

Tuesday, June 20, 2023

7:00 PM

McFarland Municipal Center
Community Room

AGENDA

You are invited to this meeting through a Zoom webinar. The public may attend in-person or remotely through the webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/81726729769>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 817 2672 9769

Press *9 to raise/lower hand. Press *6 to mute/unmute.

1. CALL TO ORDER, ROLL CALL.

2. PUBLIC APPEARANCES.

- a. This is an opportunity for members of the public to address the Plan Commission for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Commission about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Commission should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Commission for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to community.development@mcfarland.wi.us to be included as part of the meeting.

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the May 16, 2023 Plan Commission meeting.

4. PUBLIC HEARINGS.

- a. Public hearing for a Conditional Use Permit requested by Jason Preisler for an additional fifth dwelling unit located at 6212 South Court.

5. BUSINESS.

- a. Discussion and action on a Site Design Review Permit requested by CHS for an accessory structure at 4103 Triangle Street.
- b. Discussion and action on a Site Design Review Permit requested by the Village of McFarland for an addition to an existing shed within Lewis Park at 5012 Highland Drive.
- c. Discussion and action to make a recommendation to the Village Board regarding streetscaping services within Segment 7 of the USH 51 WisDOT Project.

d. Discussion regarding updates to the Village's Zoning Code related to accessory uses and structures.

6. SCHEDULE NEXT MEETING DATE.

a. Tuesday July 18, 2023 at 7:00 p.m.

7. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or village.clerk@mcfarland.wi.us by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

Plan Commission Minutes May 16, 2023, at 7:00 P.M.

Members Present: Carolyn Clow, Stephanie Brassington, Scott Peters, Chris Reynolds, Austen Conrad, Jill Halverson

Members Absent: Peter Bloechl-Anderson

Staff Present: Andrew Bremer, Kong Thao

1. CALL TO ORDER, ROLL CALL

Chair Clow called the meeting to order at 7:00 P.M.

2. PUBLIC APPEARANCES.

None.

3. APPROVAL OF MINUTES

- a. Motion to approve the minutes of the April 18, 2023, Plan Commission meeting.

Clow moved to approve the minutes of the April 18, 2023, Plan Commission meeting. Conrad seconded the motion. Motion carried 5-0-1 with an abstention from Peters.

- b. Motion to approve the minutes of the April 18, 2023 joint CDA and Plan Commission meeting.

Clow moved to approve the minutes of the April 18, 2023 joint CDA and Plan Commission meeting. Brassington seconded the motion. Motion carried 4-0-2 with abstentions from Peters and Halverson.

4. BUSINESS

- a. Discussion and possible action for a Conditional Use Permit requested by Chosen Few Gym, LLC for a fitness center at 4125 Terminal Drive, Suite 110.

No additional information from Staff related to the item was added since the April public hearing. Bremer stated that the Chosen Few Gym has undergone rebranding and ownership and will be known further as Capital City MMA.

Clow motioned to approve a Conditional Use Permit requested by Capital City MMA, for a fitness center at 4125 Terminal Drive, Suite 110. Motion seconded by Peters. Motion carried 6-0.

- b. Discussion and possible action on a Site/Design Review application from Flint Hills Resources Pint Bend, LLC, for the addition of a fire pump building located at 4405 Terminal Drive.

Thao provided summary for the agenda item which covered staff's review of the site design guidelines and the Terminal and Triangle District guidelines. Thao highlighted recommended staff opinions on items that should be waived. Matt Dokken, Project Manager from Flint Hills, provided additional information on the purpose and nature of the request to improve safety for the site and its surrounding areas. Clow asked if this addition was required by statutes for Flint Hills Resources. Dokken replied the improvements are a risk reduction approach and not required, adding that the enhancements will improve response and activity on the property in an event of an emergency. Dokken confirmed no concerns regarding the recommended conditions of approval.

Clow motioned to approve the Site/Design Review application from Flint Hills Resources Pine Bend, LLC, for the addition of a fire pump building located at 4405 Terminal Drive, with the following conditions of approval:

1. The construction of the new driveway to the fire pump building shall use an asphalt surface consistent with existing asphalt driveway.
2. The new building shall include decorative masonry materials along the full face of the building's front and side walls similar in height from the ground, materials, and colors with the design of similar finished street facing buildings on the property.

Peters seconded the motion. Motioned carried 6-0.

- c. Discussion and possible action to make a recommendation to the Village Board to issue a Request for Proposal for Land Use Planning for Redevelopment Districts 1 & 2.

Bremer provided a summary and background information on the sections within the request for proposal (RFP), citing current plan materials and opportunities to address potential growth. Clow recommended the RFP to include language from the upcoming Village communications plan. Discussion from the Commission included boundary limits of district 1 and 2, number of consultants, the review committee, updates to Terminal and Triangle area, zoning, and subdistrict planning.

Clow motioned to recommend to the Village Board to issue a Request for Proposal for Land Use Planning for Redevelopment Districts 1 & 2, with the

recommendation that Brian Lee of the Village's Communication Consultant plan, provide comments on the community engagement section. Brassington seconded the motion. Motion carried 6-0.

- d. Discussion regarding updates to the Village's Zoning Code related to accessory uses and structures.

Bremer provided a summary of staff findings on the agenda item. Bremer highlighted the comparative differences the Village has with its peer communities and their existing codes on accessory uses and structures. Bremer commented on areas of potential improvement within the Village Code, areas of differences from neighboring communities, and sections of the code where Staff and the building inspector have had issues interpreting the code.

Discussion from the Commission included consideration for allowing accessory structures in the side yard, definitions for setbacks, definitions for types of structures, subdivision covenant restrictions, accessory dwelling units, threshold for accessory structure size, and regulation of building materials.

5. SCHEDULE NEXT MEETING DATE.

- a. Tuesday, June20, 2023 at 7:00PM

6. ADJOURNMENT.

Peters motioned to adjourn, Reynolds seconded the motion. Motion carried 6-0. Meeting adjourned at 8:28 PM.

**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, June 20, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Public hearing for a Conditional Use Permit requested by Jason Preisler for an additional fifth dwelling unit located at 6212 South Court.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

Jason Preisler, applicant and property owner, is requesting a conditional use permit to add an additional dwelling unit in the basement level of the existing four-unit multi-family building.

The proposed new unit will be approximately 650-700 SF with one bedroom, one bathroom, intended for a maximum occupancy of 2 persons. The existing space includes usable plumbing for kitchen and bathroom use. The new unit will include its own separate meter and a basement egress window on the north-west side of the building. An existing stairwell exit will also serve as the new unit's private entrance. Per Sec. 62.-69, multifamily dwellings are permitted by right up to eight units/acre and by conditional use permit up to 15 units/acre. The current density is 7.1. The fifth unit would increase the density to 8.8, requiring a conditional use.

EXISTING PROPERTY

The property is 0.57 acres and zoned R-3 General Residence. The property includes a single four-unit multi-family building and a garage located in the front yard. The property includes 12 off-street parking spaces and a pier in its rear yard providing access to Lake Waubesa.

Adjacent to the north and south are single-family homes. Both properties are zoned R-1B Single Family Residence. Adjacent to the east is undeveloped property owned by the Village. This property is zoned CO Conservancy. As a lakefront property, adjacent to the west is Lake Waubesa.

CONDITIONAL USE PERMIT REVIEW

The packet includes the Applicant's responses to Sec. 62-111, Conditional Uses Standards. Sec. 62-114 provides that prior to granting of any conditional use, the Plan Commission may stipulate or impose such conditions and restrictions upon the establishment, location, construction, maintenance, and operation of the conditional use as deemed necessary to promote the public health, safety, and general welfare of the community and to secure compliance with the standards and requirements specified in Sec. 62-111.



The property is zoned R-3 General Residence. Sec. 62-68(i), Statement of Purpose, R-3 General Residence District, states that this district is *"established to stabilize and protect certain medium density residential areas in the Village and to promote and encourage a suitable environment for family life where children are members of most families. Development in the R-3 District is limited primarily to smaller multiple-family dwellings, boarding homes, convalescent homes and recreational facilities to serve residents of the district."*

In Staff's opinion, the applicant's responses to Sec. 62-111 are adequate. Staff notes that several of the applicant's responses indicated the fifth unit will increase the density to 8.4 DU/AC. The actual amount is 8.8 DU/AC. The parcel data for the size of the property shows discrepancies among multiple sources found. Staff determined the property size should be 0.565, or 0.57 acres as this value has been consistent with prior assessments before 2023 through Access Dane. This value may impact the density analysis within the applicant's responses to Sec. 62-111(a), (b), (f), (i). Additional staff comments regarding the applicant's responses are provided below:

- Sec. 62-111(b). The applicant has indicated to staff that the remaining common areas of the basement will still be accessible to the building's tenants for storage use and laundry use.
- Sec. 62-111(d). Staff comments on the applicant's intent to utilize existing utilities within the basement while adding the egress window, located on the north-west side of the building.

STAFF COMMENTS

No other comments or concerns were received from the Village Engineer, Public Works Director, Fire Chief, and Police Chief.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.

FINANCIAL/BUDGET IMPACT:

The applicant will incur all costs associated with the request.

VILLAGE PLAN REFERENCE:

Comprehensive Plan, 2017 - Future Land Use Map 6 identifies the property as Single Family Residential. The use of the property is unchanged with this request as it is still used for residential purposes.

ORDINANCE REFERENCE:

Sec. 62-111. - Conditional Use Standards

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This item is for discussion only. Action on this item will be considered at the Plan Commission's July 18, 2023 meeting.

ATTACHMENTS:



1. 6212 South Court_Preisler CUP_05.09.2023
2. McFarland Comprehensive Plan_Map 6_Future Land Use
3. 6212 South Court - MFR CUP Review 6.5.23

I purchased the 4-unit complex at 6212 South Ct. in October 2022. Each of the 4 units are 2 bedroom, 1 bathroom units and are approximately 1,000 square feet. I am seeking approval to convert a section of the basement space into a 5th unit, which would be 1 bedroom, 1 bathroom with max occupancy of 2 persons. This section of the basement is already configured with a separate stairwell exit, separate electrical and plumbing, with an existing kitchen and bathroom. This proposed unit will be located in the building in the existing usable space and will be approximately 700 square feet.

This project is not adding any additional square footage to the actual property and no expanded footprint to the building.

Additionally, this conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long-term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the allowable 8 dwelling units per acre allowable by right.

Currently, the property has 6 garage parking stalls and an additional 6 off-street parking spots on a parking pad located on the property, for a total of 12 off-street parking spots. Sec. 62-70 requires two off street parking spots per one or two bedroom units. As such, even with the addition of the 5th unit, no additional parking is needed to be added and there would still be an additional two spaces above the minimum code requirement.

The only required site improvement is to add a basement egress window to the North side of the building.

Thank you for your consideration of this conditional use permit.

Jason Preisler

,



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner		Applicant's Agent	
		Name	
Address		Address	
Email		Email	
Phone #		Phone #	
Fax #		Fax #	

Parcel No(s). _____ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants; e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☒ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2023 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)	January 17
January 10	February 21
February 7	March 21
March 7	April 18
April 4	May 16
May 9	June 20
June 6	July 18
July 5	August 15
August 8	September 19
September 5	October 17
October 10	November 21
November 7	December 19 (Pending)
December 5	January 16, 2024 (Pending)

Note, applications requiring a public hearing will be scheduled for a hearing according to the schedule above, with action considered at the next scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

X **Preisler, Jason** Digitally signed by Preisler, Jason
Date: 2023.05.09 08:35:58 -05'00'

5/9/2023

Signature of Applicant/Agent

Date



Applicant - Owner	Jason Preisler	Applicant's Agent	
Address	2234 Colladay Point Dr. Stoughton, WI 53589	Address	
Email	jason.preisler@gmail.com	Email	
Phone #	(414) 465-9963	Phone #	
Fax #		Fax #	
Project Site Address	6212 South Ct. McFarland, WI 53558	Parcel No.	

Conditional Uses

The McFarland zoning code identifies land uses, which are not permitted, permitted, and permitted upon approval of a conditional use permit. Conditional uses are land uses not permitted outright but may be allowed if certain standards and conditions are met and Plan Commission grants approval.

All submitted Plan Commission applications which encompasses a request for a Conditional Use Permit (CUP) must include “substantial evidence”, which identifies specifically how the proposed conditional use meets each of the standards listed below. Substantial evidence is defined as facts and information other than merely personal preferences or speculation directly pertaining to the requirements and conditions the applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

Written responses such as “see plans” are not acceptable. The applicant must identify what specific portion of the project or plans supports the contention that a standard will be met by including for example a detailed description of compliance with any applicable regulations regarding light, dust, particulate emissions, noise, frequency, vibration, traffic, nuisances, odors, visibility, health, safety welfare and the environment. All written responses to CUP standards must be submitted as part of your Plan Commission Application.

Sec. 62-111, Conditional Use Standards

- The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

- d. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- e. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- f. The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- g. The proposed use does not violate floodplain regulations governing the site.
- h. That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.
- i. That, when applying the standards to any new consecution of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.
- j. In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.
 - 1. The maintenance of safe and healthful conditions.
 - 2. The prevention and control of water pollution including sedimentation.
 - 3. Existing topographic and drainage features and vegetative cover on the site.
 - 4. The location of the site with respect to floodplains and floodways of rivers and streams.
 - 5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
 - 6. The location of the site with respect to existing or future access roads.
 - 7. The need of the proposed use for a shoreland location. (if applicable)
 - 8. Its compatibility with uses on adjacent land.
 - 9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

Sec. 62-111, Conditional Use Standards

- a. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

This conditional use permit is to add a 5th unit to an existing 4-unit rental property (two story building with two units on each level). Currently the 4-units are 2 bedroom, 1 bathroom units, approximating 1,000 square feet each. The proposed 5th unit would be a 1 bedroom, 1 bathroom unit, approximating 650-700 square feet located in a finished basement. Currently, the property has 6 garage parking stalls and an additional 6 off-street parking spots on a parking pad located on the property, for a total of 12 off-street parking spots. Sec. 62-70 requires two off street parking spots per one or two bedroom units. As such, even with the addition of the 5th unit, no additional parking is needed to be added and there would still be an additional two spaces above the minimum code requirement.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric.

This conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the allowable 8 dwelling units per acre allowable by right.

Based on these facts, the additional 5th unit would not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

- b. The uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.

This conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the 8 dwelling units per acre allowable by right and substantially less than the maximum 15 dwelling units per acre by conditional use permit.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The proposed 5th unit will be one bedroom, one bathroom with a maximum occupancy of 2 persons.

In no way would increasing the dwelling units per acre to only 5% more than the allowable right substantially impair or diminish the use, value or enjoyment of other property in the neighborhood. The purpose of providing one additional rental unit does not contradict the R-3 purpose statement to promote and encourage a suitable environment for family life.

- c. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric. There will be no impact to the normal and orderly development and improvement of the surrounding properties.

- d. Adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.

The only site-improvement to be made will be adding a basement egress window.

- e. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

The property is located on a dead-end street. It is the third unit from the end of the road. Adding an additional one bedroom, one bathroom unit has a minimal impact to the traffic on this road.

- f. The conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.

This conditional use permit is to add a 5th unit to an existing 4-unit rental property. The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The conditional use will conform to all applicable regulations of the district.

This conditional use permit is not changing the actual use of the building and lot, which is zoned R-3 and is used as a long-term rental property. The 5th unit would increase the property to 8.4 dwelling units per acre, which is only 5% more than the 8 dwelling units per acre allowable by right and substantially less than the maximum 15 dwelling units per acre by conditional use permit.

The total square footage of the property is approximately 25,961 square feet. Sec 62.70 Bulk Standards – Residential Districts require 500 square feet of usable open space per dwelling. This additional unit would bring the required usable space to 2,500 square feet. On a conservative measurement there is over 10,000 square feet of usable space. This is excluding the garage,

parking pad and building. The garage and parking pad is approximately 90' x 75' (6,750 sq ft.) and the building is approximately 55' x 60' (3,300 sq ft.). That leaves approximately 16,000 sq. ft. of other space on the property.

- g. The proposed use does not violate floodplain regulations governing the site.

N/A. There is no change to the use of the property.

- h. That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.

The addition of the 5th unit is not changing the use of the building and will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation. See responses above related to code compliance with parking and bulk standards.

- i. That, when applying the standards to any new consecution of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objectives of the zoning district.

This conditional unit permit is to add a 5th unit to an existing 4-unit rental property. The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The conditional use will conform to all applicable regulations of the district.

In no way would increasing the dwelling units per acre to only 5% more than the allowable right substantially impair or diminish the use, value or enjoyment of other property in the neighborhood. The purpose of providing one additional rental unit does not contradict the R-3 purpose statement to promote and encourage a suitable environment for family life.

- j. In its review, the Plan Commission shall also evaluate the effect of the proposed conditional use upon the following items listed below. Identify how your project will impact and/or address each of these items.

- 1. The maintenance of safe and healthful conditions.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric.

The building and each individual dwelling has sufficient means of egress in accordance with applicable building codes. There is sufficient space in accordance with building code Sec 62-70 to provide a safe and healthful unit.

2. The prevention and control of water pollution including sedimentation.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building. The existing space already has plumbing (including kitchen and bathroom) and is separately metered for electric.

There is no foreseeable impact to water pollution associated with this conditional use permit.

3. Existing topographic and drainage features and vegetative cover on the site.

The proposed 5th unit will be located in the existing building in existing usable space. There will be no additional square footage added to the actual property and no expanded footprint to the building.

The addition of a basement egress window will have minimal impact to the existing topographic and drainage features and vegetative cover on the site.

4. The location of the site with respect to floodplains and floodways of rivers and streams.

The property is located on Lake Waubesa, however an additional unit to the existing building, with existing city sewer and water will not impact the water.

5. The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.

The only expected impact to the existing building is the addition of one basement egress window. There is no impact to the erosion potential as no changes are being made to the building and there is no expansion of the footprint.

6. The location of the site with respect to existing or future access roads.

There is no change to the existing footprint to the building.

7. The need of the proposed use for a shoreland location. (if applicable)

The use of the property is not changing.

8. Its compatibility with uses on adjacent land.

The use of the property is not changing and remains compatible with the uses on adjacent land. There is no change to the zoning of the property.

9. The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

There is existing city sewer and water at the property. The proposed 5th unit will not impact waste disposal.

EXHIBIT "A"

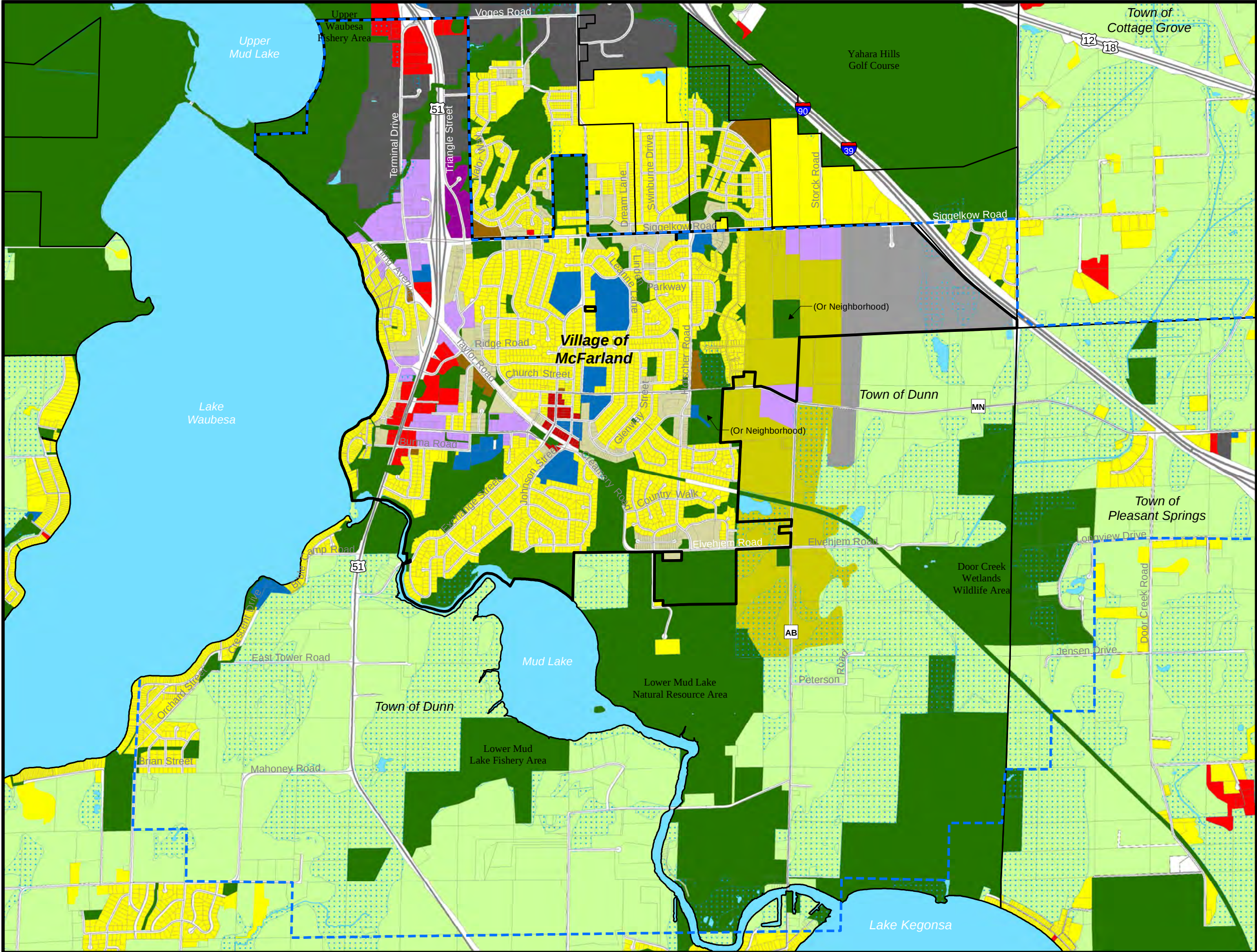
Legal Description

Part of Outlot 22, Assessor's Plat of the Village of McFarland, in the Village of McFarland, Dane County, Wisconsin, more particularly described as follows: Commencing at an iron stake at the Northeast corner of said Outlot 22; thence South 19° 25' East, 40.0 feet to an iron stake; thence South 3° 34' West, 97.32 feet to an iron stake; thence South 70° 35' West, 170.14 feet to an iron stake; thence North 15° 51' West, 129.88 feet to an iron stake; thence North 70° 35' East, 199.7 feet to the point of beginning; EXCEPT that part contained in Warranty Deed recorded in Vol. 793 of Records, page 349, as #1512673.

Said parcel includes all lands lying Westerly of the extended Northerly and Southerly lines of the above described parcel to the shoreline of Lake Waubesa.

Tax Parcel No.:
154-0610-044-0552-8

122090238



MAP 6

FUTURE LAND USE



COMPREHENSIVE PLAN

Legend

Future Land Use

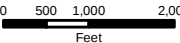
- Single Family Residential
- Two Family and Townhouse Residential
- Multiple Family Residential
- Neighborhood
- Downtown
- Highway and General Commercial
- Commercial Park
- Industrial
- Mixed Use/Flex Commercial
- Institutional and Governmental
- Public Lands, Recreation, and Environmental Corridor
- DNR Wetlands and Potential Wetland Indicators over Undeveloped Lands
- Agricultural Preservation
- Urban Reserve
- Water
- Rights-of-Way

--- Village of McFarland Extraterritorial Jurisdiction Boundary

⬢ Village of McFarland Limits (8/18)

⬢ Other Municipal Limits (2018)

Shapes on this map represent the Village's vision for future land use within the Village and its extraterritorial jurisdiction. For such lands, this map is not intended to represent existing land use or zoning, or to compel property owners to change the use of their land. For example, owners of agricultural or other rural land may maintain their current land use. Actual boundaries between different future use categories and implementing zoning districts may vary somewhat from representations on this map. This map also identifies the City's Marsh Road Neighborhood Plan west of the Interstate and north of Siggelkow Road, and existing land use elsewhere beyond the Village's extraterritorial jurisdiction.



Date: May 2019

Data Sources: Village of McFarland, Dane County LIO, WDNR, and CARPC



McFarland

VILLAGE OF
Fire & Rescue

www.mcfarland.wi.us | 5915 Milwaukee St, McFarland, WI 53558 | 608.838.3278

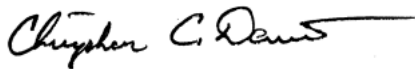
June 5, 2023

Re: 6212 South Court Condition Use Permit (CUP)

We reviewed the application for a CUP of 6212 South Court submitted by Jason Preisler. The application was complete and provided the required information for Fire & Rescue Department review. The application is requesting an additional apartment to be constructed in the building. Mr. Preisler has been in communication with the Fire & Rescue Department over the last several months on preparing to make the modifications required for the building. The main requirement will be the additional egress requirements which Mr. Preisler is indicating will be completed.

Based on the submitted information the Fire & Rescue Department has determined that the proposed CUP is acceptable without additional requirements.

Sincerely,



Christopher C. Dennis, EFO
Fire & Rescue Chief
Village of McFarland

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 20, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on a Site Design Review Permit requested by CHS for an accessory structure at 4103 Triangle Street.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

CHS Petroleum, owner and applicant, is requesting a site design review permit for an accessory structure located at 4103 Triangle Street. The accessory structure will be 12'x18' and stand 10' tall. The structure's footprint measures 218 square feet and is intended as a parts shed for emergency response equipment. The location of the shed is within approximately 5'6" of the front property line, in the 35' front yard setback area on the property. Note, this is a replacement of a previous safety shed that was located in the center of the truck rack approach driveways adjacent to the current terminal office building. During a recent driveway reconstruction project, the applicant for safety reasons, decided the prior location was no longer viable and began partial construction of the new accessory shed prior to be notified by Department staff that they needed to obtain a building permit, site design review permit, and variance permit. For this request, the applicant must acquire both a site design review permit from the Plan Commission and be granted a variance by the Board of Zoning Appeals (BZA), as the proposed shed does not meet the minimum front yard building setback of 35 feet. The BZA is scheduled to consider the variance at their June 21st meeting.

RELEVANT PREVIOUS APPROVALS

In January 2012, the applicant was granted a 7' variance to the 35' front yard setback to construct a new truck/unload rack building, set 28' from the right-of-way adjacent to Triangle Street. In January 2013, the applicant was granted a 13' variance to the 35' front yard setback for the reconstruction of an electrical building, set 22' from the right-of-way. The street facing frontage of the accessory structure is intended to be consistent with the adjacent terminal office building to the south.

EXISTING PROPERTY CONDITIONS

The property is 8.1 acres and zoned M-IC Manufactured Intensive Commercial. The property has nine existing structures on the property, which include: six petroleum storage tanks, a drive-through loading bay for tanker vehicles, an office building, and an electrical structure. There is a security fence which wraps around the entire property's lot line.

Adjacent to the north is a similar property owned and operated by Sunoco, a petroleum



manufacturer also zoned M-IC. Adjacent to the east are three undeveloped parcels of land within the City of Madison. The adjacent property to the south is owned by CHS and consists of a landscaping business, also zoned M-IC. Adjacent to the west is Triangle Street, then further is US HWY 51.

SITE DESIGN PERMIT REVIEW

The development request is subject to the site/design review requirements of Sec. 62-310. The following are C&ED staff comments related to these Zoning Code provisions.

Sec. 62-310(e) - SITE DESIGN STANDARDS

- **Grading & Surfacing.** The applicant's proposed location for the accessory structure will be on a new concrete slab. The current site grading will remain unchanged. The size of the structure does not trigger the need for additional on-site stormwater detention. Staff notes, that the northern driveway approach to Triangle Street still has not been paved after completion of the rest of the driveway reconstruction project. This needs to be completed.
- **Landscaping.** The landscaping points required for this improvement are 17 points. This is the equivalent of one medium deciduous or evergreen tree according to Appendix B of the Village Zoning Code. There is minimal front yard area for the installation of trees given existing site constraints. As an alternative, the applicant could install several medium or tall deciduous or evergreen shrubs along the front yard between the proposed and existing buildings and the front lot line, meeting the minimum 17 point requirement. Staff also notes that with the recent driveway reconstruction project the applicant removed several medium and low deciduous trees between the southern driveway entrance and southern side lot line. Refer to the before and after photos in the packet. The applicant removed these trees in order to maintain transportation access to the property while the driveway was being repaved. The applicant did not reinstall the greenspace and replant the trees that were removed. Staff recommends the green space and trees be reinstalled as they serve to screen the industrial site from public view along Triangle Street. Staff estimates two medium deciduous trees were removed and two low deciduous trees were removed. Based on Appendix B of the Municipal Code, the landscaping points value for medium deciduous trees is 25 per plant and 15 points per plant for low deciduous trees, for a total of 80 points removed.
- **Building Relationship.** The proposed accessory structure is setback 5'-6" from the front property line. The proposed location of the accessory structure is aligned with the existing principal office building on the property. The accessory structure is intended to provide storage and accessibility of emergency equipment to the adjacent structures in the event of an emergency. The location is positioned outside the turning radius of tanker vehicles frequently observed on the property.
- **Lighting.** The applicant's submittal will utilize existing lighting on the property.
- **Utility service.** The applicant's submittal will not require additional utility service.
- **Building Design.** The proposed accessory structure will incorporate matching exteriors to the existing buildings, gray steel panel siding and roof. Within the subsection Sec. 62-310(e)(6)(e), additional building design standards are provided: *For M-IC Districts, a*



minimum of 15 vertical feet of the front of all buildings shall be entirely faced with nonmetallic or wood material extending across the full front of the building and also extending a distance of not less than 20 feet on each side of the building. The portion of any building facing or backing onto public streets, or abutting a Residential Zoning District, shall be held to the same requirements as that of the front. These requirements may be waived in whole or in part by the Plan Commission. Given the height and size of the structure, staff recommends waiving this building design standard, noting that the recommended additional landscaping shrubs can aid in screening and improving the aesthetic of the property as viewed from Triangle Street.

Sec. 62-73. - Terminal and Triangle Design Overlay District (TTDO)

The packet includes a copy of the design guidelines for the Meinders/Triangle Subdistrict of the Terminal & Triangle District Plan. The following are staff comments regarding those site and building design guidelines that have not been met, or might be partially met, with the proposed design submitted.

- Site Design Guidelines
 - #5, Does the project include landscaped front yards, parking areas and foundations? No, the proposed accessory structure requires 17 points for landscaping. Staff recommends installation of several medium or tall deciduous or evergreen shrubs along the front yard between the proposed and existing buildings and the front lot line, meeting the minimum 17 point requirement. Staff also recommends new landscaping, equivalent to 80 landscaping points between the south driveway entrance and south side lot line to replace the landscaping that was removed for the temporary access driveway.
 - #22, Does the project screen loading docks or overhead doors on other facades? The building's north (side) elevation includes an overhead door. Staff recommend waiving this guideline as the overhead doors do not directly face the street view.
 - #23, Does the project provide overhand for pedestrian shelter? Staff recommend waiving this guideline as the property is enclosed within a security fence and not for public use.
 - #24, Does the project have a FAR between 0.15 and 1.0 if it is an Industrial use and between 0.35 and 1.5 if it is a Commercial use? Staff calculates the FAR at 0.1. Although the FAR is below the minimum requirement for Industrial use, staff recommend waiving this guideline as the property is a uniquely large industrial property that requires large open space.
 - #25, Is a minimum of 50% of the front building wall 20' to 35' from Terminal Drive or McFarland Street right-of-way? No, however, the applicant has applied for a variance through the Board of Zoning Appeals for the location to be outside the guideline's 20' to 35' standard.
- Building Design & Materials Guidelines
 - #2, Does the project encourage use of the following exterior wall materials: brick, decorative masonry block, architectural grade metal panels, cedar siding, stone, architectural pre-cast concrete panels, Exterior Insulation and Finish



System (EIFS), Dry-vit, and glass? No. Staff recommend waiving this guideline given the height and size of the accessory structure and instead provide additional front yard landscaping.

- Building Orientation Guidelines
 - #2, Does the project have a minimum of 50% of the front building wall to be at 20' to 25' from the street right-of-way? See staff comment on Site Design Guideline #25.
- Lighting Guidelines
 - The proposed project does not include changes to the existing lighting plan.
- Parking Guidelines
 - The proposed project does not add any additional parking stalls to the existing property.
- Signage Guidelines
 - The proposed project does not include signage.

C&ED STAFF COMMENTS

The Village Zoning Code requires the applicant to obtain both the Plan Commission approval for the site/design review and a variance from the BZA. The Plan Commission is tasked to review the proposed accessory structure's design and materials, as submitted by the applicant. The BZA will review the proposed location of the accessory structure as it is located within the 35' front yard setback.

STAFF COMMENTS

No other comments or concerns were received from the Village Engineer, Public Works Director, Fire Chief, and Police Chief.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.

FINANCIAL/BUDGET IMPACT:

The applicant will incur all costs associated with this request

VILLAGE PLAN REFERENCE:

Terminal and Triangle Street District, 2005. The property is located within the Meinders/Triangle Subdistrict of the Terminal and Triangle Street District Plan. The area connects the planned single family residential communities of the City of Madison with the variety of industrial and commercial purposes of the Village. The overview for the subdistrict states, "*The overall focus will be on manufacturing, distribution, offices, and support uses, with a greater emphasis on high-quality buildings and site design.*"

Comprehensive Plan, 2017. The Future Land Use Map 6 identifies the property as Industrial. The submittal does not include a change to the current use and remains consistent with the planned use.



ORDINANCE REFERENCE:

Sec. 62-310 - Site/Design Review

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Motion, and second, to approve the site/design review requested by CHS for an accessory structure at 4103 Triangle Street with the following conditionals of approval,

1. The applicant to obtain a variance to the front yard setback requirement from Sec. 62-72 for M-IC zoning districts through the Board of Zoning Appeals.
2. Applicant to complete the paving of the northern driveway approach.
3. Applicant to submit a landscaping plan in accordance with Appendix B of the Municipal Code, to the Community Development Director for staff approval prior to issuance of a building permit providing a minimum of 17 front yard landscaping points and minimum of 80 landscaping points between the south driveway entrance and south side lot line.

ATTACHMENTS:

1. 4103 Triangle Street _CHS Plan Commission App_05.05.2023
2. 4103 Triangle St - Appendix B-Meinders Triangle Subdistrict-Building and Site Design Checklist (5.25.23)
3. 4103 Triangle Street Streetview Capture 2021 & 2023
4. Map_2 - Planned_Land_Use_TTD Plan_2005
5. McFarland Comprehensive Plan_Map 6_Future Land Use
6. 4103 Triangle - CHS Parts Shed - MFR Site Design Review 6.5.23



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner		Applicant's Agent	
		Name	
Address		Address	
Email		Email	
Phone #		Phone #	
Fax #		Fax #	

Parcel No(s). _____ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants; e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☒ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal by *NOON of the deadline day, according to the schedule below.

Village of McFarland Plan Commission 2023 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)	January 17
January 10	February 21
February 7	March 21
March 7	April 18
April 4	May 16
May 9	June 20
June 6	July 18
July 5	August 15
August 8	September 19
September 5	October 17
October 10	November 21
November 7	December 19 (Pending)
December 5	January 16, 2024 (Pending)

Note, applications requiring a public hearing will be scheduled for a hearing according to the schedule above, with action considered at the next scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

X

Signature of Applicant/Agent

Date

4/5/2023

Site and Design Plans

Check List

Date received: 4-3-2023

Subject property address: 4103 Triangle St.
McFarland WI 53558

Landowner's name: CHS

Landowner's address: 4103 Triangle St.
McFarland WI 53558

Landowner's phone/fax: 608-630-7925

Landowner's email: Derek.Pirk1@CHSinc.com

Agent's name: Paul Carter

Agent's address: 11541 75th Ave N.
Minneapolis MN 55369

Agent's phone/fax: 763-516-0450

Agent's email: PCarter@pineng.com

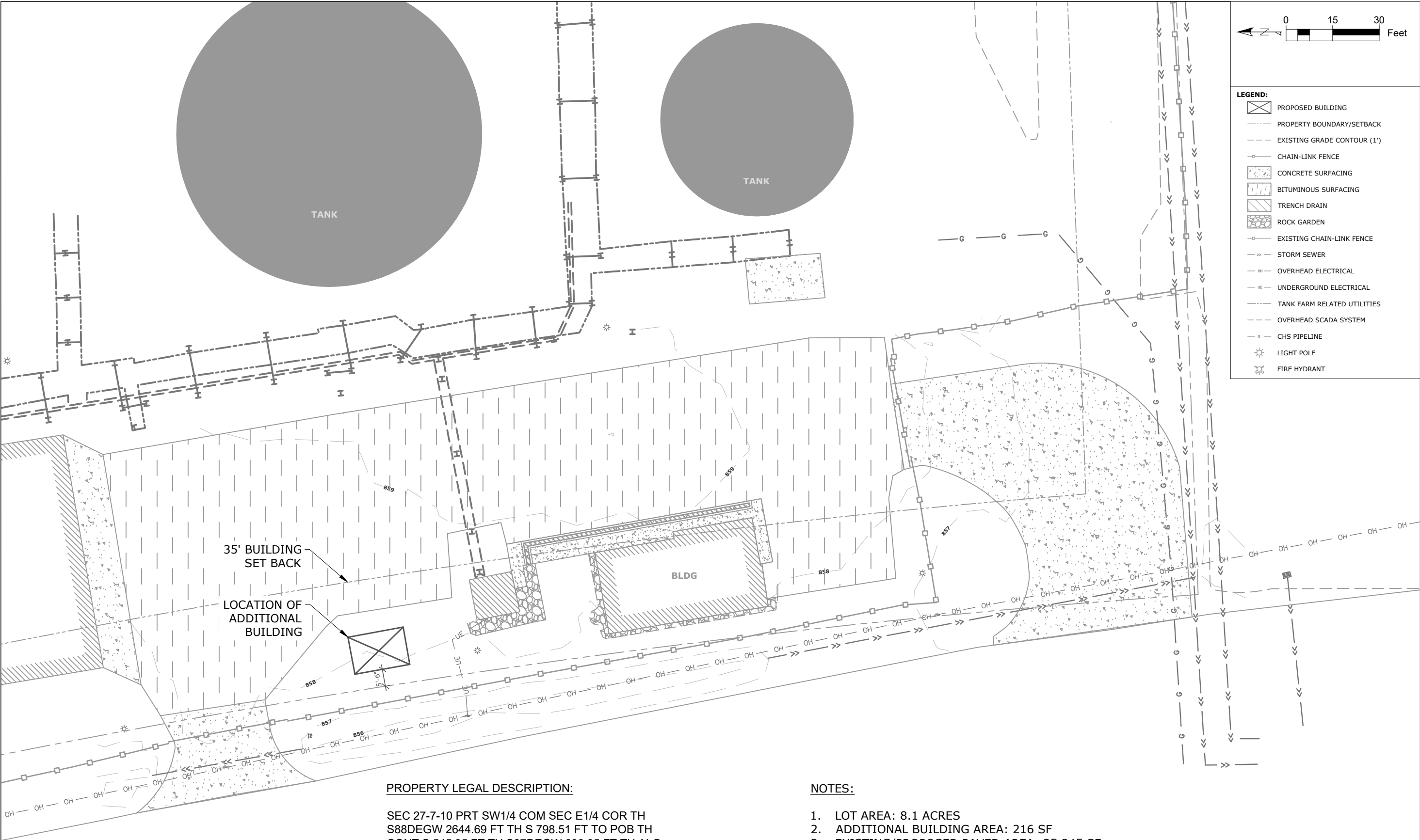
- ☒ A. Title Block that indicates name and address of the current property owner.
- ☒ B. Name and signature of the designer.
- ☒ C. Date of original plan and latest date of revised plan.
- ☒ D. North arrow and graphic scale. Said scale shall not be smaller than 1 inch equals 100 ft.
- ☒ E. Existing zoning _____ Proposed rezoning _____ yes _____ no
- ☒ F. All property lines, and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- ☒ G. All required building setback lines.
- ☒ H. The location of all access points and connections to public streets, off-street parking, and loading areas on the subject property including a summary of the number of parking stalls, accessible parking stalls, and labels indicating the dimension of such areas.
- ☒ I. All existing and proposed building structures and paved areas, including walks, drives, decks, patios, balconies, fences, retaining walls, utility poles, exterior utility and mechanical equipment, and any accessory structures.
- NA J. Existing and proposed site and building signage.
- ☒ K. Color exterior façade elevations of all proposed buildings including descriptions of materials and colors.
- NA L. The location of all outdoor storage areas; including proposed screening materials and colors.
- NA M. The location of existing and proposed drainage facilities including stormwater and erosion control plan.
- NA N. The location and type of any permanently protected green space areas.
- NA O. The location and elevation of any wetlands or floodplains.

- ✓ P. Grading Plan including existing & proposed topography shown at a contour interval of not more than two (2) ft.
- ✓ Q. In the legend, data for the subject property:
- (1) Lot area
 - (2) Building area
 - (3) Paved area
 - (4) Total impervious area
 - (5) Landscaping points provided and required for building foundations, gross floor area, street frontage, and paved area.
 - (5) Building height
 - (6) Existing zoning, proposed zoning
 - (7) Number of parking stalls provided and required.
- ✓A R. Landscaping Plans including proposed species, quantity and planting size. Refer to Appendix B of the Village's Zoning Code for more information.
- ✓ S. Hydrant locations and Fire Department Connection.
- ✓A T. Lighting Plans including photometrics and description of fixture types, heights and orientation.
- ✓ U. Utility plans, including the location of existing and proposed overhead or underground site utilities, including piping and meter sizes and associate appurtenances.
- ✓ V. Existing or proposed easements.
- ✓ W. A legal description of the subject property.

General Comments: _____

Note: In addition to Site and Design Permit approval, a building permit from the Village Building Inspector is required prior to the start of construction of any building, fence, or sign.

Drawing File: N:\Projects\G-D Clients\CHS- Pipelines and Terminals\2021\EM20191818 CHS McFarland\CHS McFarland_C400_Permit.dwg
Plotted Date: Apr 03, 2023



PROPERTY LEGAL DESCRIPTION:

SEC 27-7-10 PRT SW1/4 COM SEC E1/4 COR TH
S88DEGW 2644.69 FT TH S 798.51 FT TO POB TH
CONT S 545.35 FT TH S87DEGW 606.85 FT TH ALG
CRV TO L RAD 3030.93 FT L/C N9DEGW 549.31 FT TH
N87DEGE 688.23 FT TO POB ALSO PIPELINE R/W LYG
W OF USH 51 & TERMINALDR SUBJ TO R/W ESMT IN
DOC #4434933.

NOTES:

1. LOT AREA: 8.1 ACRES
2. ADDITIONAL BUILDING AREA: 216 SF
3. EXISTING/PROPOSED PAVED AREA: 35,245 SF
4. ADDITIONAL BUILDING HEIGHT: 10 FT
5. EXISTING/PROPOSED ZONING: M-IC
6. EXTERIOR OF ADDITIONAL BUILDING TO MATCH EXISTING BUILDINGS (GRAY)
7. BUILDING TOP OF SLAB TO MATCH EXISTING GRADE. SURROUNDING GRADE SHALL NOT BE MODIFIED.
8. EXISTING SITE DRAINAGE SHALL NOT BE MODIFIED
9. PROPERTY BOUNDARY PROVIDED BY CHS PRIOR SURVEY AND IS APPROXIMATE.

LEGEND:

- PROPOSED BUILDING
- PROPERTY BOUNDARY/SETBACK
- EXISTING GRADE CONTOUR (1')
- CHAIN-LINK FENCE
- CONCRETE SURFACING
- BITUMINOUS SURFACING
- TRENCH DRAIN
- ROCK GARDEN
- EXISTING CHAIN-LINK FENCE
- STORM SEWER
- OVERHEAD ELECTRICAL
- UNDERGROUND ELECTRICAL
- TANK FARM RELATED UTILITIES
- OVERHEAD SCADA SYSTEM
- CHS PIPELINE
- LIGHT POLE
- FIRE HYDRANT

NO.	DATE	ISSUE/REVISION	DRWN	CHKD

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**

Pinnacle Engineering
11541 95th Ave N.
Minneapolis, MN 55369
(763) 315-4501
www.pineng.com

DATE	DRAWN	DESIGNED	CHECKED	APPROVED
3/14/2023	GRR	GRR	MJB	MJB

PROJECT
CHS - PETROLEUM TERMINAL
4103 TRIANGLE ST
MCFARLAND WI

CLIENT
CHS

DRAWING TITLE
SITE PLAN

PROJECT NO. EM20191818
DRAWING NO. 001
SCALE AS NOTED



LEGEND:
- - - - - PROPERTY BOUNDARY



DRAWING TITLE SITE OVERVIEW		PROJECT NO. EM20191818	DRAWING NO. 002
		SCALE AS NOTED	

PROJECT CHS - PETROLEUM TERMINAL 4103 TRIANGLE ST MCFARLAND WI	DATE 3/14/2023
	DRAWN GRR
CLIENT CHS	DESIGNED GRR
	CHECKED MJB
	APPROVED MJB

**Pinnacle Engineering**

11541 95th Ave N.
Minneapolis, MN 55369
(763) 315-4501
www.pineng.com

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

NO.	DATE	ISSUE/REVISION	DRWN	CHKD

$\frac{v}{r} = \omega$

HIBC - NOTES:

- 1. All windows, transoms and flues are to be U.L. approved and installed as per manufacturer's specifications.
- 2. All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- 3. Provide proper insulation for all plumbing.
- 4. 1/2" insulation on interior walls and ceilings.
- 5. 5/8" type "X" fire code chumki on garage walls and ceilings.
- 6. In all dwelling units, where the top of the sill of an operable window opening unit is 20 inches above the finished grade, full protection must comply with R312.1.
- 7. Window opening control and device shall comply with ASTM F2090.
- 8. Windows must be installed in accordance with manufacturer's instructions. If not noted, are assumed to be egress windows.
- 9. Header height openings for your local egress requirements and minimum light and ventilation requirements.
- 10. Headroom at stairs shall be a minimum clearance of 6'-8" high.
- 11. The mechanical and electrical layouts are suggested only. Consult your local authorities and sizes.
- 12. Provide proper insulation and sizes.
- 13. All flues to rear of ridge as necessary.
- 14. Provide proper lining or fireproofing appliances.
- 15. All conditions, locations and sizes are subject to manufacturer's specifications.
- 16. All conditions, locations and sizes may vary depending on manufacturer's specifications.

EST 2002



MENARDS
ALL STRUCTURE IS
DESIGNED BY MENARDS
LUMBERYARD
DESIGN-IT-CENTER. AHP IS
NOT LIABLE FOR ANY
STRUCTURE.
HOMEOWNER/CONTRACTOR
TO VERIFY ALL
STRUCTURE BEFORE
CONSTRUCTION.

PRELIM	FINAL
02-06-2022	PREV 19/01/2022

MENARDS®

Derek Pirkle



THIS IS NOT REPLY
DO NOT COPY

advancedhouseplans.com 844.675.9638

ADVANCED DESIGN INC. IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATED OFFSHORE BECAUSE SITE CONDITIONS WERE ADVANCED DESIGN CANNOT WARRANT THE SUITABILITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE. CONSTRUCTION FROM THESE PLANS SHOULD NOT BE COMPLETED WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL. HOMEOWNER/CONTRACTOR MUST THOROUGHLY REVIEW ALL REQUIREMENTS TO CONSTRUCTION, MATERIALS, STRUCTURAL CODE & SITE REQUIREMENTS PRIOR TO CONSTRUCTION. THEY MUST RELEASE ADVANCED DESIGN INC. FROM ANY LIABILITY THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

2023
22271

SHEET 1 OF 4

20% SCALE @ 18"x24"

GENERATED 2/7/2023

The purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions.



MENARDS
ALL STRUCTURE IS
DESIGNED BY MENARDS
LUMBERYARD
DESIGN-IT-CENTER. AHP IS
NOT LIABLE FOR ANY
STRUCTURE.
HOMEOWNER/CONTRACTOR
TO VERIFY ALL STRUCTURE
BEFORE CONSTRUCTION.

PRELIM
FINAL
02-06-2023
REVISION

Defek 0 K



IF THIS IS NOT RED
DO NOT COPY

advancedhouseplans
www.advancedhouseplans.com 844.675.9639

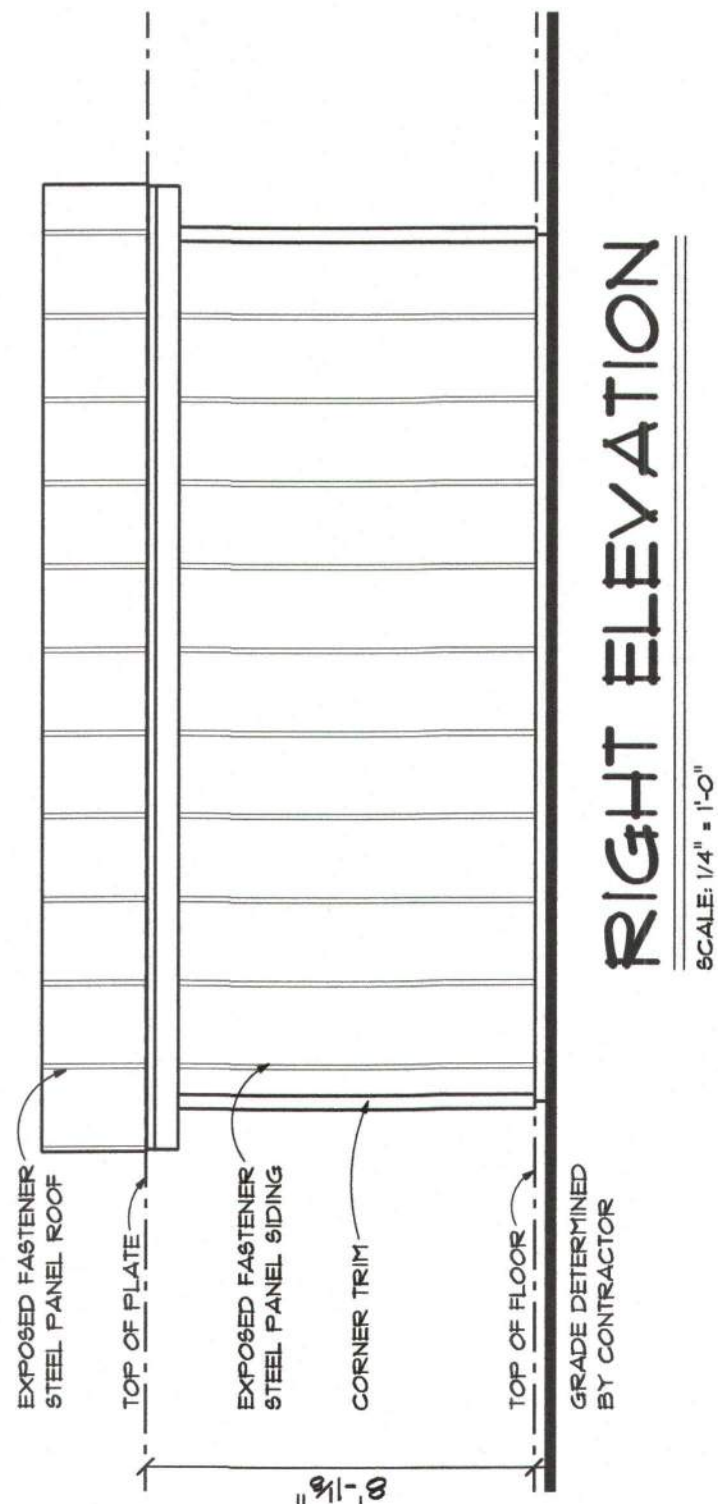
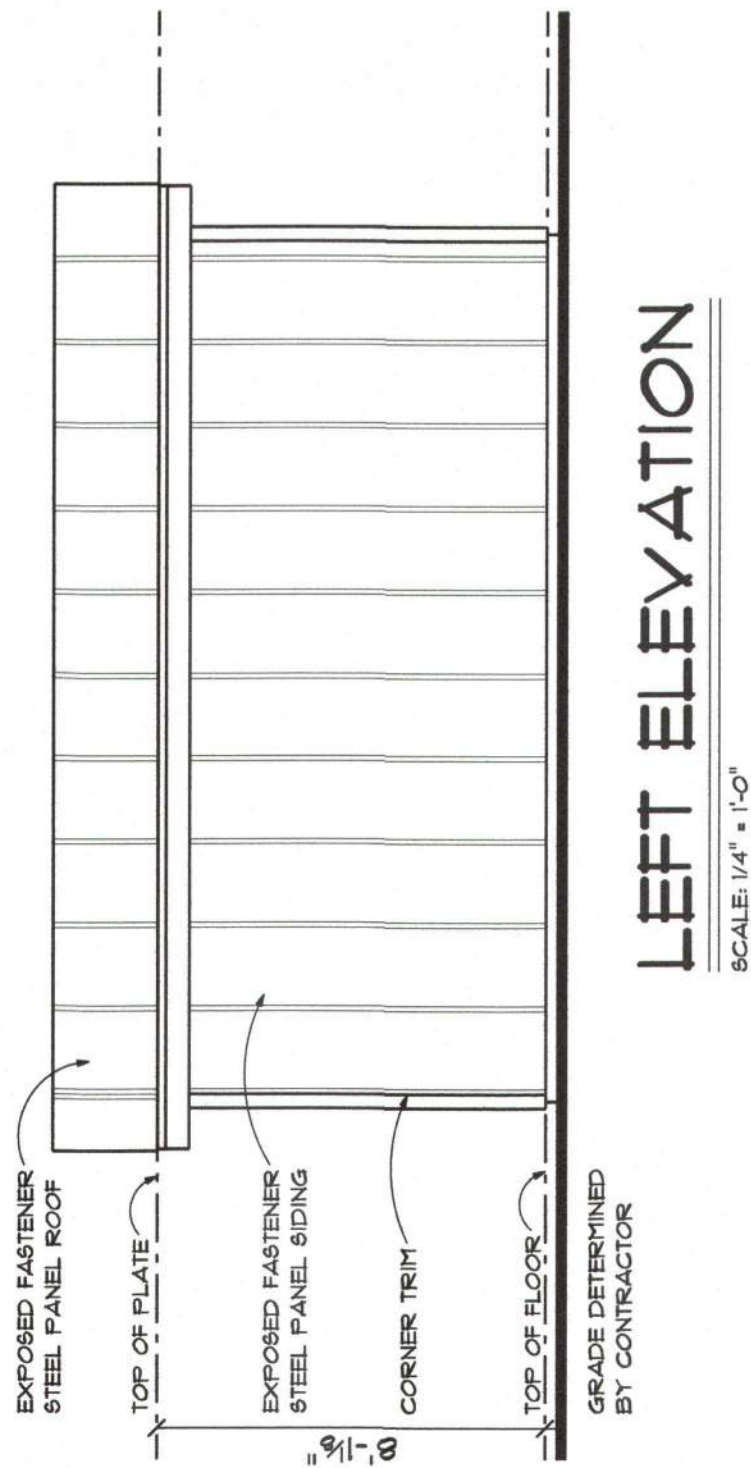
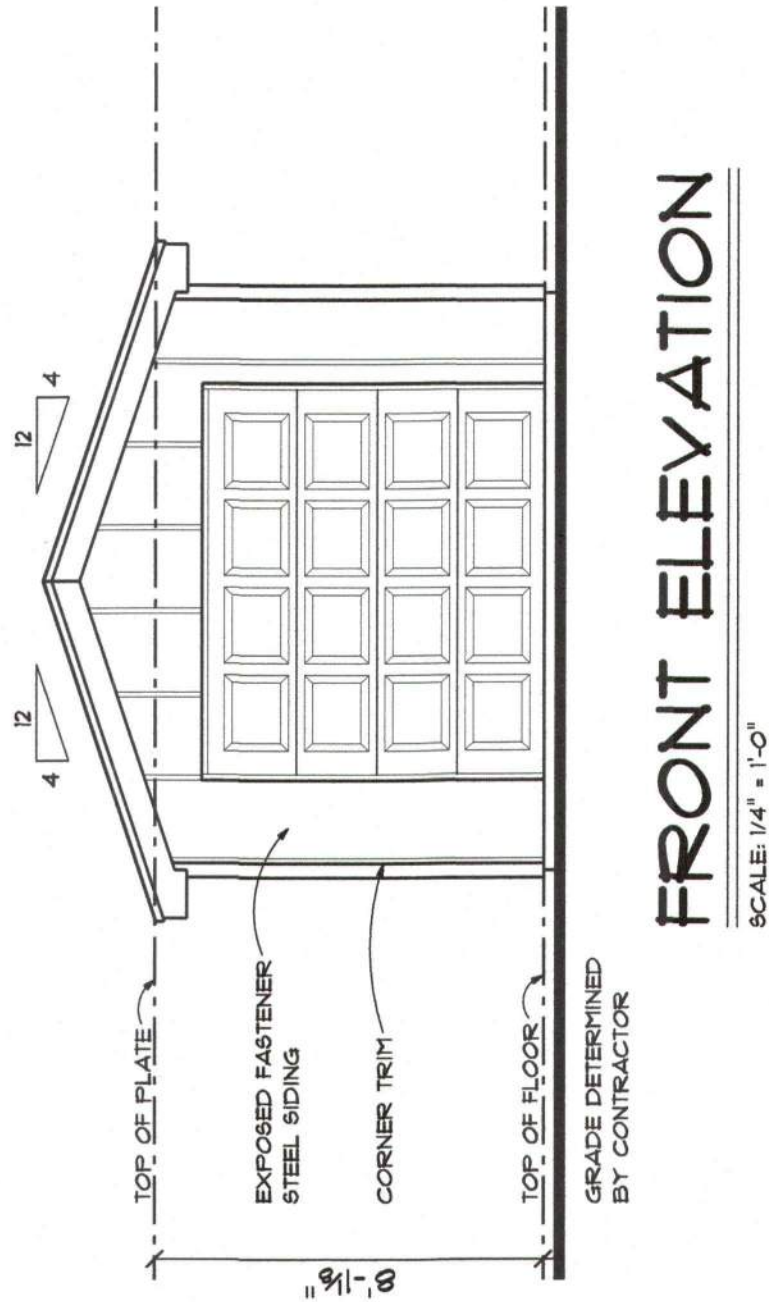
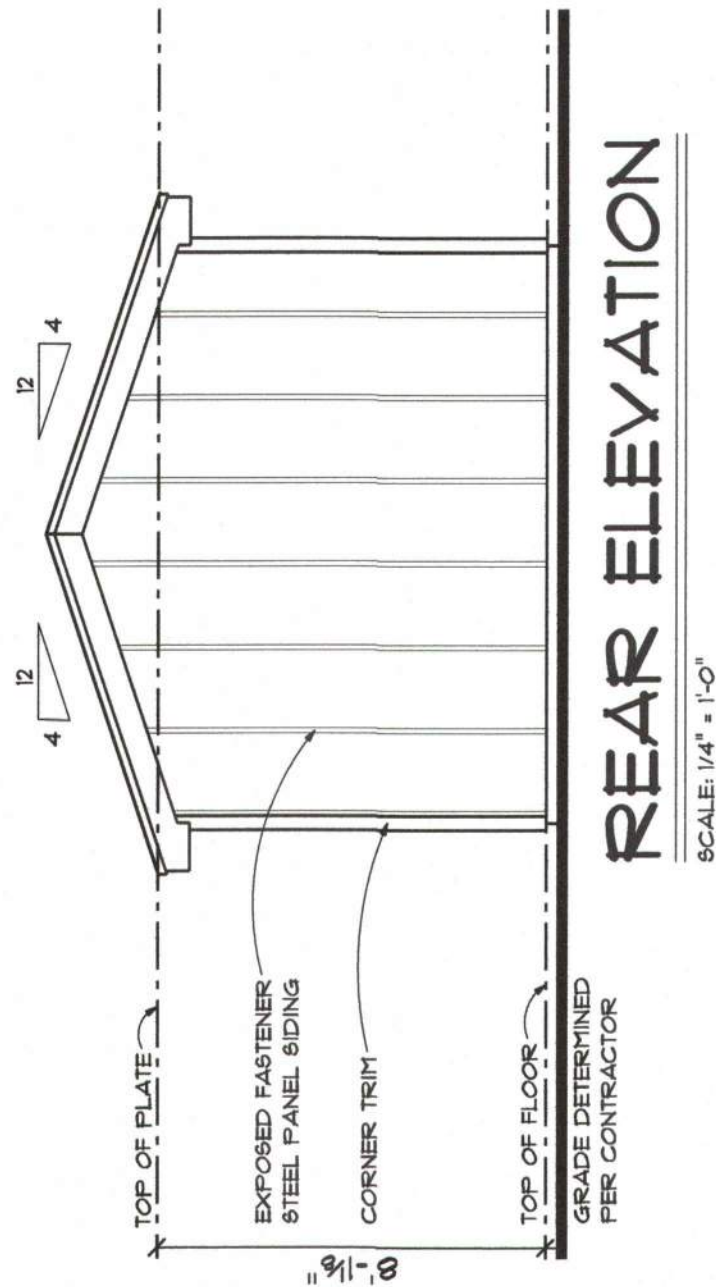
ADVANCED DESIGN INC. IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM
LOCATED IN PLAINFIELD, NEW JERSEY. ADVANCED DESIGN INC. DOES NOT
DESIGN OR CONSTRUCT ANY STRUCTURE. THE QUALITY OF THE PLANS FOR USE ON
YOUR PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR. ADVANCED
DESIGN INC. DOES NOT ASSUME ANY LIABILITY FOR ANY DAMAGE TO
PROPERTY OR PERSONS THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

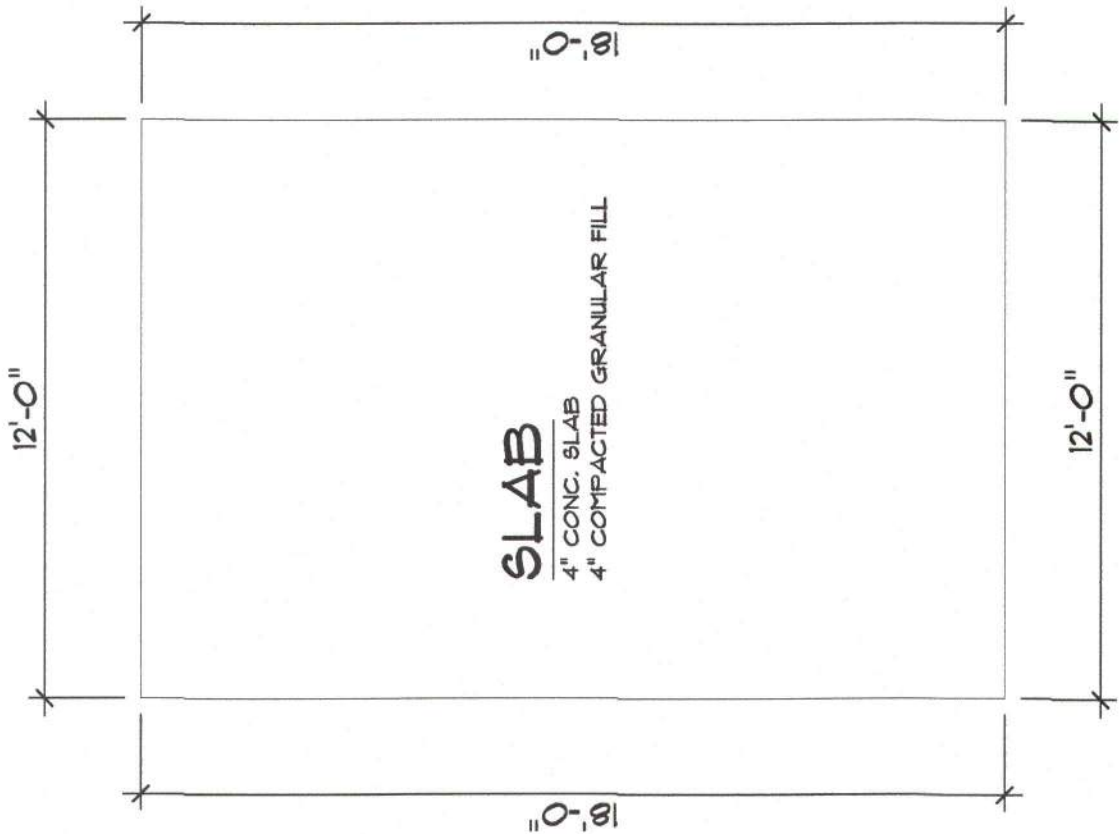
© 2023
22271

SHEET
2
OF
4

GENERATED 2/7/2023

The purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions.



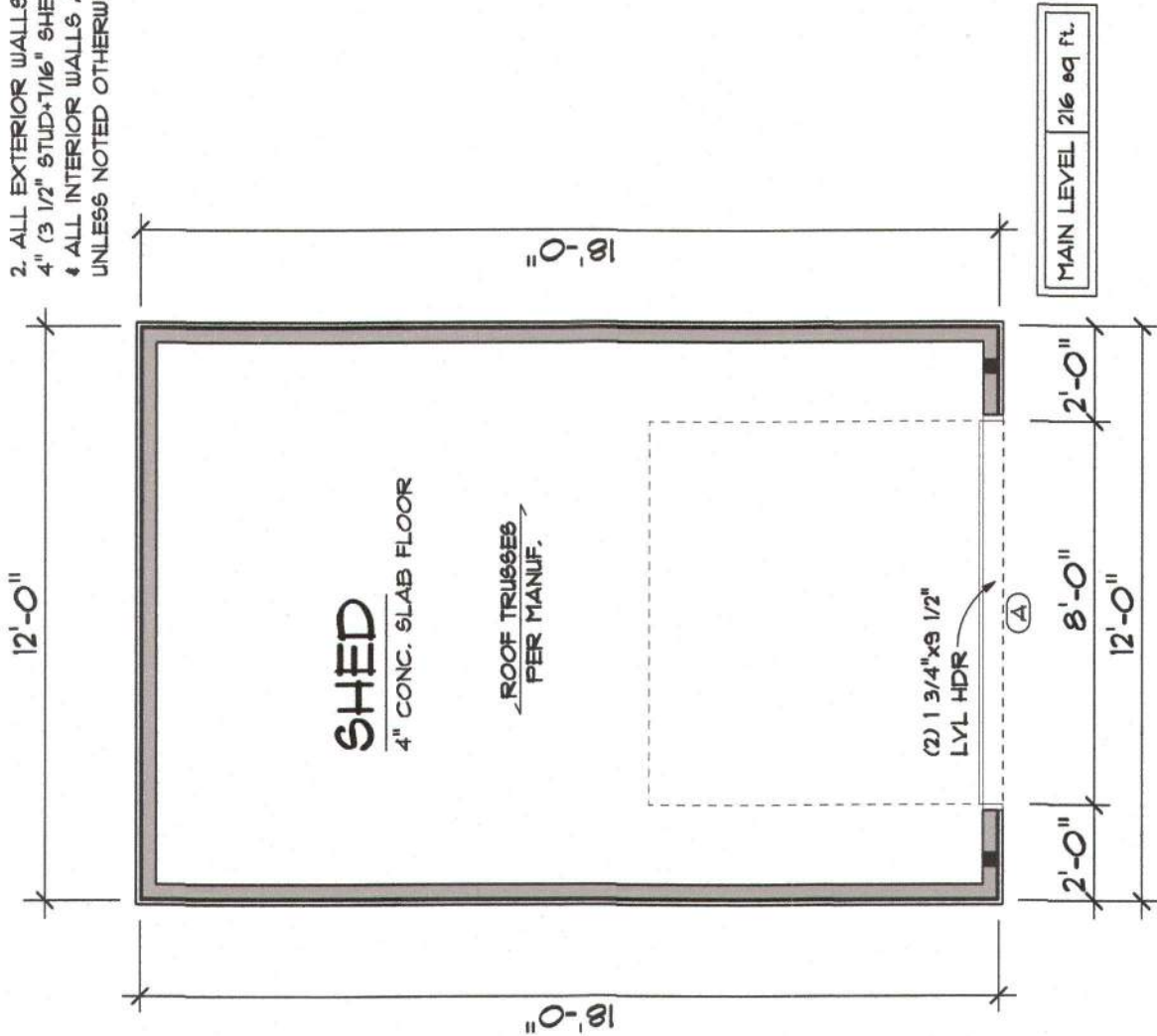


SLAB FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

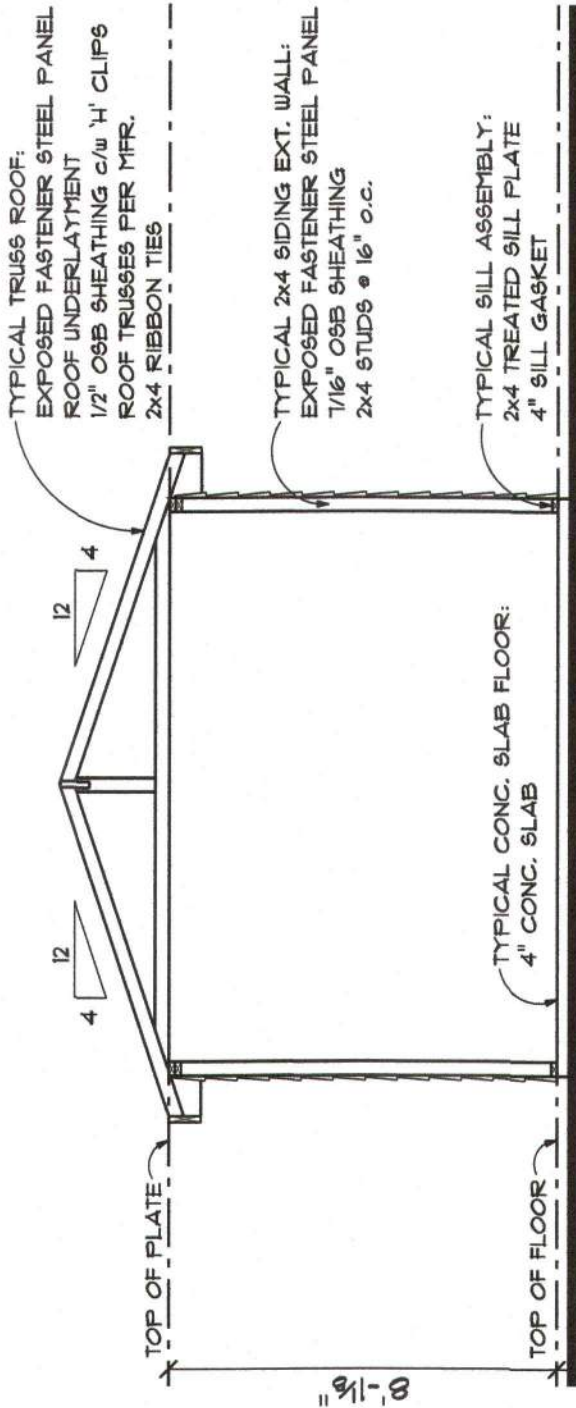
OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
A	GARAGE	36X84 - 4 PANEL	8'-0" x 1'-0"	1

- GENERAL NOTES:
1. ALL MAIN LEVEL WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
 2. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD x 1/16" SHEATHING)
 4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



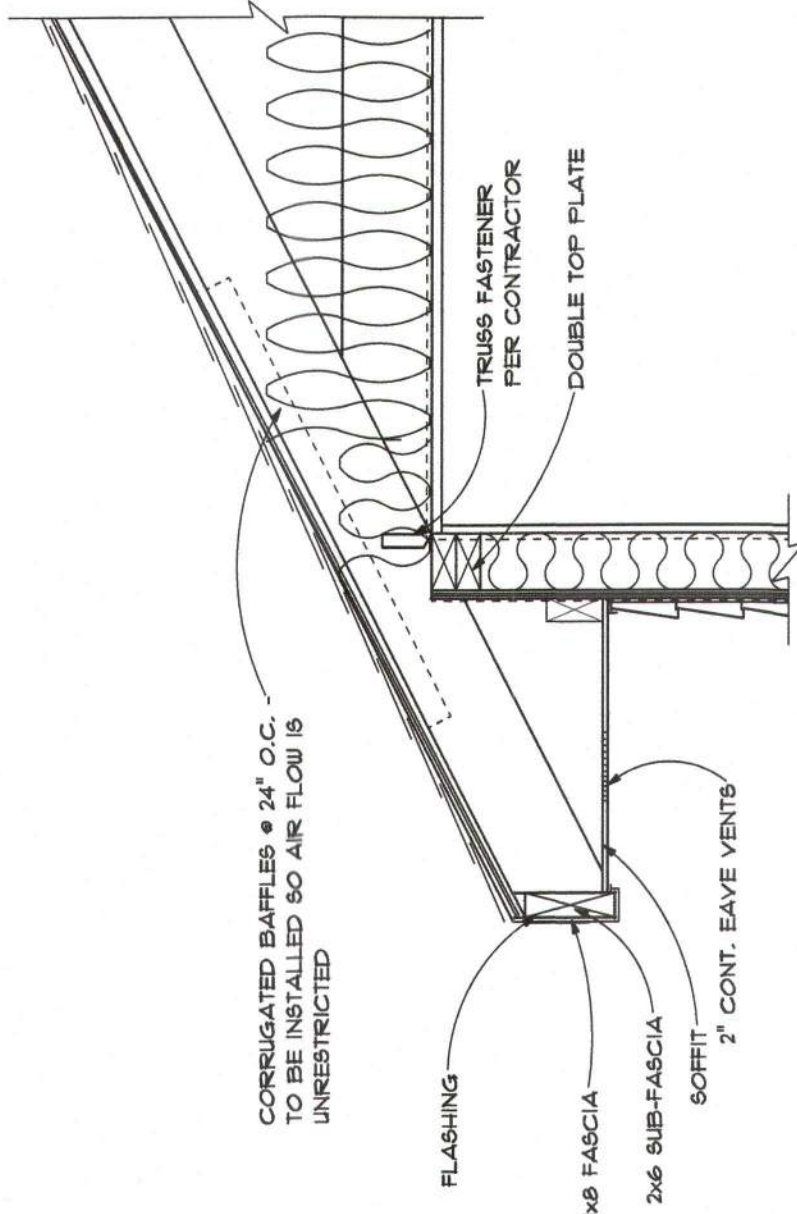
MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



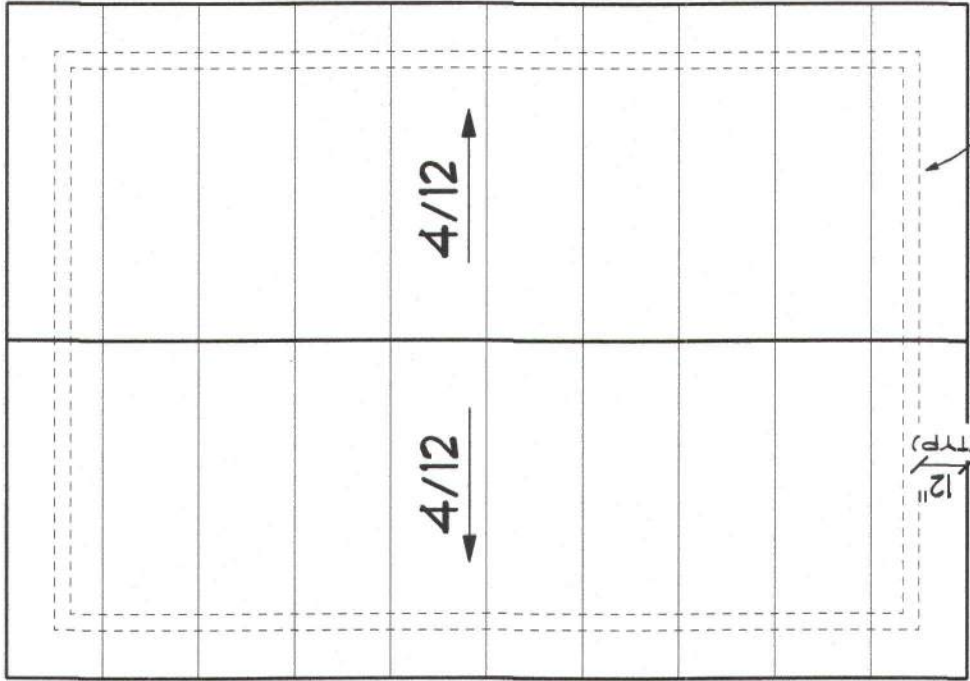
CROSS SECTION

SCALE: 1/4" = 1'-0"



EAVE VENT

SCALE: 1 1/4" = 0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

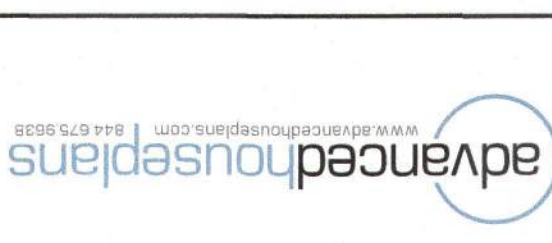
MENARDS
ALL STRUCTURE IS
DESIGNED BY MENARDS
LUMBERYARD
DESIGN-IT-CENTER. AHP IS
NOT LIABLE FOR ANY
STRUCTURE
HOMEOOWNER/CONTRACTOR
TO VERIFY ALL STRUCTURE
BEFORE CONSTRUCTION.

PRELIM
FINAL
02-06-2023
REVISION

Don't T.K.



IF THIS IS NOT RED
DO NOT COPY



ADVANCED HOUSEPLANS, INC. IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATED IN THE STATE OF TEXAS. THE DESIGNER'S RESPONSIBILITY IS TO PROVIDE A DESIGN THAT MEETS THE REQUIREMENTS OF THE CLIENT. THE DESIGNER DOES NOT WARRANT THAT THE DESIGN IS FREE FROM ERRORS OR OMISSIONS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE DESIGN. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

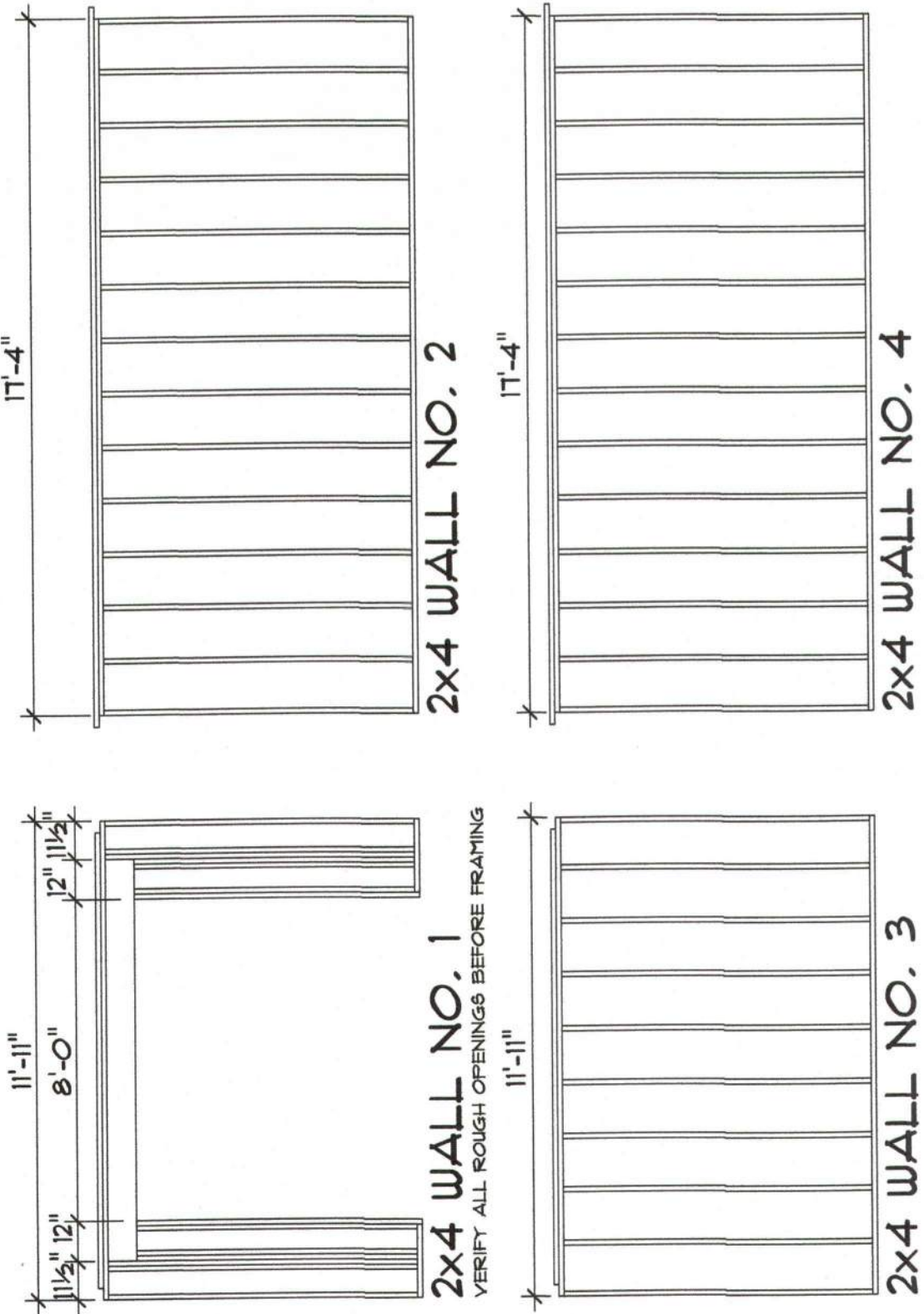
22271
© 2023

SHEET
3
OF
4

100% SCALE = 18"x24"

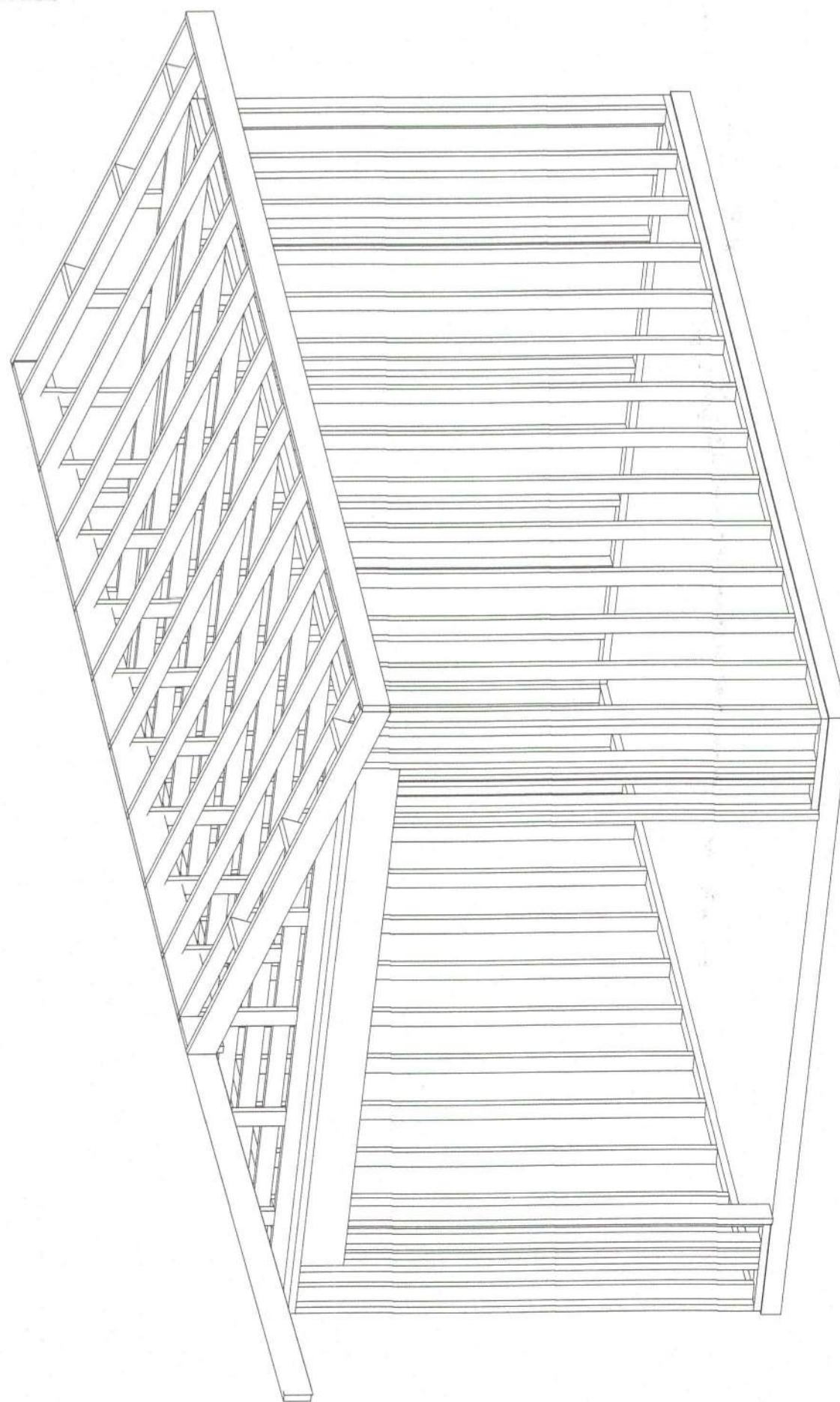
This purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions.

GENERATED 2/7/2023



WALL PANELS

SCALE: 1/4" = 1'-0"



FRAMING DIAGRAM

NOT TO SCALE

MENARDS
ALL STRUCTURE IS
DESIGNED BY MENARDS
LUMBERYARD
DESIGN-IT-CENTER. AHP IS
NOT LIABLE FOR ANY
STRUCTURE.
HOMEOWNER/CONTRACTOR
TO VERIFY ALL STRUCTURE
BEFORE CONSTRUCTION.

DEREK P. K.



IF THIS IS NOT RED
DO NOT COPY

advancedhouseplans
www.advancedhouseplans.com 844.675.8838

ADVANCED HOUSEPLANS INC. IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM. LOCATION OF THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECTS. DESIGNER CANNOT WARRANT THE BUILDING SITE CONDITIONS. ADVANCED HOUSEPLANS INC. IS NOT RESPONSIBLE FOR ANY DAMAGE TO THE BUILDING OR ANY PERSONS OR PROPERTY THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

© 2023
22271

SHEET
4 OF 4

100% SCALE = 18'x24'

Meinders/Triangle Subdistrict

Guidelines	Yes	No
Site Design		
1. Does the project connect building entries with walkways to planned sidewalks in Terminal Drive, distinguishing them from driving surfaces?		NA
2. Does the project locate service areas, loading docks, mechanical equipment, and refuse containers to non-street sides of buildings and screen them? No screening proposed	✓	
3. Does the project include adequate, accessible, and convenient areas for collecting and loading trash and recyclables?		NA
4. Does the project screen ground-, roof-, and wall-mounted mechanical equipment from public rights-of-way and adjacent properties?		NA
5. Does the project include landscaped front yards, parking areas, and foundations?		✗
6. Does the project convey stormwater to on-site or in-district infiltration areas?		NA
7. Does the project provide bicycle parking?		NA
8. Are all fully screened outdoor storage or display areas inside of all required side and rear building setbacks, with dense landscaping on the outside of these areas?		NA
9. Does the project permanently define and screen all outdoor storage areas with dense landscaping, opaque walls and/or opaque fences?		NA
10. Does the project limit outdoor operations and store equipment and raw materials inside buildings to ensure minimal visual impact on neighboring uses and the public?	✓	
11. Does the project locate limited outdoor merchandise display areas near building entrances, without affecting traffic flow?		NA
12. Does the project preserve existing on-site vegetation, especially large trees, wood lots, and remnant wetlands and prairies? There is no change to the existing on-site vegetation	✓	
13. Does the project locate service and storage areas to minimize Highway 51 visibility?	✓	
14. Does the project heavily screen parking areas adjacent to highway 51?		NA
15. Does the project screen rooftop mechanicals and utilities?		NA
16. Are mechanicals and utilities shown on the project's site plan?	✓	
17. Does the project use wall-mounted signs?		✓
18. Does the project include buildings which are at least two-stories in height?		✓
19. Does the project include buildings which are compatible with the desired gateway character of the Village?	✓	
20. Does the project include buildings which continue the architectural theme, design elements, and detailing on all sides?	✓	
21. Does the project include loading docks or overhead doors on street-facing facades?		✓
22. Does the project screen loading docks or overhead doors on other facades?		✗
23. Does the project provide overhangs for pedestrian shelter? Not for public use		NA
24. Does the project have a FAR between 0.15 and 1.0 if it is an Industrial use and between 0.35 and 1.5 if it is a Commercial use? 0.78/8.1= 0.1		✗
25. Is a minimum of 50% of the front building wall 20' to 35' from Terminal Drive or McFarland Street right-of-way?		✗
Building Design & Materials		
1. Does the project use building materials with lasting architectural character (strength, durability and quality)?	✓	
2. Does the project encourage use of the following exterior wall materials: brick, decorative masonry block, architectural grade metal panels, cedar siding, stone,		✗

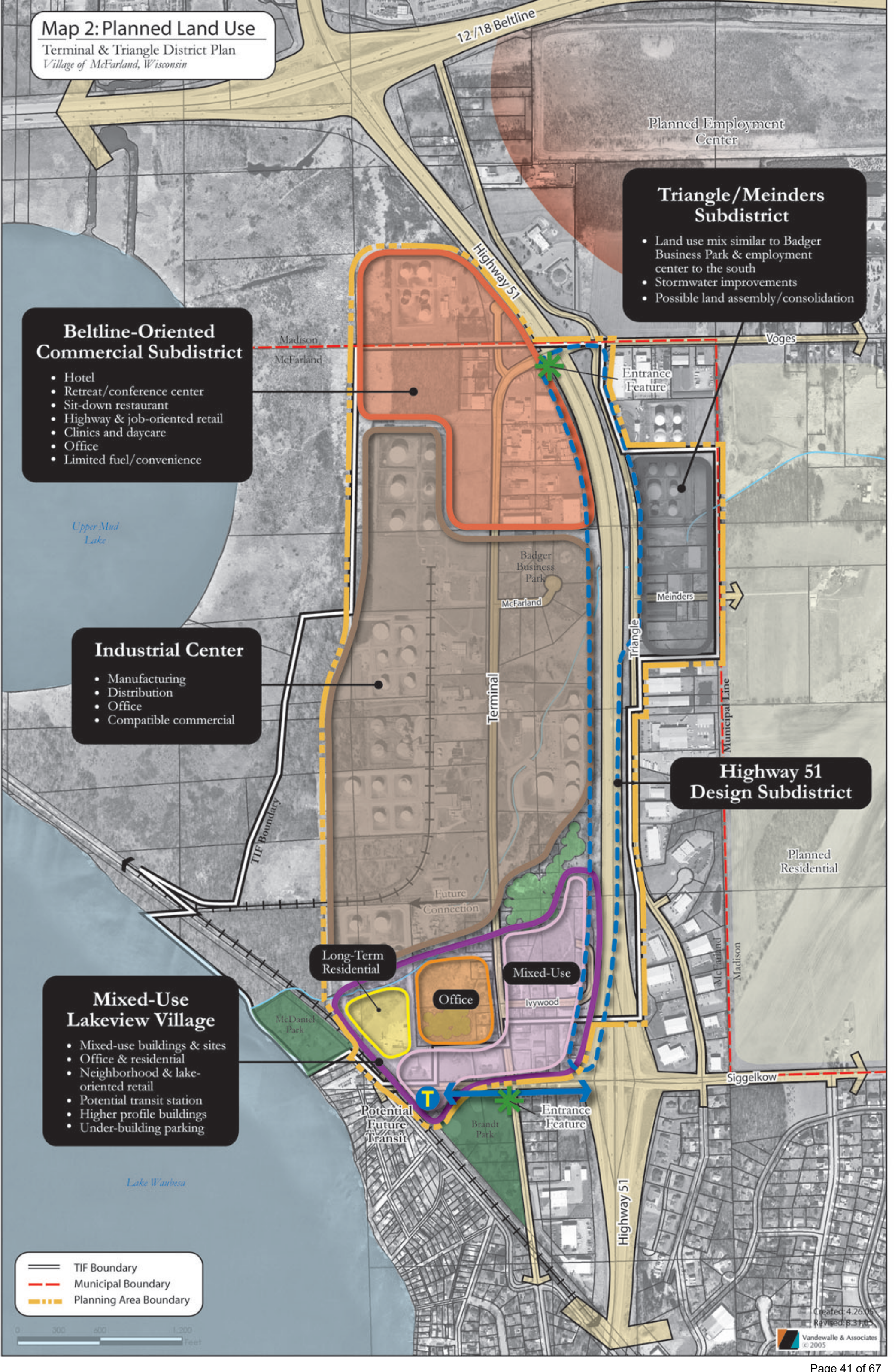
Guidelines		Yes	No
architectural pre-cast concrete panels, Exterior Insulation and Finish System (EIFS), Dry-vit, and glass?			
3.	Does the project use corrugated-type metal or steel external siding on more than 25% of all street visible facades?	✓	
4.	Does the project incorporate similar or architecturally harmonious materials for all exterior building walls and other building components visible from public streets?	✓	
5.	For industrial buildings, does the project portray a quality office appearance at entries and around public/office spaces?		NA
6.	Does the project encourage use of earth tone colors, such as gray, green, brown, burgundy, and tan?	✓	
7.	Does the project incorporate loading docks, truck parking, outdoor storage, trash collection, trash compaction, and other service functions into overall building design?	✓	
8.	Does the project locate loading facilities to the rear or non-street side of the building?	✓	
9.	Does the project integrate the placement and screening of mechanicals into the building architecture?		NA
Building Orientation			
1.	Are building facades oriented parallel to the primary abutting street, with entrances?	✓	
2.	Does the project have a minimum of 50% of the front building wall to be at 20' to 35' from the street right-of-way? The applicant has submitted a request for a variance.		✗
3.	Does the project group back-of-building areas on double-fronted lots?		NA
4.	Does the project make public building entrances clearly identifiable and accessible?		NA
5.	Does the project site buildings for safe pedestrian and vehicular circulation?	✓	
Lighting There is no change to the existing lighting plan.			
1.	Are all exterior light fixtures at least three feet from all lot lines and within landscaped islands or outside parking lot edges?		NA
2.	Does the project utilize incandescent or high-pressure sodium (HPS) light fixtures?		NA
3.	Does the project use ninety-degree down-cast, cutoff fixtures (without drop lenses) for all lighting?		NA
4.	Does the project include lights greater than 25 feet in height?		NA
5.	Do average illumination levels in parking lots exceed 5 footcandles?		NA
6.	Do illumination levels at lot lines exceed 0.5 lightcandles?		NA
Parking The applicant's request does not include additional parking.			
1.	Does the project site employee parking to the rear or non-street side of the building?		NA
2.	Does the project limit front yard parking to visitor spaces?		NA
3.	Does the project provide landscaped islands, each a minimum of 200 square feet, and at a minimum rate of one island for every 12 parking spaces?		NA
Signage The applicant's request does not include additional signage.			
1.	Does the project include pole or pylon style signs?		NA
2.	If there is more than one business on a lot, is ground signage combined?		NA
3.	Does the project architecturally integrate signs with its building?		NA
4.	Does the project frame wall mounted signs to create a clearly defined edge, provide shadow relief, and a substantial appearance?		NA
5.	Does the project screen external spot or flood lighting of signs?		NA





Map 2: Planned Land Use

Terminal & Triangle District Plan
Village of McFarland, Wisconsin



Planned Employment Center

Triangle/Meinders Subdistrict

- Land use mix similar to Badger Business Park & employment center to the south
- Stormwater improvements
- Possible land assembly/consolidation

Beltline-Oriented Commercial Subdistrict

- Hotel
- Retreat/conference center
- Sit-down restaurant
- Highway & job-oriented retail
- Clinics and daycare
- Office
- Limited fuel/convenience

Industrial Center

- Manufacturing
- Distribution
- Office
- Compatible commercial

Highway 51 Design Subdistrict

Mixed-Use Lakeview Village

- Mixed-use buildings & sites
- Office & residential
- Neighborhood & lake-oriented retail
- Potential transit station
- Higher profile buildings
- Under-building parking

- TIF Boundary
- - - Municipal Boundary
- ... Planning Area Boundary

0 300 600 1,200 Feet

Planned Residential

Siggelkow

Highway 51

12/18 Beltline

Highway 51

Terminal

Entrance Feature

Meinders

Badger Business Park

McFarland

Office

Mixed-Use

Ivywood

Potential Future Transit

Entrance Feature

Future Connection

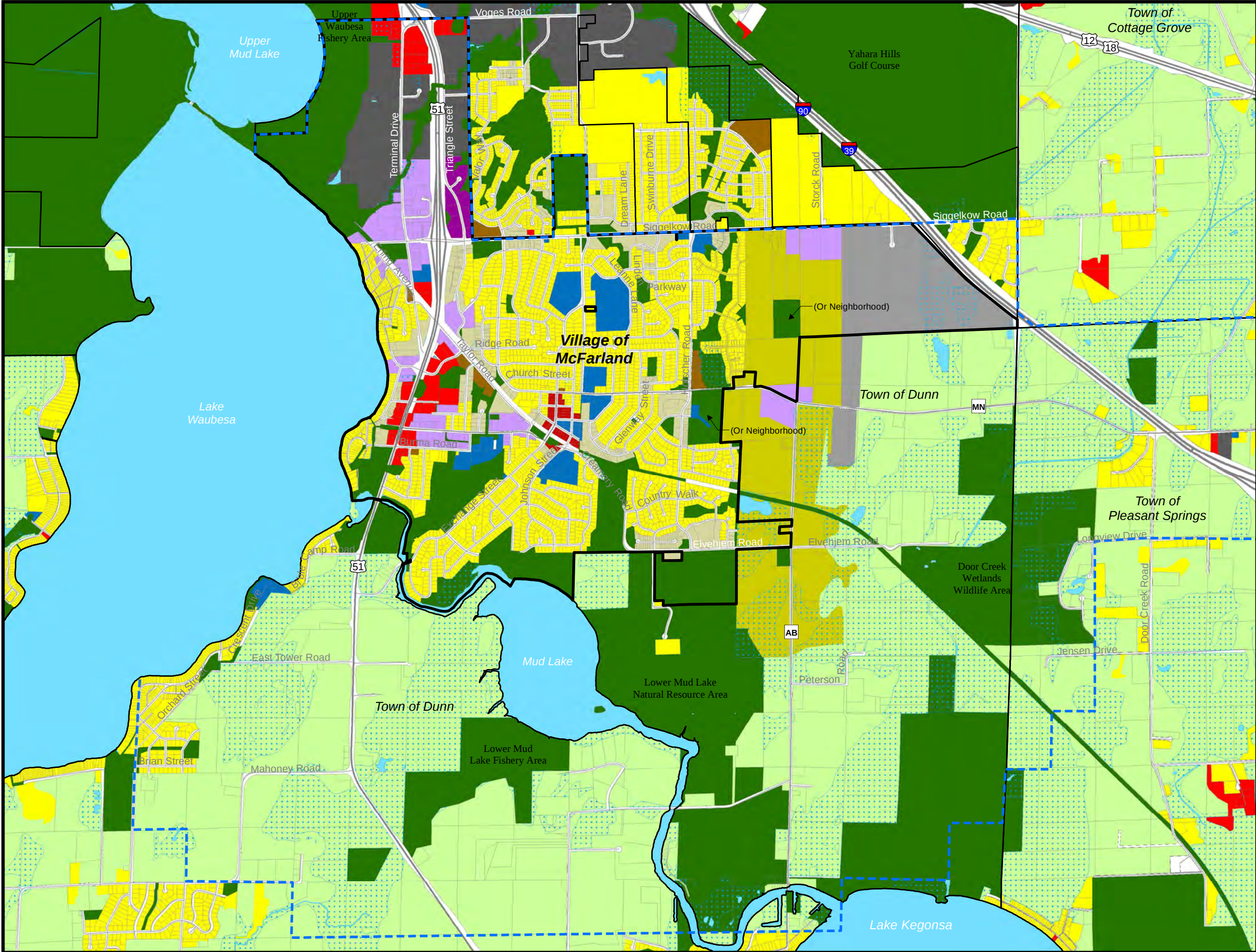
Long-Term Residential

McDaniel Park

Brandt Park

Created: 4.26.05
Revised: 8.31.05

Vandewalle & Associates
© 2005



MAP 6

FUTURE LAND USE



COMPREHENSIVE PLAN

Legend

Future Land Use

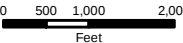
- Single Family Residential
- Two Family and Townhouse Residential
- Multiple Family Residential
- Neighborhood
- Downtown
- Highway and General Commercial
- Commercial Park
- Industrial
- Mixed Use/Flex Commercial
- Institutional and Governmental
- Public Lands, Recreation, and Environmental Corridor
- DNR Wetlands and Potential Wetland Indicators over Undeveloped Lands
- Agricultural Preservation
- Urban Reserve
- Water
- Rights-of-Way

--- Village of McFarland Extraterritorial Jurisdiction Boundary

⬢ Village of McFarland Limits (8/18)

⬢ Other Municipal Limits (2018)

Shapes on this map represent the Village's vision for future land use within the Village and its extraterritorial jurisdiction. For such lands, this map is not intended to represent existing land use or zoning, or to compel property owners to change the use of their land. For example, owners of agricultural or other rural land may maintain their current land use. Actual boundaries between different future use categories and implementing zoning districts may vary somewhat from representations on this map. This map also identifies the City's Marsh Road Neighborhood Plan west of the Interstate and north of Siggelkow Road, and existing land use elsewhere beyond the Village's extraterritorial jurisdiction.



Date: May 2019

Data Sources: Village of McFarland, Dane County LIO, WDNR, and CARPC



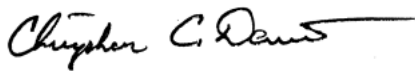
June 5, 2023

Re: 4103 Triangle Street, CHS Parts Shed Site Design

We reviewed the application for a site design of 4103 Triangle Street (CHS McFarland Terminal) for the addition of a parts shed. The application was complete and provided the required information for Fire & Rescue Department review. One item of note is the Applicant Address appears to be a typo on the application indicating 4310 instead of 4103.

Based on the submitted information the Fire & Rescue Department has determined that the proposed site design is acceptable without additional requirements.

Sincerely,



Christopher C. Dennis, EFO
Fire & Rescue Chief
Village of McFarland

**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, June 20, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action on a Site Design Review Permit requested by the Village of McFarland for an addition to an existing shed within Lewis Park at 5012 Highland Drive.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

The Village of McFarland, applicant, is partnering with the McFarland Youth Baseball Organization, to request a Site Design Review permit for an addition to an existing shed adjacent to the baseball field located in Lewis Park. The expansion includes a 5' x 10' addition, 50 square feet of space, intended for the storage of field maintenance equipment. The property is a public park owned and maintained by the Village.

EXISTING PROPERTY

The property is approximately 6.2 acres and zoned CO Conservancy. The property includes a children's playground, swing sets, a baseball field with dugouts and a fence, sidewalks along east and south lot lines, and two designated areas for ice skating.

Adjacent to the north and down to the southwest corner is a row of single family homes.

Adjacent to the east is Lewis Lane and an additional row of single family homes. All surrounding single family homes are zoned R-1 Single Family Residence. The adjacent property to the south is owned and operated by the Village. This parcel includes the Lewis Park shelter, off-street parking, a sand volleyball court and dedicated conservancy space. This area is zoned CO Conservancy.

Sec. 62-310(e) - SITE DESIGN STANDARDS

- Grading & Surfacing - The proposed addition's footprint is 50 square feet. The additional footprint does not create a significant impact on the current erosion control on the property, and it does not require site grading or additional stormwater management.
- Landscaping - The proposed addition does not remove any existing trees within the park. There are no minimum landscaping points required in the CO District. No additional landscaping is recommended given the size and location of the structure.
- Building Relationship - The proposed addition to the existing shed will not relocate or move the existing shed. The addition maintains its location behind the existing fence.
- Lighting - No additional lighting is proposed with the structure. The existing lighting



plan on the property will not be impacted by the addition of the shed's extension.

- Utility Service - The proposed addition does not require any utility services.
- Building Design - The proposed addition will use similar materials as the existing shed to maintain consistency.

C&ED STAFF COMMENTS

No other comments related to the proposed addition.

PUBLIC COMMENTS

The Department did not receive any written comments or concerns prior to the publication of this packet.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

Lewis Park - Master Plan, 2015. The plan identifies "Equipment storage" as a Upland Improvement detail. The proposed addition to the existing shed is consistent with this park amenity.

Comprehensive Plan, 2017. Map 6 of the Future Land Use identifies the property as Public Lands, Recreation, and Environmental Corridor. The proposed addition to the existing shed does not alter or conflict with the current use of the property.

ORDINANCE REFERENCE:

Sec. 62-310 - Site/design review

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Motion, and second, to approve a Site Design Review Permit requested by the Village of McFarland for an addition to an existing shed within Lewis Park at 5012 Highland Drive as submitted.

ATTACHMENTS:

1. 5012 Highland Drive_Lewis Park Site Design Review App_05082023



Plan Commission Application – 2023

~Application must be completed in full~

Applicant - Owner		Applicant's Agent	
		Name	
Address		Address	
Email		Email	
Phone #		Phone #	
Fax #		Fax #	

Parcel No(s). _____ **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$425+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$475+F	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$475 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ USA/MMSD Annexation	At cost	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☐ Site/Design Review	\$400 +F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants;
e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres)	\$5,000
☐ R-E, R-3 & PD (greater than 50 acres)	\$10,000
☐ Site/Design Review (less than 2,000 sq. ft.)	\$1,000
☐ Site/Design Review (2,000 sq. ft. or more)	\$2,000
☐ All Plats including condominiums	\$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional paper if needed)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☐ NO (If "yes" state the nature and the date(s) of the previous application.)

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.us), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2023 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2023 Meeting date of:

December 6 (2023)	January 17
January 10	February 21
February 7	March 21
March 7	April 18
April 4	May 16
May 9	June 20
June 6	July 18
July 5	August 15
August 8	September 19
September 5	October 17
October 10	November 21
November 7	December 19 (Pending)
December 5	January 16, 2024 (Pending)

Note, applications requiring a public hearing will be scheduled for a hearing according to the schedule above, with action considered at the next scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing will not be acted on the same night as the Public Hearing.

X



Signature of Applicant/Agent

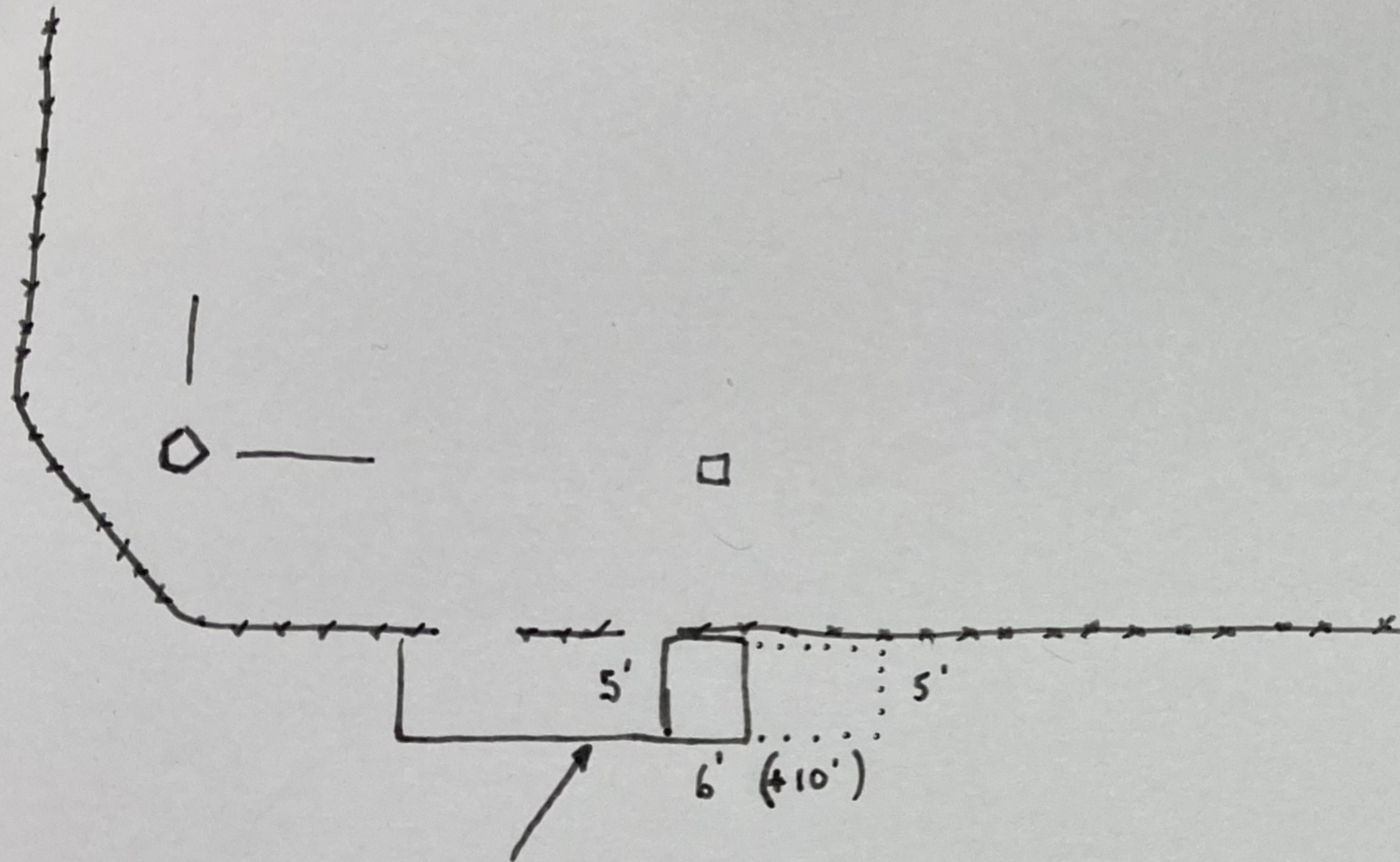
Date

LEWIS PARK SHED EXPANSION

MYBO

MAY 2023

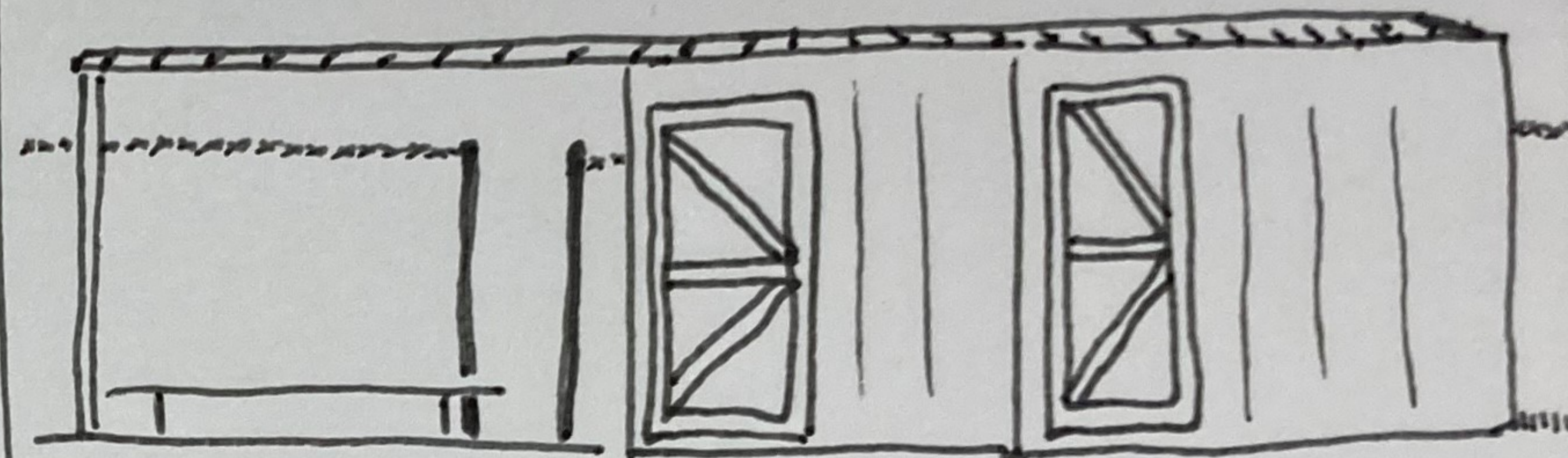
ARIAL
VIEW



CURRENT
DUGOUT
& EXISTING
SHED

PROPOSED
EXPANSION
5' x 10'

FRONT VIEW



5' x 10'
EXPANSION





**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, June 20, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding streetscaping services within Segment 7 of the USH 51 WisDOT Project.

PREVIOUS ACTION:

ISSUE SUMMARY:

The Wisconsin Department of Transportation (WisDOT) is completing engineering design documents for the reconstruction of USH 51 from Stoughton to Meinders Road in McFarland.

Refer to the [WisDOT project website](#) for additional details. This project includes two segments within the Village, Segment 6 (Exchange to Larson Beach) and Segment 7 (Larson Beach to Meinders). Segment 7 includes the area of USH 51 that includes the existing ramps at Siggelkow Road. Construction of this segment is estimated to begin in year 2025. The WisDOT preliminary design includes installing roundabouts at the USH 51 and Siggelkow Road ramp entrances and exits. The WisDOT default design for these roundabouts would be minimal treatment, consisting of a small mound and planting grass in the central islands. These roundabouts will serve as a primary entry feature for vehicles traveling to and from the Village and, as such, there is an opportunity to design the roundabouts to include more enhanced and attractive streetscaping/landscaping features in keeping with the Village's brand. Staff is proposing to engage SEH to develop streetscaping concepts for the roundabouts addressing items including landscaping, terraces, wayfinding signage and crosswalk enhancements, etc.

SEH previously assisted the Village with conceptual designs for the future replacement of the Village's two gateway signs along USH 51. SEH will work with Village staff and the Plan Commission to develop a preferred concept for submittal to WisDOT. The design themes could likely be carried forward for consideration for proposed roundabouts in Segment 6, which is scheduled for reconstruction between 2026-2028, with a final date to be determined.

FINANCIAL/BUDGET IMPACT:

Funding for this project will utilize existing TID #3 revenues.

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Motion, second, to make a recommendation to the Village Board to approve a contract with SEH in the amount of \$14,900.00 for streetscaping services within Segment 7 of the USH 51



WisDOT Project.

ATTACHMENTS:

1. Letter Agreement_McFarland Siggelkow LA_06012023
2. siggelkowroundabout22

Agreement for Professional Services

This Agreement is effective as of June 1, 2023, between Village of McFarland (Client) and Short Elliott Hendrickson Inc. (Consultant).

This Agreement authorizes and describes the scope, schedule, and payment conditions for Consultant's work on the Project described as: **Siggelkow Road Roundabout Schematic Landscape Design**

Client's Authorized Representative: Matt Schuenke
Address: 5915 Milwaukee Street
McFarland, WI 53558
Telephone: 608-838-3153 **email:** matt.schuenke@mcfarland.wi.us

Project Manager: Nate Day
Address: 6808 Odana Road, Suite 200
Madison, WI 53719
Telephone: 608.620.6185 **email:** nday@sehinc.com

Scope: The Basic Services to be provided by Consultant as set forth herein are provided subject to the attached General Conditions of the Agreement for Professional Services (General Conditions Rev. 05.15.22), which is incorporated by reference herein and subject to Exhibits attached to this Agreement.

1. WISDOT Meeting #1: Kickoff Meeting
 - a. Review the Village's design intent
 - b. Discuss WISDOT design parameters and expectations for the design
 - c. Request base data for design (WISDOT design and survey files)
2. Conceptual design alternatives
 - a. Consultant to develop two alternative design concepts that explore how plantings, stone, wayfinding sign placement, and decorative pavements can be leveraged to beautify the roundabouts and surrounding areas
 - b. Alternatives will be presented using simple diagrammatic color plan renderings, precedent imagery, and sketches as needed to communicate design intent.
3. Village staff meeting # 1
 - a. Consultant to meet with Village Staff to review design alternatives and solicit feedback.
 - b. Up to one round of revisions is anticipated to prepare concept alternatives for presentation to the plan commission.
4. Plan Commission meeting #1
 - a. Design alternatives will be presented to the Village Plan Commission to receive feedback and select a preferred design direction
5. Preferred concept design
 - a. Based on feedback from Village Staff and the Plan Commission, one design alternative will be selected and refined.
 - b. The preferred concept will be presented via plan rendering, precedent imagery, and sketches as needed to communicate design intent.
 - c. A high level, conceptual opinion of probable cost will be developed for preliminary budgeting

6. Village staff meeting #2
 - a. Internal meeting with Village staff to review preferred concept design and solicit feedback
 - b. One revision to incorporate comments is anticipated prior to meeting with WISDOT staff.
7. WISDOT Meeting #2: Coordination meeting
 - a. Meet with Village and WISDOT Staff to gain input on preferred concept design
 - b. One revision to incorporate comments is anticipated
8. Plan Commission meeting #2
 - a. Present the preferred and vetted alternative concept to the Plan Commission for Approval
 - b. If needed, up to one additional round of revisions is included to incorporate Plan Commission Comments

Assumptions:

1. The concept will be developed based on aerial photography, survey and design data made available by WISDOT staff and consultant.
2. The following items are not included in this scope of services but can be provided for an additional fee:
 - a. Site survey
 - b. 3D visualization
 - c. Construction design drawings and specifications
 - d. Irrigation design
 - e. Construction administration
 - f. Regulatory permitting

Schedule: The project is expected to begin in June 2023 with final schematic design drawings delivered by December 2023.

Payment: The lump sum fee is \$14,900 including expenses and equipment.

The payment method, basis, frequency and other special conditions are set forth in attached Exhibit A-2.

This Agreement for Professional Services, attached General Conditions, Exhibits and any Attachments (collectively referred to as the "Agreement") supersedes all prior contemporaneous oral or written agreements and represents the entire understanding between Client and Consultant with respect to the services to be provided by Consultant hereunder. In the event of a conflict between the documents, this document and the attached General Conditions shall take precedence over all other Exhibits unless noted below under "Other Terms and Conditions". The Agreement for Professional Services and the General Conditions (including scope, schedule, fee and signatures) shall take precedence over attached Exhibits. This Agreement may not be amended except by written agreement signed by the authorized representatives of each party.

Other Terms and Conditions: Other or additional terms contrary to the General Conditions that apply solely to this project as specifically agreed to by signature of the Parties and set forth herein:
None.

[https://sehincazure-my.sharepoint.com/personal/nday_sehinc_com/documents/desktop/project folders/_pursuits/mcfarland siggelkow/letter agreement_mcfarland siggelkow la_05312023.docx](https://sehincazure-my.sharepoint.com/personal/nday_sehinc_com/documents/desktop/project%20folders/_pursuits/mcfarland%20siggelkow/letter%20agreement_mcfarland%20siggelkow%20la_05312023.docx)

Short Elliott Hendrickson Inc.

Village of McFarland

By: _____
Nate Day, AICP
Title: Project Manager

By: _____

Title: _____

Exhibit A-2
to Agreement for Professional Services
Between Village of McFarland (Client)
and
Short Elliott Hendrickson Inc. (Consultant)
Dated June 1, 2023

Payments to Consultant for Services and Expenses
Using the Lump Sum Basis Option

The Agreement for Professional Services is amended and supplemented to include the following agreement of the parties:

A. Lump Sum Basis Option

The Client and Consultant select the Lump Sum Basis for Payment for services provided by Consultant. During the course of providing its services, Consultant shall be paid monthly based on Consultant's estimate of the percentage of the work completed. Necessary expenses and equipment are provided as a part of Consultant's services and are included in the initial Lump Sum amount for the agreed upon Scope of Work. Total payments to Consultant for work covered by the Lump Sum Agreement shall not exceed the Lump Sum amount without written authorization from the Client.

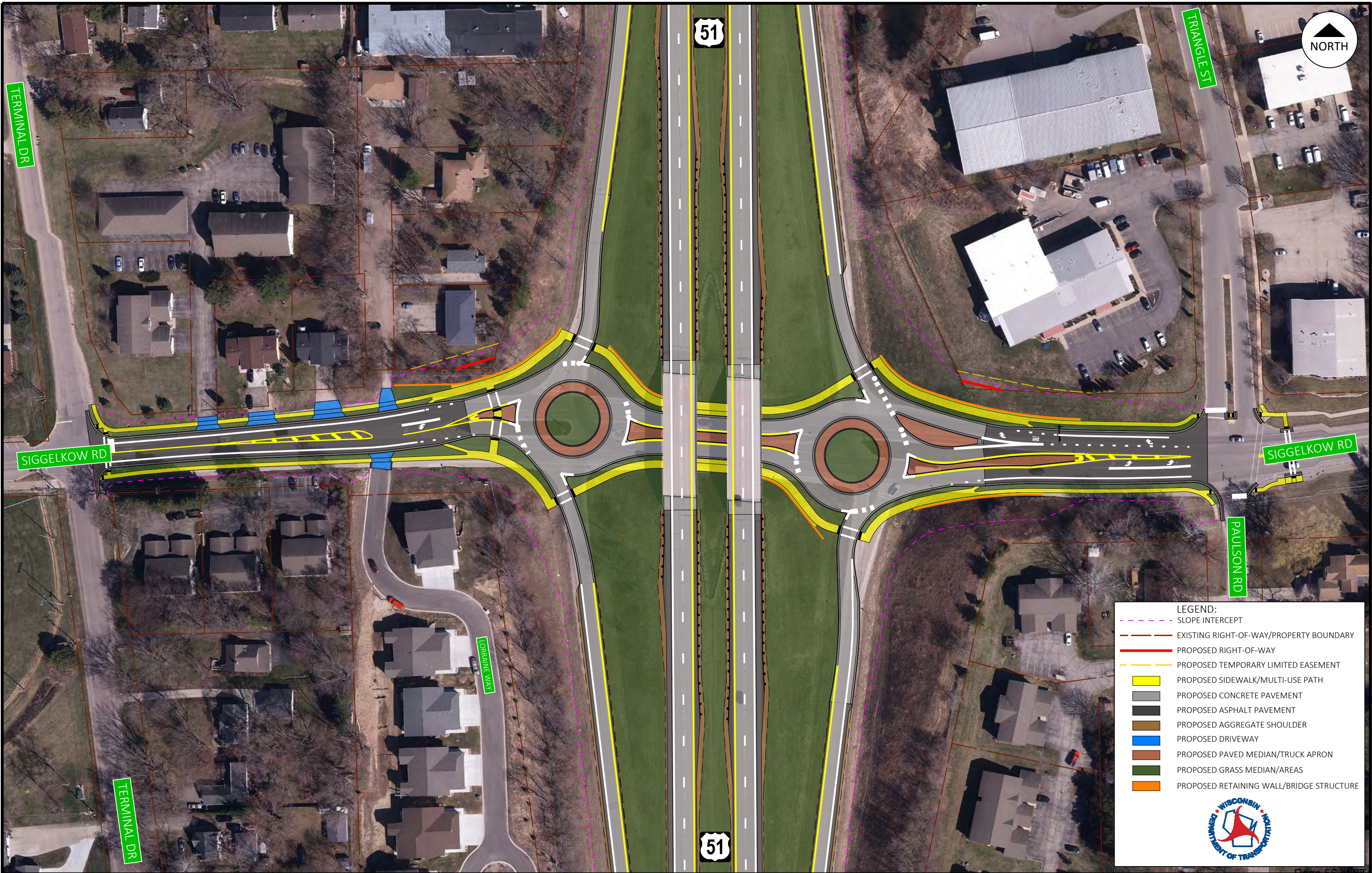
The Lump Sum amount includes compensation for Consultant's services and the services of Consultant's Consultants, if any for the agreed upon Scope of Work. Appropriate amounts have been incorporated in the initial Lump Sum to account for labor, overhead, profit, expenses and equipment charges. The Client agrees to pay for other additional services, equipment, and expenses that may become necessary by amendment to complete Consultant's services at their normal charge out rates as published by Consultant or as available commercially.

B. Expenses Not Included in the Lump Sum

The following items involve expenditures made by Consultant employees or professional consultants on behalf of the Client and shall be paid for as described in this Agreement.

1. Expense of overtime work requiring higher than regular rates, if authorized in advance by the Client.
2. Other special expenses required in connection with the Project.
3. The cost of special consultants or technical services as required. The cost of subconsultant services shall include actual expenditure plus 10% markup for the cost of administration and insurance.

The Client shall pay Consultant monthly for expenses not included in the Lump Sum amount.



McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 20, 2023

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion regarding updates to the Village's Zoning Code related to accessory uses and structures.

PREVIOUS ACTION:

May 16, 2023, Plan Commission meeting to review comparison of accessory structure regulations with peer communities in Dane County.

ISSUE SUMMARY:

As part of the Village's approved Capital Improvement Plan, the Department/Plan Commission will be undertaking a comprehensive rewrite of the Village's Zoning Code beginning in 2024, with adoption likely in 2025. One area of the code that has been increasingly problematic to enforce is accessory uses and structures. The Department has had to enforce ordinance provisions that may run contrary to modern planning best practices or historically acceptable neighborhood development patterns. Staff is proposing to complete a minor update to the Zoning Code focused on accessory uses and structures prior to the comprehensive rewrite in 2024. General areas of modification may include:

- **Definitions.** Clarifying definitions of what is an accessory use and structure, and when a permit is required.
- **Defining Categories.** Consider classifying accessory structures into those that are permitted by right vs. those that may be permitted with a conditional use permit.
- **Placement Restrictions.** Consider allowances for accessory structures in side or front yards. Currently, accessory structures are only allowed in rear yards only.
- **Maximum Size Restrictions.** Addressing the maximum percentage of required yards that may be occupied by an accessory structure. Currently, the size is limited to 40% of the rear yard area; however, the existing code is unclear whether the 40 percent is cumulative or per structure and the threshold of 40% should be revisited.
- **Setback and Height Restrictions.** Consider variations in accessory structure bulk requirements and placement restrictions based on the type of zoning district and/or size of structure (major vs. minor). For example, small R-1B lots are subject to the same accessory structure provisions of larger RH-1 lots.
- **Building Materials.** Currently the Zoning Code provides an accessory structure needs to be similar in style and materials to the principal buildings in the neighborhood. This is vague and broad.
- **Accessory Dwelling Units.** Establishing regulations to allow for accessory dwelling units. Accessory dwelling units are currently not allowed under the Zoning Code. The



accepted 2023 McFarland Housing Needs Assessment recommends amending the Zoning Code to allow accessory dwelling units in some capacity. Staff desires to address this component as part of the entire Zoning Code rewrite in 2024 as it relates more to uses of property versus dimensional and locational placement of accessory structures.

Within the packet is a redline copy of proposed changes to the Zoning Code based on the prior analysis and discussion at the May 16, 2023 Plan Commission meeting. The packet also includes an example figure from the City of Madison Zoning Code that illustrates where on a property an accessory structure could be located with the proposed draft changes to the Zoning Code. Staff will review these draft changes with the Plan Commission and then determine based on discussion if we are ready to proceed with scheduling a public hearing.

FINANCIAL/BUDGET IMPACT:

This project will be completed utilizing internal staff with a review of the draft ordinance by the Village Attorney.

VILLAGE PLAN REFERENCE:

Sustainability Plan, 2021. - Within the Land Use & Development Action category, a mid-term action identifies the following: *Amend the zoning ordinances to allow for more housing options, including accessory dwelling units and attached unit housing.*

ORDINANCE REFERENCE:

[Sec. 62-227. - Accessory uses, buildings or structures.](#)

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This item is for discussion only.

ATTACHMENTS:

1. Draft Ordinance 2023-06
2. City of Madison Figure 11 Accessory Building Placement

**VILLAGE OF MCFARLAND
ORDINANCE 2023-06**

**AMENDMENTS TO SEC. 62-227 ACCESSORY USES, BUILDINGS OR
STRUCTURES**

NOW THEREFORE, be it ordained by the Village Board of the Village of McFarland, in the State of Wisconsin, as follows:

SECTION 1: **AMENDMENT** “62-227 Accessory Uses, Buildings Or Structures” of the Village of McFarland Municipal Code is hereby *amended* as follows:

BEFORE AMENDMENT

62-227 Accessory Uses, Buildings Or Structures

- (a) *Building permit required.* No owner shall, within the Village, build, construct, use or place any type of an accessory building, including prefabricated accessory buildings, until a building permit shall have first been obtained from the Building Inspector. Application for an accessory building permit shall be made in writing to the Building Inspector. With such application, there shall be submitted a fee pursuant to the Village Building Code and a complete set of plans and specifications, including a plot plan or drawing accurately showing the location of the proposed accessory building with respect to adjoining alleys, lot lines and buildings. If such application meets all requirements of this Section, the application shall be approved.
- (b) *Principal structure to be present.* An accessory building or structure in any zoning district shall not be established prior to the principal building or structure being present or under construction. Any accessory building or structure shall conform to the applicable regulations of the district in which it is located, except as specifically otherwise provided.
- (c) *Placement restrictions.* An accessory building, use or structure may be established subject to the following regulations:
 - (1) *Percentage of required rear yard occupied.* No detached accessory building shall occupy more than 40 percent of the area of the required rear yard.
 - (2) *Height of accessory buildings in required rear yards.* No detached accessory building located in a required rear yard shall exceed 15 feet in height.
 - (3) *Temporary storage buildings.* Temporary buildings for storage of building materials and equipment and for construction purposes are allowed when on the same or adjoining lot as the principal use for a period not to exceed the duration of such construction.
 - (4) *Temporary offices.* Temporary real estate offices for purposes of conducting sale of property in the tract are allowed where such temporary office is located for a period not to exceed two years from the date of start of construction or

- one year after the initial occupancy of an improvement, whichever is lesser.
- (d) *Use restrictions in Residential District.* Accessory uses or structures in residential districts shall not involve the conduct of any business, trade or industry except for home occupations as defined herein and shall not be occupied as a dwelling unit. Accessory buildings shall not be used for residential purposes.
 - (e) *Accessory buildings in Special and Residence Districts.*
 - (1) *Location.* No accessory building in a Special or Residence District shall be erected in any yard except a rear yard, and all accessory buildings shall be located not less than three feet from all lot lines and from any other building or structure on the same lot except as provided hereunder.
 - (2) *On reversed corner lots.* On a reversed corner lot in a Residence or Special District, no accessory building shall be located in a required rear yard within 25 feet of an adjoining property to the rear in a Residence District, except when the accessory building is located not closer to the side lot line abutting the street than the least depth which would be required under this Chapter for the front yard of such adjacent property to the rear and in no case shall any part of an accessory building project beyond the principal building to which it is accessory.
 - (3) *Materials.* No accessory building located in a Special or Residential District shall be constructed or finished with nonresidential building materials such as nondecorative concrete block or nondecorative plywood. Furthermore, all accessory buildings within Special or Residential Districts shall be constructed in a similar style and with similar materials to the principal buildings in the neighborhood.
 - (f) *Accessory buildings in Commercial and Manufacturing Districts.* Accessory buildings in Commercial or Manufacturing Districts shall not be located nearer than ten feet from the rear lot line.
 - (g) *Landscaping uses.* Accessory vegetation used for landscaping and decorating may be placed in any required yard area. Permitted vegetation include trees, shrubs and flowers and gardens. Under no circumstances may a tent be used as a dwelling or an accessory structure.
 - (h) *Garages in embankments in front yards.* Where the mean natural grade of a front yard is more than eight feet above the curb level, a private garage may be erected within the front yard, provided as follows:
 - (1) That such private garage shall be located not less than five feet from the front lot line;
 - (2) That the floor level of such private garage shall be not more than one foot above the curb level; and
 - (3) That at least one-half the height of such private garage shall be below the mean grade of the front yard.
 - (i) *Garages on water front lots.* In order to preserve the quality and beauty of our lakes and waterways, a private detached garage may be erected within the front or street yard as follows:
 - (1) There must be particular physical or topographical conditions of the property that prevent locating the garage within the standard building envelope of the

lot.

- (2) The garage must comply with all fire separation requirements of the applicable building code.
- (3) The garage shall be located not less than ten feet from the street lot line.
- (j) *Outdoor lighting.* Outdoor lighting installations shall not be permitted closer than three feet to an abutting property line and, where not specifically otherwise regulated, shall not exceed 15 feet in height and shall be adequately shielded or hooded so that no excessive glare or illumination is cast upon the adjoining properties.
- (k) *Lawn accessories.* Walks, drives, paved terraces and purely decorative garden accessories such as pools, fountains, statuary, sun dials, flagpoles, etc., shall be permitted in setback areas but not closer than three feet to an abutting property line other than a street line.
- (l) *Retaining walls.* Retaining walls may be permitted anywhere on the lot; provided, however, that no individual wall shall exceed six feet in height, and a terrace of at least three feet in width shall be provided between any series of such walls.
- (m) *Terrace area restrictions.* In addition to the definitions and restrictions contained in Chapter 53, Article IX, and Section 59-20, no person shall place any accessory structure or use, including landscaping ornaments, stones and basketball backboard/hoops, in the terrace area.
- (n) *Outdoor furnaces.* Outdoor furnaces are prohibited in all zoning districts.

(Code 1998, § 13-1-160; Ord. No. 2003-03, § 1(13-1-160), 3-24-2003; Ord. No. 2006-02, §§ 1, 2, 4-10-2006; Ord. No. 2009-08, § 1, 3-23-2009; Ord. No. 2009-11, §§ 1, 2, 4-27-2009)

AFTER AMENDMENT

62-227 Accessory Uses, Buildings Or Structures

- (a) *Building permit required.* No owner shall, within the Village, build, construct, use or place any type of an accessory building, including prefabricated accessory buildings, until a building permit shall have first been obtained from the Building Inspector. Application for an accessory building permit shall be made in writing to the Building Inspector. With such application, there shall be submitted a fee pursuant to the Village Building Code and a complete set of plans and specifications, including a plot plan or drawing accurately showing the location of the proposed accessory building with respect to adjoining alleys, lot lines and buildings. If such application meets all requirements of this Section, the application shall be approved.
 - (1) Permit Exemptions. Children's play structures, including elevated play structures, swing sets, slides, but excluding enclosed playhouses, shall not require a building permit but shall meet the requirements of this section. Play structures shall not be used for storage.
- (b) *Principal structure to be present.* An accessory building or structure in any zoning district shall not be established prior to the principal building or structure being present or under construction on the zoning lot. Any accessory building or structure shall conform to the applicable regulations of the district in which it is located, except as

specifically otherwise provided.

- (c) ~~Placement restrictions~~ Temporary Accessory Uses, Buildings or Structures. ~~An~~ Temporary accessory building, use or structure may be established subject to the following regulations:
- (1) ~~Percentage of required rear yard occupied. No detached accessory building shall occupy more than 40 percent of the area of the required rear yard.~~
 - (2) ~~Height of accessory buildings in required rear yards. No detached accessory building located in a required rear yard shall exceed 15 feet in height.~~
 - (3) *Temporary storage buildings.* Temporary buildings for storage of building materials and equipment and for construction purposes are allowed when on the same or adjoining lot as the principal use for a period not to exceed the duration of such construction.
 - (4) *Temporary offices.* Temporary real estate offices for purposes of conducting sale of property in the tract are allowed where such temporary office is located for a period not to exceed two years from the date of start of construction or one year after the initial occupancy of an improvement, whichever is lesser.
- (d) *Use restrictions in Residential District.* Accessory uses or structures in residential districts shall not involve the conduct of any business, trade or industry except for home occupations as defined herein and shall not be occupied as a dwelling unit. Accessory buildings shall not be used for residential purposes.
- (e) *Accessory buildings in Special and Residence Districts.*
- (1) Maximum Size. The cumulative total area of all detached accessory buildings shall not occupy more than forty (40) percent of the area of the required rear yard, or in the case of residence districts, the ground floor size of the principal structure on the zoning lot, whichever is less.
 - (2) Maximum Height. No detached accessory building shall exceed fifteen (15) feet in height with the following exceptions:
 - a. The maximum height shall not exceed twenty (20) feet in height in the RH-1 Rural Homes District.
 - b. The maximum height in CO, PD, and PD-I Districts shall be as established by the Plan Commission as part of an approved site design review permit.
 - c. Agricultural accessory buildings in the A1 Agriculture-Transition District have no height limitation.
 - (3) Location. Accessory buildings and structures may be located in the following locations: ~~No accessory building in a Special or Residence District shall be erected in any yard except a rear yard, and all accessory buildings shall be located not less than three feet from all lot lines and from any other building or structure on the same lot except as provided hereunder.~~
 - a. Within the buildable lot area for principal structures based on the district requirements for the property.
 - b. In a required rear yard setback a minimum of three (3) feet from any property line.
 - c. In a side yard setback, if located behind the rear plane of the principal building at the time of construction, a minimum of three (3) feet from

- any property line.
- d. In the side or rear yard setback of a corner lot, a minimum distance from the street side lot line equal to the setback requirement for a principal building in the district.
 - e. In the rear yard setback of a reversed corner lot, no closer to the street side lot line than the front yard setback of the adjacent property, for the first twenty-five (25) feet from the common property line. Beyond this distance, the minimum setback shall be equal to the setback required for a principal building in the district.
- (4) ~~On reversed corner lots. On a reversed corner lot in a Residence or Special District, no accessory building shall be located in a required rear yard within 25 feet of an adjoining property to the rear in a Residence District, except when the accessory building is located not closer to the side lot line abutting the street than the least depth which would be required under this Chapter for the front yard of such adjacent property to the rear and in no case shall any part of an accessory building project beyond the principal building to which it is accessory.~~ *Materials.* No accessory building ~~located in a Special or Residential District~~ shall be constructed or finished with nonresidential building materials such as nondecorative concrete block or nondecorative plywood. Unless exempted below, Furthermore, all accessory buildings within Special or Residential Districts shall be constructed or finished in a similar in a complementary architectural style and with complementary similar materials to the principal buildings on the zoning lot or adjacent zoning lots in the neighborhood.
- a. Agricultural accessory buildings in the A1 Agriculture-Transition District.
 - b. Children's play structures.
 - c. Prefabricated accessory sheds less than two hundred (200) square feet in size.
- (f) *Accessory buildings in Commercial and Manufacturing Districts.* ~~Acessory buildings in Commercial or Manufacturing Districts shall not be located nearer than ten feet from the rear lot line.~~
- (1) Maximum Size. The cumulative total area of all detached accessory buildings on a zoning lot shall maintain conformance with the lot coverage requirements for the district in which the property is located.
 - (2) Maximum Height. The maximum height shall not exceed the maximum height for principal structures for the district in which the property is located or as approved by the Plan Commission as part of an approved site design review permit.
 - (3) Location. Accessory buildings and structures may be located in the following locations:
 - a. Within the buildable lot area for principal structures based on the district requirements for the property.
 - b. In a required rear yard setback a minimum of five (5) feet from the

rear lot line when adjacent to Commercial and Manufacturing Districts and ten (10) feet from the rear lot line when adjacent to Residence Districts.

- c. In a side yard setback, if located behind the rear plane of the principal building at the time of construction, a minimum of five (5) feet from any property line.
- d. In the side or rear yard setback of a corner lot, a minimum distance from the street side lot line equal to the setback requirement for a principal building is the district.
- e. In the rear yard setback of a reversed corner lot, no closer to the street side lot line than the front yard setback of the adjacent property, for the first twenty-five (25) feet from the common property line. Beyond this distance, the minimum setback shall be equal to the setback required for a principal building in the district.

(4) Materials. No accessory building shall be constructed or finished with noncommercial building materials such as nondecorative concrete block or nondecorative plywood. All accessory buildings shall be constructed or finished in a complementary architectural style, materials, and colors to the principal building on the zoning lot.

- (g) *Landscaping uses.* Accessory vegetation used for landscaping and decorating may be placed in any required yard area. Permitted vegetation include trees, shrubs and flowers and gardens. Under no circumstances may a tent be used as a dwelling, ~~or~~ an accessory storage structure, or children's playhouse.
- (h) *Garages in embankments in front yards.* Where the mean natural grade of a front yard is more than eight feet above the curb level, a private garage may be erected within the front yard, provided as follows:
 - (1) That such private garage shall be located not less than five feet from the front lot line;
 - (2) That the floor level of such private garage shall be not more than one foot above the curb level; and
 - (3) That at least one-half the height of such private garage shall be below the mean grade of the front yard.
- (i) *Garages on water front lots.* In order to preserve the quality and beauty of our lakes and waterways, a private detached garage may be erected within the front or street yard as follows:
 - (1) There must be particular physical or topographical conditions of the property that prevent locating the garage within the standard building envelope of the lot.
 - (2) The garage must comply with all fire separation requirements of the applicable building code.
 - (3) The garage shall be located not less than ten feet from the street lot line.
- (j) *Outdoor lighting.* Outdoor lighting installations shall not be permitted closer than three feet to an abutting property line and, where not specifically otherwise regulated, shall not exceed 15 feet in height and shall be adequately shielded or hooded so that no excessive glare or illumination is cast upon the adjoining properties.

- (k) *Lawn accessories.* Walks, drives, paved terraces and purely decorative garden accessories such as pools, fountains, statuary, sun dials, flagpoles, etc., shall be permitted in setback areas but not closer than three feet to an abutting property line other than a street line.
- (l) *Retaining walls.* Retaining walls may be permitted anywhere on the lot; provided, however, that no individual wall shall exceed six feet in height, and a terrace of at least three feet in width shall be provided between any series of such walls.
- (m) *Terrace area restrictions.* In addition to the definitions and restrictions contained in Chapter 53, Article IX, and Section 59-20, no person shall place any accessory structure or use, including landscaping ornaments, stones, children's play structures and basketball backboard/hoops, in the terrace area.
- (n) *Outdoor furnaces.* Outdoor furnaces are prohibited in all zoning districts.
- (o) *Restrictions on Placement of Accessory Buildings in Easements.* No accessory building or structure of any kind shall be placed or maintained in an easement designated for public or private utility, public sewer, public water, stormwater, drainage, public access or other purpose where placement would interfere with the purpose of the easement in the determination of the Director of Public Works. This paragraph shall apply in addition to all accessory building setback standards in this section.

(Code 1998, § 13-1-160; Ord. No. 2003-03, § 1(13-1-160), 3-24-2003; Ord. No. 2006-02, §§ 1, 2, 4-10-2006; Ord. No. 2009-08, § 1, 3-23-2009; Ord. No. 2009-11, §§ 1, 2, 4-27-2009)

PASSED AND ADOPTED BY THE VILLAGE OF MCFARLAND VILLAGE BOARD

_____.

	AYE	NAY	ABSENT	ABSTAIN
Brandt	_____	_____	_____	_____
Brassington	_____	_____	_____	_____
Clow	_____	_____	_____	_____
Fessler	_____	_____	_____	_____
Flaherty	_____	_____	_____	_____
Jerke	_____	_____	_____	_____
Wreh	_____	_____	_____	_____

Presiding Officer

Attest

Carolyn Clow, Village President,
Village of McFarland

Cassandra Suettinger, Village Clerk-
Treasurer, Village of McFarland

Figure I1: Accessory Building Placement Accessory buildings may be located in shaded areas.

