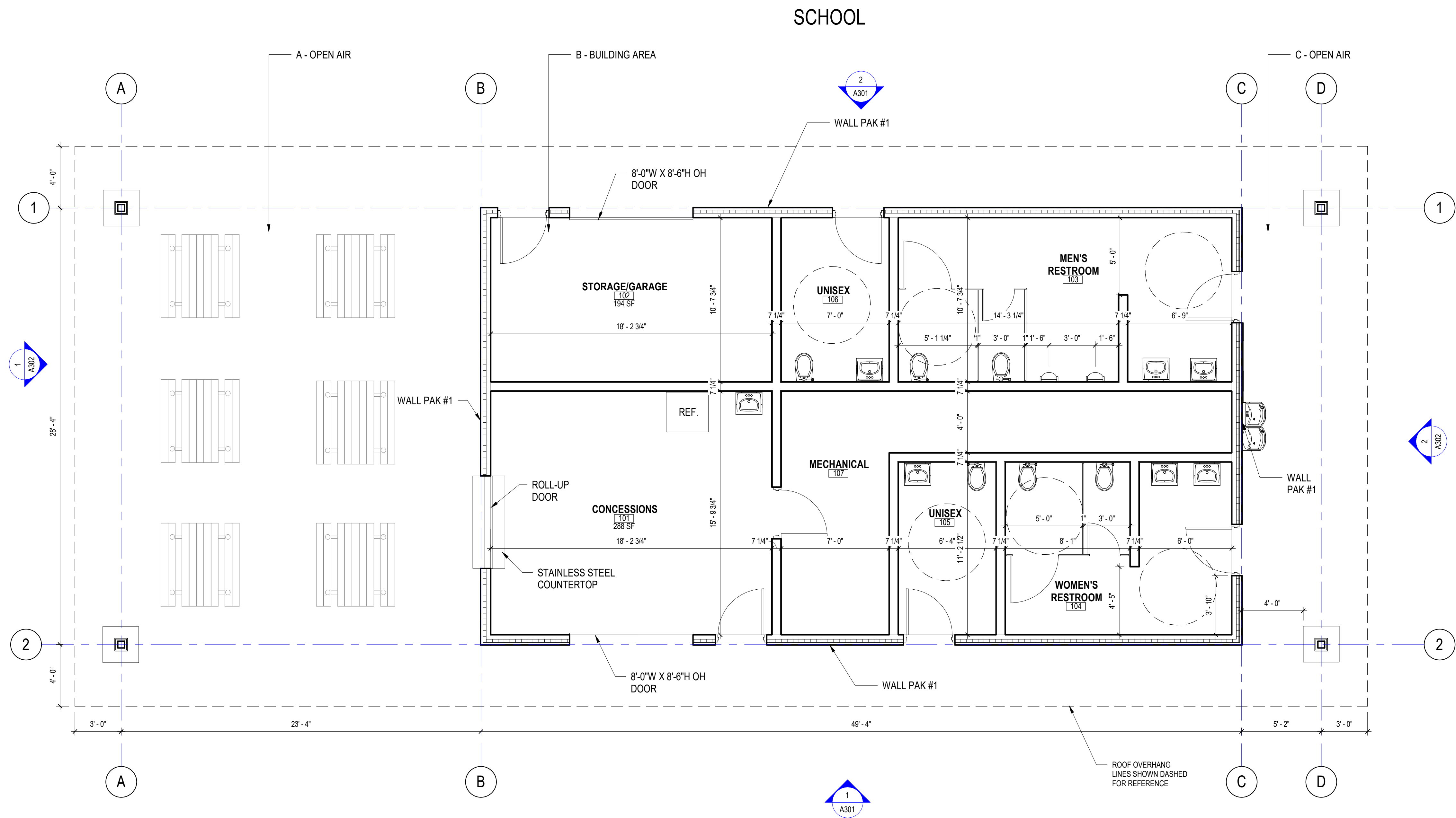
2 CONCRETE PAVEMENT

C900 SCALE: NTS



1 DRIVEWAY APRON

C900 SCALE: NTS



SQUARE FOOT TABLE

BUILDING OVERALL: 2,185 SF

A - OPEN AIR 640 SF

B - BUILDING 1,398 SF

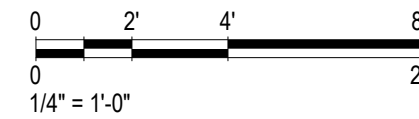
C - OPEN AIR 147 SF



1
A201

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



Issue	Description	Date

Project #: 20230300
Issue: -
Date: 06/02/2023

Sheet Number

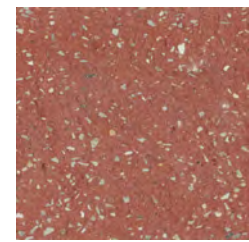
A201



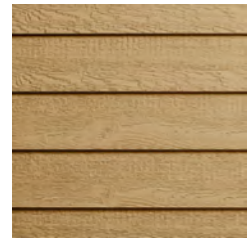
2 NORTH ELEVATION
A301 SCALE: 1/4" = 1'-0"



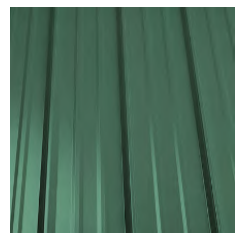
1 SOUTH ELEVATION
A301 SCALE: 1/4" = 1'-0"



CMU BASE & CAST STONE SILL
COUNTY MATERIALS AUTUMN RED,
18-124A



LP SMARTSIDE
HARVEST HONEY



METAL ROOF
STANDING SEAM, COLOR:
GREEN

Project Name: **WAUBESA INTERMEDIATE
PARK SHELTER
MCFARLAND, WI**

Sheet Title

BUILDING ELEVATIONS

Issue	Description	Date

Project #: 20230300
Issue: -
Date: 06/02/2023

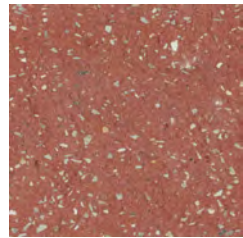
Sheet Number
A301



ICONICA
901 Deming Way / Jackson, WI 53122
P: 608.886.6808 F: 608.886.6808
www.iconicawisconsin.com



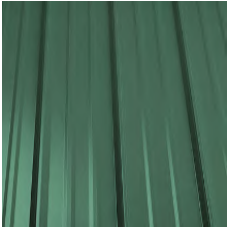
PARKITECTURE
+ PLANNING
901 Deming Way, Suite 102
Madison, WI 53717
608.886.6808
www.parkitecture.com



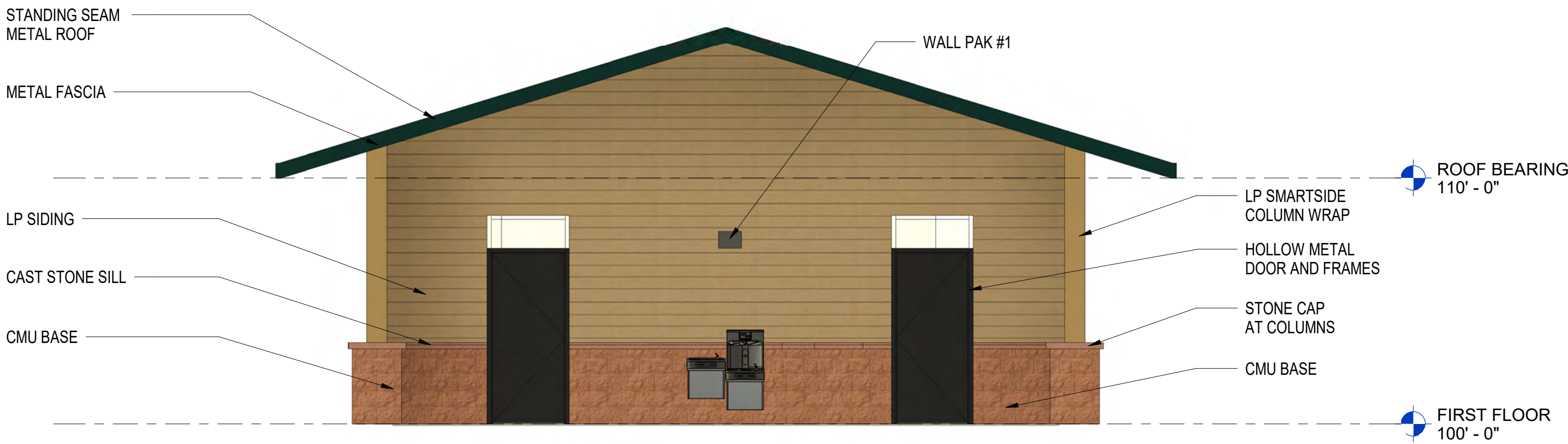
CMU BASE & CAST STONE SILL
COUNTY MATERIALS AUTUMN RED,
18-124A



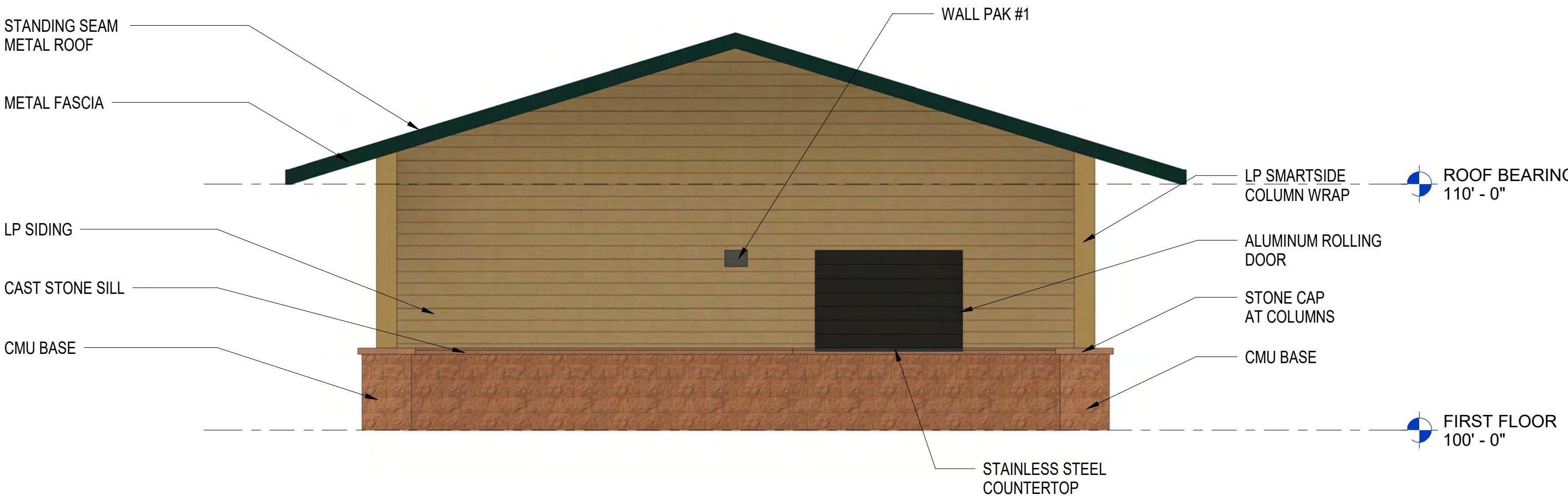
LP SMARTSIDE
HARVEST HONEY



METAL ROOF
STANDING SEAM, COLOR:
GREEN



2 EAST ELEVATION
A302 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A302 SCALE: 1/4" = 1'-0"

Project Name: **WAUBESA INTERMEDIATE
PARK SHELTER
MCFARLAND, WI**

Sheet Title: **BUILDING ELEVATIONS**

Issue	Description	Date

Project #: 20230300
Issue: -
Date: 06/02/2023

Sheet Number
A302



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901 Deming Way / Appleton, WI 54911
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P: 920.844.2500



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901 Deming Way, Suite 102
Madison, WI 53717
608.886.6808





PROJECT:

TYPE:

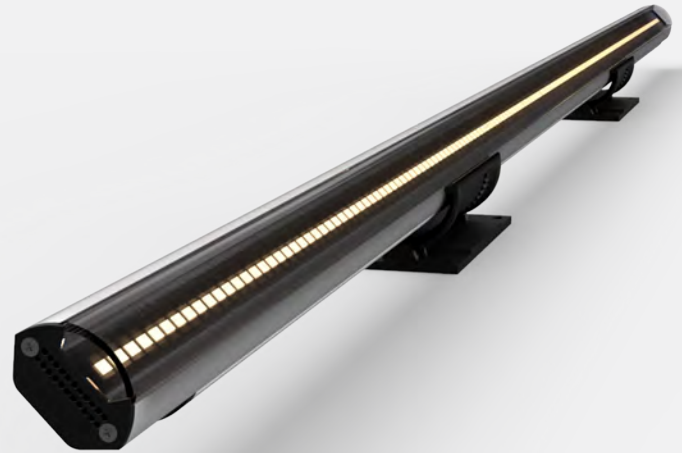
CAT. #: PCM -

- SM -

- UNV -

PROFILE

LIGHT SOURCE	3.5 W/FT, 5.0 W/FT, 7.0 W/FT, 10.0 W/FT, 13.0 W/FT
CCT	27K, 30K, 35K, 40K, STATIC COLORS, DIM TO WARM
CRI	90+ IS STANDARD
DISTRIBUTION	120°, ASYMMETRIC
PERFORMANCE	UP TO 1495 LM/FT (DATA BASED ON 48" FIXTURE)
VOLTAGE	UNIVERSAL 120-227VAC (240V UNAVAILABLE)
POWER	INTEGRATED POWER SUPPLY
CONTROL	0-10V DIMMING (1%), DMX DIMMING
DIMENSIONS	1.87" X 1.93" X 12.00" - 1.87" X 1.93" X 48.00"
WEIGHT	1.6 LBS (0.72 KG) - 6.0 LBS (2.72 KG)
HOUSING	ALUMINUM HOUSING, MOLDED END CAPS
EPA	0.483 FT²
LENS	POLYCARBONATE LENS
FINISH	METALLIC GRAY, CUSTOM
WARRANTY	5-YEAR LIMITED
OPERATING TEMP	-25° C TO 40° C
LUMEN MAINTENANCE	75,000 HOURS
CERTIFICATION	ETL, cETL FOR DAMP/DRY LOCATION



FINISHES

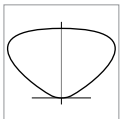


METALLIC GRAY



CUSTOM COLOR

OPTICAL DISTRIBUTION

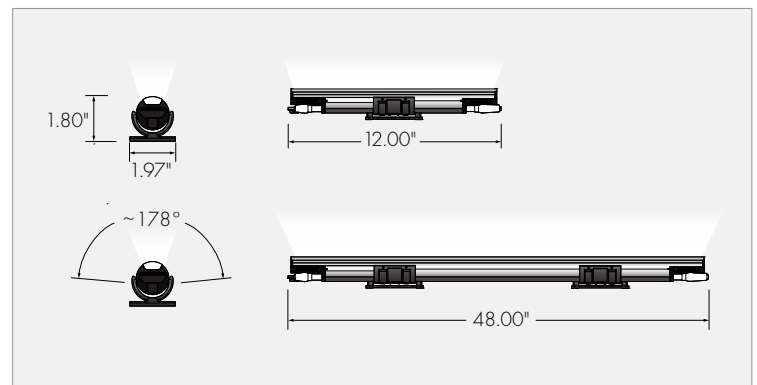


120°



ASYMMETRIC

DIMENSIONS



PERFORMANCE SAMPLE

3.5 W/FT, 4000K, 48.00" FIXTURE	LUMENS	EFFICACY
120°	1322 LM	113.0 LM/W
ASYMMETRIC	1611 LM	115.0 LM/W

OPTICS



120° (120)



ASYMMETRIC (ASYR)



FROSTED LENS (FL)

SPECIFICATION

PCM						SM		UNV			Separate options with dashes
1	2	3	4	5	6	7	8	9	10	11	
1 FIXTURE		5 OPTICAL DISTRIBUTION		8 VOLTAGE		10 FINISH					
PILOT PCM		120°		120-277VAC		METALLIC GRAY					
PCM		120		UNV		MG					
		ASYMMETRIC UPLIGHT		An AC leader cable is required with each fixture run for connection from first fixture to the j-box		Finish is subject to change without notice					
		ASY				CUSTOM COLOR					
		Contact factory for downlight applications				CC					
		See page 3 for Asymmetric distribution and Power Feed location examples				Contact factory for custom color additional charges will apply					
		Not available with DIM TO WARM (ZIA)									
2 WATTAGE		6 MOUNTING		9 CONTROL		11 OPTIONS					
3.5 W/FT		SURFACE		0-10V DIMMING (1%)		FROSTED LENS					
3.5		SM		DIM		FL					
5.0 W/FT				0-10V dims down to 1% with compatible controls (by others)		Not available with Asymmetric distribution					
5				DMX DIMMING							
7.0 W/FT				DMXDM							
7				Default factory setting is DMX System Resolution							
10.0 W/FT				Fixtures are not pre-addressed or labeled at the factory. A DMXCAT tool is required for on-site fixture resolution and addressing. Must be ordered separately. See control options below.							
10				Fixtures are shipped from the factory with default addressed channel 1							
13.0 W/FT				A CDS/RDM Distribution Kit is required. Must be ordered separately. See control options below.							
13				DMX controls are required. Must be ordered separately.							
				Contact factory for Triac dimming							
				DMX dimming is not available with Dim to Warm							
3 CCT		7 FIXTURE LENGTH									
2700K		12.00"									
27K		12									
3000K		48.00"									
30K		48									
3500K											
35K											
4000K											
40K											
RED											
R											
GREEN											
G											
BLUE											
B											
AMBER											
A											
DIM TO WARM											
ZIA											
30K-22K dimming range											
Requires 0-10V Dimming											
4 POWER FEED LOCATION											
LEFT SIDE POWER FEED											
LS											
RIGHT SIDE POWER FEED											
RS											
See page 3 for details.											

CONTROL & WIRING ORDER OPTIONS	
Go to DMX Guide >	
DMX DISTRIBUTION KIT & ADDRESSING TOOL - REQUIRED FOR DMX DIMMING DMX/RDM DISTRIBUTION KIT - IP67 CDS-RDM DMX/RDM Distribution Kit consists of four outputs Each output is limited to (11) run per output - up to 32 fixtures max Four terminators are included for end of line termination.	
REMOTE DMX/RDM ADDRESSING AND MONITORING TOOL DMXCAT DMXCAT Remote Addressing and Monitoring Tool uses Bluetooth LE technology for communication with the smartphone/applications (up to 50' range). Allows for on-site fixture resolution and addressing.	
LEADER CABLES 10.0 FT LEADER CABLE - LEADER CABLE PCML-10 Used for connection to the start of each run End of line terminator provided with each leader cable A leader cable is required with each fixture run for connection from j-box to the first fixture	
JUMPER CABLES 1.0 FT JUMPER CABLE - BLACK PCMJ-1 For 0-10V runs 5.0 FT JUMPER CABLE - BLACK PCMJ-5 For 0-10V runs Plug and play installation allows for end-to-end fixture connection without additional AC jumpers If fixtures are not mounted in an end-to-end continuous manner - AC jumpers are required	

PROJECT:

TYPE:

CAT. #: PCM -

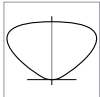
- SM -

- UNV -

PERFORMANCE

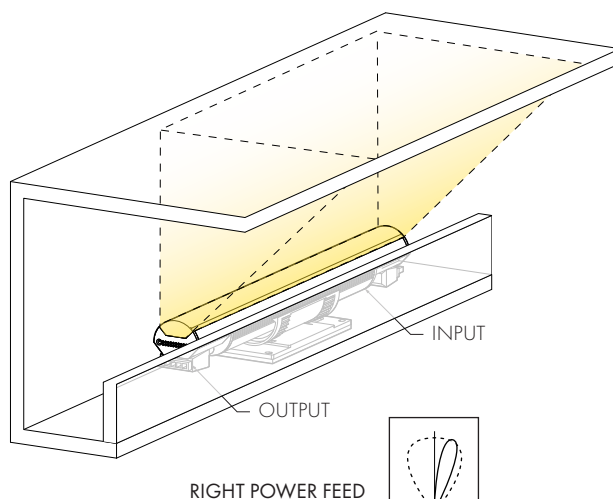
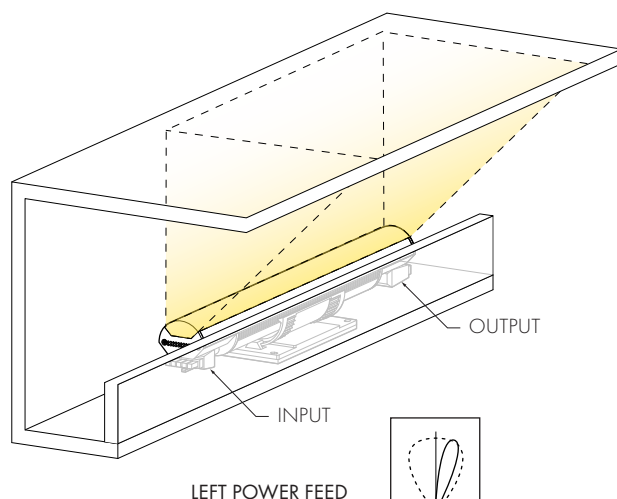
Data based on 48" fixtures

*Baseline- all other data estimated

	3.5 W/FT (3.0 W/FT)		5.0 W/FT (4.3 W/FT)		7.0 W/FT (6.2 W/FT)		10.0 W/FT (10.0 W/FT)		13.0 W/FT (12.8 W/FT)	
DISTRIBUTION	DELIVERED LUMENS	LUMINAIRE EFFICACY	DELIVERED LUMENS	LUMINAIRE EFFICACY	DELIVERED LUMENS	LUMINAIRE EFFICACY	DELIVERED LUMENS	LUMINAIRE EFFICACY	DELIVERED LUMENS	LUMINAIRE EFFICACY
120° - 48" FIXTURE										
	1322 LM	113.0 LM/W	1925 LM	111.0 LM/W	2495 LM	107.0 LM/W	3543 LM	89.0 LM/W	4741 LM	92.0 LM/W
ASYMMETRIC - 48" FIXTURE										
	1611 LM	115.0 LM/W	2302 LM	115.0 LM/W	3223 LM	115.0 LM/W	4604 LM	114.0 LM/W	5985 LM	115.0 LM/W

POWER FEED LOCATION / ASYMMETRIC EXAMPLES

LEFT/RIGHT FEED



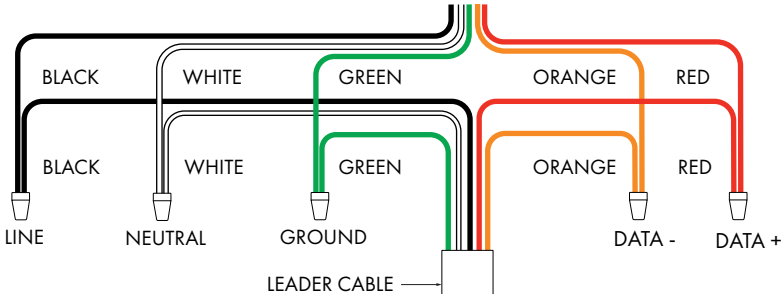
PROJECT:	TYPE:	CAT. #:	PCM -	-	-	-	- SM -	- UNV -	-	-
----------	-------	---------	-------	---	---	---	--------	---------	---	---

WIRING

FIXTURES PER 10 AMP CIRCUIT (FULL LOAD)

LENGTH	3.5 W/FT (3.0 W/FT)		5.0 W/FT (4.3 W/FT)		7.0 W/FT (6.2 W/FT)		10.0 W/FT (10.0 W/FT)		13.0 W/FT (12.8 W/FT)	
	120V	277V	120V	277V	120V	277V	120V	277V	120V	277V
12.00"	233	538	163	376	116	269	81	188	62	144
48.00"	58	134	40	94	29	67	20	47	15	36

SCHEMATIC



⚠ WARNING

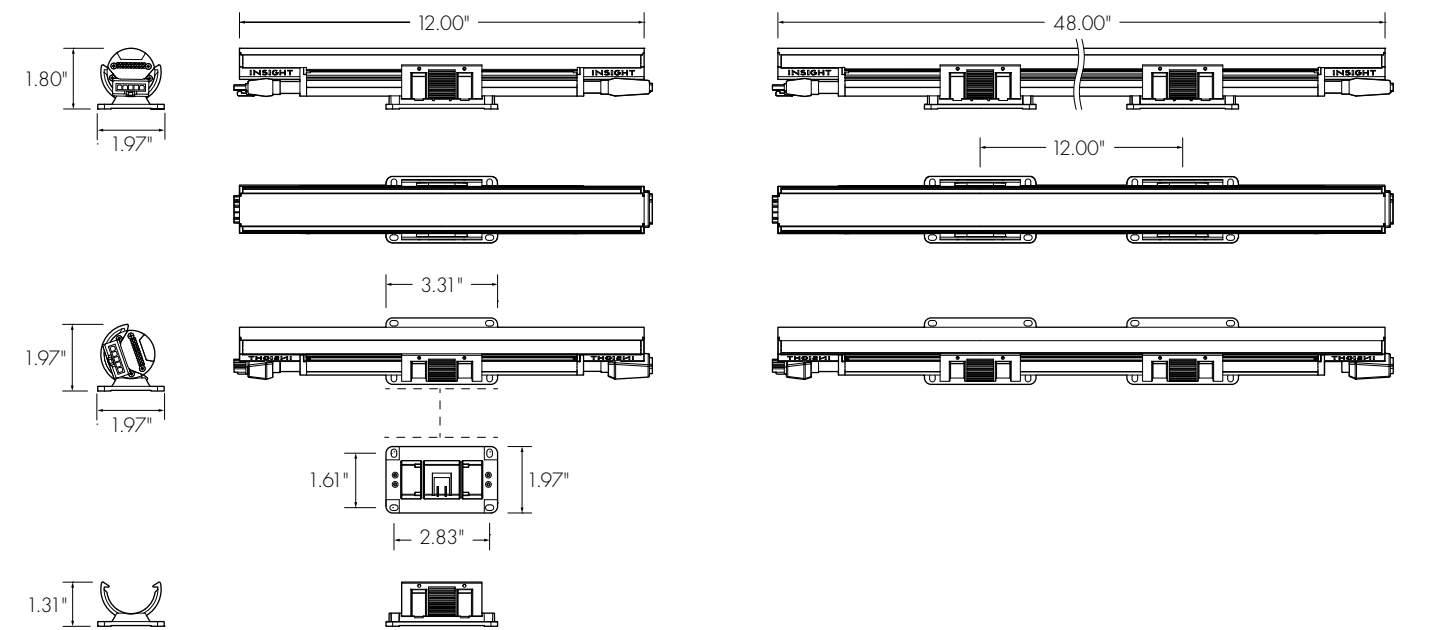
POWER CABLE SHOULD NOT SUPPORT WEIGHT OF FIXTURE: LEAVE LOOSE.

DISCONNECT POWER BEFORE INSTALLING OR SERVICING TO AVOID ELECTRICAL SHOCK.

PROJECT:	TYPE:	CAT. #:	PCM -	-	-	-	- SM -	- UNV -	-	-
----------	-------	---------	-------	---	---	---	--------	---------	---	---

DIMENSIONS

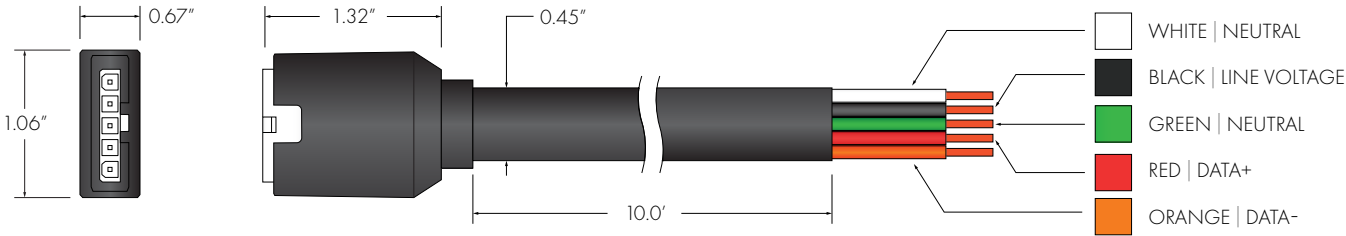
SURFACE



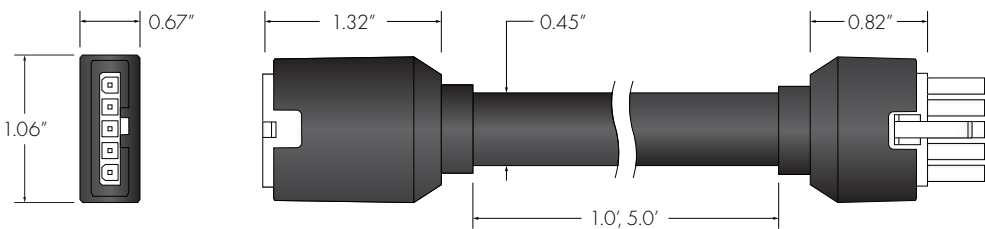
PROJECT:	TYPE:	CAT. #:	PCM -	-	-	-	- SM -	- UNV -	-	-
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CABLES

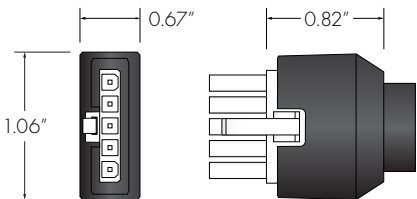
PCM/PGM LEADER (PCML)	BLACK 2 X 16 AWG 105°C 300V
-----------------------	-----------------------------------



PCM/PGM JUMPER (PCMJ)	BLACK 5 X 16 AWG 105°C 300V
-----------------------	-----------------------------------



PCM/PGM TERMINATOR (PCMT)	BLACK 105°C 300V
---------------------------	----------------------





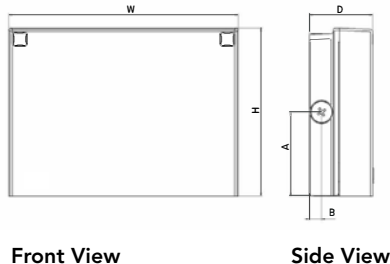
WPX LED Wall Packs



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W ¹	30K 3000K	MVOLT 120V - 277V	(blank) None
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²
WPX2 LED	6,000 Lumens, 47W	50K 5000K	E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	PE Photocell ³
WPX3 LED	9,200 Lumens, 69W			

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

1. All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
2. Battery pack options only available on WPX1 and WPX2.
3. Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WPX LED
Rev. 03/08/22

Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

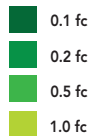
The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

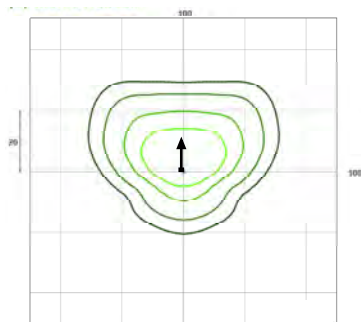
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

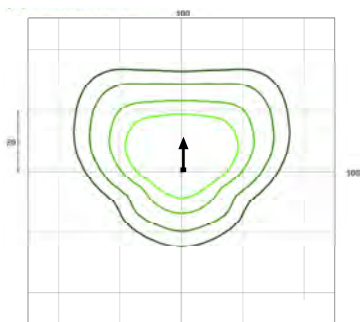
LEGEND



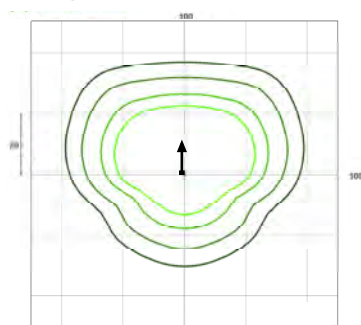
WPX1 LED P1



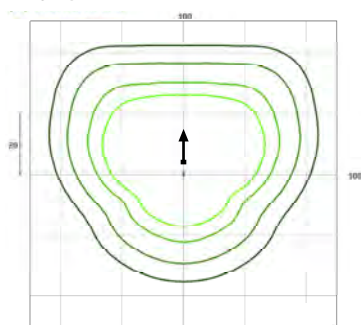
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.

July 13, 2023

Re: 5605 Red Oak Trail Site/Design Review

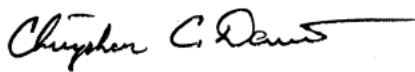
We have reviewed the site/design review application submitted by Blake Theisen of Parkitecture + Planning for 5605 Red Oak Trail. Our review was based on revision 1 of the drawings with a date of 7/6/2023.

The drawings provide fire department apparatus access road for the future building and if constructed as indicated the access will comply with the requirements of the International Fire Code (IFC) 2015 edition. The drawings include an alternative hammerhead turnaround complying with appendix D of the IFC adjacent to the future building.

Additionally, it should be noted that the building will require an approved key box per sec. 26-146 when constructed. Approved key boxes can be obtained from Knox Box at www.knoxbox.com.

Based on the drawings submitted, we didn't observe the need for any additional requirements for the site.

Sincerely,



Christopher C. Dennis, Chief

May 11, 2021

Mr. Andrew Bremer, AICP
Community & Economic Development Director
Village of McFarland
5915 Milwaukee Street
P.O. Box 110
McFarland, WI 53558

Subject: Wabuesa Intermediate School Accessible Park Plan Submittal Review

Dear Andrew:

We have received the concept plans included in the July 6, 2023 Plan Submittal for a proposed new Accessible Park at the Wabuesa Intermediate School site. The submittal has been reviewed from a public works perspective. Our comments have been combined with those from Public Works staff.

- The new sewer and water lines to serve the restroom building are currently being priced out for inclusion in the Village's 2023 street and utility project while the contractor is mobilized in town. We will keep the Village updated as those costs become available.
- The driveway and walkways are not considered large enough relative to the surrounding grass areas to impact stormwater management, and we recommend this phase be allowed to be considered "disconnected". When (or if) future phases are executed for the large playground area, then stormwater management features should be required and sized to include this first phase. A conceptual stormwater management area is shown on the plans.

Please feel free to contact us with any questions or comments regarding this review. I could also attend the May 17 virtual Plan Commission meeting if desired to answer any questions that come up then.

Very truly yours,
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.
President

cc: Mr. Lee Igl, Director of Public Works, Village of McFarland (*via email*)

BRB:sai

J:\JOB#S\McFarland\MC-196-M9 2022 Park Reviews\Inclusive Park\Review Letter.docx

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, July 18, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action to submit a letter of opposition to the Dane County Zoning & Land Regulation Committee, and Town of Dunn Town Board, regarding a proposed cell tower at 3486 CTH MN in the Town of Dunn, Dane County, WI. Dane County CUP #2583.

PREVIOUS ACTION:

January 17, 2013 - Discussion of this item was held by the Plan Commission

February 20, 2023 - Discussion of the Community & Economic Development Director's letter of opposition was held by the Plan Commission.

February 28, 2023 - The Dane County Zoning & Regulation Committee held a public hearing on CUP #2583

March 21, 2023 - Discussion and approval of a letter of opposition by the Plan Commission.

ISSUE SUMMARY:

Update of Activities since the March 21st Plan Commission Meeting

Following discussion at the March 21st Plan Commission meeting, Staff submitted a letter of opposition to Dane County and the Town of Dunn as directed by the Plan Commission. The following is a summary of additional activities that have occurred since that meeting:

- March 24th. Dane County Planning Staff prepared a memo to the Dane County Zoning & Land Regulation Committee recommending denial of the CUP. Refer to packet for a copy of the memo. The applicant requested an extension of the timeline for action on the CUP to address concerns raised by the Village, Dane County and neighboring property owners.
- March 27th, Town Board Meeting. Action on the application was postponed.
- March 28th, Dane County Zoning & Land Regulation Committee Meeting. Action on the application was postponed.
- May 9th, Dane County Zoning & Land Regulation Committee Meeting. Action on the application was postponed.

Revised Application

On June 12, 2023, the Department received revised site plans and photo simulations as provided in the packet. A summary of plan modifications include:

- Tower Height. The height of the tower has been reduced from 174' to 145'.



- Tower Setback. The location of the tower has been revised from the NE corner of the proposed easement to the SW corner. The proposed tower is 100 feet from the rear property line, 105 feet from the east property line, and approximately 71 feet from the existing residential structure.
- Tower Design. The four sets of tower antennas have been modified to a stealth mount.
- Tower Fencing & Landscaping. The wooden security fence has increased in height from six to seven feet. The number of perimeter evergreens has increased from 23 to 38.

A copy of the original application and all supporting documents can be viewed on [Dane County's Legislative Information Center for CUP #2583](#). The Town of Dunn Town Board is scheduled to consider the revised application at their July 18th meeting and the Dane County Zoning & Land Regulation Committee at their August 8th meeting.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

2017 Comprehensive Plan
2023 East Side Plan

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Motion, and second, to submit a letter of opposition to the Dane County Zoning & Land Regulation Committee, and Town of Dunn Board, regarding a proposed cell tower at 3486 CTH MN in the Town of Dunn, Dane County, WI.

ATTACHMENTS:

1. 3486 CTH MN_DC Petition 2583_VOM Opposition Ltr_07.18.23
2. 3486 CTH MN_TowerKing Revised Plan_06.02.23
3. CUP 2583 DC Staff memo and recommended findings_03.24.23



www.mcfarland.wi.us/communityandeconomicdevelopment | 5915 Milwaukee St, McFarland, WI 53558 | 608.838.3154

To: Dane County Zoning & Land Regulation Committee
c/o Majid Allen, Senior Planner, Dane County Planning & Development

Town of Dunn, Town Board
c/o Ben Kollenbroich, Planning & Land Conservation Director

From: McFarland Plan Commission
c/o Andrew Bremer, AICP, Community & Economic Development Director

Date: July 18, 2023

Re: CUP Petition #2583, Proposed 145' Monopole Communication Tower at 3486 CTH MN

On June 12, 2023, the Village received revised site plans and photo simulations for Dane County CUP Petition #2583. A summary of the proposed plan modifications include:

- Tower Height. The height of the tower has been reduced from 174' to 145'.
- Tower Setback. The location of the tower has been revised from the NE corner of the proposed easement to the SW corner. The proposed tower is 100 feet from the rear property line, 105 feet from the east property line, and approximately 71 feet from the existing residential structure.
- Tower Design. The four sets of tower antennas have been modified to a stealth mount.
- Tower Fencing & Landscaping. The wooden security fence has increased in height from six to seven feet. The number of perimeter evergreens has increased from 23 to 38.

The Village Plan Commission remains opposed to the proposed cellular communication tower at this property noting the following:

- Setbacks & Tower Height. The Village remains committed that the proposed setback distance should equal or exceed the height of the proposed tower. Sec. 62-206(h)(5) of the McFarland Municipal Code states that: *"In all residential districts, the minimum setback from any property line, public right-of-way, building or structure, except for accessory equipment building for a wireless telecommunication tower, shall be equal to 100 percent of the height of the tower plus ten feet from any lot line."* The revised site plan fails to meet these requirements. Noting also that the revised site plan fails to meet Dane County Ordinance OA-57 which requires *"communication towers on or adjacent to a parcel of land upon which single-family residential use is permitted shall be setback a distance equal to or greater than the proposed height of the tower."* The revised site plan fails to meet this requirement.
- Landscaping. While the number of proposed evergreen's has increased, the revised site plan still does not address any of the concerns raised in the Village's previous letter dated February 21, 2023....*The applicant has not provided details regarding the specific species of arborvitae they propose. In addition, the use of a monoculture of species is not advised due to the possible loss of all trees to a single future insect, disease or severe weather condition. The applicant should be*

required to provide a landscaping plan by a registered landscape architect that includes a diversity of landscaping species, suitable for year-round screening, and designed in a more natural pattern.

The Plan Commission has reviewed the staff report prepared by Dane County Senior Planner Majid Allan dated March 24, 2023. The Plan Commission concurs with the justification provided by Mr. Allan for denial of the conditional use permit. Given the context of this particular location within an existing and growing residential neighborhood, and all of the concerns raised in this letter, and the Village's previous letters dated March 21st, 2023 and February 21st, 2023, we respectfully request denial of this application without further delay.

This letter was reviewed and voted _ in favor and _ against, for submittal to the Dane County Zoning & Land Regulation Committee, and Town of Dunn Town Board, at the McFarland Plan Commission's July 18, 2023 meeting. Thank you in advance for your consideration of the impacts of this proposed tower to current and future residents of McFarland, Town of Dunn, and Dane County.

NOTE:
FOR SITES WHERE A CRANE IS NECESSARY, THE CONTRACTOR SHALL CONFIRM AN UNOBSTRUCTED ROUTE FOR THE CRANE FROM PUBLIC ROAD TO TOWER SITE PRIOR TO CONSTRUCTION. NO AERIAL OBSTRUCTIONS UNDER FIFTEEN FEET ABOVE GRADE, INCLUDING AERIAL UTILITY LINES, ARE ALLOWED ALONG SAID CRANE ROUTE.



McFARLAND

DRAWING INDEX		CIVIL ENGINEER LANDTECH PROFESSIONAL SURVEYING AND ENGINEERING 1275 MCGREGOR WAY GRAWN, MI 49637 P.O. BOX 193 PHONE: (231) 943-0050	SURVEYOR LANDTECH PROFESSIONAL SURVEYING AND ENGINEERING 1275 MCGREGOR WAY GRAWN, MI 49637 P.O. BOX 193 PHONE: (231) 943-0050	PROJECT INFORMATION																																																										
T-1 S-1 S-2 C-1 C-2 C-3 C-4 C-5 E-1 E-2 E-3 E-4 E-5	TITLE SHEET SURVEY PLAN ENLARGED SITE PLAN TOWER ELEVATION & DETAILS SHELTER ELEVATIONS FOUNDATION PLAN & DETAILS ICE BRIDGE & FENCE DETAILS GENERAL NOTES ELECTRICAL NOTES & DETAILS SINGLE LINE DIAGRAM & DETAILS GROUNDING DETAILS GROUNDING DETAILS GROUNDING NOTES & DETAILS	DIRECTIONS TO SITE: FROM DANE COUNTY REGIONAL AIRPORT [4000 INTERNATIONAL LN, MADISON WI] ON INTERNATIONAL LN (NORTH), TURN LEFT (SOUTH-EAST) ONTO ANDERSON ST. TURN RIGHT (SOUTH) ONTO US-51 [N STOUGHTON RD]. KEEP RIGHT ONTO RAMP. TURN LEFT (EAST) ONTO SIGGELKOW RD. TURN RIGHT (SOUTH) ONTO HOLSCHER RD. TURN LEFT (EAST) ONTO CR-MN [COUNTY ROAD MN]. TURN LEFT (NORTH) ONTO ACCESS DRIVE		SCOPE OF WORK: UNMANNED TELECOMMUNICATIONS FACILITY TYPE OF CONSTRUCTION PROJECT TYPE: PROPOSED 145' MONOPOLE SITE ADDRESS: 3486 COUNTY HIGHWAY MN MCFARLAND VILLAGE, WI 53558 TOWER INFORMATION: (LATITUDE & LONGITUDE BASED ON NAD1983) LATITUDE: 43° 01' 00.46"N LONGITUDE: 89° 16' 16.34"W PROPOSED RAD CENTER HEIGHT: 140' AGL. SQUARE FOOTAGE: PROPOSED LEASE AREA: 10,000 SQ. FT. PROPERTY OWNERS: KHAN M. & SADIA ARIF 3486 COUNTY HIGHWAY MN MCFARLAND VILLAGE, WI 53558 PARCEL NUMBER (TAX I.D.): 061002182450 OCCUPANT LOAD: UNOCCUPIED PARKING REQUIREMENTS: ADDITIONAL PARKING REQUIRED: NONE EXISTING PARKING MODIFICATIONS: NONE REQUIRED																																																										
	NOTES	 VICINITY MAP NOT TO SCALE		CONCRETE AND REINFORCING STEEL NOTES (SEE PAGE C-5) APPLICABLE BUILDING CODES AND STANDARDS (SEE PAGE C-5) SITE WORK GENERAL NOTES (SEE PAGE C-5) STRUCTURAL STEEL NOTES (SEE PAGE C-5) GROUNDING NOTES (SEE PAGE E-5) ELECTRICAL INSTALLATION NOTES (SEE PAGE E-1) GENERAL NOTES (SEE PAGE C-5)																																																										
 LANDTECH PROFESSIONAL SURVEYING & ENGINEERING AL, AR, AZ, CO, FL, GA, IL, IA, IN, KS, KY, MI, MN, MO, NE, NC, ND, NJ, NM, NY, OH, OK, PA, SC, SD, TN, TX, VA, WV, WI 231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free www.landtechps.com www.towersurveyors.com				TOWER KING 23434 ELLIOTT ROAD, DEFIANCE, OH 43512 PH: (419) 782-8591		MCFARLAND 3486 COUNTY HIGHWAY MN MCFARLAND VILLAGE, WI 53558		<table><tr><td>6</td><td>04/12/23</td><td>PER COMMENTS</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>5</td><td>04/07/23</td><td>LEASE AND TOWER MOVE</td><td>RJH</td><td>MM</td><td>MM</td></tr><tr><td>4</td><td>12/29/22</td><td>REV'D TOWER ELEV., SHEET C-1</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>3</td><td>09/29/22</td><td>REV'D ZONING PER CLIENT</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>2</td><td>09/15/22</td><td>REV'D PER CLIENT-ARBORVITAE, FENCING</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>1</td><td>09/07/22</td><td>REV'D TOWER-RAD CENTER HEIGHT</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>0</td><td>08/17/22</td><td>ISSUED FOR REVIEW</td><td>TLR</td><td>MM</td><td>MM</td></tr><tr><td>NO.</td><td>DATE</td><td>REVISIONS</td><td>BY</td><td>CHK</td><td>APP'D</td></tr><tr><td colspan="2">SCALE: AS SHOWN</td><td>DESIGNED BY: MM</td><td colspan="3">DRAWN BY: TLR</td></tr></table>	6	04/12/23	PER COMMENTS	RJH	MM	MM	5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM	4	12/29/22	REV'D TOWER ELEV., SHEET C-1	TLR	MM	MM	3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM	2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM	1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM	0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM	NO.	DATE	REVISIONS	BY	CHK	APP'D	SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		
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LATITUDE & LONGITUDE

LATITUDE AND LONGITUDE OF SITE ARE BASED ON NAD 83.
LATITUDE: 43° 01' 00.46" N
LONGITUDE: 89° 16' 16.34" W
GROUND ELEVATION AT TOWER BASE: 888' AMSL
ELEVATIONS ARE BASED ON NAVD88

SITE INFORMATION

SITE ADDRESS: 3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558
PROPERTY OWNER: KHAN M. & SADIA ARIF
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, MN 53558

ZONING INFORMATION

SUBJECT SITE ZONING: RURAL RESIDENTIAL

ADJACENT ZONING:

NORTH: AGRICULTURAL/FARMLAND PRESERVATION BUSINESS
SOUTH: FARMLAND PRESERVATION
EAST: AGRICULTURAL/FARMLAND PRESERVATION BUSINESS
WEST: RESIDENTIAL

TOWER SETBACKS:

FRONT: 100% TOWER HEIGHT (170')
REAR: 100% TOWER HEIGHT (170')
SIDES: 100% TOWER HEIGHT (170')

GENERAL NOTES

NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE.
FINISH GRADE WILL MATCH EXISTING CONTOUR.
THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION.
NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION.
NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE.
TOWER LIGHTING SHALL CONFORM TO FAA STANDARDS AS REQUIRED.
ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.

PARENT PARCEL (PER DOCUMENT #: 4466976)

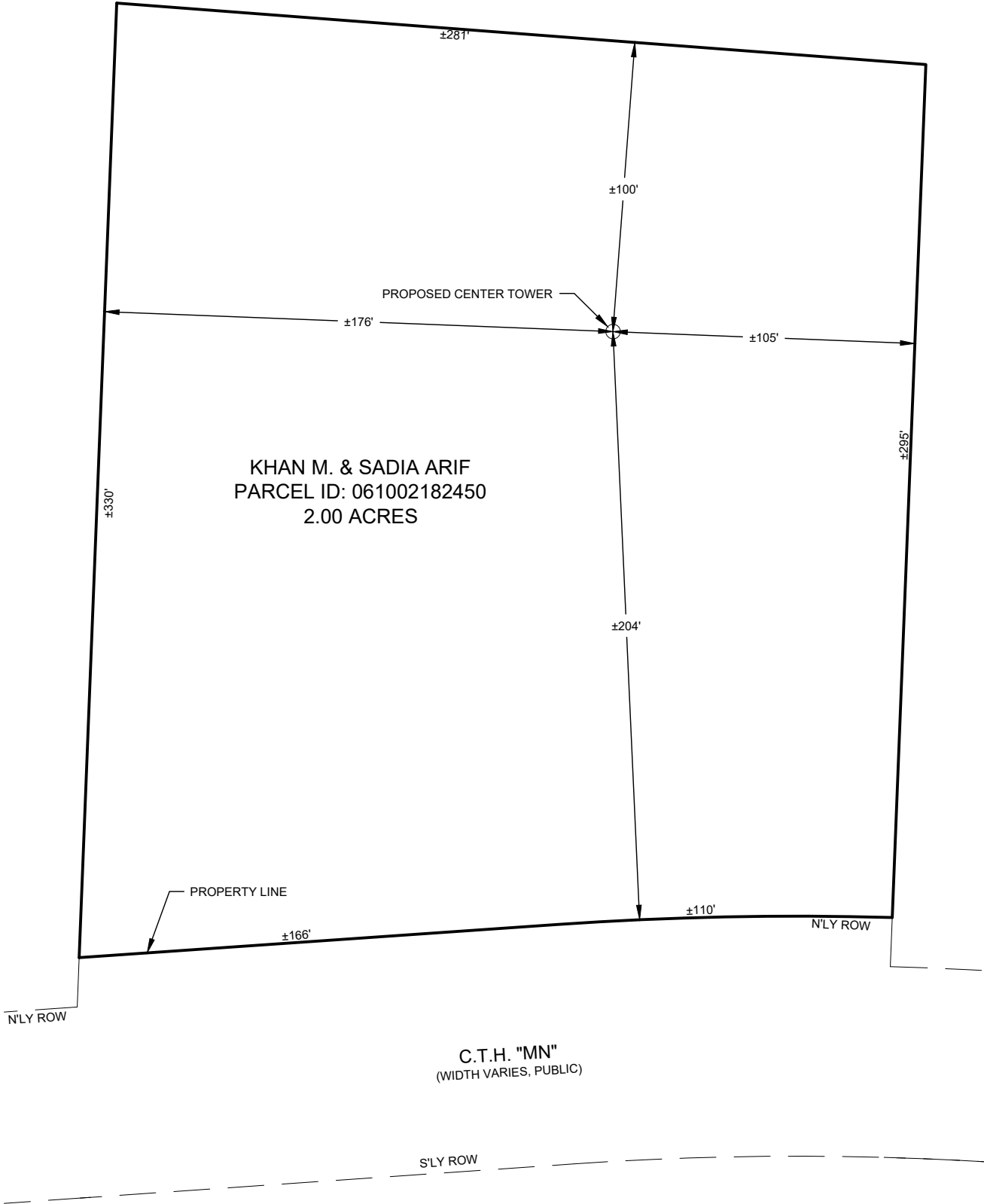
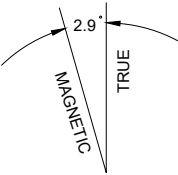
PART OF THE NE 1/4 OF THE NE 1/4 AND THE NW 1/4 OF THE NE 1/4, SECTION 2, TOWN 6 NORTH, RANGE 10 EAST, TOWN OF DUNN, DANE COUNTY, WISCONSIN, DESCRIBES AS FOLLOWS: COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 2; THENCE N87°31'06"E (RECORDED EAST), 1300.93 FEET ALONG THE NORTH LINE OF THE NE 1/4 OF SAID SECTION 2; THENCE S02°15'12"W (RECORDED AS S04°44'10"W), 380.63 FEET TO THE CENTERLINE OF C.T.H. "MN"; THENCE N86°02'15"E, 171.26 FEET ALONG THE CENTERLINE OF C.T.H. "MN" TO A POINT OF CURVATURE; THENCE CONTINUING ALONG SAID CENTERLINE OF SAID C.T.H. "MN" TO THE RIGHT WITH A CENTRAL ANGLE OF 05°31'18", A RADIUS OF 1195.92 FEET AND A LONG CORD OF N88°48'54"E, 110.36 FEET; THENCE N02°15'12"E, 339.88 FEET; THENCE N85°39'48"W, 280.63 FEET TO THE POINT OF BEGINNING; CONTAINING 101,230 SQUARE FEET (2.32 ACRES), 87,140 SQUARE FEET (2.00 ACRES) EXCLUDING C.T.H. "MN" RIGHT-OF-WAY. SUBJECT TO ALL EASEMENTS OF RECORD.

TOWER KING LEASE AREA DESCRIPTION

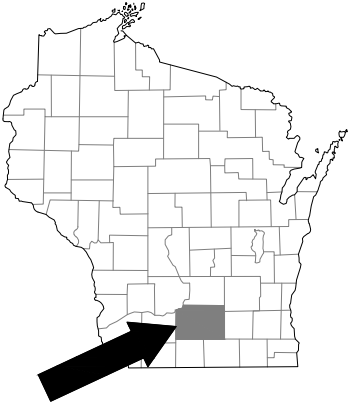
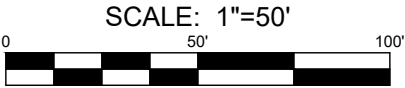
A PART OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, DUNN TOWNSHIP, DANE COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE NORTH 87°31'27" EAST ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1,341.03 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 769.15 FEET TO THE NORTHWEST CORNER OF THE PARENT PARCEL; THENCE SOUTH 85°39'48" EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 170.56 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 6.07 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87°44'48" EAST A DISTANCE OF 100.00 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 87°44'48" WEST A DISTANCE OF 100.00 FEET; THENCE NORTH 02°15'12" EAST A DISTANCE OF 100.00 FEET. CONTAINING 10,000.00 SQUARE FEET OR 0.23 ACRES.

TOWER KING ACCESS/UTILITY EASEMENT DESCRIPTION

A 20 FOOT WIDE EASEMENT OVER/UNDER AND ACROSS ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 2, TOWNSHIP 6 NORTH, RANGE 10 EAST, DUNN TOWNSHIP, DANE COUNTY, WISCONSIN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; THENCE NORTH 87°31'27" EAST ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 1,341.03 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 769.15 FEET TO THE NORTHWEST CORNER OF THE PARENT PARCEL; THENCE SOUTH 85°39'48" EAST ALONG THE NORTH LINE OF SAID PARCEL A DISTANCE OF 170.56 FEET; THENCE SOUTH 02°15'12" WEST A DISTANCE OF 6.07 FEET TO THE NORTHWEST CORNER OF THE TOWER KING LEASE; THENCE SOUTH 87°44'48" EAST ALONG THE NORTHERLY LINE OF SAID LEASE DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF SAID LEASE; THENCE SOUTH 02°15'12" WEST ALONG THE EASTERLY LINE OF SAID LEASE A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER OF SAID LEASE; THENCE NORTH 87°44'48" WEST ALONG THE SOUTHERLY LINE OF SAID LEASE A DISTANCE OF 36.00 FEET AND THE POINT OF BEGINNING; THENCE SOUTH 03°00'44" WEST A DISTANCE OF 194.74 FEET TO THE NORTHERLY RIGHT-OF-WAY OF C.T.H. "MN" RD (WIDTH VARIES, PUBLIC); THENCE WESTERLY ALONG SAID RIGHT-OF-WAY A DISTANCE OF 20.06 FEET, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 1,195.92 FEET, A CENTRAL ANGLE OF 00°57'41", AND CHORD BEARING SOUTH 88°46'43" WEST 20.06 FEET; THENCE NORTH 03°00'44" EAST A DISTANCE OF 194.74 FEET TO THE SOUTH LINE OF SAID LEASE; THENCE SOUTH 87°44'48" EAST ALONG SAID LEASE LINE A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING. CONTAINING 3,906.50 SQUARE FEET OR 0.09 ACRES.



PARENT PARCEL DETAIL



- IRON FOUND
- IRON SET
- ▲ P.K. NAIL FOUND
- ▲ P.K. NAIL SET
- ⊙ GPS MONUMENT
- ⊙ MONUMENT BOX FOUND
- ⊕ MONUMENT FOUND
- ⊕ MONUMENT SET
- (R) RECORD
- (M) MEASURED
- ^{TS} STORM MANHOLE
- ⊕ CATCH BASIN
- ⊕ SQUARE CATCH BASIN
- ^{SNS} SANITARY MANHOLE
- ⊕ SANITARY CLEAN-OUT
- ⊕ MONITOR WELL
- MW#
- ⊕ TELCO. MANHOLE
- PP POWER POLE
- GUY GUY
- ⊕ LIGHT POLE
- ⊕ ELECTRIC TRANSFORMER
- EM ELECTRIC METER
- EHH ELECTRIC HANDHOLE
- WV WATER VALVE
- HYDRANT
- GM GAS METER
- GAS GAS MARKER
- GV GAS VALVE
- TP TELEPHONE PEDESTAL
- SP SIGN POST
- FENCE LINE
- ⊕ BENCHMARK
- POST

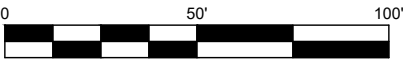
LEGEND

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.



SURVEY PLAN

SCALE: 1"=50'



CERTIFICATION :

I MATTHEW T. MOKANYK CERTIFY THAT I HAVE SURVEYED AND MARKED THE PROPOSED TOWER INSTALLATION AND EXISTING FEATURES AND THAT THIS MAP IS A TRUE REPRESENTATION OF SAID SURVEY.

Matthew T. Mokanyk

Matthew T. Mokanyk, P.S., P.E.
Wisconsin P.L.S. No. 3078-8

04/07/23
Date

BEARING BASIS: WISCONSIN SOUTH ZONE STATE PLANE COORDINATES, NAD83



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231-943-0050 ph 231-943-0051 fax 877-520-LAND toll free
www.landtechps.com www.towersurveyors.com



TOWER KING

TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

MCFARLAND

3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

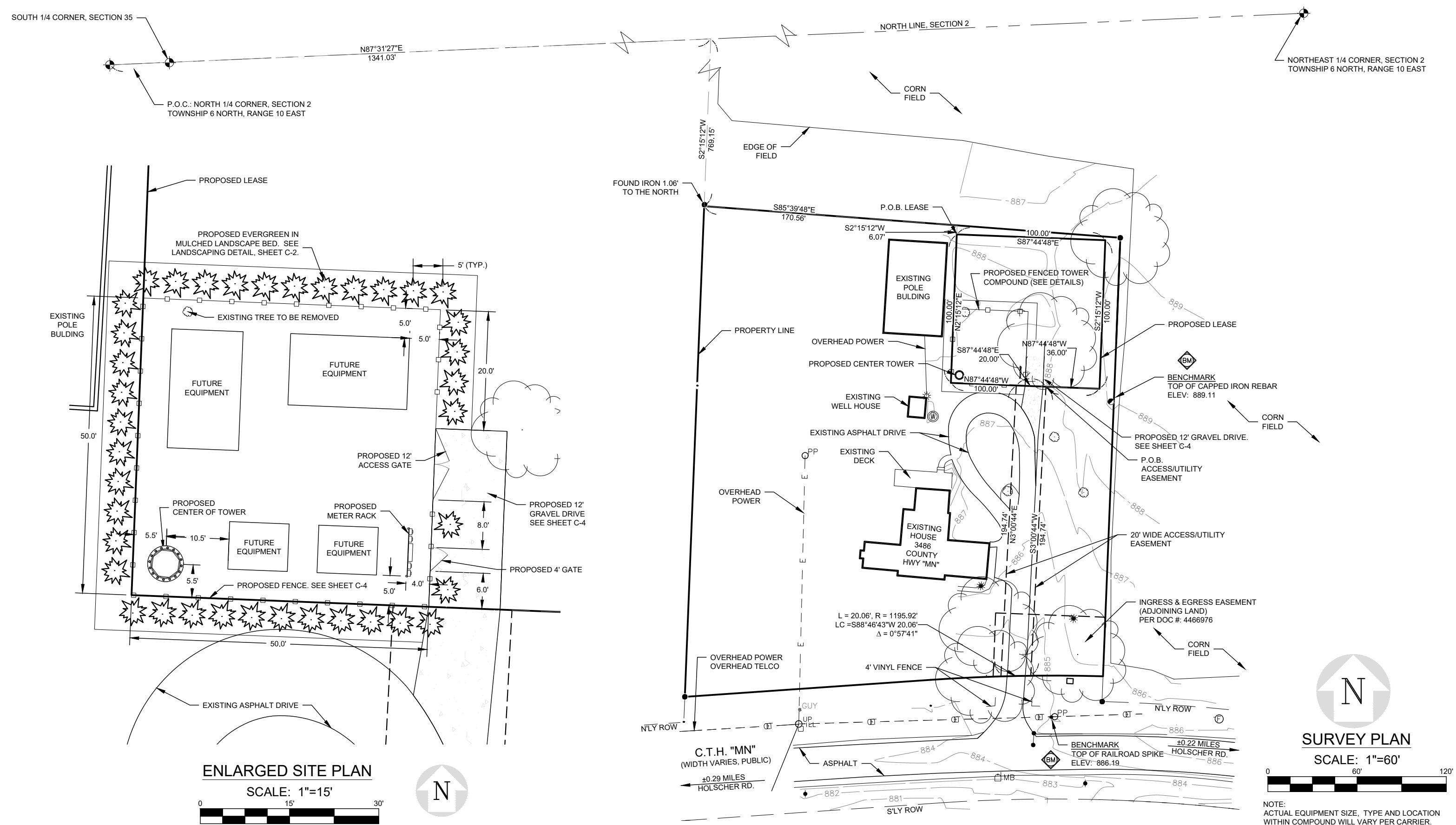
6	04/12/23	PER COMMENTS	RJH	MM	MM
5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM
4	12/29/22	REV'D TOWER ELEV. SHEET C-1	TLR	MM	MM
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET S-1

SURVEY PLAN

DRAWING NUMBER

22359001





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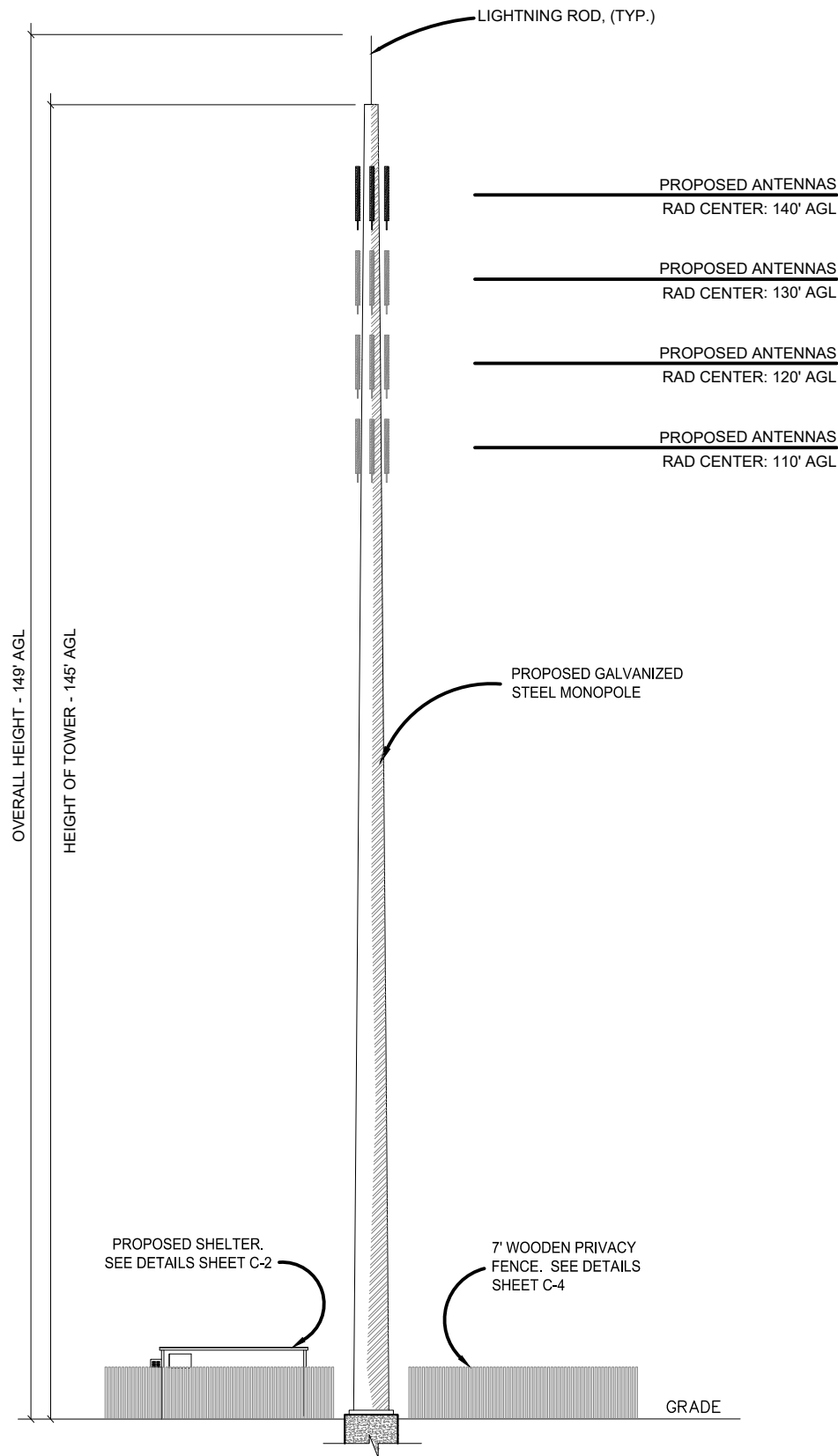


TOWER KING
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DEFIANCE, OH 43512
PH: (419) 782-8591

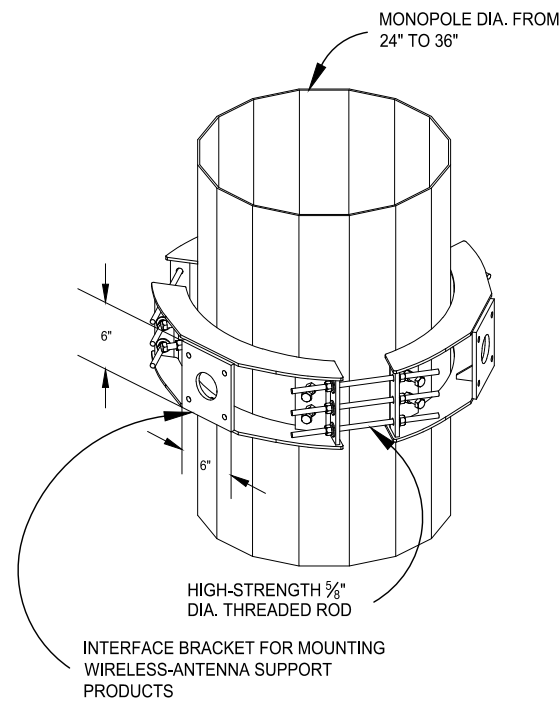
MCFARLAND
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

6	04/12/23	PER COMMENTS	RJH	MM	MM
5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM
4	12/29/22	REV'D TOWER ELEV. SHEET C-1	TLR	MM	MM
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

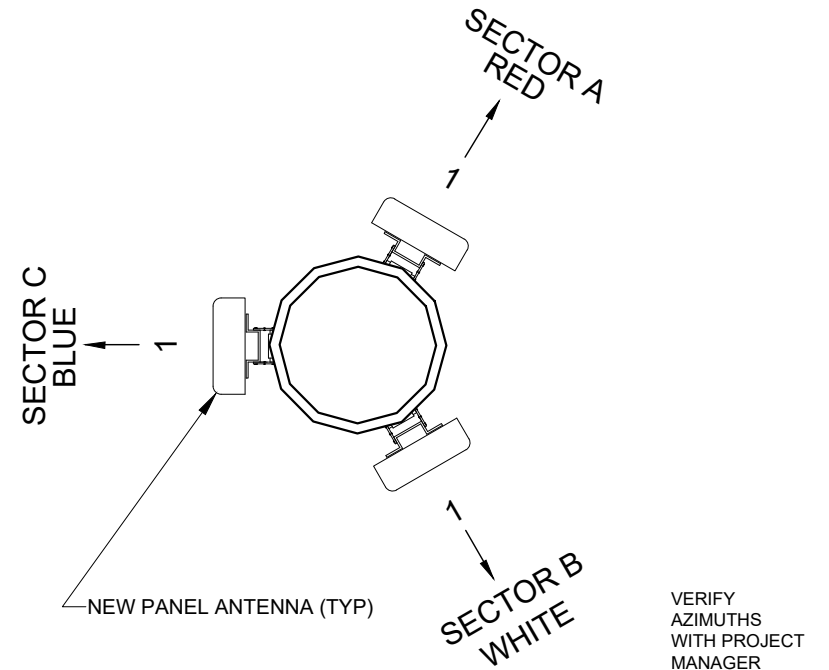
SHEET S-2
ENLARGED SITE PLAN
DRAWING NUMBER
22359001



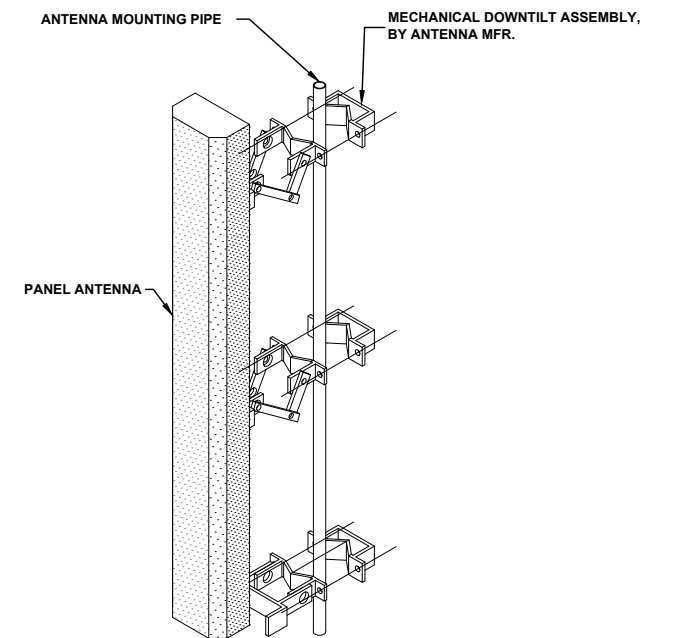
TOWER ELEVATION VIEW
NOT TO SCALE



B2593 TRI-BRACKET DETAIL
NOT TO SCALE

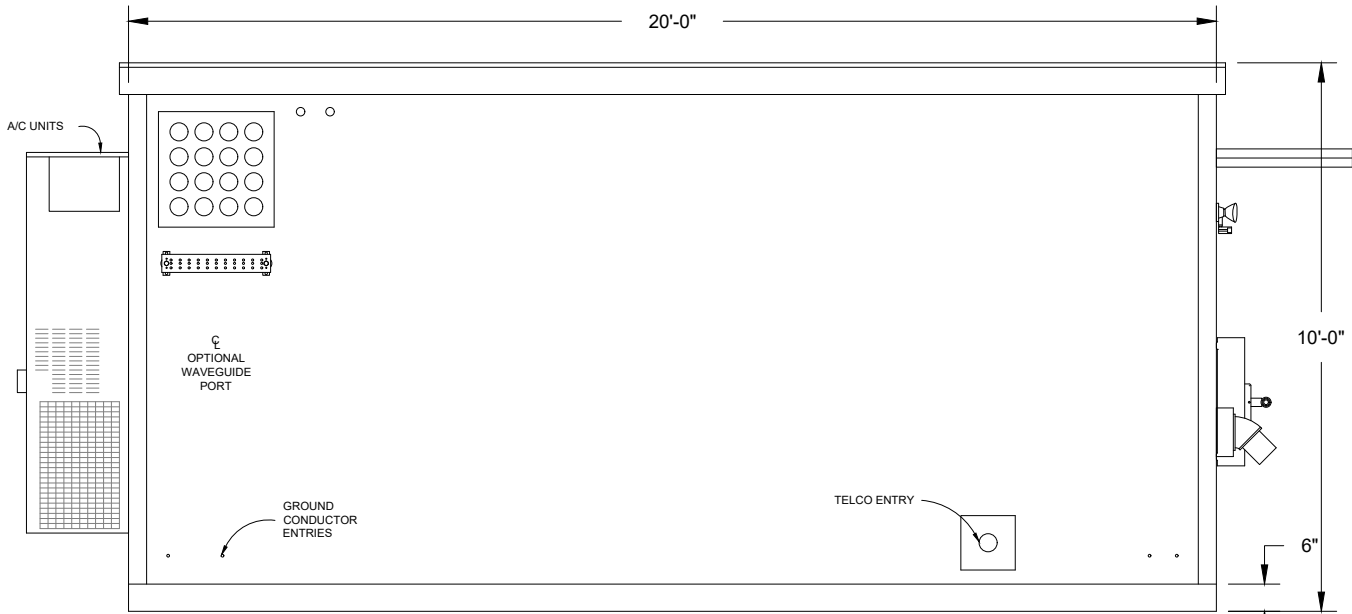


TYPICAL SECTORIZED ANTENNA CONFIGURATION
NOT TO SCALE

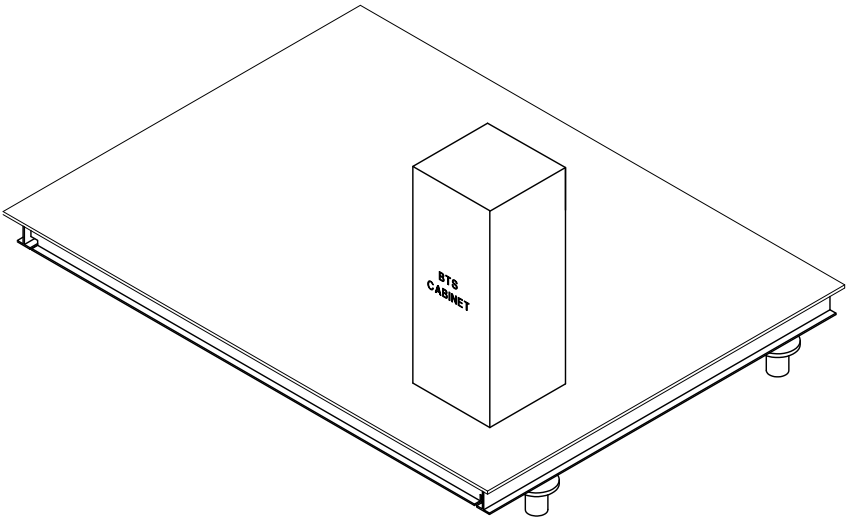
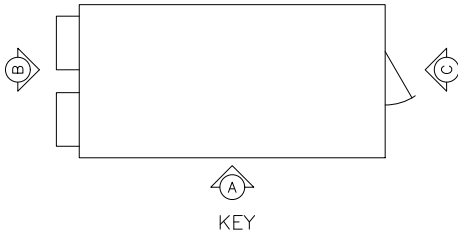


ANTENNA MOUNTING DETAIL
NOT TO SCALE

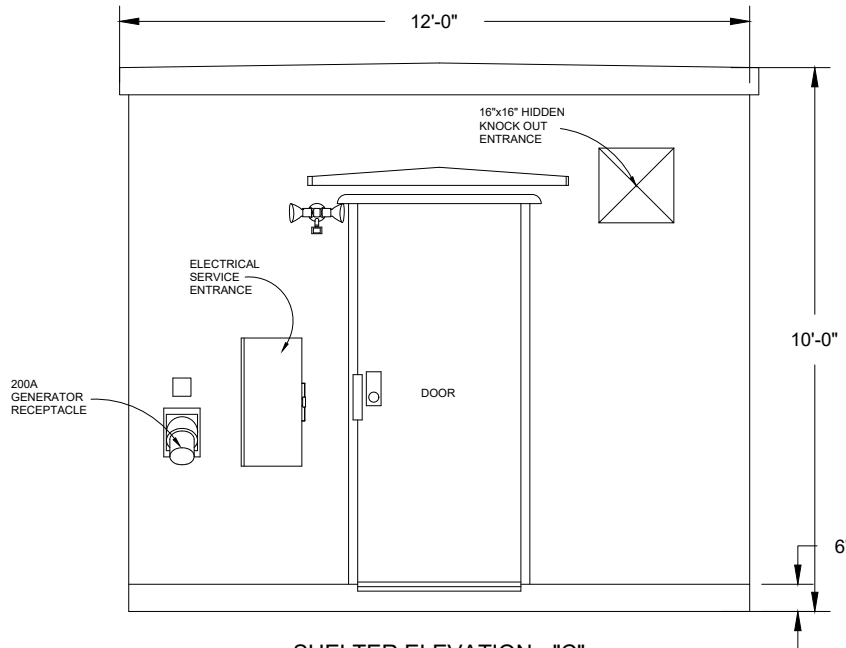
NOTE: SHELTER AND PLATFORM SHOWN ARE TYPICAL OF COMMUNICATION EQUIPMENT INSTALLATIONS AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. INDIVIDUAL EQUIPMENT PROVIDED BY CARRIERS MAY VARY FROM THESE DRAWINGS. DESIGN OF SUCH EQUIPMENT INSTALLATIONS AND THEIR FOUNDATIONS ARE BY OTHERS.



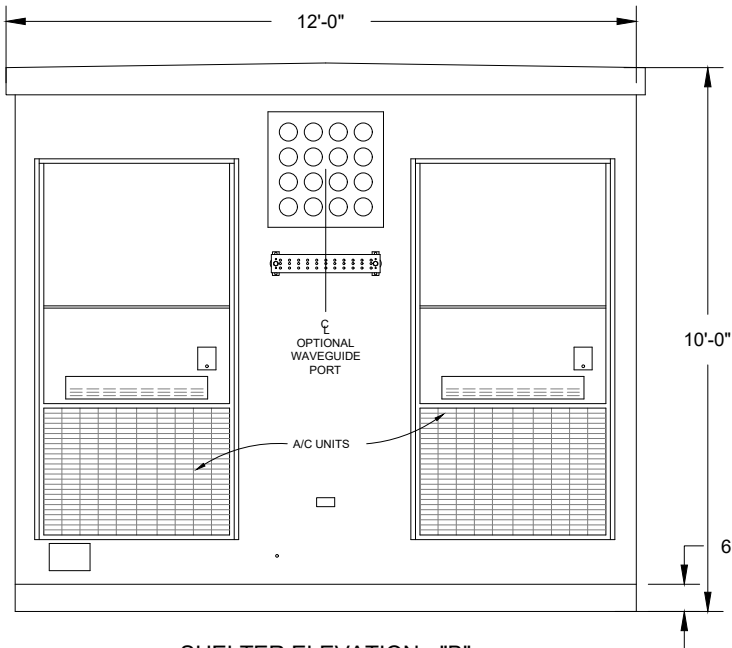
SHELTER ELEVATION - "A"
NOT TO SCALE



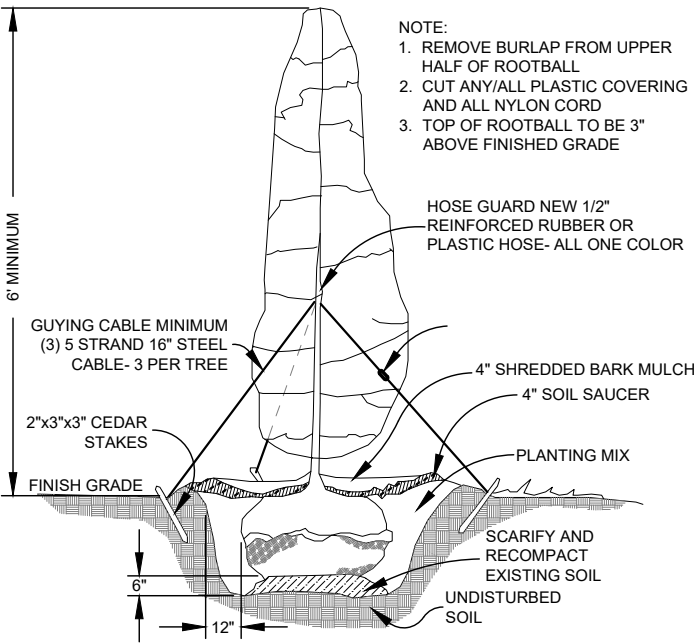
TYPICAL EQUIPMENT PLATFORM
NOT TO SCALE



SHELTER ELEVATION - "C"
NOT TO SCALE



SHELTER ELEVATION - "B"
NOT TO SCALE



EVERGREEN LANDSCAPING DETAIL
NOT TO SCALE



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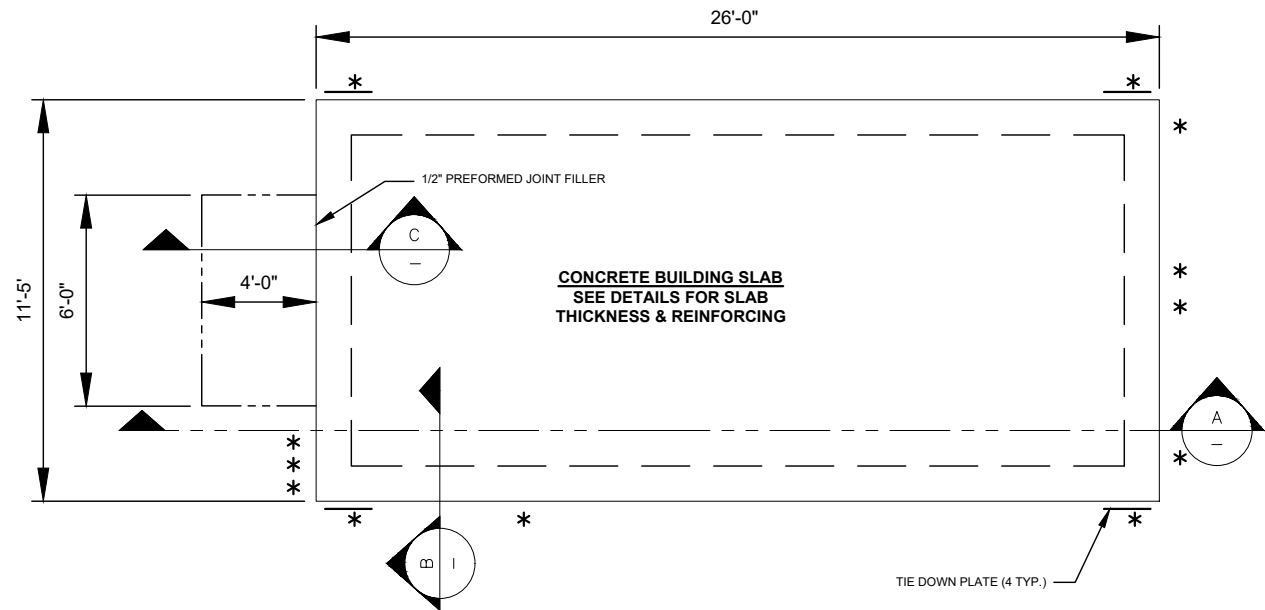
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5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM
4	12/29/22	REV'D TOWER ELEV., SHEET C-1	TLR	MM	MM
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET C-2

SHELTER ELEVATIONS

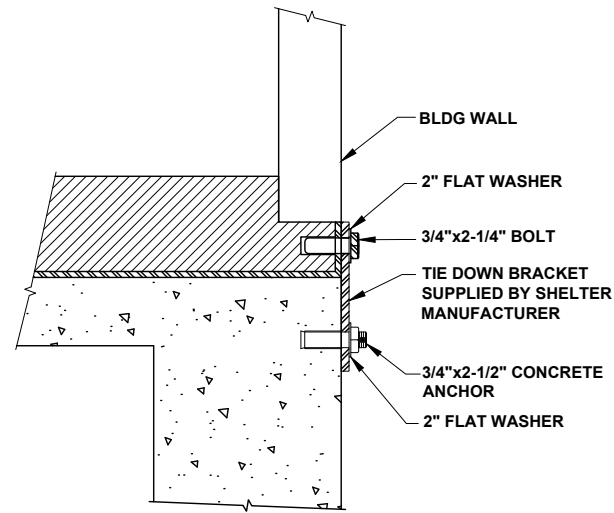
DRAWING NUMBER

22359001



SHELTER FOUNDATION PLAN
NOT TO SCALE

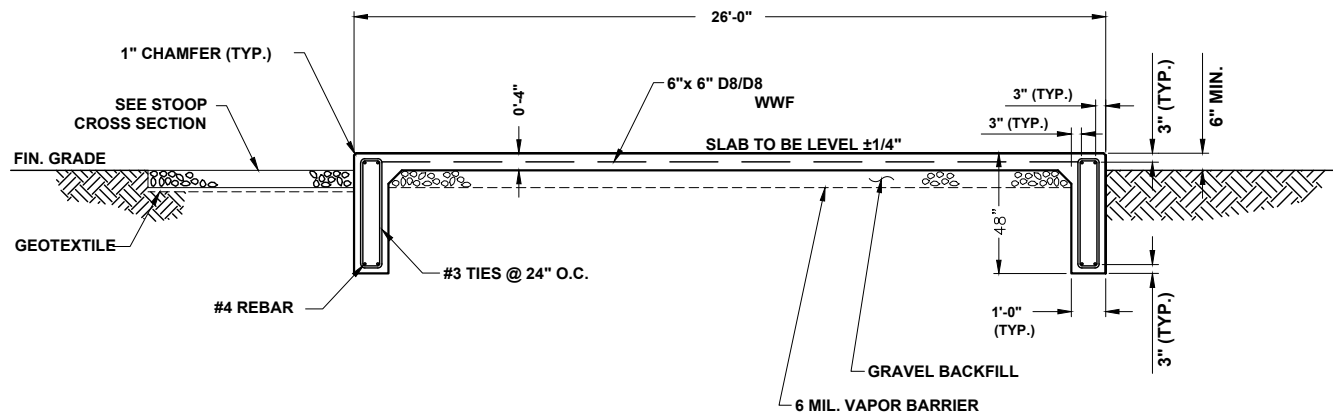
NOTE:
* #2 GROUND PIG TAIL LOCATIONS
SEE GROUNDING PLAN



BLDG/FND ATTACHMENT DETAIL B-B
NOT TO SCALE

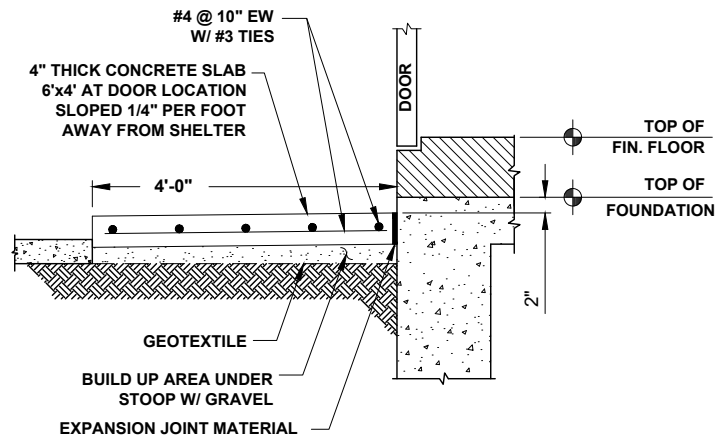
FOUNDATION GENERAL NOTES:

1. THE SITE SHALL BE STRIPPED OF ALL VEGETATION PRIOR TO FILL OR CONSTRUCTION OF THE FOUNDATION PAD.
2. ALL FILL SAND SHALL BE 0-15 P.I. WITH A COMPACTION TEST RUN ON EACH 6" LIFT - COMPACTED TO 90% MODIFIED PROCTOR.
3. ANY SOFT AREAS (TREE STUMP HOLES, ETC.) SHALL BE CUT OUT AND RECOMPACTED TO SAID PROCTOR.
4. THE SUBCONTRACTOR SHALL KEEP THE SITE SO IT WILL HAVE POSITIVE DRAINAGE AT ALL TIMES.
5. ALL EXCAVATIONS SHALL BE FREE OF WATER BEFORE POURING CONCRETE.
6. MINIMUM SOIL BEARING CAPACITY OF 2,000 PSF IN ALL FOUNDATION AND SLAB AREAS.



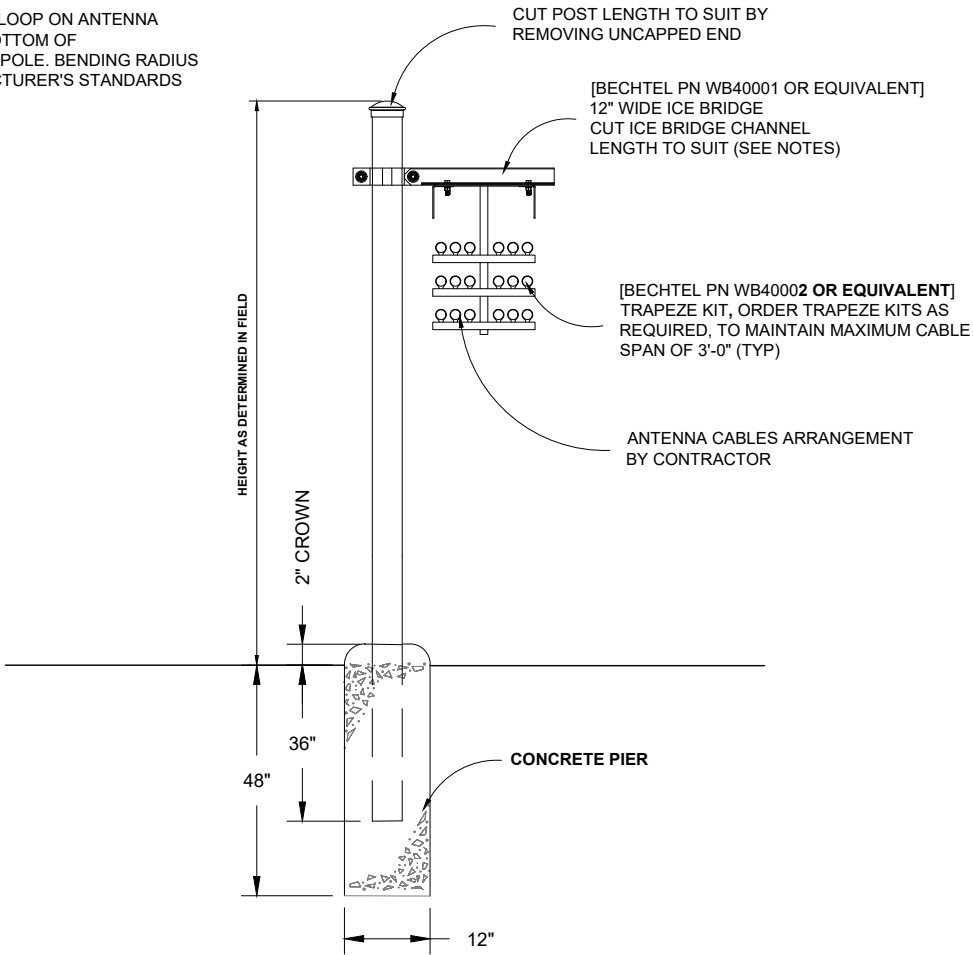
BLDG/FND ATTACHMENT SECTION A-A
NOT TO SCALE

- NOTES:
1. CONCRETE FINISH TO BE CLASS A TOLERANCE.
 2. TEST FOR 3000 PSI AT 7, 14, & 28 DAYS PER POUR BY INDEPENDENT LAB.
 3. ALL CONCRETE TO BE SIX SACK MIX.
 4. PERFORM CONCRETE SLUMP TEST (4" MAX). NO WATER TO BE ADDED TO CONCRETE MIX AFTER 4" SLUMP HAS BEEN ESTABLISHED.



STOOP DETAIL C-C
NOT TO SCALE

* INSTALL DRIP LOOP ON ANTENNA CABLES AT BOTTOM OF TOWER/MONOPOLE. BENDING RADIUS PER MANUFACTURER'S STANDARDS

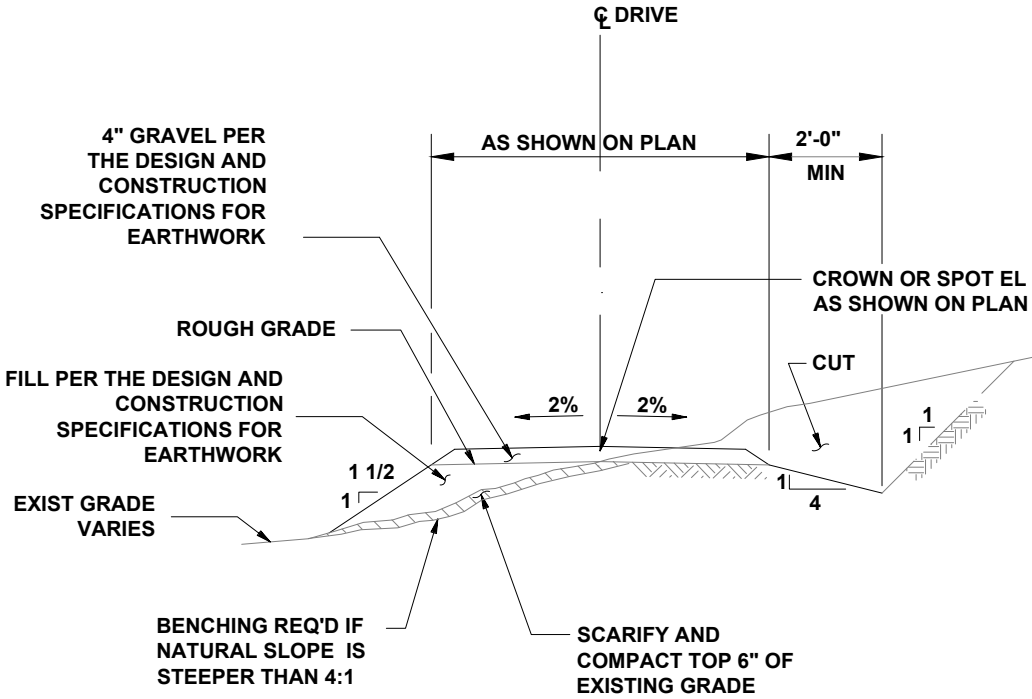


BECHTEL SC:	ROHN PN:	MTS PN:
WB40001		WB-K110-B
WB40002		WB-T12-3

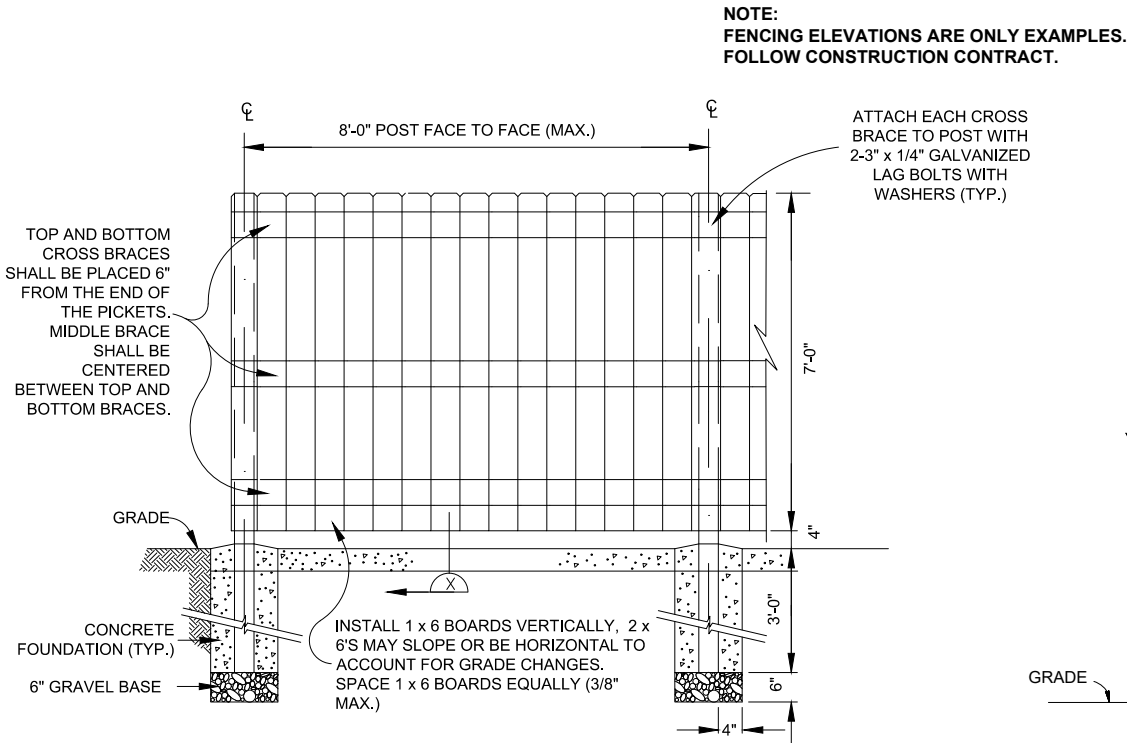
NOTES:

1. WHEN USING COMPONENTS AS SHOWN IN STANDARD DETAILS, MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 9 FEET FOR 10 FEET BRIDGE CHANNEL.
2. WHEN USING COMPONENTS FOR SPLICING BRIDGE CHANNEL SECTIONS, THE SPLICE SHOULD BE PROVIDED AT THE SUPPORT, IF POSSIBLE, OR AT A MAXIMUM OF 2 FEET FROM THE SUPPORT.
3. WHEN USING COMPONENTS, SUPPORT SHOULD BE PROVIDED AS CLOSE AS POSSIBLE TO THE ENDS OF ICE BRIDGES, WITH A MAXIMUM CANTILVER DISTANCE OF 2 FEET FROM THE SUPPORT TO THE FREE END OF THE ICE BRIDGE.
4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES TREATED WITH A MATERIAL TO RESTORE THESE EDGES TO THE ORIGINAL CHANNEL, OR EQUIVALENT, FINISH.
5. ICE BRIDGES MAY BE CONSTRUCTED WITH COMPONENTS FROM OTHER MANUFACTURERS, PROVIDED THE MANUFACTURER'S INSTALLATION GUIDELINES ARE FOLLOWED.
6. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH THE RESPECTIVE MANUFACTURER'S APPROVAL.
7. DEVIATIONS FROM ICE BRIDGE FOUNDATIONS REQUIRE ENGINEERING APPROVAL.

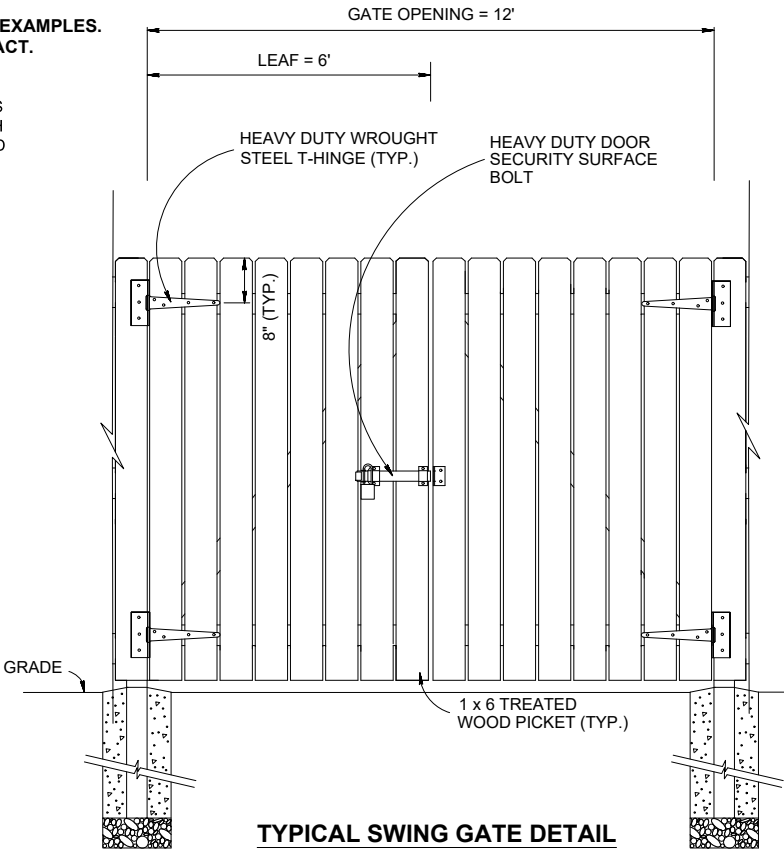
TYPICAL ICE BRIDGE DETAIL
NOT TO SCALE



TYPICAL GRAVEL DRIVE
NOT TO SCALE



TYPICAL FENCE ELEVATION DETAIL
NOT TO SCALE



TYPICAL SWING GATE DETAIL
NOT TO SCALE

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1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.

2. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.

3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC AND TELCORDIA.

4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.

5. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.

6. EACH END OF EVERY POWER, POWER PHASE CONDUCTOR (I.E., HOTS), GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC & OSHA.

7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).

8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.

9. ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.

10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.

11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.

12. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.

13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRENUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).

14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.

15. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.

16. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (ENT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.

17. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.

18. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.

19. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.

20. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.

21. CABINETS, BOXES, AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE, AND NEC.

22. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.

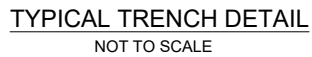
23. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS

24. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

25. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.

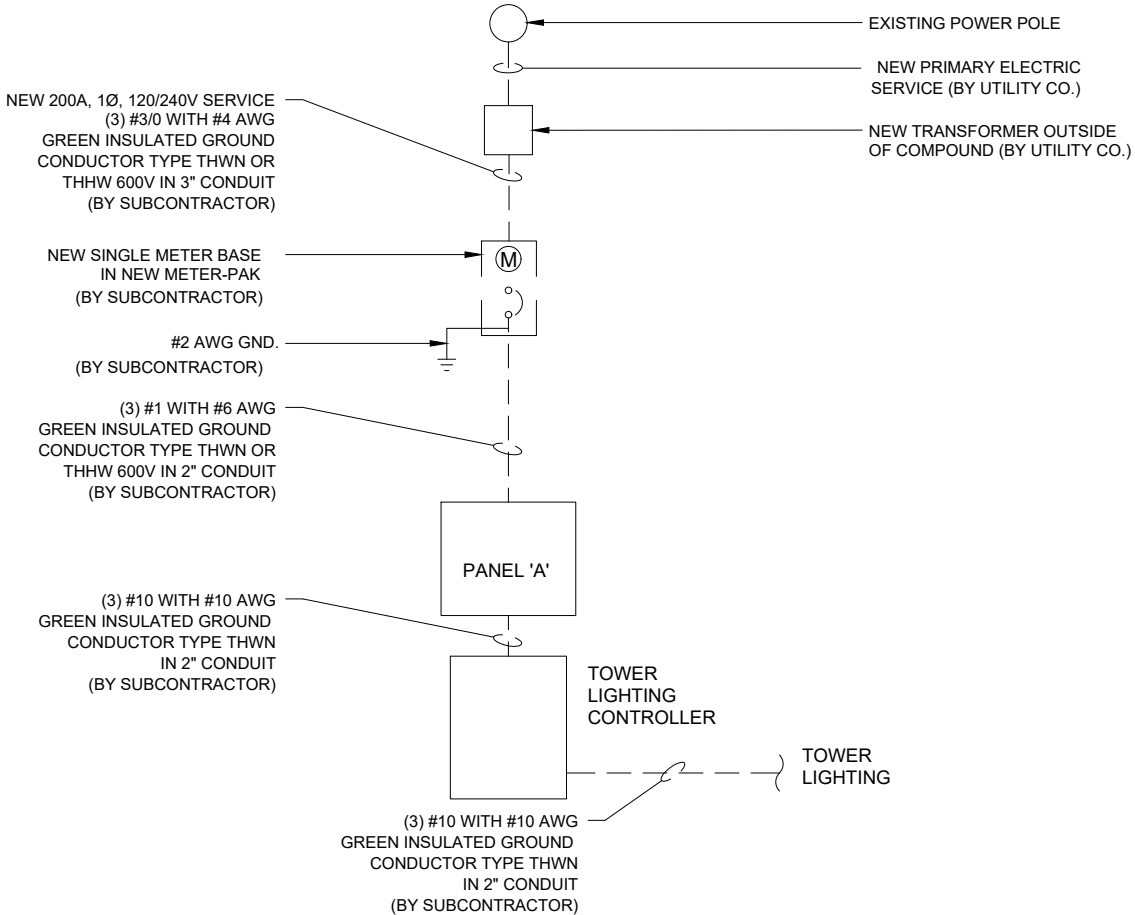
26. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.

27. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.



ELECTRICAL NOTES:

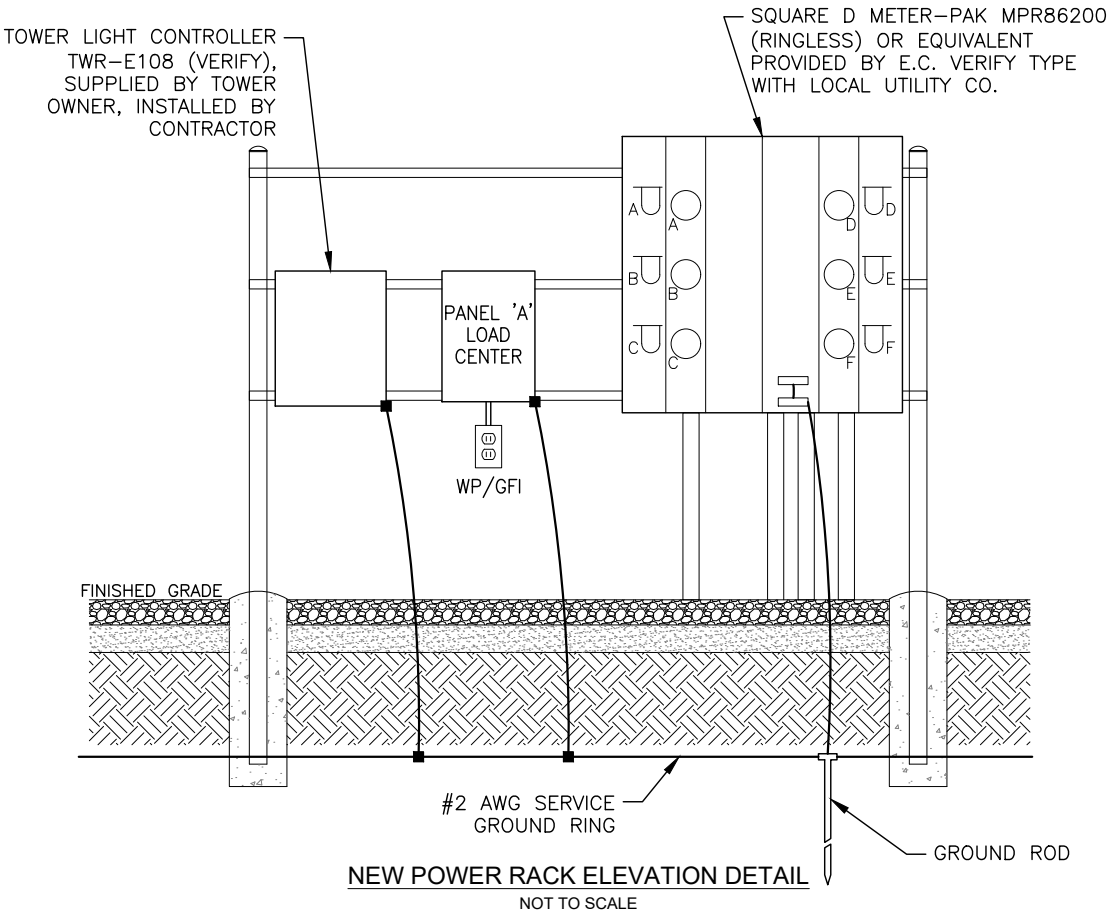
1. SUBCONTRACTOR SHALL PROVIDE 200AMP, SINGLE PHASE, 120/240 VAC, 60HZ SERVICE FOR SITE.
2. SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY BEFORE THE START OF CONSTRUCTION. POWER AND TELEPHONE CONDUIT SHALL BE PROVIDED AND INSTALLED PER UTILITY REQUIREMENTS.
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO DRAWINGS PROVIDED BY PANEL MANUFACTURER.
4. SUBCONTRACTOR SHALL INSTALL SUFFICIENT LENGTHS OF LFMC INCLUDING ALL CONDUIT FITTINGS (NUTS, REDUCING BUSHINGS, ELBOWS, COUPLINGS, ETC) NECESSARY FOR CONNECTION FROM IMC CONDUIT TO THE INTERIOR OF THE BTS CABINET.
5. SUBCONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE EQUIPMENT WITH FAULT CURRENT RATINGS GREATER THAN THE AVAILABLE FAULT CURRENT FROM THE POWER UTILITY.
6. CUT, COIL AND TAPE A 3 FOOT PIGTAIL FROM END OF LFMC FOR TERMINATING BY BTS EQUIPMENT MANUFACTURER.
7. SUBCONTRACTOR SHALL VERIFY THAT THE MAIN BONDING JUMPER AND GROUNDING ELECTRODE CONDUCTOR IS INSTALLED PROPERLY WHEN PANEL IS SERVICE ENTRANCE EQUIPMENT.



100 AMP SINGLE LINE DIAGRAM
NOT TO SCALE

PANEL 'A' SCHEDULE											
POS.	SERVING	BREAKER	WIRE SIZE AND TYPE	LOAD		POS.	SERVING	BREAKER	WIRE SIZE AND TYPE	LOAD	
				A	B					A	B
1	TOWER LIGHTING CONTROLLER	30A/2P	2-#10 / #10 GND, 2" C.		2400	2	EQUIP. RACK RECEPT.	15A/1P	2-#10 / #10 GND, 3/4" C.	180	
3					4						
5	TELCO BOX RECEPT.	15A/1P	2-#10 / #10 GND, 3/4" C.	180		6					
7						8					
9						10					
11	BLANK					12					
TOTAL				360	2400						
TOTAL AMPS				11.5							

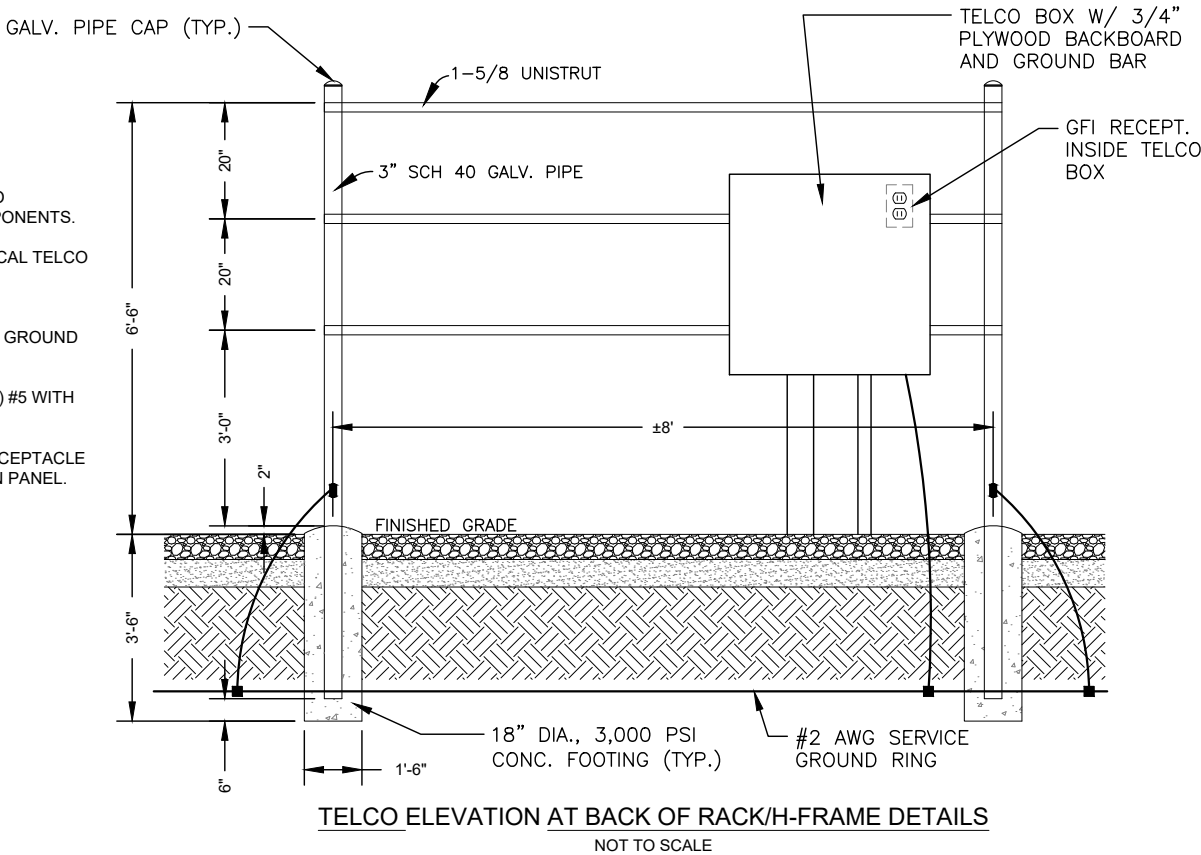
1. FROM TAP BOX: THE TWO (2) FOUR-INCH (4") CONDUIT WILL RETURN TO THE LOCATION DETERMINED BY "DETROIT EDISON" AND EXTEND OUT OF THE FINISHED GRADE 12" AND 36" RESPECTIVELY (SEE DETAIL). BOTH CONDUITS SHALL BE INSTALLED WITH PULL-STRINGS AND WATERPROOF CAPS.
2. CABINET AND CONDUCTORS FURNISHED & INSTALLED BY CUSTOMER. 350 KCMIL SERVICE CONDUCTORS FURNISHED & INSTALLED BY UTILITY.
3. EQUIPMENT ASSEMBLY DRAWINGS AND RISER DIAGRAMS MUST BE SUBMITTED TO A UTILITY PLANNER FOR ACCEPTANCE PRIOR TO INSTALLATION.
4. CABINETS AND CONDUITS SHOWN SHALL CONTAIN ONLY UNMETERED LINE CONDUCTORS. CABINET SHALL BE SEALABLE WITH ACCEPTABLE SEALING HASP.
5. TRANSMISSION TOWER SERVICES WILL UTILIZE A STANDARD 200 AMP SERVICE W/ CONTINUOUS CONDUIT TO THE SOURCE.
6. SUBSTATION CELLULAR SERVICES WILL BE A SINGLE 200-AMP SERVICE OR BUILT TO THIS SPECIFICATION. NO SERVICE SHALL BE TAKEN OUT OF THE SUBSTATION HOUSE SERVICE.
7. ALL CONDUIT AND NIPPLE ENTRIES TO CABINET AND METER BOXES WILL BE MADE WITH WEATHERPROOF HUBS, CONNECTORS OR LOCKNUTS LISTED FOR THE APPLICATIONS. NON-METALLIC BUSHINGS.
8. FOR INACCESSIBLE LOCATIONS CONSULT WITH METER ENGINEERING FOR POSSIBLE ERT METER INSTALLATION.
9. ONLY ONE SERVICE ALLOWED PER LUG. ALL GROUNDING AND BONDING MUST COMPLY WITH NEC 250 REQUIRED.

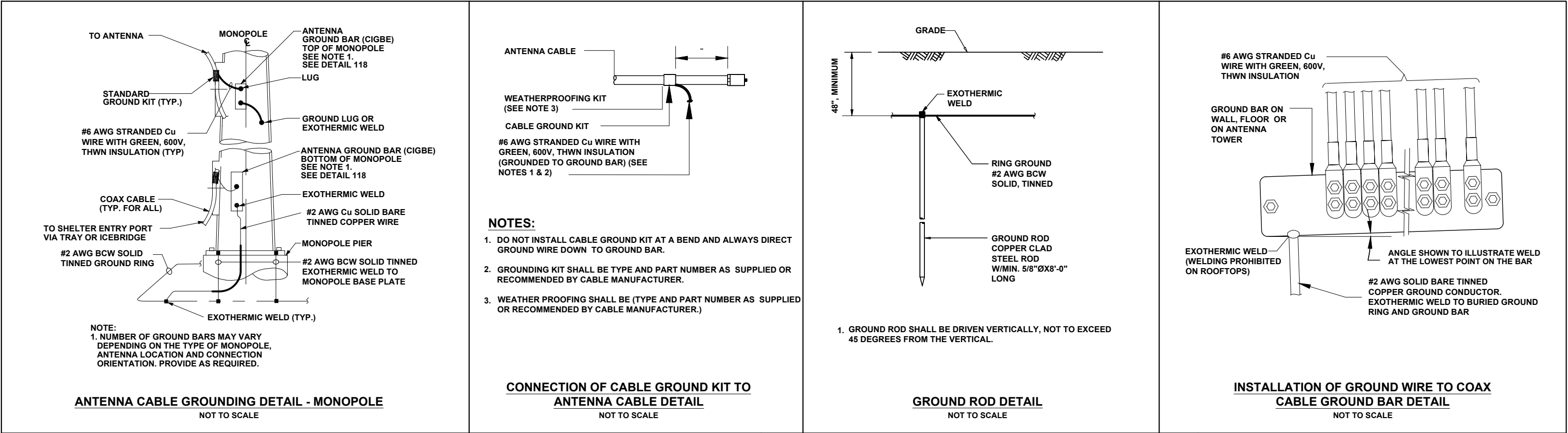


- NOTES:
1. COORDINATE WITH LOCAL TELCO UTILITY PRIOR TO PROCURING AND INSTALLATION OF BOX AND COMPONENTS.
2. ALL MATERIAL SHALL MEET REQUIREMENTS OF LOCAL TELCO UTILITY.
3. ITEM #4 SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR. BOND SURGE PROTECTION UNIT TO GROUND BAR WITH #6 AWG INSULATED WIRE.
4. COORDINATE SIZE, TYPE AND QUANTITY OF ITEM(S) #5 WITH LOCAL UTILITY.
- INSTALL ITEM #6 ONLY IF REQUIRED BY UTILITY. RECEPTACLE POWERED FROM SPARE BREAKER IN DISTRIBUTION PANEL.

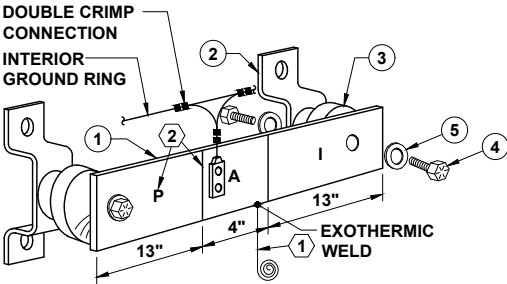
MATERIAL LIST:

① 36" X 36" X 10" NEMA 3R ENCLOSURE (HOFFMAN A36R3610HCR OR SIMILAR)





NEWTON INSTRUMENT COMPANY, INC. BUTNER, N.C.			
NO.	REQ.	PART NO.	DESCRIPTION
①	1	1/4"x4"x30"	SOLID GND. BAR
②	2	A-6056	WALL MTG. BRKT.
③	2	3061-4	INSULATORS
④	4	3012-1	5/8"-11x1" H.H.C.S.
⑤	4	3015-8	5/8 LOCKWASHER



(RGB) REFERENCE GROUND BAR DETAIL
NOT TO SCALE

EACH GROUND CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN IDENTIFICATION TAG ATTACHED AT EACH END THAT WILL IDENTIFY ITS ORIGIN AND DESTINATION.

SECTION "P" - SURGE PROTECTORS

CABLE ENTRY PORTS (HATCH PLATES) (#2)
GENERATOR FRAMEWORK (IF AVAILABLE) (#2)
TELCO GROUND BAR (#2)
COMMERCIAL POWER COMMON NEUTRAL/GROUND BOND (#2)
+24V POWER SUPPLY RETURN BAR (#2)
-48V POWER SUPPLY RETURN BAR (#2)
RECTIFIER FRAMES.
COAX SUPPRESSION

SECTION "A" - SURGE ABSORBERS

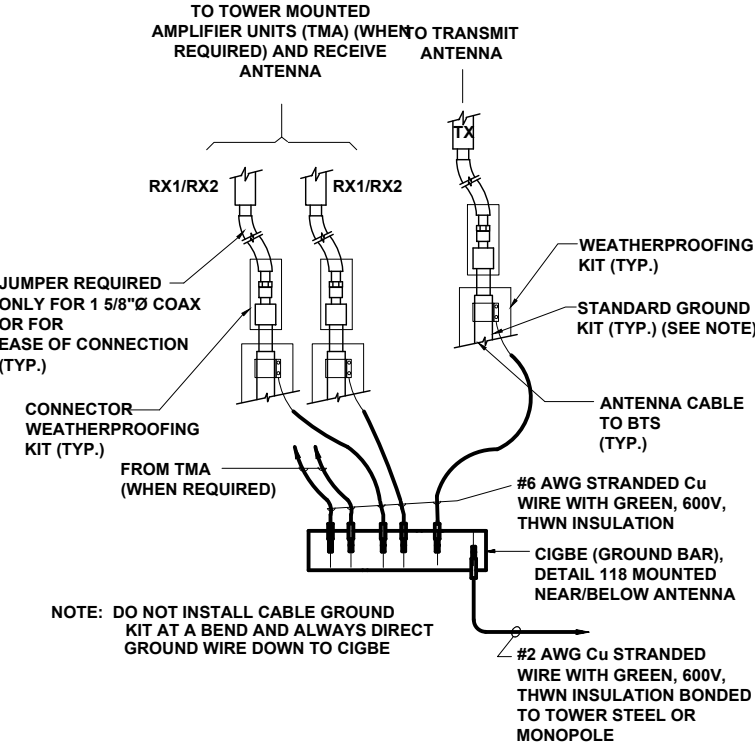
INTERIOR GROUND RING (#2)
EXTERNAL EARTH GROUND FIELD (BURIED GROUND RING) (#2)
METALLIC COLD WATER PIPE (IF AVAILABLE) (#2)
BUILDING STEEL (IF AVAILABLE) (#2)

SECTION "I" - ISOLATED GROUND ZONE

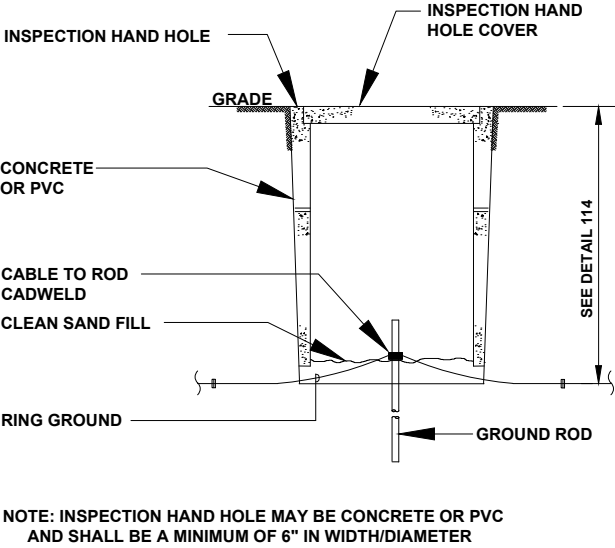
ALL COMMUNICATIONS EQUIPMENT FRAMES.
ISOLATED GROUND BAR - IGB (#2)

DETAIL NOTES:

- EXOTHERMICALLY WELD #2 AWG BARE TINNED SOLID COPPER CONDUCTOR TO GROUND BAR. ROUTE CONDUCTOR TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
- USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "I") WITH 1" HIGH LETTERS.



CONNECTION OF GROUND WIRE TO GROUNDING BAR (CIGBE)
TOWER / MONOPOLE / ROOFTOP
NOT TO SCALE



GROUND ROD WITH ACCESS AREA DETAIL
NOT TO SCALE

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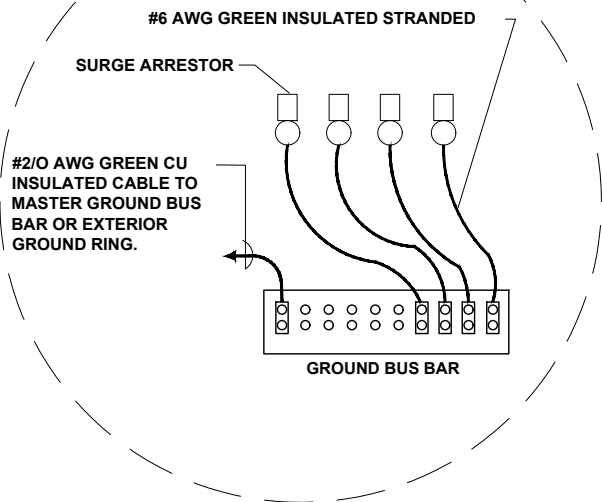
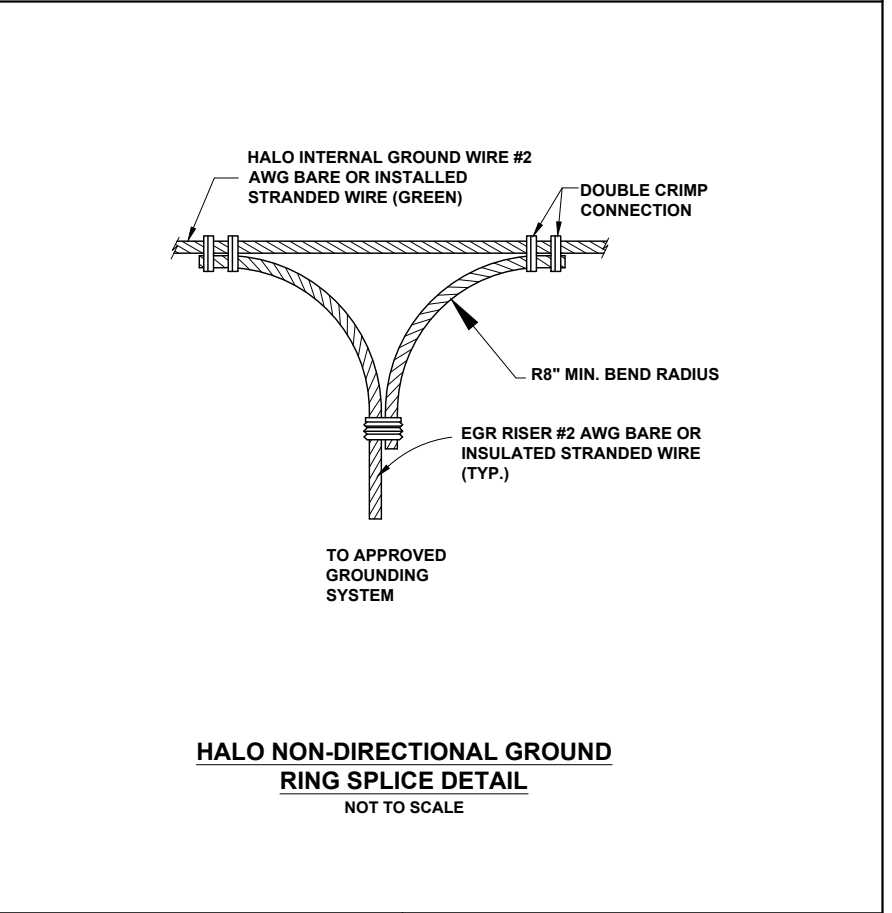
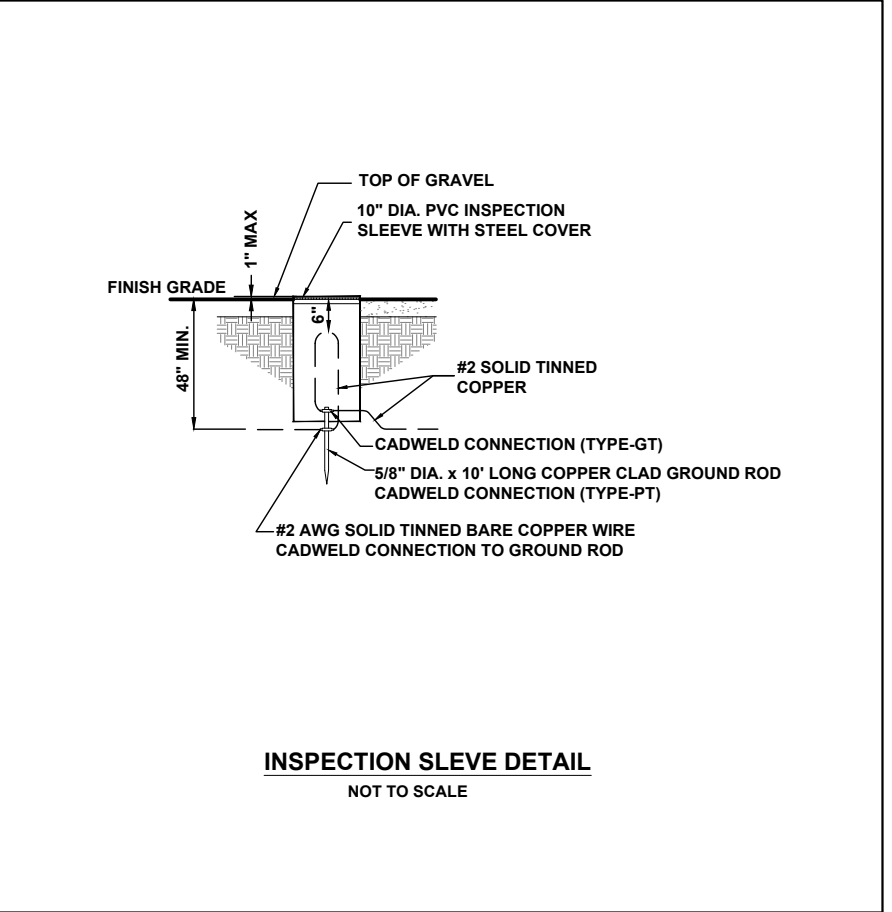
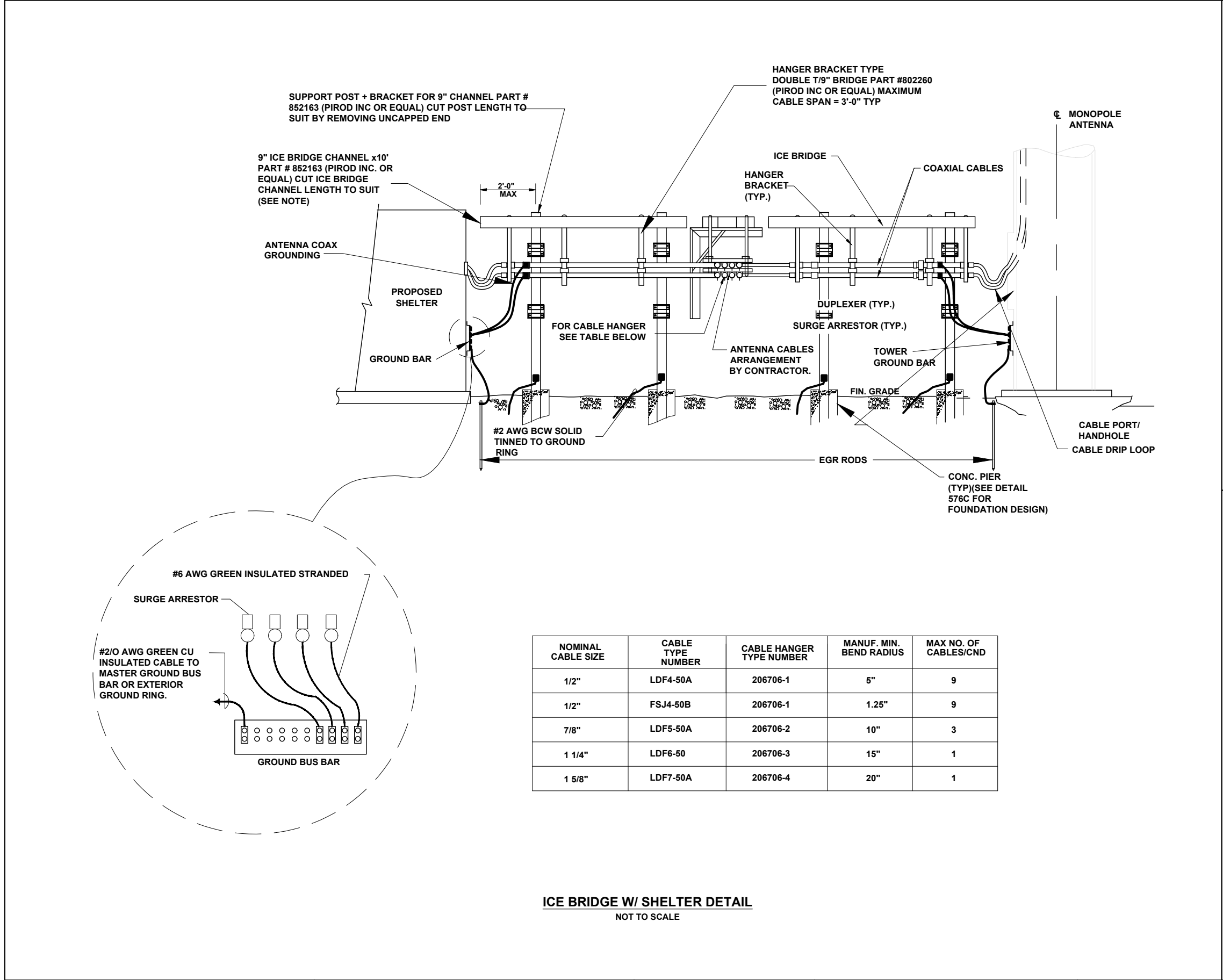
TOWER KING

TOWER KING
23434 ELLIOTT ROAD,
DEFIANCE, OH 43512
PH: (419) 782-8591

MC FARLAND
3486 COUNTY HIGHWAY MN
MCFARLAND VILLAGE, WI 53558

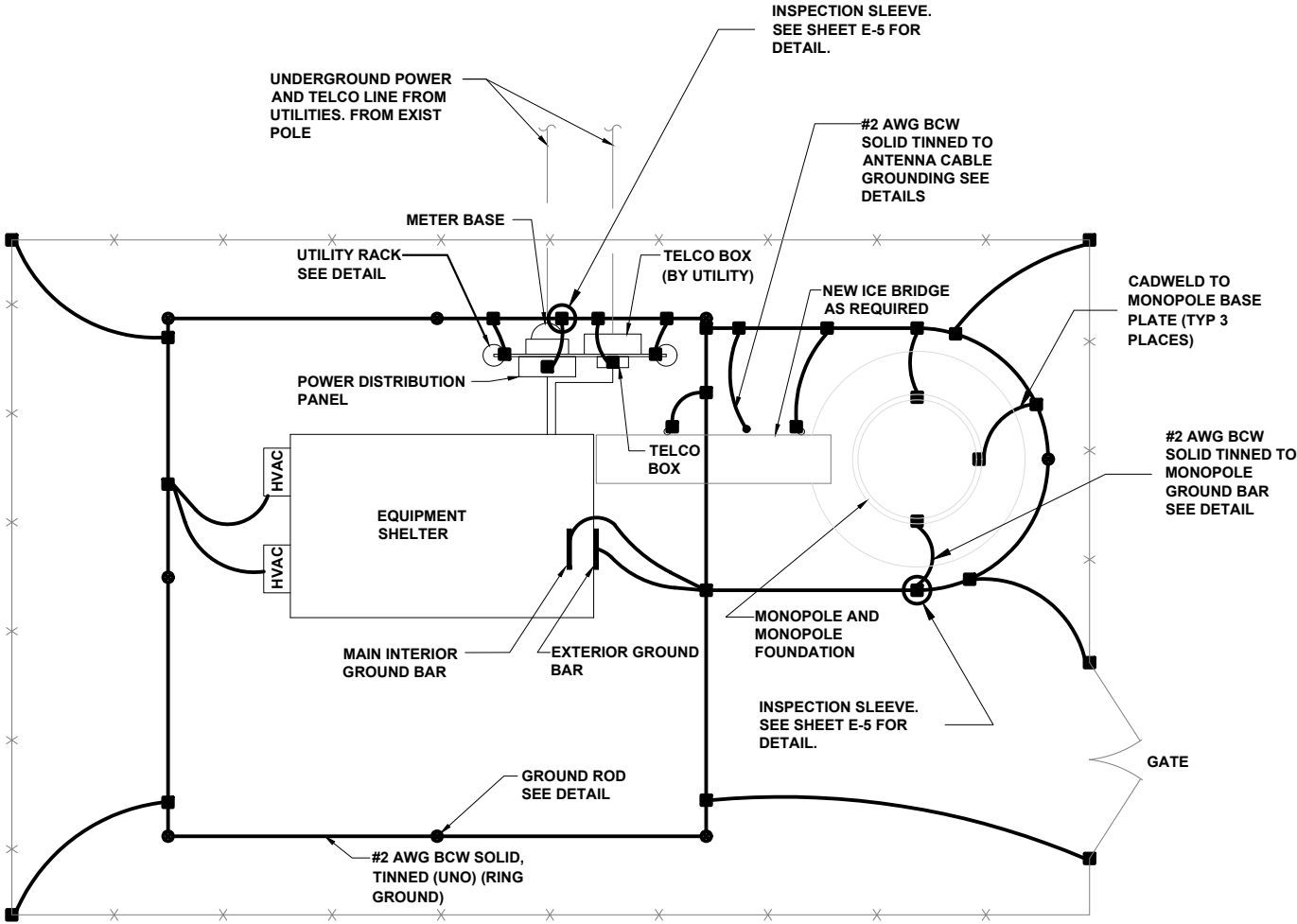
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5	04/07/23	LEASE AND TOWER MOVE	RJH	MM	MM
4	12/29/22	REV'D TOWER ELEV. SHEET C-1	TLR	MM	MM
3	09/29/22	REV'D ZONING PER CLIENT	TLR	MM	MM
2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET E-3
GROUNDING DETAILS
DRAWING NUMBER
22359001



NOMINAL CABLE SIZE	CABLE TYPE NUMBER	CABLE HANGER TYPE NUMBER	MANUF. MIN. BEND RADIUS	MAX NO. OF CABLES/CND
1/2"	LDF4-50A	206706-1	5"	9
1/2"	FSJ4-50B	206706-1	1.25"	9
7/8"	LDF5-50A	206706-2	10"	3
1 1/4"	LDF6-50	206706-3	15"	1
1 5/8"	LDF7-50A	206706-4	20"	1

ICE BRIDGE W/ SHELTER DETAIL
NOT TO SCALE

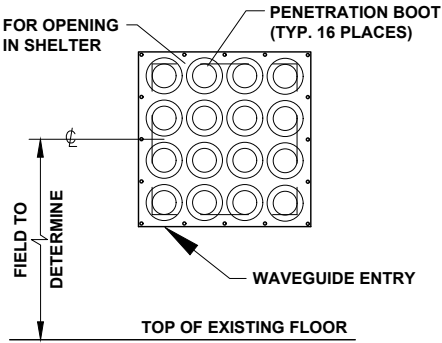


NOTE:
THIS GROUNDING PLAN IS TYPICAL. SEE
SHEET S-2 FOR ACTUAL EQUIPMENT
LAYOUT.

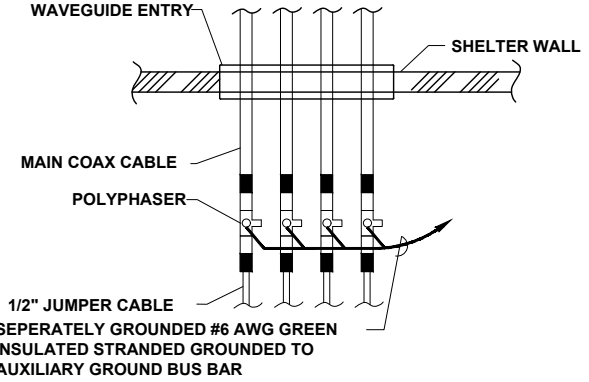
TYPICAL MONOPOLE SITE GROUNDING PLAN
NOT TO SCALE

GROUNDING NOTES

- 1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC POWER GES'S) SHALL BE BONDED TOGETHER, AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
- 2. THE SUBCONTRACTOR SHALL PERFORM IEEE FALL-OF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
- 3. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT.
- 4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 AWG COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
- 5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
- 6. EACH BTS CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, 6 AWG STRANDED COPPER OR LARGER FOR INDOOR BTS; 2 AWG STRANDED COPPER FOR OUTDOOR BTS.
- 7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED. BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
- 8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
- 9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
- 10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
- 11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
- 12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR & EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
- 13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
- 14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
- 15. APPROVED ANTIOXIDANT COATINGS (I.E., CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
- 16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
- 17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
- 18. BOND ALL METALLIC OBJECTS WITHIN 6 FT OF MAIN GROUND WIRES WITH 1-#2 AWG TIN-PLATED COPPER GROUND CONDUCTOR.
- 19. GROUND CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON-METALLIC MATERIAL SUCH AS PVC PLASTIC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (E.G., NON-METALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
- 20. INSTALL GROUND RODS FOR THE NEW GROUND RING. SEPARATION BETWEEN GROUND RODS SHOULD NOT BE LESS THAN THE LENGTH OF THE RODS NOR BE MORE THAN ONE AND ONE-HALF TIMES THE LENGTH OF THE RODS. CONNECT THE NEW RING TO EXISTING GROUND RING IN AT LEAST TWO SEPARATE PLACES.

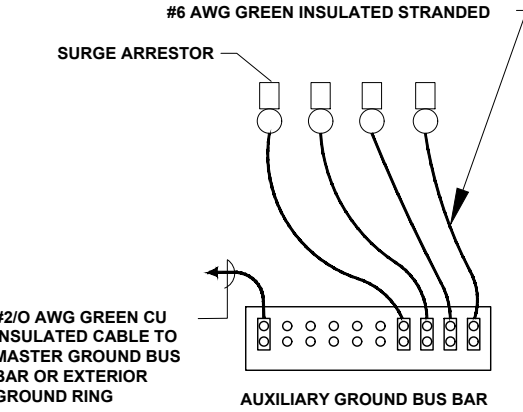


ELEVATION



PLAN

POLYPHASER GROUNDING INSIDE SHELTER
NOT TO SCALE





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2	09/15/22	REV'D PER CLIENT-ARBORVITAE, FENCING	TLR	MM	MM
1	09/07/22	REV'D TOWER-RAD CENTER HEIGHT	TLR	MM	MM
0	08/17/22	ISSUED FOR REVIEW	TLR	MM	MM
NO.	DATE	REVISIONS	BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: MM	DRAWN BY: TLR		

SHEET E-5

GROUNDING NOTES & DETAILS

DRAWING NUMBER

22359001

McFarland

Towering Proposed Monopole Tower – Photo Location Map

Locations where tower is not in view not included in map



McFarland

Photo Location West – {Before and After - Tower is not in view}



McFarland

Photo Location Far North {Before}



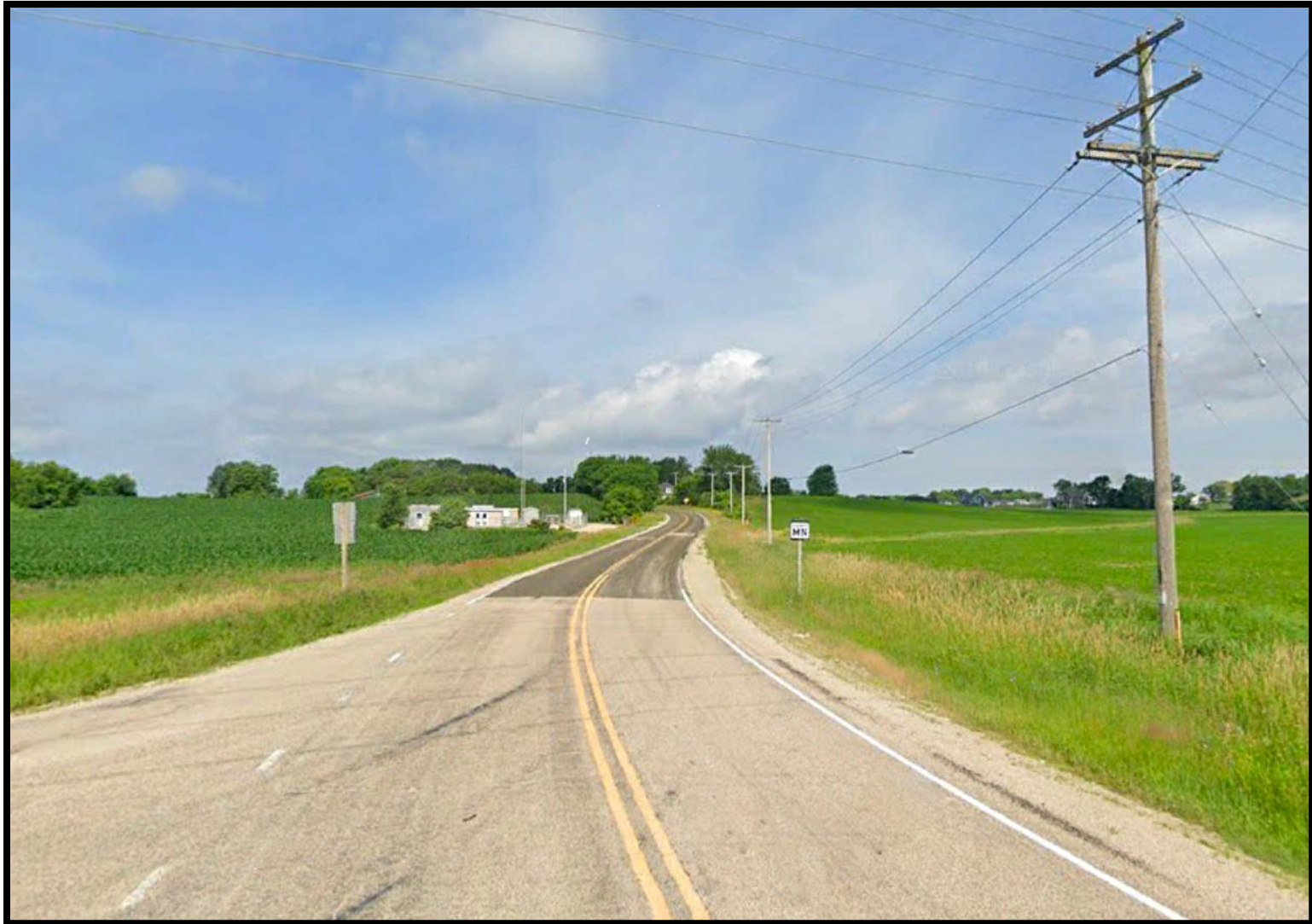
McFarland

Photo Location Far North {After}



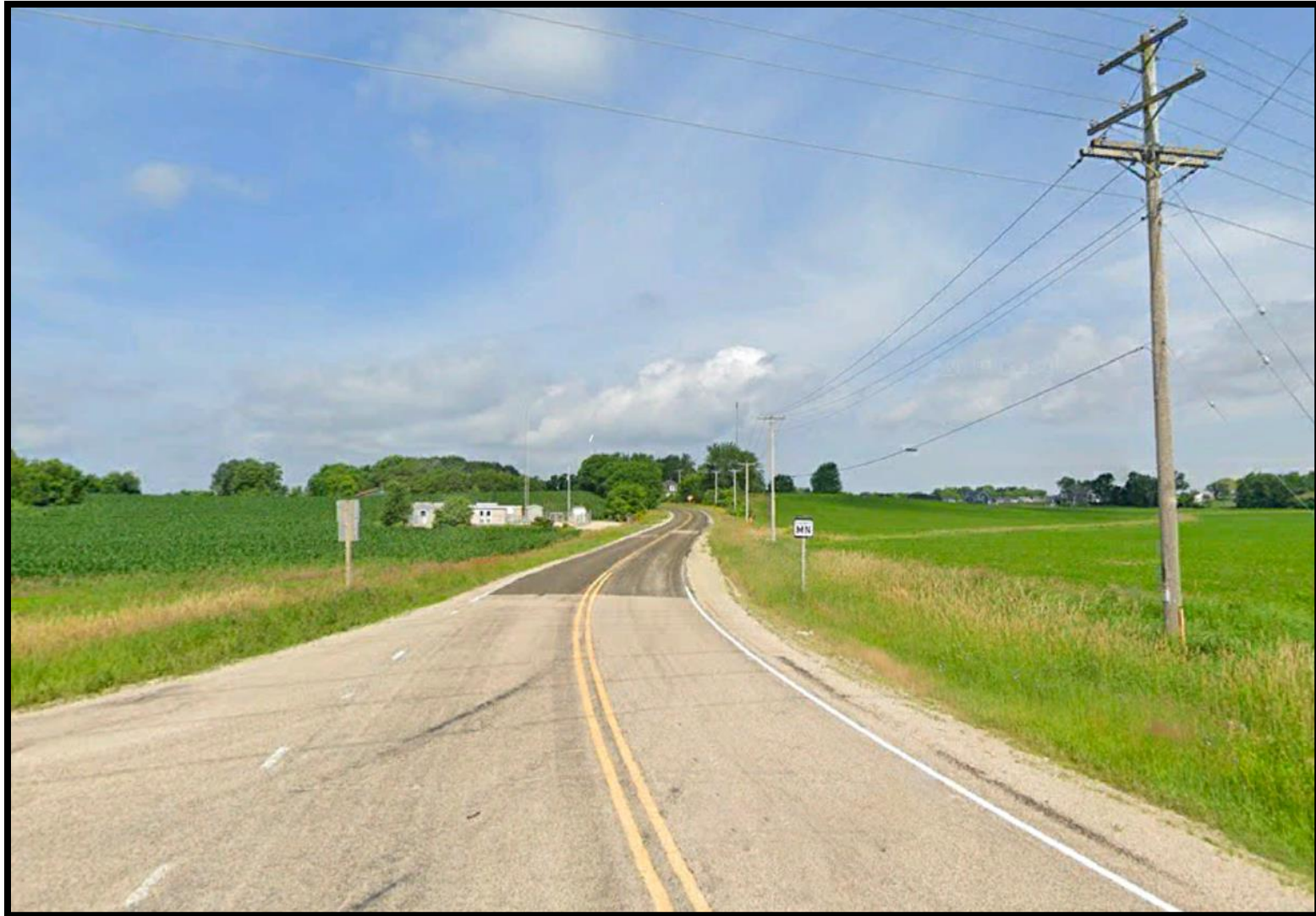
McFarland

Photo Location Directly Far East – {Before}



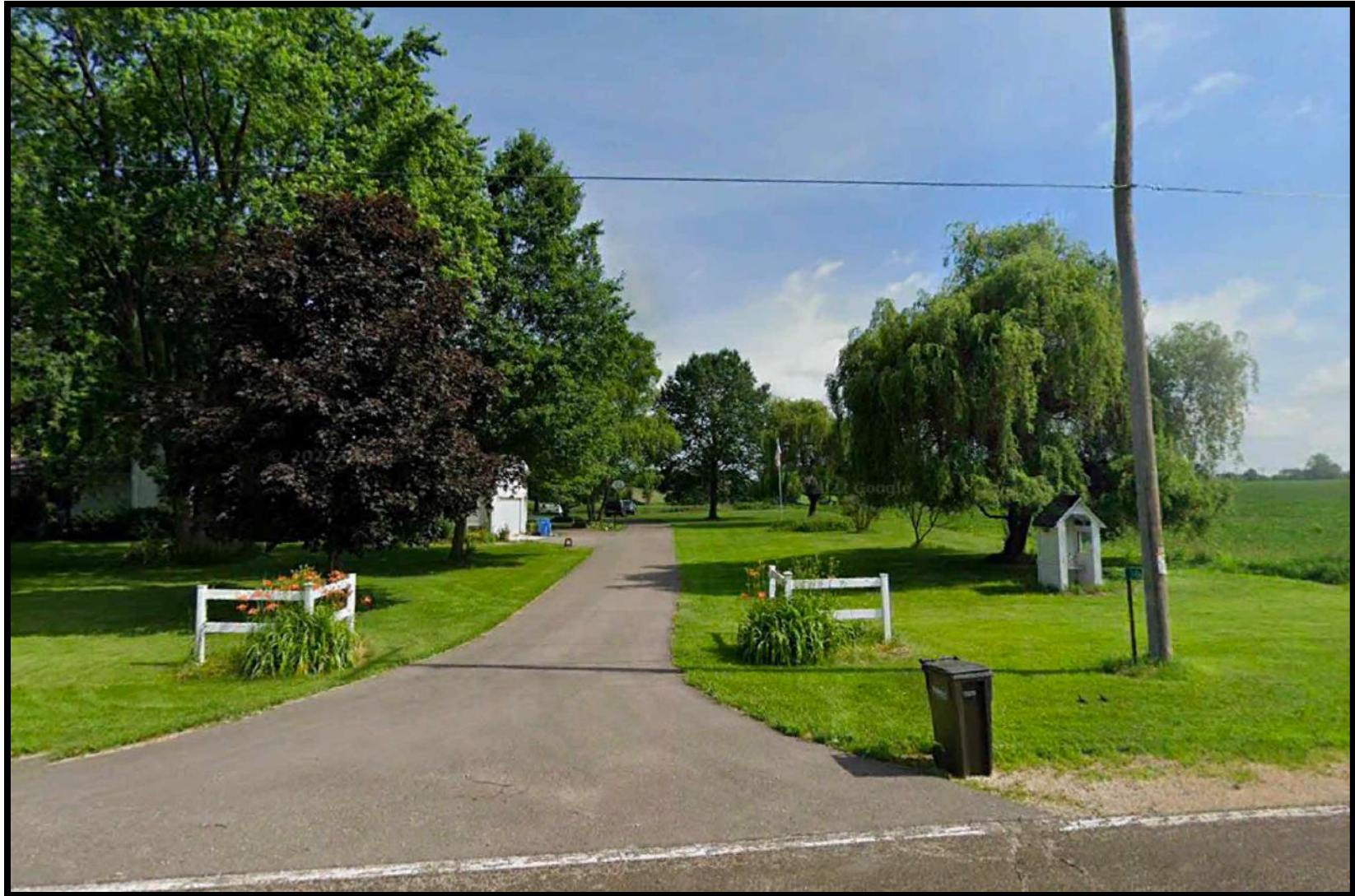
McFarland

Photo Location Far East - {After}



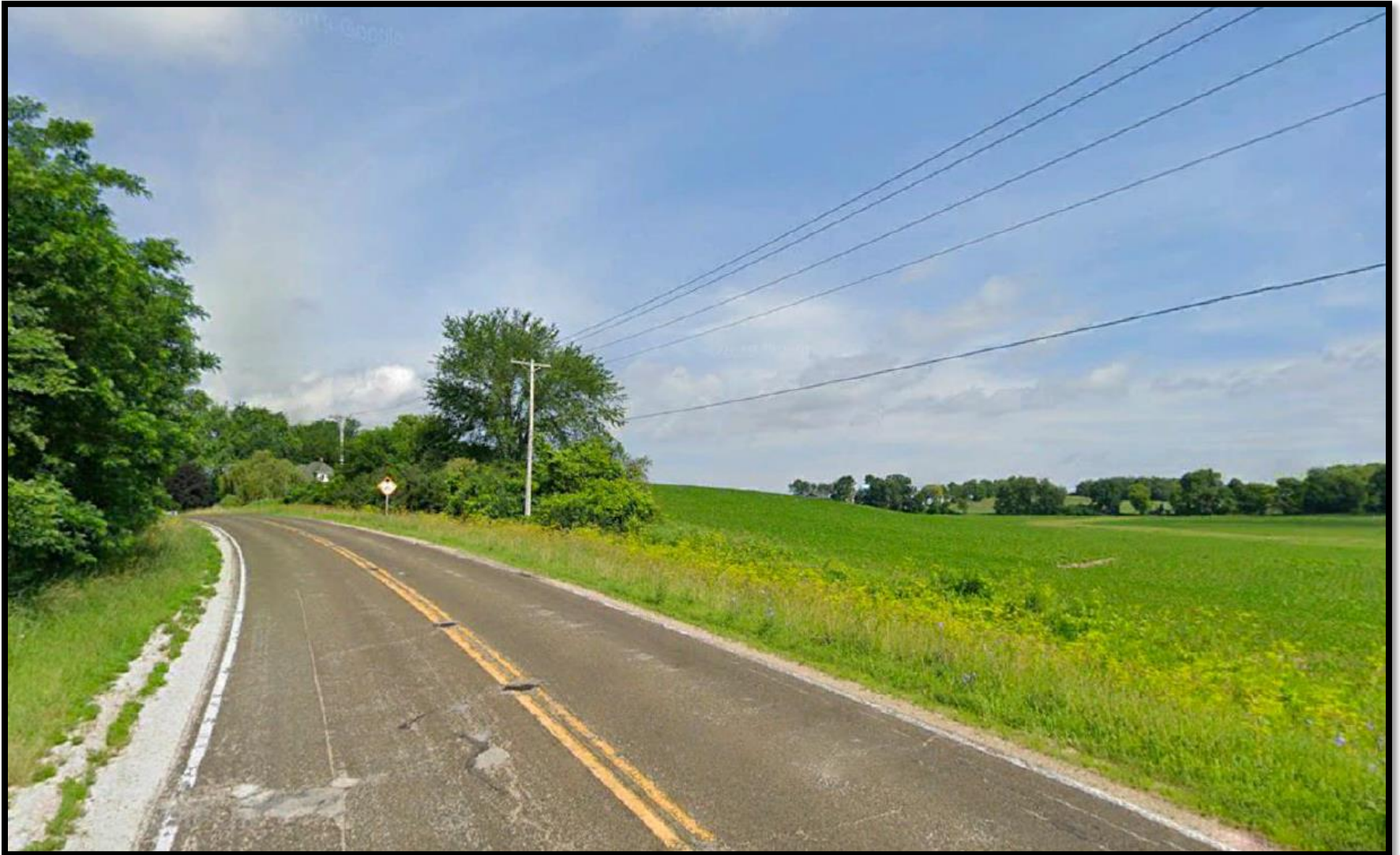
McFarland

Photo Location South – {Before and After – Tower is not in view}



McFarland

Photo Location East – {Before and After – Tower is not in view}



McFarland

Photo Location South Revised – {Before}



McFarland

Photo Location South Revised – {After}



McFarland

Photo Location Northwest – {Before}



McFarland

Photo Location Northwest – {After}



MEMO

To: Zoning & Land Regulation Committee (ZLR)
From: Majid Allan, Senior Planner
Date: March 24, 2023
Subject: Staff recommended findings of fact for Conditional Use Permit #2583, Town of Dunn

The first 3 pages of this memo provides a summary and background information on the proposal in light of applicable ordinance standards and evidence in the record for CUP 2583. Also attached are recommended findings of fact and conclusions that the ZLR Committee may wish to adopt if it finds that proposed Conditional Use Permit #2583 fails to meet one or more of the standards for approval of a Conditional Use Permit. If the Committee finds that the proposal *does* meet the standards for approval, staff would recommend that the Committee request the applicant agree in writing to another extension of the 90 day timeframe for action so that staff can draft appropriate recommended conditions of approval.

Summary

The proposal seeks to site a 174' communication tower on a 2 acre RR-2 zoned parcel of land at 3486 County Highway MN. The property is surrounded by the village of McFarland and adjoins existing residential development.

Based upon the information and evidence in the record for CUP 2583, including testimony at the February 28, 2023 ZLR Committee public hearing, staff believes that the proposal – as presented – does not meet the [standards for approval of a conditional use permit](#). More broadly, it is apparent that the proposal is generally inconsistent with the fundamental purposes of the zoning ordinance which includes encouraging planned and orderly land use development and protecting property values. The proposal is similarly inconsistent with the following purposes of the [communication tower provisions](#) of the zoning ordinance in section 10.103(9):

- Respects the rights and interests of towns, neighboring property owners, and existing land uses on adjoining properties in the decision making process
- Ensures that all telecommunication facilities, including towers, antennas, and ancillary facilities are located and designed to minimize the visual and environmental impact on the immediate surroundings and throughout the county
- Avoids potential damage to adjacent properties from tower failure or ice falls through sound engineering and careful siting of structures

The ordinance also acknowledges the public necessity of wireless communication services and need for robust infrastructure. These purposes and objectives have been consistently communicated to applicants and other stakeholders and informed county decisions on applications for many years. This includes the current applicants who, during both initial conversations about the proposal and in recent exchanges, openly admit that the proposed site is “challenging” due to the proximity of existing and planned residential development.

In an [email](#) to the applicants dated September 16, 2022, prior to the application submittal, county staff asked if the applicant had considered other sites nearby, including a 17 acre McFarland School District ballfield parcel. The property was closer to Dish’s search ring and staff is aware of other such public properties hosting towers. No written response was ever received. However, the ballfields were referenced in an [exhibit provided](#)

[by the applicant](#) to the town of Dunn at their meeting on February 13, 2023 purportedly documenting some 71 sites that were pursued and exhausted. While other sites in that exhibit indicated responses like, “owner not interested in leasing space...”, the only note regarding the “non-viability” of the McFarland school ballfield parcel was: “Adjacent to many existing homes (26) + future.” It’s unknown if any effort was made to contact the school district about the 17 acre site.

Indeed, the applicant’s information would appear to suggest that they performed an exhaustive search in the area and that the selected site is the only one they could find. However, it’s unclear that sufficient due diligence was performed. As indicated by the village in testimony and written correspondence, the only record of an effort to contact them was an email from August of 2021. The applicant never met with the village staff or the plan commission prior to pursuing the current application. Village officials have indicated a willingness to discuss other possible siting options with the applicant.

It’s also worth considering what factors might affect a property owner’s interest, or lack of interest, in hosting a tower. These may include the same factors heard from neighbors about the current proposal - aesthetics, loss of property value, health / safety, or negative impacts to planned future uses. In fact, an e-mail response provided to the applicant from Kris Krentz, who represents the owner of the neighboring vacant parcel, cited that last point – negative impacts to planned future uses – as the reason they were not interested. Other factors could include the amount of effort put into finding a site, or the amount of lease payments on offer.

While state law bars local units of government from disapproving an application based on an assessment of more suitable locations, it does not bar consideration of how a proposed site was selected. In this case, it is all the more appropriate to analyze how / why an admittedly challenging site is being pursued. In addition, whatever exigencies the applicant may claim, they do not outweigh the many public and private interests at stake, nor do they preclude the county following thoughtful and deliberative CUP process to arrive at a decision.

Adjoining property owners provided oral and written testimony in opposition to the proposal, citing concerns over the aesthetics of a large structure in close proximity to their residences, and attendant negative impacts to the uses, values, and enjoyment of their properties. Health and safety concerns were also cited due to ice fall and unsettled science on the impacts of exposure to electromagnetic radiation.

The Village of McFarland provided a [detailed letter](#) documenting that the proposal is inconsistent with the village’s comprehensive and neighborhood plans, which are part of the county’s comprehensive plan. The village also indicated that the proposal would impede the normal and orderly development and improvement of surrounding property, including the [extension](#) of Meadowsweet Trail and pedestrian sidewalk, and residential development patterns as specified in both its [comprehensive plan](#) and [Eastside Neighborhood plan](#).

Decisions to approve or deny a conditional use permit must be supported by “substantial evidence”. Substantial evidence means:

“...facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.”

Staff believes that the testimony and evidence provided by neighbors prior to and at the public hearing, and by the village of McFarland, represent substantial evidence that the proposal fails to satisfy the standards for approval of a conditional use. Reasonable persons can anticipate negative impacts to the uses, values, and enjoyment of abutting residential properties arising from the proposal to site a 174’ tall communication

tower on a residentially zoned parcel adjacent to a residential subdivision and in an area slated for extension of public infrastructure and additional future residential development. The height of the structure exceeds the height limitation for residential structures in the RR-2 zone by roughly 400% and would be located 15' closer (35') to the rear property boundary than a primary residential structure would be permitted. Staff is unaware of any similar circumstance in Dane County where a tower of this size was erected in such close proximity to both existing and planned future residential development.

Staff acknowledges that all proposals are not the same, which is why a conditional use permit process is an appropriate means to consider particular uses that may be appropriate in one context, but inappropriate in another. The same applicants applied and received approval under [CUP 2578](#) for a 199' communication tower on a ~4 acre Rural Residential zoned parcel of land. That proposal included setbacks of 53' and 77' to the nearest (rear and side) lot boundaries on a property in a rural area with no other existing or planned residential development nearby and abutting an agricultural field that is planned for long term agricultural preservation and subject to a deed restriction that prohibits residential development. As noted, the proposal under CUP 2583 is on a smaller residential parcel (2 acres) with reduced setbacks to two lot boundaries (35'), and adjoining existing and planned residential development.

For the ZLR Committee to find that the proposal meets the standards for approval, staff believes significant modifications and conditions would be required, including lowering the tower to a height more appropriate for a residential neighborhood, imposing greater setbacks than the proposed 35', possible "stealth" options such as flush mount antennae, as well as substantial landscaping and visual screening of the tower compound area. Such modifications/conditions would be necessary to meet CUP standards [10.101\(7\)\(d\)1a](#), [10.101\(7\)\(d\)1b](#), and [10.101\(7\)\(d\)1c](#) given the existing and planned residential development on adjoining properties, consistent with existing mobile service support facilities observed in other residential areas around the county, and specifically authorized under [10.101\(7\)\(d\)2.b.vii](#).

Even if such modifications/conditions were possible and acceptable to the applicant, staff believes the proposal fails to meet standard [10.101\(7\)\(d\)1g](#), which requires consistency with the county comprehensive plan. The property is located in an area planned for a residential neighborhood.

As indicated in the [CityScape supplemental memo](#) dated March 10, 2023, Dish Wireless provided information demonstrating that a height of 140' would suffice to attain its coverage objectives. The applicant has offered to lower the tower to 140' (145' with lightning rod), and an additional 14' of setback for a total 49'. Staff believe that a 49' setback is similarly insufficient to meet the required standards and address the concerns that have been raised by neighboring residents and the village of McFarland. At a minimum, a setback equal to or greater than the height of the tower would be necessary to mitigate the negative impacts to adjoining neighbors and normal/orderly development of surrounding property. With the lot measuring approximately 280' in width and given the location of existing structures on the property, it's questionable if a setback of 145' could be attained.

Standards for obtaining a Conditional Use Permit

Prior to granting or denying a conditional use, the zoning committee shall make written findings of fact based on evidence presented and issue a determination whether the proposed conditional use, with any recommended conditions, meets all of the following standards:

- i. General standards for approval of a conditional use under s. [10.101\(7\)\(d\)](#)
- ii. Any prescribed standards specific to the applicable zoning district
- iii. Any prescribed standards specific to the particular use under s. 10.103 - in this case, section [10.103\(9\)](#)

The zoning committee must deny a conditional use permit if it finds that the standards for approval are not met. The zoning committee must approve a conditional use permit if it finds that the standards for approval are met.

County Staff has prepared for consideration and possible adoption by the ZLR Committee the following findings of fact and conclusions for denial of CUP 2583.

Findings of fact

Application summary, property and neighborhood characteristics

1. [Proposed Conditional Use Permit #2583](#) seeks to site a 170' (174' with lightning rod) monopole communication on a 2 acre RR-2 (Rural Residential) zoned parcel of land located at 3486 County Highway (CTH) MN in the township of Dunn. The [property](#) contains the owner's existing single family residence and outbuilding.
2. The [site plan](#) submitted with the application shows the proposed tower to be located 35' from both the rear and eastern side lot line.
3. The property at 3486 CTH MN abuts existing residential development - McFarland's Prairie Place subdivision, and 2 residential lots in the town of Dunn. The village of McFarland surrounds the property on 3 sides.
4. There are 63 residences within 1,000 feet of the tower site, and 14 within 500' of the site (including the owners' residence). 59 of the 63 residences are in the village of McFarland.
5. Given the [lack of topography and vegetative or other screening](#), the tower will be visible from the adjoining residential area.
6. The CUP application materials included a [sworn statement](#) from Dish Wireless Radio Frequency engineer, Inga Brauneis, which attested to the following:
 - DISH identified a genuine need for the Proposed Communications Facility, and thereafter, DISH's engineering department issued a "search ring" defining the precise geographic area where the Proposed Communications Facility was needed to address the identified need (the "Search Ring").
 - The Proposed Communications Facility is being proposed because collocation within the Search Ring is infeasible, as no existing structures of any kind are available for collocation.
 - Because no structures exist to support collocation within the Search Ring, we are requesting permission to construct the Proposed Communications Facility.

- The minimum height needed for this site is One Hundred Sixty Feet (160') antenna centerline.
7. The CUP application materials included a [search ring map](#), as required by state law and county ordinance, and referenced in the Dish Wireless sworn statement.
 8. The selected tower site is located outside of the designated search ring as depicted on the submitted search ring map.
 9. In supplemental materials, the applicant has indicated there are no “viable” alternative sites in or around the search ring. However, this assertion cannot be independently confirmed.
 10. The applicant provided evidence, which was confirmed by the county’s 3rd party radio frequency engineering consultant, CityScape Consultants, documenting that the mobile service provider, Dish Wireless, required a facility in the area.
 11. In light of the proposed tower’s proximity to existing residential development, the CityScape Consultants recommended the applicant validate the need for the requested height of the tower of 170’ (174’ with lighting rod) by providing additional technical documentation and analysis showing predicted coverage at lower heights, including 140’. That [analysis](#) resulted in a finding by CityScape that, *“The predicted coverage at 140 feet of antenna height as compared to 160 feet results in a small, almost imperceptible, amount of coverage loss.”*

Zoning ordinance requirements for issuance of a Conditional Use Permit (CUP)

12. [Section 10.101\(7\)\(a\)](#) of the Dane County Code of Ordinances establishes the following purpose for Conditional Use Permits:
 - (a) Purpose. The development and execution of this ordinance is based upon the division of the county into districts, within which districts the use of land and buildings, and bulk and location of buildings and structures in relation to the land are mutually compatible and substantially uniform. Certain uses, because of their unusual nature and potential for impacts on neighboring lands, public facilities, the environment or general welfare, warrant special consideration and review. With appropriate limitations on siting, development and operation, such uses may be compatible with other uses in a particular zoning district. Such uses are classified as conditional uses and are subject to the following provisions.
13. Section [10.101\(7\)\(d\)](#) of the Dane County Code of Ordinances specifies the requirements for approval of a Conditional Use Permit. For a Conditional Use Permit to be approved, the zoning committee must find that all of the following conditions are met:
 - a. That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, comfort or general welfare;
 - b. That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by establishment, maintenance or operation of the conditional use;
 - c. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;
 - d. That adequate utilities, access roads, drainage and other necessary site improvements have been

- or are being made;
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
 - f. That the conditional use shall conform to all applicable regulations of the district in which it is located.
 - g. That the conditional use is consistent with the adopted town and county comprehensive plans.
14. In addition to the review procedures and standards for all Conditional Use permits, communication tower applications are subject to the provisions of section [10.103\(9\)](#). The purpose of the ordinance is to ensure that facilities are sited in a manner that:
- Protects and promotes public health, safety, community welfare and the quality of life in Dane County as set forth within the goals, objectives and policies of the Dane County Comprehensive Plan, this ordinance, and s. 66.0404 Wis. Stats;
 - Respects the rights and interests of towns, neighboring property owners, and existing land uses on adjoining properties in the decision making process;
 - Recognizes the public necessity for telecommunication facilities and the numerous benefits and opportunities a robust wireless infrastructure make possible for county residents, including improved public safety, efficient production and distribution of goods and services, access to educational resources, and economic development opportunities;
 - Allows appropriate levels of service to be obtained throughout the County, including expansion to rural areas seeking access to personal communications and broadband internet services;
 - Minimizes the number of transmission towers throughout the County;
 - Encourages the joint use of new and existing telecommunication facilities as a preferred siting option;
 - Ensures that all telecommunication facilities, including towers, antennas, and ancillary facilities are located and designed to minimize the visual and environmental impact on the immediate surroundings and throughout the county;
 - Avoids potential damage to adjacent properties from tower failure or ice falls through sound engineering and careful siting of structures; and
 - Provides a public forum to assure a balance between public concerns and private interests in establishing commercial telecommunications and related facilities.

Dane County Comprehensive Plan

15. The property is designated as “Agricultural Transition” in the town of Dunn Comprehensive Plan, which is a component of the Dane County Comprehensive Plan, and the area is subject to an [inter-municipal agreement](#) with McFarland. The purpose statement for the [Agricultural Transition](#) area states:

Provide for the orderly transition of agricultural land into the Village of McFarland in the area that is identified in the McFarland/Dunn Inter-municipal Cooperation Agreement for eventual urban expansion.

16. The Village of McFarland Comprehensive Plan, which is also [part](#) of the Dane County Comprehensive Plan, designates the property as “Neighborhood”. The purpose statement for the [Neighborhood](#) planning designation states:

In areas on [Map 6](#) that are planned for “Neighborhood” development, a range of housing choices compatible with the Village’s current and desired character are permitted, along with parks and smaller-scale institutional uses like senior housing and churches...

Public Hearing Testimony & Evidence

17. The village of McFarland submitted a [letter in opposition to CUP 2583](#), indicating that the proposal is inconsistent with the village’s comprehensive plan and would impede the normal and orderly development of the surrounding property including the extension of the Meadowsweet Trail and associated pattern of residential development as called for in the plan.
18. At the February 28, 2023 ZLR Committee Public Hearing on the proposal testimony was provided in opposition to the proposed conditional use from 3 adjoining neighbors who expressed concerns about aesthetics, negative impacts to the uses, values, and enjoyment of their properties, health and safety concerns due to ice fall and unsettled science on the impacts of human exposure to electromagnetic radiation, and conflicts with development plans currently in process.

Conclusions

The applicant failed to provide substantial evidence demonstrating that the proposal satisfies standards [10.101\(7\)\(d\)1a, b, c, and g](#) for approval of a Conditional Use Permit. In addition, testimony and other evidence received into the record constitute substantial evidence that the proposal fails to satisfy said standards for the following reasons:

1. The proposed 174’ tower would be located 35’ from the rear and easterly lot line. Ice fall and wind-driven ice drift from towers is a known issue, and the proposed [construction drawings](#) depict installation of an “ice bridge” to protect cabling associated with the tower. The tower will be in close proximity to the planned extension of Meadowsweet Trail and associated sidewalk, presenting a safety hazard from ice fall / drift.
2. Installation of a 174’ communication tower will foreseeably substantially impair and diminish the uses, values, and enjoyment of the adjoining residential uses already existing in close proximity to the tower site. The tower will be within approximately 250’ of the two closest residences at 6138 and 6139 Meadowsweet Trail. The owners of those properties, as well as the currently vacant parcel abutting the proposed CUP site, testified at the hearing as to the impairment of their properties both in terms of existing uses, values, and enjoyment, and residential uses currently being planned for. The information regarding towers having no negative impact on property values submitted by the applicant does not constitute substantial evidence that property values will not be negatively impacted.

In both examples provided by the applicant, the information references property value assessments by the respective municipalities of Greendale and Waukesha. In the case of the [Waukesha example](#), the tower predated the surrounding development and the information provided did not analyze or control for the myriad factors that make up a property’s value, such as size/age/condition of the home, size of the parcel, locational and other comparative amenities – such as the fact that the [development abuts a golf course](#).

In the [Greendale example](#), the primary land use of the 3 acre host property is institutional (church) which is surrounded by a [large 22 acre publicly owned open space property](#). In addition, the tower is only 100’ tall, concealed by trees, and located across a street from the closest residential development. The applicant’s information not only contained no documentation about the methods

used to arrive at the stated claims, but failed to even provide basic information about the location, design, and characteristics of the tower sites and surrounding neighborhoods.

By contrast, the proposal under CUP 2583 is on a 2 acre residential property, 35' from two property boundaries and abutting existing and planned residential development. There are no topographic or other features that would serve to conceal the tower from the neighboring residential development. The proposal conflicts with one of the primary purposes of the county's ordinance that facilities be sited in a manner that, *"respects the rights and interests of towns, neighboring property owners, and existing land uses on adjoining properties..."*. The scale and proposed location of the facility is out of character and incompatible with the existing residential uses and planned pattern of development.

3. Installation of a 170' communication tower 35' from the property line will impede the normal and orderly development and improvement of the surrounding property. The village of McFarland comprehensive plan calls for extension of Meadowsweet Trail and associated curb/gutter/sidewalk, and continuation of the pattern of medium density residential development. In two separate written submittals from the village of McFarland, as well as testimony provided at the ZLR public hearing, the village expressed concerns that the proposal conflicts with their plans for residential development on both the subject property and neighboring properties. In addition, erecting a tower in the proposed location would impede additional development of the subject property.
4. The proposed conditional use is not consistent with the town or county comprehensive plans. The property is within a designated agricultural transition area in the Town of Dunn Comprehensive Plan. This planning designation applies to areas east of the village of McFarland's planned future growth area, and reflects the [inter-governmental agreement \(IGA\)](#) between the town and village. Under the town's plan, land uses in the area should remain agricultural / low density until such time as they may transition into the city for future development.

The Village of McFarland surrounds the proposed property and the village's adopted comprehensive plan, which is a component of the county comprehensive plan as required by state law under [s. 59.69\(3\)\(b\)](#), has designated the subject property and adjoining lands as future "Neighborhood". Anticipated land uses within the Neighborhood designation are primarily residential.