

Tuesday, June 6, 2023

6:30 PM

McFarland Municipal Center
Community Room

AGENDA

You are invited to this meeting through a Zoom webinar. The public may attend in-person or remotely through the webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/85646335462>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 856 4633 5462

Press *9 to raise/lower hand. Press *6 to mute/unmute.

1. CALL TO ORDER, ROLL CALL.

2. PUBLIC APPEARANCES.

- a. This is an opportunity for members of the public to address the Parks and Recreation Committee for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Committee about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Committee should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Committee for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to public.works@mcfarland.wi.us to be included as part of the meeting.

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

3. APPROVAL OF MINUTES.

- a. Motion to approve the minutes of the May 2, 2023 Parks & Recreation Committee meeting.

4. BUSINESS.

- a. Discussion and action to make a recommendation to the Village Board regarding a proposal to develop an Inclusive Playground at Waubesa Intermediate School with the McFarland School District.
- b. Discussion and action to make a recommendation to the Village Board regarding a change order to construct Phase 1(b) for the Inclusive Playground at Waubesa Intermediate School with the McFarland School District.
- c. Discussion and action to make a recommendation to the Village Board regarding a proposal for plan, design and bidding services for Phase 2 for the Inclusive Playground at Waubesa Intermediate School with the McFarland School District.
- d. Update regarding Community Park.
- e. Update regarding the 2023 McDaniel Park Beach Improvements Project.

- f. Introduction regarding the 2024-2028 Capital Improvement Plan (CIP) including 10 year plan for park system improvements.

5. SCHEDULE NEXT MEETING DATE.

- a. Wednesday, July 5th, 2023 at 6:30 pm

6. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or village.clerk@mcfarland.wi.us by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

Parks and Recreation Committee
June 6, 2023 at 6:30 PM

Public Statement: Pickleball Courts Usage

Anita Iwanski
5312 Black Walnut Drive
McFarland, WI
24-year resident

I am here tonight to provide anecdotal feedback about the pickleball courts and usage, express concern about the fundraising tournament that was approved to use the courts for an entire weekend, share information about the CAPA grant program, and wrap-up with a couple suggestions.

Pickleball Court Design and Usage

Everyone that has played on the courts only have positive comments about the design, amenities and lights. These courts have quickly become popular with players from all over Dane County. Kudos to the designers, planners, Sayer and you.

Part of the culture around pickleball is “open play.” If there is a group for open play, you can just show up and join the rotation to play. The paddle racks facilitate an equitable rotation of players and having multiple paddle racks as we do at the McFarland courts is a bonus. Within a few weeks of the courts opening, a group of open play users started showing up every day of the week from about 7:30 AM to 11 AM. On weekdays, typically 4 courts are used by this group. On recent weekend mornings, all the courts have been in use. The open play group usually will use 5 to 6 courts and private groups fill the rest. Today, a weekday morning, all 8 courts were in use--shared similarly as on a weekend.

Concerns About Fundraising Tournament

At the Parks and Recreation Committee meeting in April, a request regarding a tournament on Saturday June 16th and Sunday June 17th was approved. I included the tournament sign-up. According to the minutes, this committee agreed that future items to discuss prior to the next season included to establish fees and a tournament request process. There does appear to be an approval process in Village Ordinance Sec. 44-24. - Reservation of park space. This ordinance lists 8 reasons for denial including: (5) If it is for a use of the park or park facility at a date and time when, in addition to the proposed use, anticipated nonexclusive use by others of the park or park facility is expected and would be seriously adversely affected. The approval of the tournament was granted prior to the courts being open so it was hard to predict this popularity. At this point, it is too late to consider that this tournament start at noon or limit the number of courts reserved. Fortunately, the tournament is advertised as a one-day event instead of the entire weekend. The open play group plans to play at an alternate location that morning. Registration fees are \$50 per person for the first event and \$25 for a second event. I estimate that registration fees raised to date is over \$4000. My intent today is to voice my concern as I anticipate tournament requests will only increase especially with this potential profit margin. I strongly suggest

that approval of programmed events for this season be limited and consideration only be given to McFarland affiliated programs.

CAPA Grant Program Information

CAPA is the Capital Area Pickleball Association. I included their informational brochure. Their purpose is to promote and support pickleball in the Madison area. CAPA offers a community grant program for Court Enhancements of up to \$500 over 2 years. A CAPA member must submit the request and invoices for reimbursement. In Monona, items were purchased from private funds and the items donated to the park. Sayer said that this would be the best way to handle it in McFarland also. I will work with Sayer about specific items and then purchase items out of private funds.

Suggestions

- If/when signs are updated, replace the term “open play” with “open to the public” because of the specific meaning of open play in the pickleball community. Typically, when courts are scheduled as “open play,” private group play is not allowed. Add a contact phone number for the Parks department.
- Court etiquette signs are posted on the outside of the courts by the entrances. Post this same signage inside the courts’ boulevard.
- At the end of this season, request public comment on any proposed changes to the use of these courses.

VILLAGE OF MCFARLAND
Parks and Recreation Committee Minutes

Tuesday, May 2, 2023 - 6:30 PM

1. CALL TO ORDER, ROLL CALL.

Trustee Jerke called the regular meeting of the Parks and Recreation Committee to order at 6:30 PM in the Community Room of the Municipal Center. The meeting was also held via Zoom webinar.

Members present: TJ Jerke, Luke Fessler, Sarah Kuba, Tanya Lancaster, Justin Rupert, Lori Wisnicky, Jessica Tokar

Members not present:

Staff Present: Village Administrator Matt Schuenke, Parks Superintendent Sayer Larson, Assistant to the Public Works Director Aimee Irwin

2. PUBLIC APPEARANCES.

- a. *This is an opportunity for members of the public to address the Parks and Recreation Committee for items that are not on the agenda. Please remember this is a hybrid meeting conducted in person and through the Zoom online meeting platform. Meeting attendees wishing to address the Committee about items not on the agenda may do so at this time. Zoom attendees should type their name and address in the Question and Answer feature within the Zoom online meeting platform at this time. Members of the public who are present in person and wish to address the Committee should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your comments to the Committee for their consideration. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to public.works@mcfarland.wi.us to be included as part of the meeting.*

Members of the public may also speak during their selected agenda item as they designate on the public comment form or in the Question and Answer feature on Zoom.

None.

3. APPROVAL OF MINUTES.

- a. *Motion to approve the minutes of the April 6, 2023 Parks & Recreation Committee meeting.*

Motion by Trustee Jerke, seconded by Rupert, to approve the minutes of the April 6, 2023 Parks & Recreation Committee meeting. Motion carries 7 - 0 - 0.

4. BUSINESS.

- a. *Discussion regarding the overview of the committee's roles and responsibilities*
Schuenke provided an overview of the committee's roles and responsibilities as detailed within village ordinances.

- Lancaster asked if there would be an annual review of the fees related to parks.

Schuenke responded that this could be done and suggested this occurs during the summer prior to the budget season.

b. Discussion regarding the park tour scheduled for May 11, 2023

Larson provided an overview of the park tour scheduled for May 11, 2023. The tour will begin at 6:00 p.m. beginning at Orchard Hill Park. Transportation will be provided for the tour.

c. Update regarding McDaniel Park beach improvement project

Larson provided an overview of the McDaniel Park beach improvement project. Larson explained about recent discussions that have occurred regarding rocks located in the water from the DNR. Larson explained there are three options available for the project, which are (1) proceed as planned (2) proceed with a dredging permit and not take on the project in 2023 or (3) proceed with no project.

- Trustee Fessler asked for clarification about the dredging up to 2 cubic yards per year. Larson stated that state statute does allow for dredging up to 2 cubic yards per year and would not require a dredging permit.
- Trustee Fessler asked what the depth is in the swim area. Larson responded that the depth is about 2 1/2 feet.
- Lancaster asked if the DNR provided why this was quality habitat and why they would not permit the dredging permit. Larson stated they did provide an explanation of why the habitat is good and why it could not be moved.
- Trustee Fessler asked if the DNR has evidence that walleye spawning is occurring in this area. Larson stated that evidence was not provided but it appears to be quality habitat.
- Lancaster asked if any other similar projects experienced dredging for their project. Larson explained that most of the similar projects were existing beaches or on the leeward side of the lake, which typically doesn't have this structure.
- Rupert asked if we continued with the dredging permit with explanation would they continue to deny the request. Larson explained that the DNR stated they would want the habitat to stay in its current location.
- Kuba asked how far into the project purchases of items had occurred. Larson explained that all actions were halted when the DNR expressed their concerns.

Schuenke explained the objective this evening was to notify the committee that the project would not be completed by June 1st. The county remains committed but understands if the project does not proceed or adjusts. If the option is chosen to pursue a dredging permit, the project extends into next year as the village will need to scientifically refute the DNR's argument that the area is quality fish spawning habitat. Schuenke added that the project would be brought back to another committee meeting for committee recommendation on how to proceed.

d. Update regarding various parks projects

Larson provided an overview regarding the Brandt Park ball diamond sanitary line break, an updated Skate Park construction timeline, and the Community Park project.

- Kuba asked when the Brandt Park outfield would be open for use. Larson explained approximately a month down the road.
- Trustee Fessler asked if the power issue at Community Park was in connection with the utility. Larson stated that the control panel was causing the delay.
- Jerke asked for an update about the Lions efforts related to the Skate Park. Schuenke stated he has not received an update recently but would follow-up.
- Trustee Fessler asked if project updates and expense changes would be brought to committee regarding Community Park. Larson stated that an update could be brought back to committee.

e. Discussion regarding the McFarland Bird Festival event scheduled for May 13, 2023

Larson notified the committee of the Bird Festival event that will be held at Lewis Park shelter on May 13, 2023.

f. Discussion regarding a committee work plan

Trustee Jerke explained about recent updates to the village board handbook which added language about a possible annual committee work plan.

Schuenke explained that the Village Board has a similar work plan created that is utilized to guide certain items to scheduled meetings.

5. SCHEDULE NEXT MEETING DATE.

a. Tuesday, June 6, 2023 at 6:30 p.m.

6. ADJOURNMENT.

Motion by Rupert, seconded by Trustee Fessler, to adjourn at 7:36 p.m.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin board in accordance with Open Meetings Law.

Respectfully submitted,
Aimee Irwin
Assistant to the Public Works Director

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 6, 2023

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding a proposal to develop an Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

Please find enclosed a proposal between the School District and Village to develop an inclusive park and supporting amenities at Waubesa Intermediate School. We have been working on it conceptually to break into two phase for more than a year now. The first phase would begin this Fall and be completed by the Spring with the second phase to finish the park slated for next Summer in time for school next year. The appendices include the conceptual site plan, plans for Phase 1, and the Village's plan from 2020 on the development of an inclusive park. Our objective will be to review the proposal and obligations between the parties before the process begins to formalize these elements within each of our two entities.

FINANCIAL/BUDGET IMPACT:

Phase 1(a) for the facility is estimated between \$700,000 to \$900,000 with Phase 1(b) around \$200,000 to provide access to the site as well as necessary utilities. Phase 2 of the project will largely be dependent on the design of the park that is intended and could range from \$1-2 million. We will work more on that through the planning process outlined in the proposal for this work to better identify these costs. The Village and School District will share in the costs to bring the facility forward helping to mitigate the cost impact for any one party.

VILLAGE PLAN REFERENCE:

[Inclusive Playground Master Plan 2020](#)

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended Action:

Motion, second to recommend approval to the Village Board regarding a proposal to develop an Inclusive Playground at Waubesa Intermediate School with the McFarland School District.



ATTACHMENTS:

1. District-Village WIS Inclusive Park Planning Outline 05262023 mgs
2. Appendix A - Site Plan
3. Appendix B - Phase 1(a)
4. Appendix C - Phase 1(b)
5. Appendix D - Inclusive Park Plan



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McFarland, WI 53558 | 608.838.4500

Memorandum

To: School Board for School District of McFarland
Village Board for Village of McFarland

From: Jeff Mahoney, Director of Business
Matthew G. Schuenke, Village Administrator

Date: May 25, 2023

Re: Proposal for the Development of an Inclusive Park at Waubesa Intermediate School

Executive Summary

The District and Village are interested in developing an inclusive park at Waubesa Intermediate School. Please see Appendix A for the updated conceptual site plan outlining various aspects of the improvements proposed. The park when complete would better support curriculum, recreation, athletics, and the Community at large while serving a broader demographic. This work is guided by Village planning efforts from 2020 for a new inclusive playground within the system and desires by the District to improve their amenities. This memorandum is meant to provide background and serve as a guide for how the project is to be implemented in partnership between the two entities.

Project Phases

Phase 1

- (a) Facility – The District will be responsible to construct a facility that supports both their softball program and also the adjoining park to be constructed. This facility will provide restrooms, covered shelter, concessions, and outdoor seating. The project will need to also address associated landscaping and site work around the facility as well as tie into the utilities to support it. A draft conceptual layout of the floor plan is attached as Appendix B.

- (b) Site Development/Utilities – The Village will be responsible for site development and utilities in order to provide access to the proposed facility. Site development will consist of new driveway access, accessible parking, driveway/pedestrian access. Utilities will consist of new laterals for water and sanitary sewer to the facility, and associated stormwater management that is needed to control/treat runoff. The design and specifications for this work is included within Appendix C. Construction is being pursued via a change order to an existing Village street construction project already awarded for this construction cycle.

Phase 2

The current playground to support school curriculum is original to the facility constructed in 1999 and in need of replacement. The current location of both hard surface area and current playground would be shifted to the southeast of the existing facility.

The Village completed a plan in 2020 to develop an inclusive park at nearby Cedar Ridge Park (Appendix D). Development of the inclusive park at this location to address both objectives was considered mutually beneficial to both entities. The work then identified in Phase 2 would reconstruct the playground, swing amenities, and introduce new elements identified within the Village plans. Planning on the development of these amenities would be completed by School Staff, Village Staff, Village Committee, and public input where applicable.

Additionally, the reconstruction of the WIS athletic field would need to be updated to accommodate more sports, less down time for grass growth, and meet stormwater needs. This field will be needed to support district athletics, community recreation, and school activities but also available to the public for use as part of the larger park redevelopment. In order to meet all of these objectives to encompass all of these uses it will need to be constructed as a synthetic surface similar to what is constructed at the High School.

Once planning is complete, the design process will be commissioned for bidding to be constructed next Summer prior to the start of the next school year.

Timeline

There are tasks in the short term that are more finite and other activities in the long term that are more of an estimate. A timeline on moving forward is summarized as follows:

May 31st – Joint Village School District/Board Planning Committee

- Discussion on this memorandum.
- Objective is to gain informal consensus from both entities present to move forward on approval of this memorandum by our respective boards.

June 6th – Village Parks and Recreation Committee

- Discussion/action to make a recommendation on this memorandum.
- Discussion/action to make a recommendation on the change order to construct Phase 1(b).
- Discussion/action to make a recommendation on the proposal for planning, design, and bidding services for Phase 2.

June 13th – Village Board

- Approval on this memorandum.
- Approval on the change order to construct Phase 1(b).
- Approval on proposal for planning, design, and bidding services for Phase 2.

June 26th – School Board

- Approval on this memorandum.
- Review and/or approval on the proposal to construct Phase 1(a).

July 17th – School Board

- Approval on the proposal to construct Phase 1(a) (as needed).

July 18th – Plan Commission

- Phase 1 Site/Design Approval
- Deadline for Application is June 6th.

August 1st – Village Parks and Recreation Committee

- Phase 2 Project Kick Off

September 1st – Phase 1 Construction

- Commence both phases.
- Phase 1(a) to be completed by March of 2024.
- Phase 1(b) to be completed by November of 2023.

Phase 2 General Schedule

Aug-Oct – Planning

Nov-Jan – Design

Feb-Mar – Bidding/Contracting

May-Aug – Construction

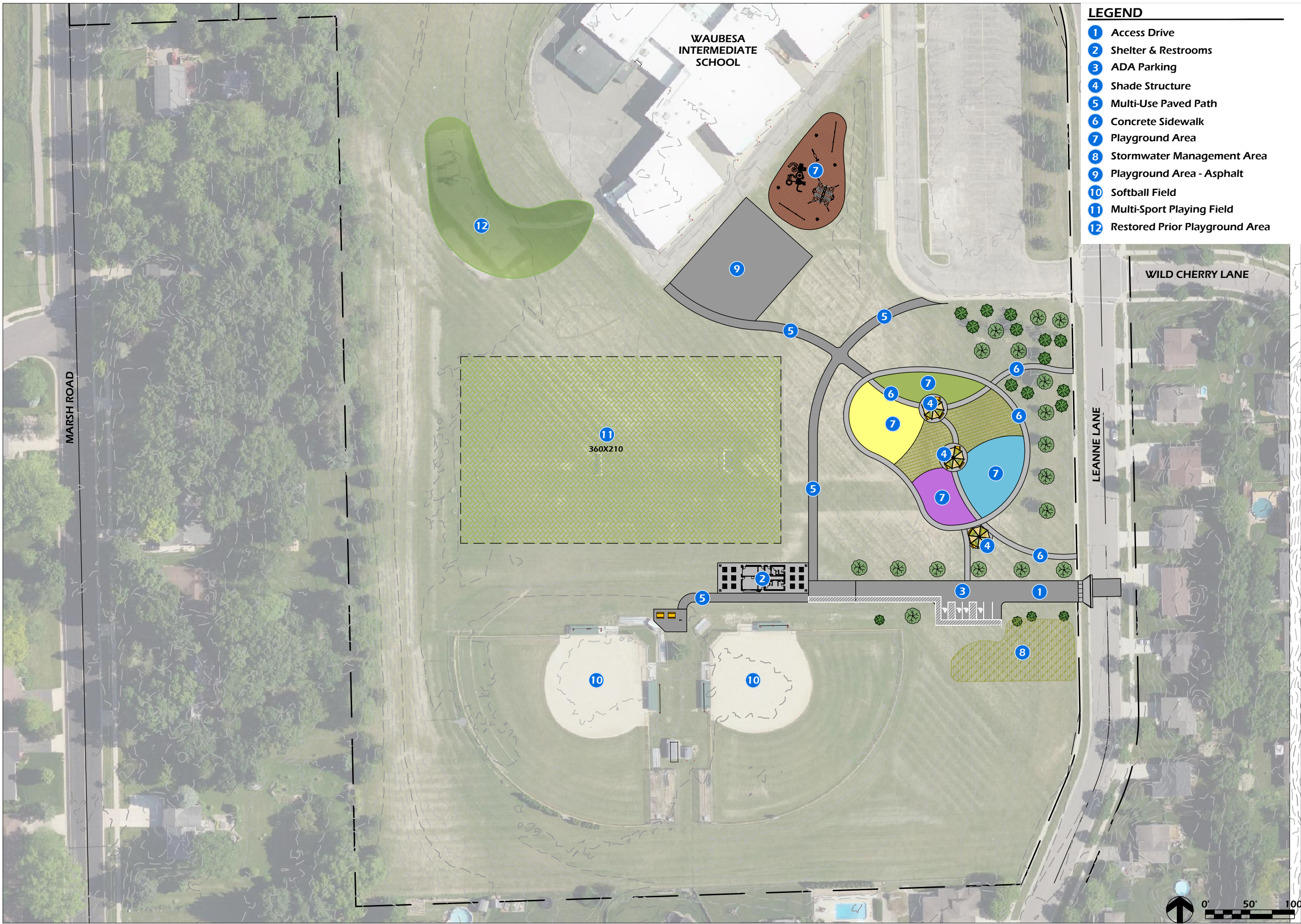
Conclusion

This project creates a unique opportunity for two entities serving roughly the same Community while making a larger impact than either originally intended. As such, there is no definitive road map for its acceptance and implementation. The steps outlined within the timeline are meant to at least roughly serve as a guide and this memorandum as a proposal on how we jointly move forward together. That requires working together to advance elements of the project and individually to fulfill our obligations. There will be different checkpoints along the way as well as moments in which we need to be flexible to reach our objectives and ensure a successful project.

Exhibits

Appendix A	Conceptual Site Plan
Appendix B	Phase 1(a) – Conceptual Facility Floor Plan
Appendix C	Phase 1(b) – Site Development/Utilities Design and Specifications
Appendix D	Inclusive Park Plan

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LEGEND

- 1 Access Drive
- 2 Shelter & Restrooms
- 3 ADA Parking
- 4 Shade Structure
- 5 Multi-Use Paved Path
- 6 Concrete Sidewalk
- 7 Playground Area
- 8 Stormwater Management Area
- 9 Playground Area - Asphalt
- 10 Softball Field
- 11 Multi-Sport Playing Field
- 12 Restored Prior Playground Area

WAUBESA INTERMEDIATE SCHOOL PHASE 1

5605 RED OAK TRAIL
McFARLAND, WI

Project Name:

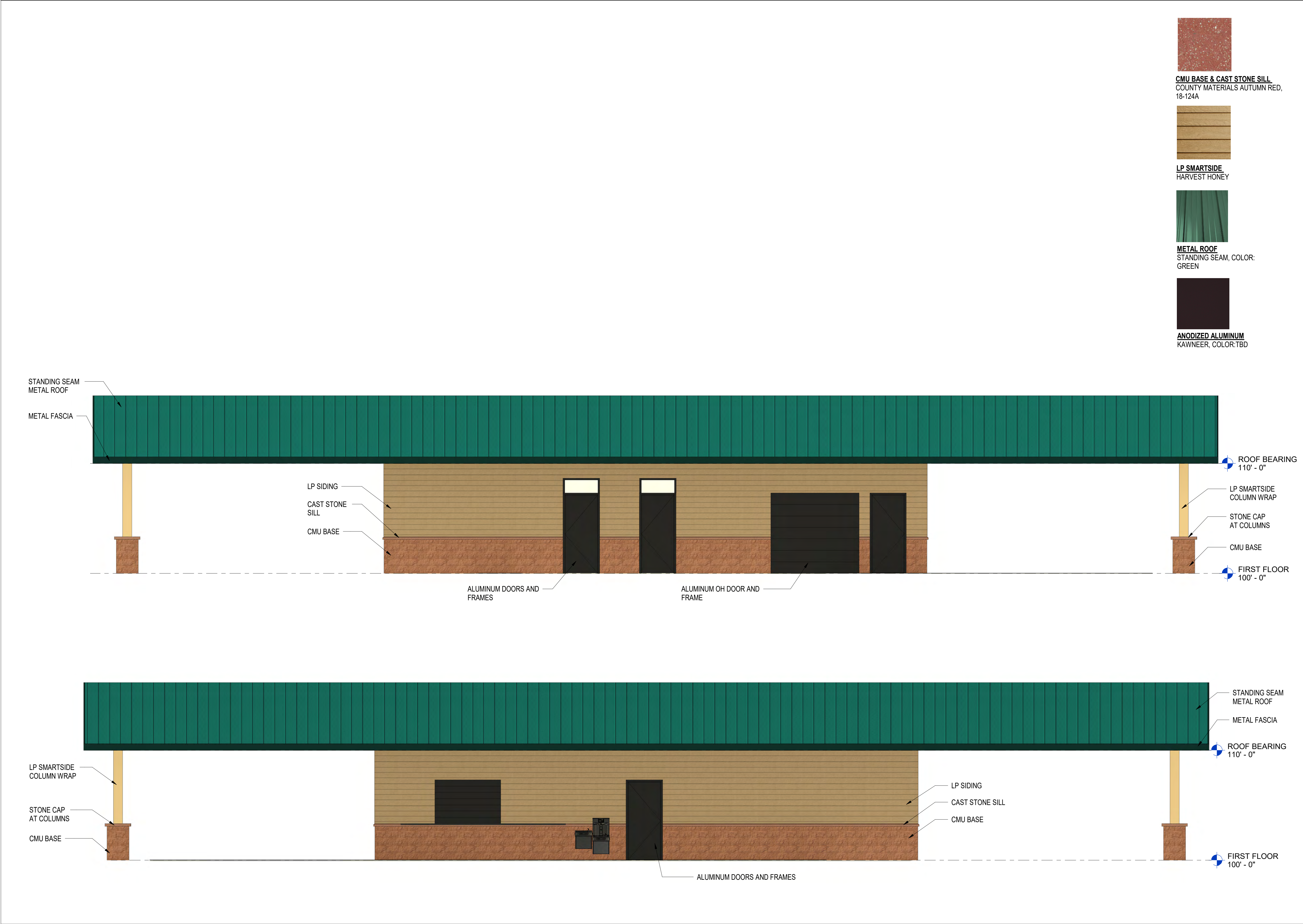
Revisions:

Project #: 23.007
Issued For: Review
Date: 05/9/2023

Sheet Number

C100

Sheet Title:
CONCEPT PLAN #1





**PARKITECTURE
+ PLANNING**
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ICONICA
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608.886.6808 / 608.886.6808

**WAUBESA INTERMEDIATE
PARK SHELTER
MCFARLAND, WI**

BUILDING ELEVATIONS

Project Name:

Issue Description Date

Project #:

Issue:

Date:

Sheet Number

A301

Project Name:

Issue Description Date

Project #:

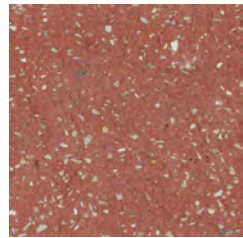
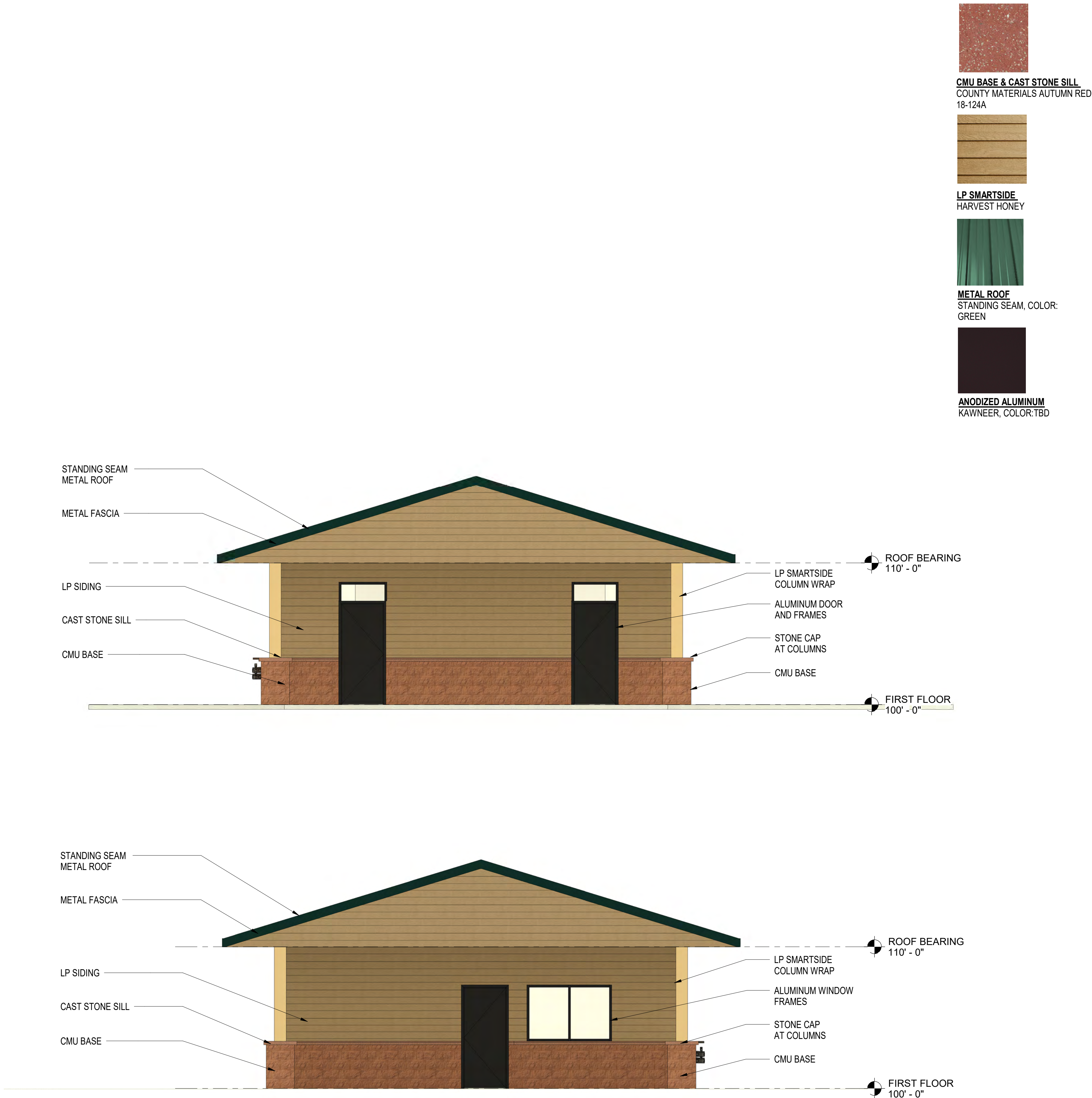
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Sheet Number

A301

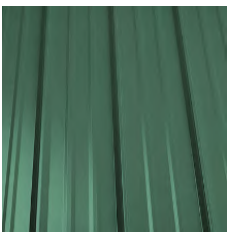
Page 16 of 105



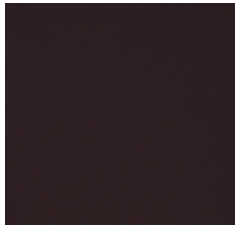
CMU BASE & CAST STONE SILL
COUNTY MATERIALS AUTUMN RED,
18-124A



LP SMARTSIDE
HARVEST HONEY



METAL ROOF
STANDING SEAM, COLOR:
GREEN



ANODIZED ALUMINUM
KAWNEER, COLOR:TBD

Project Name:
**WAUBESA INTERMEDIATE
PARK SHELTER
MCFARLAND, WI**

Sheet Title
BUILDING ELEVATIONS

Issue	Description	Date

Project #: 20230300
Issue: -
Date: 05/22/2023

Sheet Number
A302

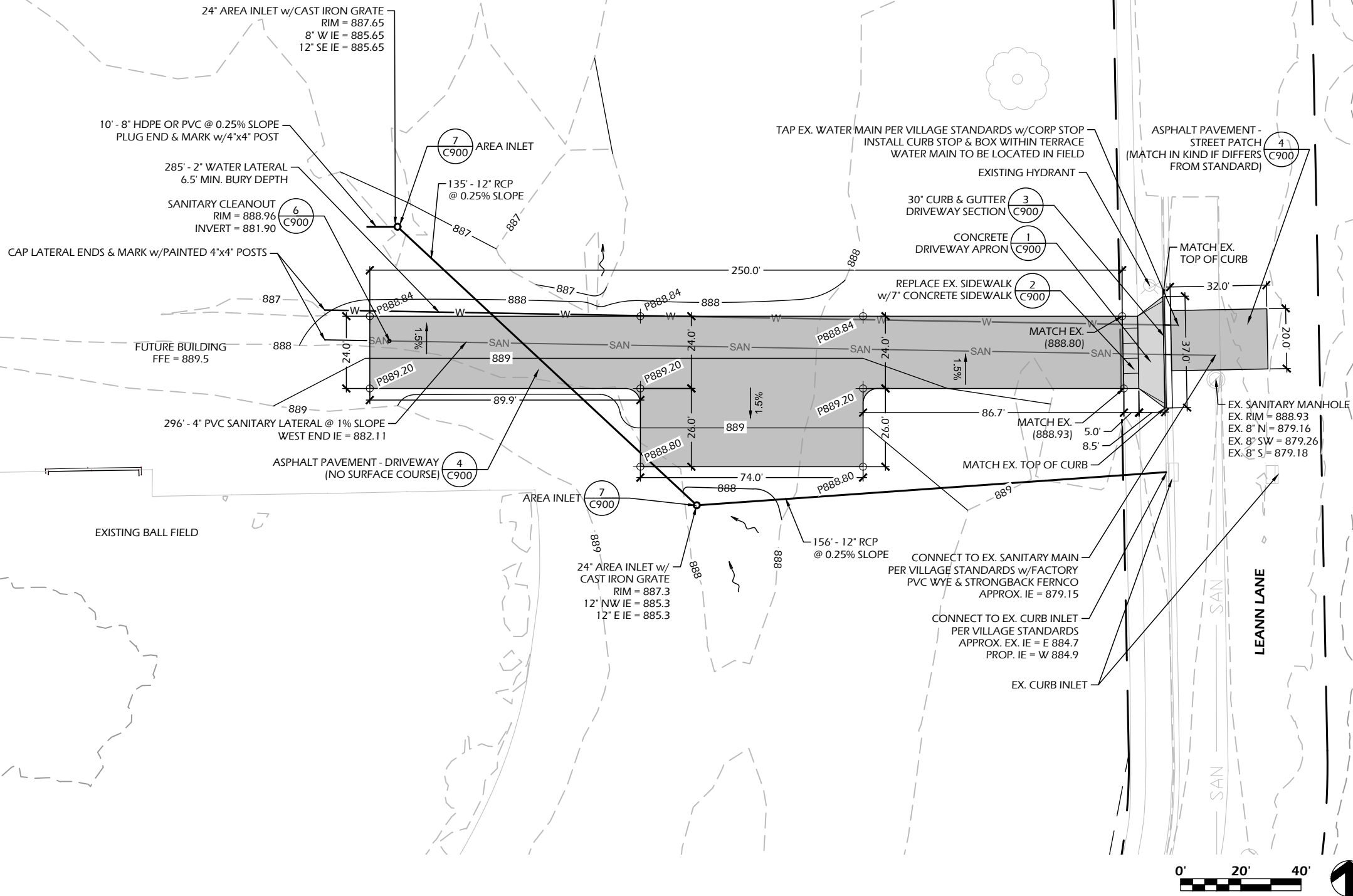
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SITE LAYOUT NOTES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN. WRITTEN DIMENSIONS SUPERSEDE ANY SCALED DIMENSIONS.
3. PROPOSED GRADE AND LEVEL SHALL BE PERIODICALLY REVIEWED IN THE FIELD BY THE OWNER OR A/E.
4. SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE SPECIFICATIONS EXCEPT THOSE AREAS INDICATING OTHERWISE. THIS SHALL INCLUDE ANY AREAS OUTSIDE OF THE PROJECT LIMITS THAT ARE DISTURBED BY CONTRACTOR ACTIVITY.
5. ANY EXISTING STRUCTURES AND/OR UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED, AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR AND INCLUDED IN THE BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAKING. DIGITAL PLAN FILES MAY BE AVAILABLE FROM THE A/E.

WAUBESA INTERMEDIATE SCHOOL PHASE 1

**5605 RED OAK TRAIL
MCFARLAND, WI**

Project Name:

Revisions:

Project #: 23.007
Issued For: Review
Date: 04/26/2023

Sheet Number

C200

SITE LAYOUT & GRADING PLAN



Village of McFarland Inclusive Playground Master Plan

Final Report

Prepared By:
Learning Landscapes Design LLC
262.707.8004
12/14/20



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Partnerships:

Village of McFarland

CoreTeam:

Matt Schuenke
Jim Hessling
Sayer Larson
Andrew Bremer
Heidi Wisniewski
Melissa Wiswell
Rachel Jones

Parks, Recreation, and Nature Resource Committee:

Carolyn Clow
Clair Utter
John Feldner
Chuck Rolfsmeyer
Katharine Pease
Darrel Waldera
David Wilson
Andy Jakubowski
Sarah Kuba
Dan Kolk

Kerry White
Project Manager, Learning Landscapes Design

Mara Kaplan
Inclusive Play Specialist, Let Kids Play

Introduction

The Village of McFarland's diverse system of parks and open space exemplifies the inviting, dynamic, and diverse nature of the community. Open spaces range from small tot lots, neighborhood parks, community parks to conservancy areas. All which offer a variety of different recreational opportunities. As the Village continues to grow the McFarland Park System continuously strives to improve the quality of life of their community through nature connections and park improvements. Through planning efforts and community surveys the Village has identified the need for an all accessible and all inclusive playground within their community. Currently there is no playground within the park system that is solely dedicated to this purpose.

Through a competitive proposal process the Village hired Learning Landscapes Design and sub-consultant Let Kid's Play! to complete the planning services for an inclusive park. An inclusive playscape addresses the needs of all people including those who have autism, intellectual disabilities, hearing impairments, cerebral palsy, spina bifida, and other disabilities. It also addresses the needs of typical children. An inclusive playground accommodates everyone and challenges them at their own developmental level. Learning Landscapes Design is a landscape architecture firm that strives to create spaces for people of all ages and abilities to play, interact, and learn by putting children and their families at the center of the community and building amenities that attract them and meet their play and learning needs at any level.

This report covers the tasks and outcomes from the planning process. Each task is described in further detail throughout the body of this report. The execution of some of the tasks were modified from those outlined in the original proposal in order to meet healthy and safety recommendations related to Covid-19. The planning services are as follows:

- Meet with Village Staff (digitally) to review current conditions and existing amenities or site constraints, and receive direction regarding site-specific requirement.
- Background review and site inventory.
- Evaluate up to three potential locations within the current parks system that could allow for the development of the improvements generated through the meeting and public input process.
- Prepare and conduct public input efforts in order to solicit viewpoints from the community on the improvements.
- Work with Village Staff and the Parks Committee to inventory the extent of park development and amenities desired for the project.
- Prepare conceptual plans for discussion, review, and presentation.
- Generate plans for implementation of the project.
- Prepare final report including renderings and a cost estimate.

A CORE team was assembled to attend meeting, participate in planning discussions, and make design decisions. The CORE team consists (4) Village of McFarland Parks and Rec staff members and (3) community members who have experience working with children of varying ability either personally or within the McFarland school district.



Background Review and Site Inventory

Learning Landscapes Design team visited 15 public playgrounds within the Village of McFarland's park system to identify play or accessibility gaps and opportunities. Additionally, three inclusive playground within the Madison Metropolitan area were reviewed to provide examples of inclusive playgrounds within the surrounding communities. Each playground's accessibility was evaluated based on the Guide to ADA Accessibility Guidelines for Play Areas and Learning Landscapes Design's professional judgment and experience in designing inclusive playgrounds. We evaluated each park on the following criteria:

1) Access to the Playground

- Are there designated accessible parking spaces available?
- Is there an accessible route to get to the playground?
- Does the playground contain inclusive play surfacing? This includes unitary surfacing such as pour-in-place rubber, rubber tiles, or artificial turf.

2) Site Support Features

- Is there an accessible restroom?
- Are there accessible furnishings?
- Is the play area fenced in?

3) Playground Components

- Types of ground level components
- Is access to the playground equipment by ramp or by transfer station?
- What are the best inclusive features offered at the playground?

4) Types of Play

- What types of play are offered?

In addition to the criteria listed above, we provided a descriptions of each playground and a few small scale recommendations on how to improve the accessibility of each playground. All of this information was put together in a matrix in order to compare and understand the accessibility needs of each individual park and the park system as a whole. See the following pages for a map of the McFarland parks and open spaces, the inventory matrix, and images of each of the existing playground sites.

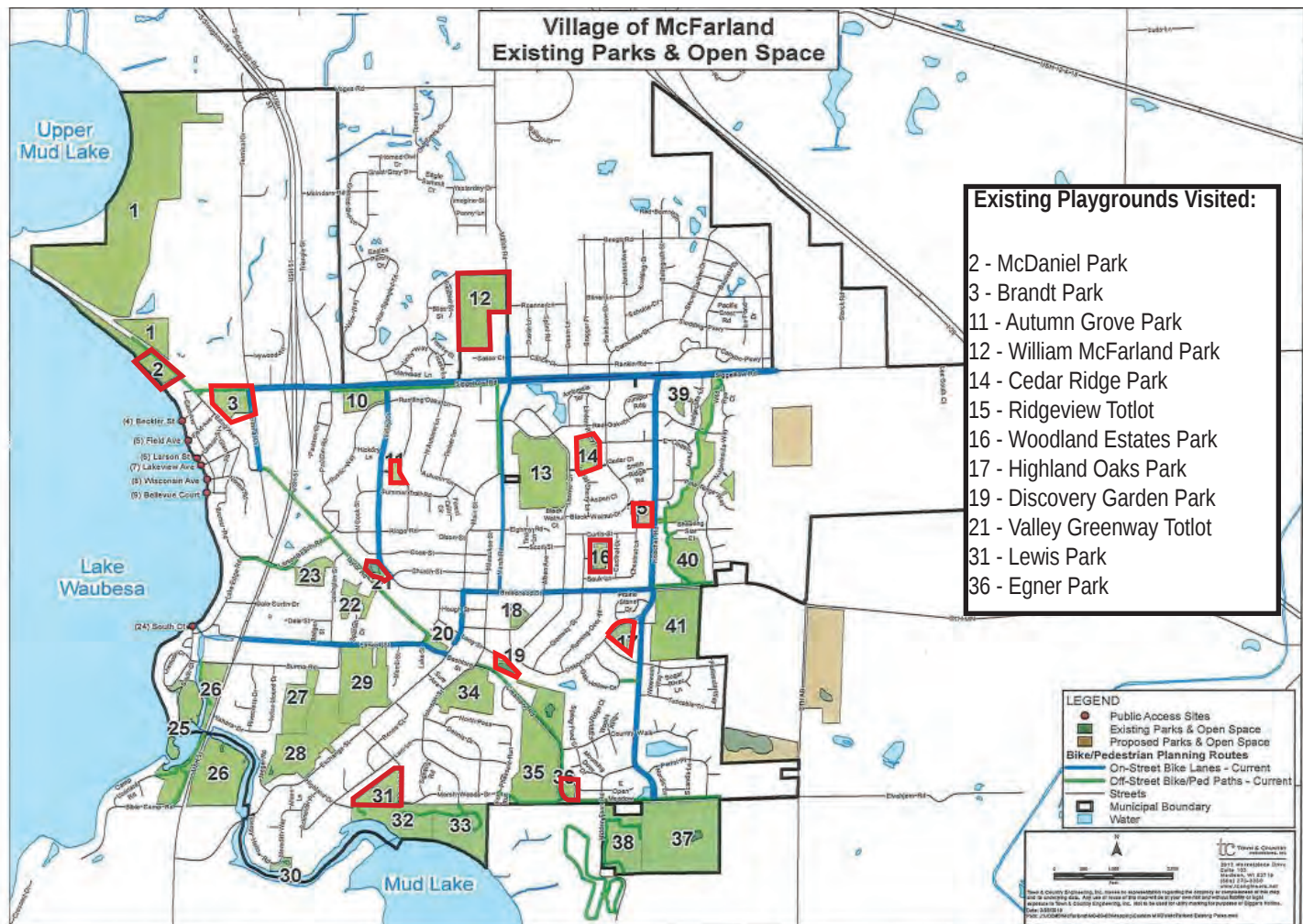
Through this exercise we were able to identify a few keys accessibility and inclusive design gaps within the current park system. Those gaps and recommended playground elements include:

- Loose Parts or Constructive Play area - Loose Parts are simple movable objects that are open ended in their use and form. These types of materials allow children to move, manipulate, and control objects and materials through play. A great example of loose parts play includes sticks, stumps, limbs, wood planks, and tree cookies for children to build forts or set up imaginative play elements like a market or house.
- Planting - Planting areas provide rich opportunities for sensory input, imaginative play, and education. Planting area allows children to run their hands through many textures or listen to the different sounds the plants make on a windy day. Appropriate planting areas spark children's imaginations. Are they pioneers exploring a new land or pretending to be picking ingredients for a salad? Planting areas provide opportunities to observe birds, bees, and bugs in their natural environment.



-
- A group of children are playing at a large, multi-level wooden water table outdoors. The structure is made of light-colored wood and has several basins and a central spout. A boy in a bright green shirt is leaning over the table, playing with the water. Another boy in a blue shirt stands nearby, and a girl in a maroon shirt is in the foreground, also playing. The background shows a grassy area and a wooden fence.

Below is a map of the parks and open spaces within the Village of McFarland. All sites visited are highlighted in red.



Village of McFarland - Inclusive Playground
Level of Service Inventory

Prepared by Learning Landscapes Design
6.12.20

Village of McFarland Parks

Park	Playground Description	Access to the Playground			Site Support Features			Playground Components			Type of Play	How to Improve the Site
		Accessible Parking	Accessible route to playground	Inclusive Play Surfacing	Accessible Restroom	Accessible Furnishings	Fenced Play Area	Types of Ground Level Components	Access by Transfer or Ramp	Best Inclusive Features	Variety of play types offered	
Autumn Grove Park	One play structure with multiple climbing options, tunnel, bridge, and slides. Additional components include a bending balancing beam, four swings (two belt swings and two bucket swings) and sand digging area.	● Street Parking, no designated ADA parking	● No Path	● Wood Chips	● No Restroom Facility	● (2) Benches with backs located within chips area	● No	● (3) Sand diggers, swings, balancing beam (none accessible)	(1) Transfer Station, access to entire structure	Sand digging area, Access Ramp	Majority physcial play with sensory play in the sand digging area and muscial panel.	Provide a paved path to the playground ramp and sand digging area from the road. Add an accessible sand digger. Add an accessible swing in a new location along an accessible path.
Brandt Park	One play structure with multiple climbing options and slides and sand digging area.	● Street Parking with designated ADA parking	● Path is paved but not accessible	● Wood Chips	● Yes	● None	● Fenced along road side and residential side	● (4) music panel, stools, steering wheel, and sand diggers (none accessible)	(1) Transfer Station, access to one slide	Sand digging area, Access Ramp	Majority physcial play with sensory play in the sand digging area and muscial panel.	Providing a fully accessible pathway to the playground is going to be difficult with the existing grading. Instead focus on providing a wider range of play by adding a spinner and more imaginative play elements.
Cedar Ridge Park	One small play structure with bridge, overhead bars, and a double slide. Additional components include a spring rocker, four swings (two belt swings and two bucket swings), a net climbing wall, overhead rings, and sand digging area	● Street Parking, no designated ADA parking	● No Path, however the play area is very close to the existing path and could be easily connected	● Wood Chips	● No Restroom Facility	● (1) Bench with backs located within grass	● No, Private residential fences on one side	● (2) Spring rocker and sand diggers (none accessible)	(1) Transfer Station, access to double slide	Sand digging area	Mostly physical play with sensory play in the sand digging area	This playground is a good candidate for complete replacement. If replacement is not an options, consider adding a short access path to the playground. There is a lot of underutilized play scape, add accessible ground level components like spinners, balancing bar, and steppers
Discovery Garden Park	One rope climbing structure with slide. Additional components include a camp themed climbing area with log steppers and a grass play mound	● Parking Lot with designated ADA parking	● Yes	● Pour-In-Place Rubber	● Yes, access to restrooms in library during business hours	● (5) Benches with backs and armrest on accessible route ● (2) non-ADA picnic tables on a non-accessible route	● No	● (5) Log climber, log steppers, climbing tent, lowest hammock of rope climber, grassy play hill (all acessible)	(0) No transfer stations or ramps	Surfacing, Grassy Play Hill, Camp Theme Climbing Area, Rope Climber Hammock	Physical Play and Imaginative Play	This is a great play space! A couple minor improvements include adding a couple musical instruments for sensory play and providing at least one ADA picnic table with paved access.
Egner Park	Two playground structures. The larger structure has hex cube climbers with slide, stepping pads, and overhead bars. The smaller structure has three short slides, a climbing net, and overhead bars. Additional components include, seesaw, standup spinner, and 5 swings (two belt swings, one ada swing, one double-occupancy swing, and one bucket swing)	● Street Parking, no designated ADA parking	● No Path	● Wood Chips	● No Restroom Facility	● None	● No	● (5) Seesaw, stepping pads, stand up spinner, accessible swing, bottom hex cubes (none accessible)	Larger Structure: (0) Transfer Stations, Smaller Structure: (1) Transfer Station	Spring SeeSaw, ADA swing,	All Physical Play	This playground could be a great accessible play space with a few key improvements. Add an accessible path to the play area from the main pathway. Consider a pour-in-place rubber path to the ground level components. Replace the stairs on the smaller structure with an accessible ramp. To increase access to the park, parking stalls could be added along Creamery Rd. Provide accessible picnic tables under the overhang and accessible benches with backs throughout. Good park to prioritize site improvements.

Legend: ● = most inclusive, ● = somewhat inclusive, ● = least inclusive * Ratings are based on professional judgement

Village of McFarland - Inclusive Playground
Level of Service Inventory

Prepared by Learning Landscapes Design
6.12.20

Village of McFarland Parks

Park	Playground Description	Access to the Playground			Site Support Features			Playground Components			Type of Play	How to Improve the Site
		Accessible Parking	Accessible route to playground	Inclusive Play Surfacing	Accessible Restroom	Accessible Furnishings	Fenced Play Area	Types of Ground Level Components	Access by Transfer or Ramp	Best Inclusive Features	Variety of play types offered	
Highland Oaks Park	One play structure with multiple climbing options, overhead bars, and slides. Additional components include 4 swings (two belt swings, two bucket swings), 2 spring rockers, a sand digging area with diggers.	● Street Parking, no designated ADA parking	● Yes	● Wood Chips	● No Restroom Facility	● (2) Accessible bench with back	● No	● (2) spring rockers and sand diggers (1 digger is accessible)	(1) Transfer Station, access to entire structure	Accessible digger, paved access to the playground	Mostly physical play with sensory play in the digging area	Add a short accessible path to the picnic shelter with atleast (1) ADA picnic table. Expand the play area to include an accessible swing or group spinner with accessible surfacing. Add some musical instruments within the concrete pad. Replace mulch with sand in digging area. Good park to prioritize site improvements.
Lewis Park	Two climbing structures. The large structure has multiple climbing options, over head bars, bridge, tunnel, net climber, and slides. The smaller structure has two slides and one climbing option. Additional components include 8 swings (six belt seats and two buckets seats) and sand digging area	● Street Parking nearest to playground, parking lot with accessible stall on other side of park	● No Path	● Rubber Mulch, wood chips, and sand	● No Restroom Facility near playground. Accessible restroom on other side of park.	● (2) Bench with back and armrest, (2) Bench with back, no armrest. All located in rubber mulch surfacing	● No	● (6) 3 Activity Panels, Steering Wheel, Bells, sand diggers	Larger Structure: (1) Transfer Station. Smaller Structure: (1) Transfer Station	Sand digging area, Access Ramp	Mostly physical play with sensory play in the sand digging area	Add an accessible path to the play area. Provide accessible play surfacing to transfer station and nearest slide. Move sand digging area close to the path, provide an accessible route and digger. Replace one of the swing sets with a group swing with accessible surfacing.
McDaniel Park	Two climbing structures. The platform structure has multiple climbing options, tunnels, and a slide. The net climbing structure has tunnels, spinning, and balancing. Additional components include 2 spinner seats, 4 swings (two belt seats, two bucket seats), and a sand digging area.	● Parking Lot with designated ADA parking	● Yes	● Rubber Mulch	● Public restrooms adjacent to the playground, but not accessible	● (2) Benches with backs located within rubber mulch area	● No	● (3) sand diggers, tunnel, spinners	Platfrom structure: (1) Transfer Station	Accessible digger in sand area, spinner seats	Mostly physical play with sensory play in the sand digging area	Replace rubber mulch with accessible play surfacing. Add an accessible swing. Include some imaginative elements like a playhouse or cozy space. Good park to prioritize site improvements.
Ridgeview Totlot	One small toddler climbing structure with two climbing options and a slide. Additional components include a spring rocker.	● Street Parking, no designated ADA parking	● No Path	● Sand	● No Restroom Facility	● None	● No	● (1) spring rockers (not accessible)	No ramp or transfer station	Spring rocker	Mostly physical play with sensory play in the sand surfacing	Focus on providing a wider range of play by adding sensory and imaginative elements like musical instruments and a play house or cozy space. There is enough space within the play area to add low steppers and balancing bar.
Valley Greenway Totlot	One toddler structure with tunnels, slides, and ladder. Additional components include 2 bucket seat swings.	● Street Parking, no designated ADA parking	● No Path	● Wood Chips	● No Restroom Facility	● (1) Benches with back and armrest, located within lawn	● Fenced on one side along water	● (1) tunnel (not accessible)	Platfrom structure: (1) Transfer Station	Access ramp and tunnel	All Physical Play	Provide an accessible path to the playground from the road. Add musical instruments and sand digging area for sensory play along path.
William McFarland Park	One structure with two climbing options and a double slide. Additional components include 2 spring rockers and sand digging area.	● Parking Lot with designated ADA parking	● Yes	● Wood Chips	● Yes	● None	● No	● (2) spring rockers and diggers (none accessible)	Platfrom structure: (1) Transfer Station	Paved access to playground, sand digging area	Mostly physical play with sensory play in the sand digging area	This playground is a good candidate for complete replacement. If replacement is not an options, consider providing an accessible sand digger and add musical instruments on the concrete pad.
Woodland Estates Park	One tall structure with multiple climbing options, slides, and tunnel. Ground level components include 4 swings (three belt seats, one bucket seat)	● Street Parking, no designated ADA parking	● No Path	● Wood Chips	● No Restroom Facility	● (1) Benches with back and armrest, located within chips	● No	● (2) activity panel (none accessible)	Platfrom structure: (1) Transfer Station	Access ramp and muscial panel	Majority physical play with a music sensory panel and imaginative play counter	Provide a paved pathway to the playground. Expand the playground to include a nest swing or spinners with accessible surfacing. Add a sand digging area with accessible digger along pathway.

Legend: ● = most inclusive, ● = somewhat inclusive, ● = least inclusive * Ratings are based on professional judgement

Village of McFarland - Inclusive Playground
Level of Service Inventory

Prepared by Learning Landscapes Design
6.12.20

Inclusive Playground Examples in Surrounding Communities

Park	Playground Description	Access to the Playground			Site Support Features			Playground Components			Type of Play	How to Improve the Site
		Accessible Parking	Accessible route to playground	Inclusive Play Surfacing	Accessible Restroom	Accessible Furnishings	Fenced Play Area	Types of Ground Level Components	Access by Transfer or Ramp	Best Inclusive Features	Variety of play types offered	
Brittingham Park, Madison	One large structure with multiple climbing options, slides, activity panels, overhead bars, spinning and balancing. The majority of the structures is accessible by ramps with additional transfer platforms within. Additional accessible components include group spinner, individual cozy spinner, double spring rocker, and 6 swings (two bucket seats, two belt seats, and two ADA seats)	● Yes	● Yes	● Pour-In-Place Rubber	● Yes	● (4) Benches with backs	● No	● (8) swings, spinners, spring rocker, tunnel, and 4 sensory panels	Ramps and multiple transfer stations	Surfacing, Group spinner, Individual spinner, Accessible swings, play structure ramp	Majority physical play with a few sensory panels	
Elvehjem School, Village of McFarland	Three play structures. Large structure with multiple climbing options and slides, activity panels, balancing, overhead bars, and spinning. A ramp provides access to the lower portion of the structure. Large structure is only partially within the accessible surfacing. Smaller structure with climbing options, tunnel, slide, activity panels and seating. Small structure is all within the accessible surfacing. Older Fire Truck themed structure, within the chips area, provides climbing options, slide, and imaginative play. Additional components include cozy dome climber, spinning seats, 10 swings (8 belt seats and 2 ADA seats). The ADA swing seats and 1 spinner is within the accessible surfacing.	● Yes	● Yes	● Pour-in-place rubber path with wood chips	● No Public Restroom	● (1) Accessible bench with back, (4) benches with backs in chips area.	● No	● (11) 7 activity panels, table and stools, dome hiding nook/climber, accessible swings, spinners	Large Structure: Ramp and (1) Transfer Station. Small Structure: (1) Transfer Station.	Surfacing, spinner seat, dome hiding nook/climber, accessible swings	Mostly physical play with sensory music panels and imaginative elements (Cozy dome climber, surfacing patterns, play counters, fire truck climber, house theme climber)	
Elver Park, Madison	Two play structures. One large structure with multiple climbing options, slides, balancing, overhead bars, cozy spaces, rocking, spinning, and activity panels. The majority of the structures is accessible by ramps. The smaller structure has a slide with climbing, sensory panels, and playhouse front for imaginative play. Additional components include group spinner, spring rockers, and 6 swings (two bucket seats, two belt seats, and two ADA seats).	● Yes	● Yes	● Pour-In-Place Rubber	● Yes	● (5) Benches with backs	● Partially fenced along road	● (10) steppers, spinners, swings, spring rockers, balancing bar, 5 activity panels	Large Structure: Ramps and (1) Transfer Stations. Small Structure (1) Transfer Station	Surfacing, Rocking Boat, Group Spinner, Swings, Cozy Spaces	Mostly physical play with sensory music panels and imaginative elements (Hiding nooks, surfacing patterns, play counters, alegator steppers, boat theme)	

Legend: ● = most inclusive, ● = somewhat inclusive, ● = least inclusive * Ratings are based on professional judgement

Park Inventory - McFarland Playgrounds

Autumn Grove Park

One play structure with multiple climbing options, overhead bars, and slides. Additional components include 4 swings (two belt swings, two bucket swings), 2 spring rockers, a sand digging area with diggers.



Brandt Park

One play structure with multiple climbing options, slides and sand digging area.



Cedar Ridge Park

One small play structure with bridge, overhead bars, and a double slide. Additional components include a spring rocker, four swings (two belt swings and two bucket swings), a net climbing wall, overhead rings, and sand digging area. Play components are dated and minimal.



Park Inventory - McFarland Playgrounds

Discovery Garden Park

One rope climbing structure with slide. Additional components include a camp themed climbing area with log steppers and a grass play mound. Play space contains unitary surfacing for easy access to all.



Egner Park

Two playground structures. The larger structure has hex cube climbers with slide, stepping pads, and overhead bars. The smaller structure has three short slides, a climbing net, and overhead bars. Additional components include, seesaw, standup spinner, and 5 swings (two belt swings, one ada swing, one double-occupancy swing, and one bucket swing). The park includes a number of inclusive play components.



Highland Oaks Park

One play structure with multiple climbing options, overhead bars, and slides. Additional components include 4 swings (two belt swings, two bucket swings), 2 spring rockers, a sand digging area with diggers.



Park Inventory - McFarland Playgrounds

Lewis Park

Two climbing structures. The large structure has multiple climbing options, over head bars, bridge, tunnel, net climber, and slides. The smaller structure has two slides and one climbing option. Additional components include 8 swings (six belt seats and two buckets seats) and sand digging area



McDaniel Park

Two climbing structures. The platform structure has multiple climbing options, tunnels, and a slide. The net climbing structure has tunnels, spinning, and balancing. Additional components include 2 spinner seats, 4 swings (two belt seats, two bucket seats), and a sand digging area.



Ridgeview Totlot

One small toddler climbing structure with two climbing options and a slide. Additional components include a spring rocker



Park Inventory - McFarland Playgrounds

Valley Greenway Totlot

One toddler structure with tunnels, slides, and ladder. Additional components include 2 bucket seat swings.



William McFarland Park

One structure with two climbing options and a double slide. Additional components include 2 spring rockers and sand digging area.



Woodland Estates Park

One tall structure with multiple climbing options, slides, and tunnel. Ground level components include 4 swings (three belt seats, one bucket seat)



Park Inventory - Inclusive Playgrounds in the Madison Area

Brittingham Park

One large structure with multiple climbing options, slides, activity panels, overhead bars, spinning and balancing. Additional accessible components include group spinner, individual cozy spinner, double spring rocker, and 6 swings (2 bucket seats, 2 belt seats, and 2 ADA). Unitary surfacing, perimeter path, and benches provide a comfortable and easily navigated space.



Elvehjem School

Three play structures. Large structure with multiple climbing options and slides, activity panels, balancing, overhead bars, and spinning. A ramp provides access to the lower portion of the structure. Large structure is only partially within the accessible surfacing. Smaller structure with climbing options, entirely within the accessible surfacing. Older Fire Truck themed structure, within the chips area, provides climbing options, slide, and imaginative play. Additional components include cozy dome climber, spinning seats, 10 swings. Although the unitary surfacing does not provide access to the entire play area, it does provide access to the accessible play components and a variety of types of play.



Elver Park

Two play structures. One large structure with multiple climbing options, slides, balancing, overhead bars, cozy spaces, rocking, spinning, and activity panels. The majority of the structure is accessible by ramps. The smaller structure has a slide with climbing, sensory panels, and playhouse front for imaginative play. Additional components include group spinner, spring rockers, and 6 swings (two bucket seats, two belt seats, and two ADA seats). The playground provides unitary surfacing throughout the space, multiple levels of challenges, imaginative play, and wheel-chair accessible components that do not require transferring.



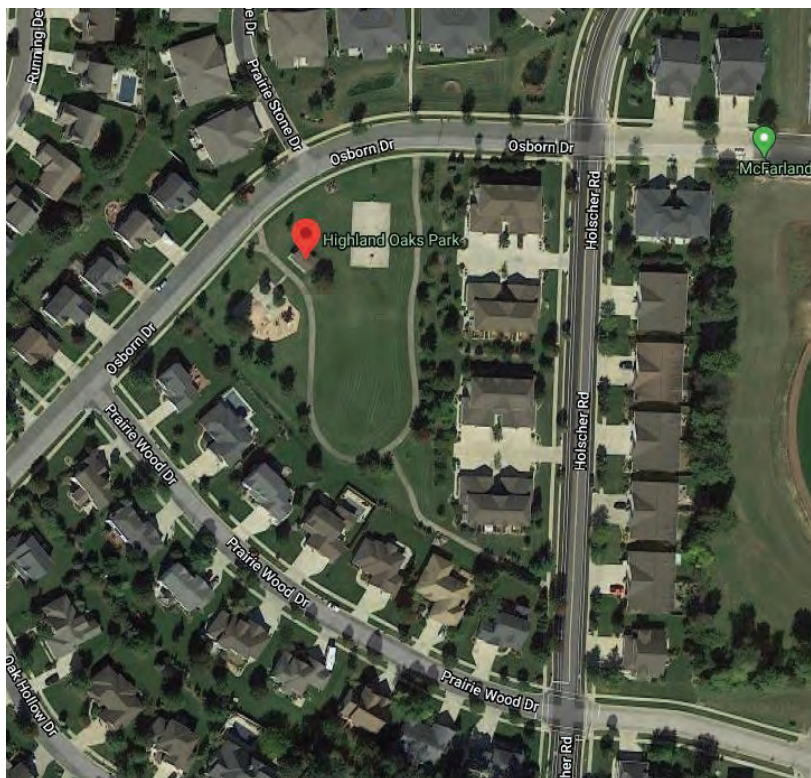
Site Development Discussion

Following the inventory and analysis of existing playgrounds within the Village of McFarland, the CORE Team discussed a number of different potential development sites, and through discussions narrowed the options down to three: Highlands Oak Park, Cedar Ridge Park and Community Park.



Highlands Oak Park

This 2.25 acre neighborhood park located on the east side of McFarland is nestled in a neighborhood with sidewalks making it highly accessible to the nearby houses and visible from the road. The existing site is relatively flat making it easy to provide accessible routes throughout. The existing playground is dated and does not provide much variety in types of play. The playground equipment is a good candidate for replacement. The rest of the park site is open, allowing for expansion of the playground and space for parking and site support features including picnic shelter and restrooms.



Cedar Ridge Park

This 3.9 acre neighborhood park located on the east side of McFarland, near the Waubesa Intermediate School. This park is connected to the nearby residents through an extensive web of sidewalks and is easily walkable from the nearby school. The park is large, open and provides safe walking routes and direct pedestrian access through the neighborhood. The gradual slope from the southeast corner to the northwest corner provides interest. We can use this slope within the playscape to create a more dynamic play environment with elevation changes and embankment slides while still providing accessible pathways. The existing playground equipment is minimal and aging making it a good candidate for replacement. The park has ample space for incorporating a small parking area and site support features.



Community Park

The newly acquired property by the Village of McFarland. It is a 26 acre site located near the intersection of County Hwy AB and Siggelkow Road, far from residents and the Village core. This site is a blank slate meaning the playscape design would not be confined by space or existing features. A playground at this location could be folded into the master planning for this property that is currently underway by a separate consultant. The site has a steady slope from the west to the east and provides excellent views of the farmland and woodland landscape beyond. The grading would allow for a dynamic play environment with play components designed into the hillside.

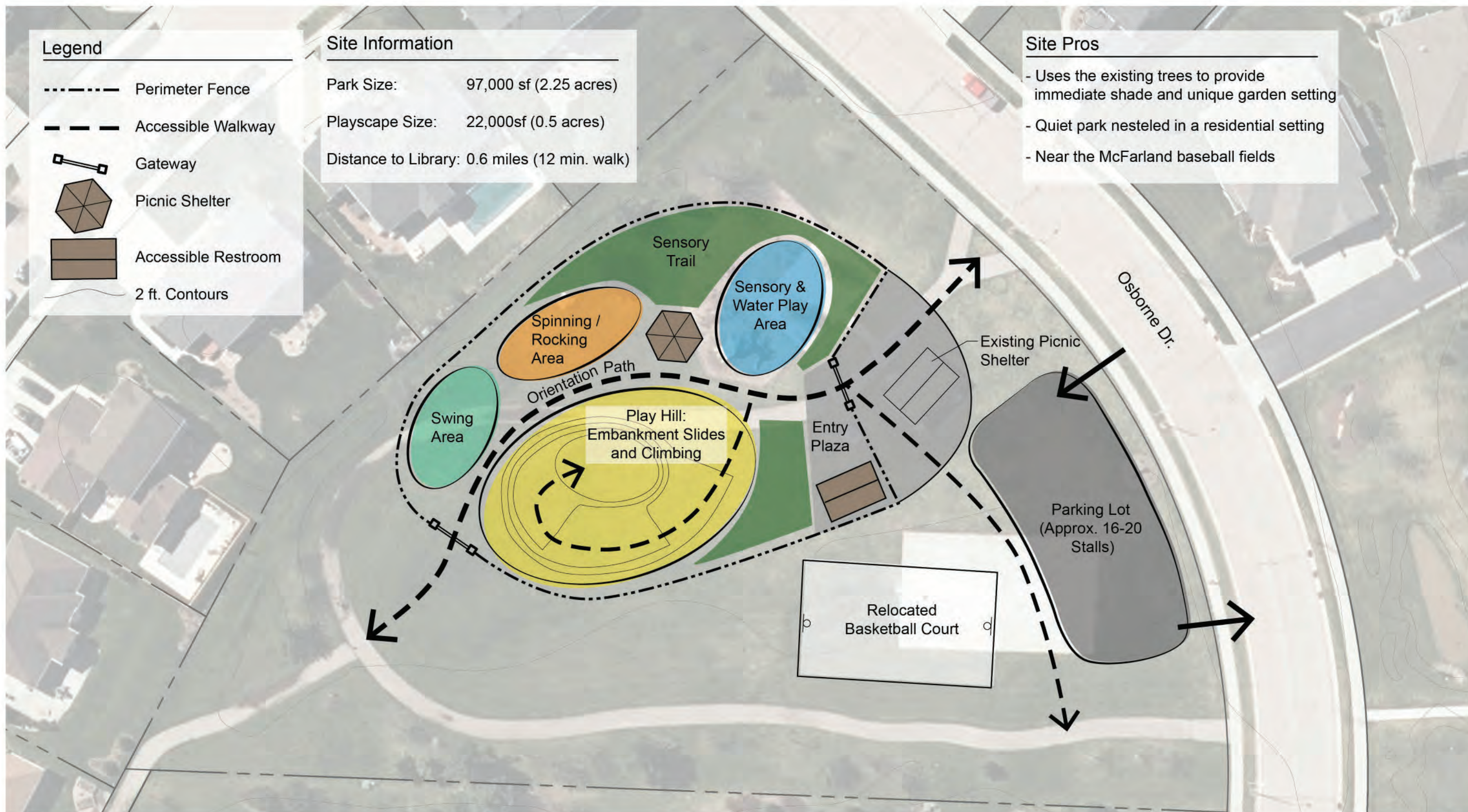


Design Approach Options

The design team created a bubble diagram for each of the three potential development sites. These diagrams are a early level design tool that generally organizes the spaces and sizes of components with a low level of detail. The play areas within each of the bubble diagrams are based on conversations among the CORE team. Through the discussions it became clear that the core team preferred to focus on types of play that stimulate the senses and provide a variety of different play options. All playground options incorporate features allowing for the fundamental needs of families with children of varying abilities to be met, including restrooms, seating, shade, parking, and accessible routes and surfaces. Play options include physical play, quiet reflection, imaginative, loose parts, sensory (art, music, tactile), and water.

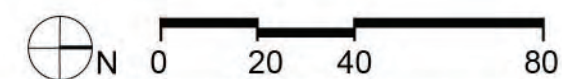
Below are the potential design options that were developed. The concept image boards exemplify the general look and feel for the playscape, the different types of play components, and support features.





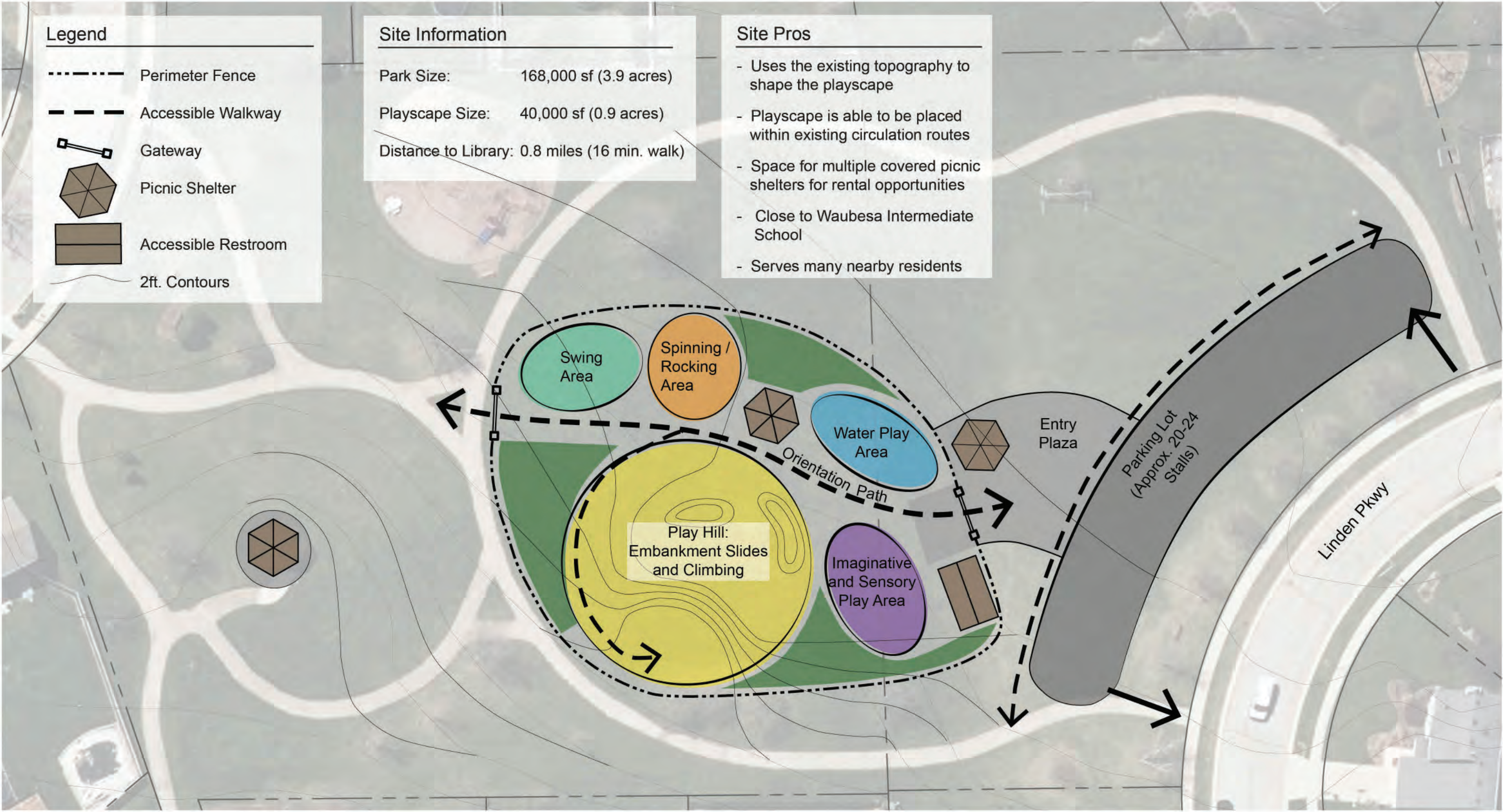
Potential Development Site A: Highlands Oak Park

Village of McFarland - Special Needs Park



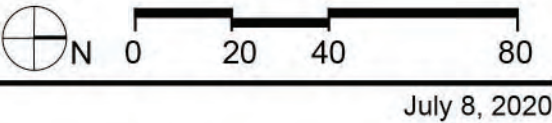
July 8, 2020





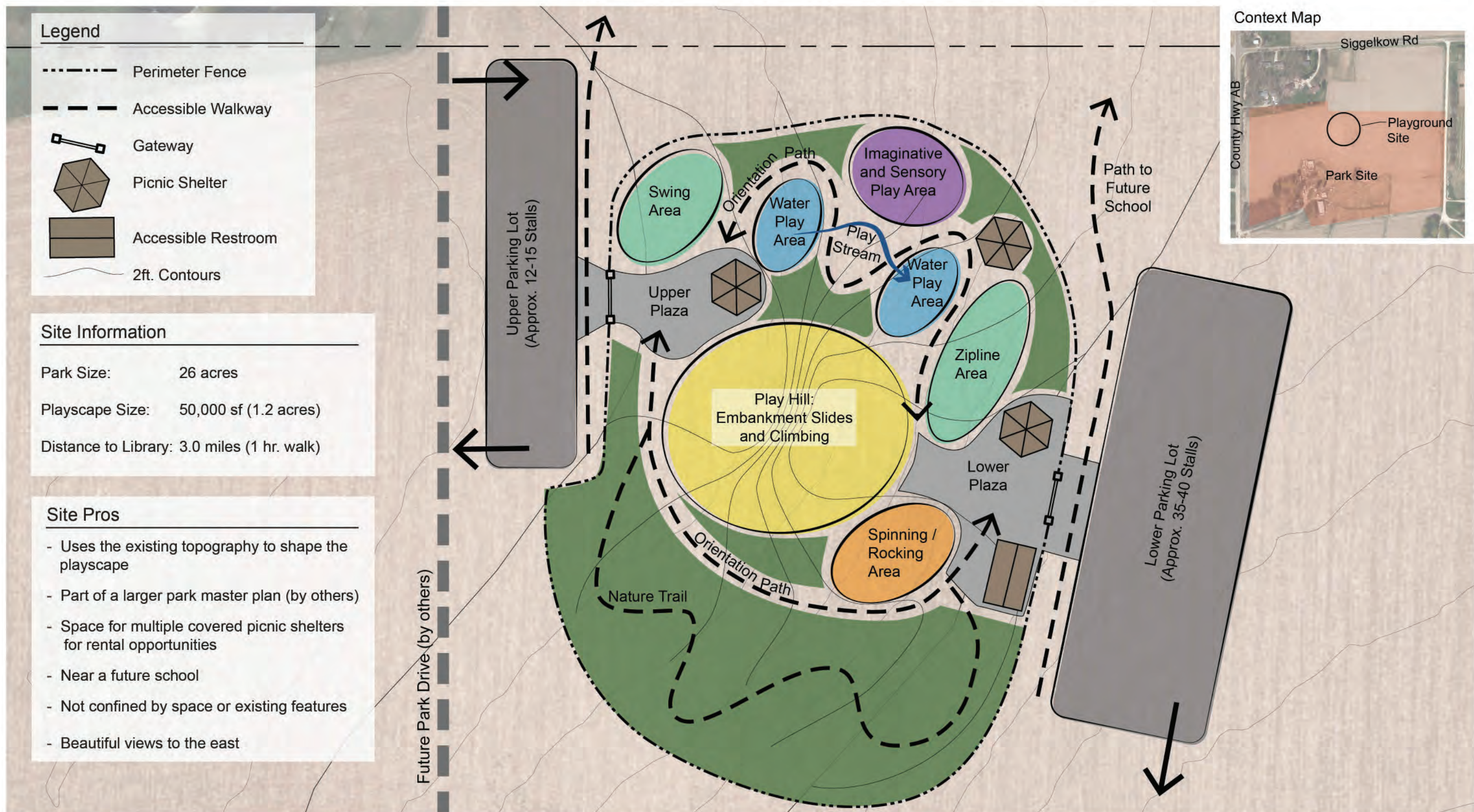
Potential Development Site B: Cedar Ridge Park

Village of McFarland - Special Needs Park



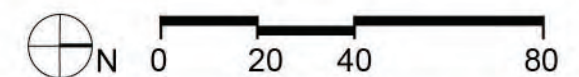
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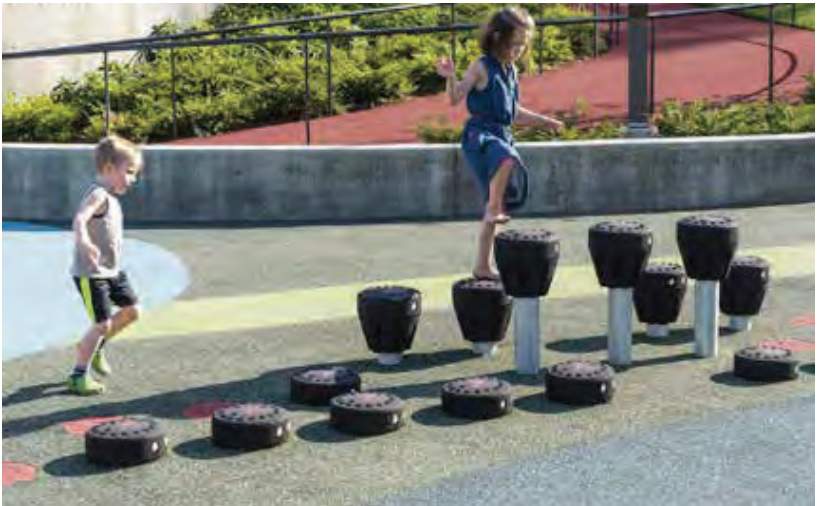
Potential Development Site C: Community Park

Village of McFarland - Special Needs Park



July 8, 2020



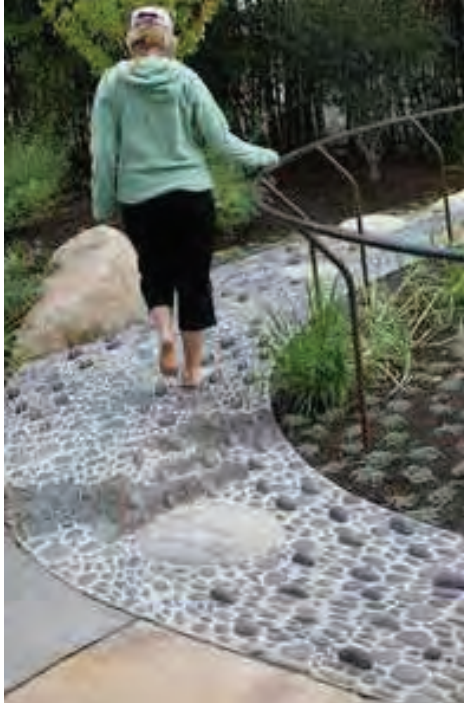


Concept Images

Village of McFarland - Special Needs Park

July 8, 2020





Concept Images

Village of McFarland - Special Needs Park

July 8, 2020



Community Involvement

To gather input from the community the three design options were presented to the public during a Facebook live event on 8/4/2020. After the presentation, community members were able to ask or submit written questions, which were then answered by the design team or the CORE team members. Immediately following the community event the Village of McFarland distributed a survey. The purpose of the survey was for the community to select a site for development of the inclusive playground and to gather input from the community on how they use the current playgrounds and what they would like included in the new inclusive playground.

Survey Summary:

The survey was available for two weeks and had 189 responses, 25% of those responses were from participants who have a child or care for a child with a disability or medical issue. The preferred playground development site was Cedar Ridge Park by over 50% of the responders, Community Park is preferred by just over 30% of the responders, and Highland Oaks was the least preferred site. The survey showed that the majority of the responders preferred Cedar Ridge Park for its walk-ability/ bike-ability, the over all park size, and its proximity to their place of residence.

The most popular types of play are listed below in order from most popular to least popular:

- 1 - Physical Play
- 2 - Vestibular Play (Sense of balance and spatial orientation)
- 3 - Water Play
- 4 - Imaginative Play
- 5 - Sensory Play
- 6 - Construction Play
- 7 - Nature Play
- 8 - Quiet Reflection

The most popular type of equipment preferred by users are listed below in order from most popular to least popular:

- 1 - Ladders/ bridges/ monkey bars/ climbing wall
- 2 - Slides
- 3 - Swings
- 4 - Balance beams / stepping stones
- 5 - Track Rides / Ziplines
- 6 - Tunnels
- 7 - Rockers/Seesaws
- 8 - Spinners

The top three site features needed on the playground in order to attract users of varying abilities include:

- 1 - Shade
- 2 - Restrooms
- 3 - Seating

See appendix A for the survey and appendix B for the full summary of survey results including written responses and comments.

Learning Landscapes Design presented these results to the Parks Committee on 8/27/20 for final comment and approval of Cedar Ridge Park as the selected development site for the future inclusive playground.

Concept Design

The Core team developed a list of program elements for the playground. These were selected based on survey result, the Core team's experiences with the targeted user group and park planning, and design discussions with Learning Landscapes Design and leading universal play specialist Mara Kaplan from Let Kid's Play!

Below is a summary of the design decision made:

- A play space for everyone should be our main goal.
- The Core team wants to focus on the types of play that are not provided else where in the McFarland park system. Although, physical play is the most popular type of play by survey responders, it is also the most common type of play offered at the other parks within the community. The physical play items that are incorporated should be inclusive items that focus on movement and should be unique to this park.
- The primary focus of the playscape should be vestibular play, sensory play and imaginative play. The secondary focus of the playscape should be physical play, nature play, and quiet reflection.
- The types of play should be sensory rich in order to engage users with sensory processing disorders. Sensory rich items include elements that engage visual, auditory, tactile, vestibular, and proprioceptive senses. The vestibular system relates to balance and the proprioceptive system relates to the awareness of how your body is positioned within the world. Sensory rich play environments allow children of all abilities to integrate and develop their senses. Children with sensory processing disorders, whether they are hyper or hypo sensitive are able work on and train their senses to a wider range of experiences which better prepares them for the variety every day situations.
- The Core team decided to remove water play from the playscape. Water play should be made the primary focus of another project to allow water play to be a deliberate decision for both the users and the care givers.
- The zip-line was removed from the playscape due to the space required for this piece of equipment and the limited amount of users it can accommodate at one time. The team decided it would be better to focus on slides, swings, spinners, and balancing elements because of their vestibular input benefits.
- Perimeter fences and gated entrances allow children to freely play without the risk that they run into nearby dangers. This is especially true for children on the Autism spectrum who tend to run away from stimulation. Perimeter fences and gates provide caregivers with piece of mind that their child will not suddenly leave or wander away from the play space. The whole play experience including play equipment, pathways, and support features such as picnic tables and restrooms is surrounded by a fence and limited to one entrance with a gate.



- Play elements should provide multiple challenge levels for safe risk taking.
- Materials should be a blend of natural elements and equipment.
- Use of unitary surfacing should be used within the use zones of play components. Unitary surfacing should be pour-in-place rubber or artificial turf.
- Designated accessible parking spaces should be provided within the parking lot to make access to the playscape easier for those arriving by vehicle.
- Based on survey results the team has decided to focus on the following site support features: seating, shade, and a restroom. A variety of seating should be provided through the space and shade should be provided in areas where users may be spending extended periods of time.
- A restroom with an adult changing table makes it easier for care givers and users to visit the playscape knowing their needs are met without having the leave. Large family style restrooms allow groups to enter the restroom together if needed, increasing supervision options.
- Quiet reflection or cozy spaces provide a place where children can go to decompress or relax when they are over stimulated. The survey indicated that one large quiet reflection space was not desired by the community. However, small quiet reflection spaces should be peppered throughout the design. Cozy spaces may be a sitting areas with high walls or a low overhead structure where children feel safe and enclosed while still being visible to others.
- An orientation path should connect all the areas and be completely accessible. Orientation paths allow users and caregivers the opportunity to tour and take in the entire space before choosing to engage. Users are able to create an internal map in their head in case they need to suddenly change their environment.
- The playscape should provide a map of the space both at the playscape entrance and on the McFarland parks and rec website. This will allow both users and caregivers to become familiar with the layout of the space and to help prepare for their visit to the park, minimizing the amount of surprises or unforeseen situations.
- Themes were discussed and the core team decided a theme should be incorporated on a small scale, but not throughout the entire playscape. The Core team suggested an emergency responders theme such as fire truck, ambulance, or police car.



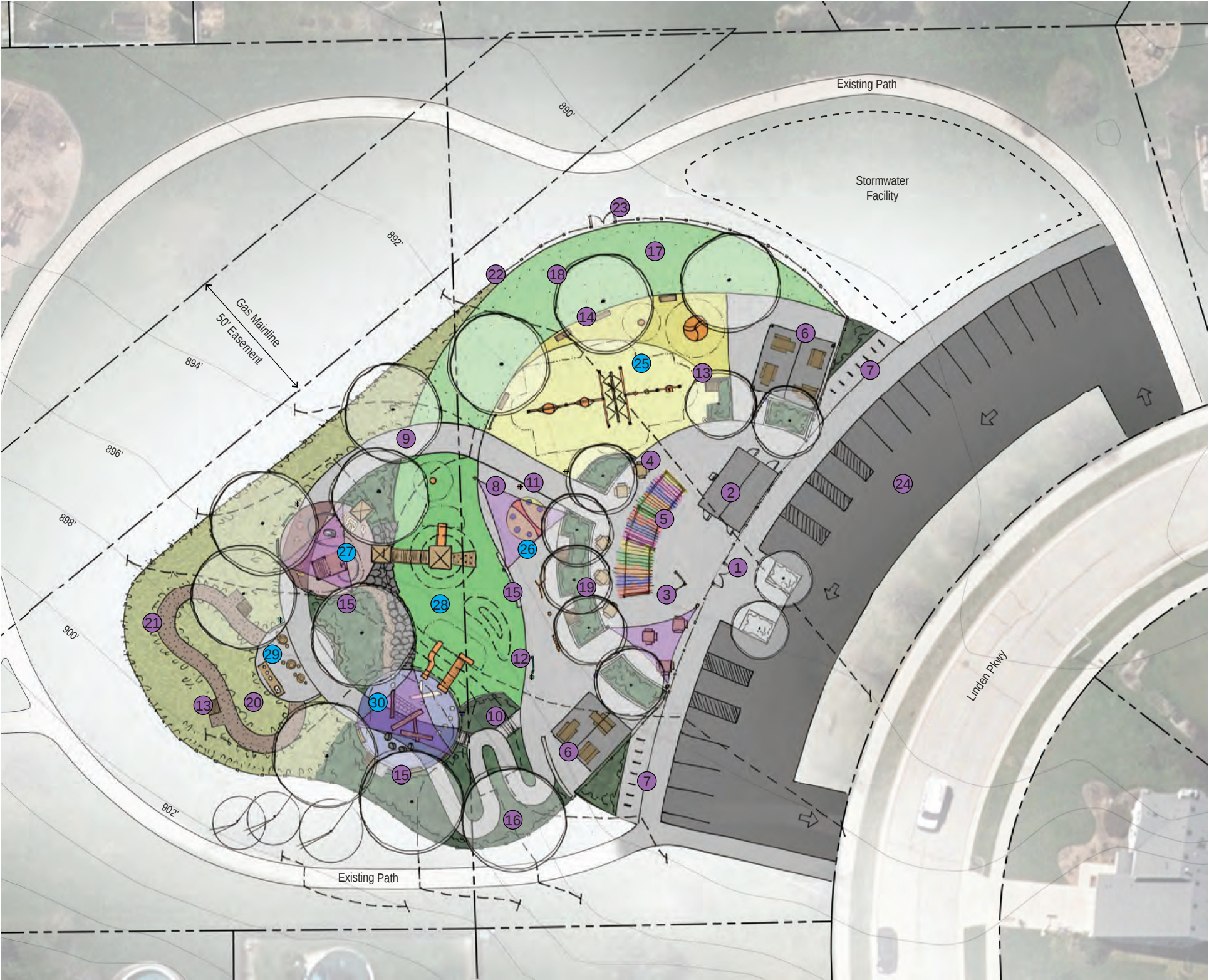
The survey results, the design meetings and the Core team decisions resulted in the following concept plan. Accompanying this plan are concept images and an estimate of probable cost.

Site Elements

- 1 Entry Gate
- 2 Family Restrooms with Adult Changing Tables
- 3 Map / Park Signage
- 4 Picnic Tables
- 5 Colorful Shadow Overhead Structure
- 6 Picnic Shelter (2)
- 7 Bike Racks
- 8 Shade Sail Structure (4)
- 9 Orientation Path
- 10 Stairs
- 11 Wayfinding Posts (6)
- 12 Communication Boards (3)
- 13 Quiet Nooks (6)
- 14 Benches
- 15 Raised Concrete Seating Wall
- 16 Planting Area, typ.
- 17 Open Lawn
- 18 Large Shade Trees
- 19 Quaking Aspen Grove
- 20 Wild Flower and Tall Grass Meadow
- 21 Crushed Aggregate Pathway
- 22 Perimeter Fence
- 23 Maintenance Access Gate
- 24 Parking Lot (21 Spaces)

Play Elements

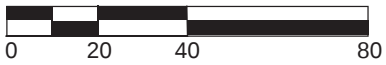
- 25 Vestibular Play Area
 - Wheelchair Accessible Spinner
 - Single Spinner Seat
 - Swing Structure: Accessible Swing Seat, Bucket Swing (2), Pendulum Rope Swing, Nest Swing (2)
 - Pour-In-Place Rubber Surfacing
- 26 Sensory Area
 - Electronic Movement Game
 - Sensory Panels
 - Musical Instruments
- 27 2-5yr old Play Area
 - Playhouses
 - Fire Truck with Steering Wheel and Net Seat
 - Fire Station Bells
 - Fire Dog Statue
 - Pour-In-Place Rubber Surfacing with Patterns
- 28 Hill Play Area
 - Boulder Scramble
 - Cave
 - Embankment Slide
 - Playhouses and Bridge
 - Climbing Wall
 - Play Mounds
 - Artificial Turf Surfacing
- 29 Nature Play Area
 - Nature Kitchen
 - Log Table and Stump Seats
 - Exploration Path
 - Woven Stick Peek Through Panel
- 30 5-12yr old Play Area
 - Embankment Slide
 - Embankment Roller Slide
 - Balancing and Climbing Logs, Boulders, and Net
 - Pour-In-Place Rubber Surfacing with Patterns



Cedar Ridge Park Inclusive Playground - Draft Concept Plan

Village of McFarland, WI

November 12th, 2020



Swinging and Spinning



Hills, Slides, and Forts



Cedar Ridge Park Inclusive Playground - Concept Images

Village of McFarland , WI

November 19th, 2020





Cedar Ridge Park Inclusive Playground - Concept Images

Village of McFarland, WI

November 19th, 2020





Cedar Ridge Park Inclusive Playground - Concept Images

Village of McFarland, WI

November 19th, 2020



McFarland Inclusive Playscape

Estimate of Costs

11/19/20

ITEM	QTY.	UNIT	UNIT COST	TOTAL COST (Grey = possible savings)	REMARKS	SOURCE
SITE PREPARATION & DEMOLITION				\$36,000		
Mobilization	1	LS	\$30,000	\$30,000		
Demo	1	LS	\$2,000	\$2,000	Contractor to demo a few trees and a small section of path.	
Erosion Control	1	LS	\$4,000.00	\$4,000	Silt fence \$50 lf plus inlet covers	
EARTHWORK AND DRAINAGE				\$41,250		
Top Soil Stripping and Saving	62000	SF	\$0.25	\$15,500	Assumes stripping and saving top 4" of existing soil	
Site Grading	370	CY	\$40.00	\$14,800	Balanced Cut/Fill (Roughly 10,000sf cut / 10,000sf fill)	
Fine Grading	13000	SF	\$0.25	\$3,250	Sod, Seeding, and Planting Areas	
Drain Pipe Under Play Surfacing	300	LF	\$9.00	\$2,700	4" perforated pipe connect to stormwater area	
Stormwater Plumbing	1	AL	\$5,000.00	\$5,000	Drainlines and drainage infrastructure from playarea and parking lot to stormwater facility	
PAVING AND CONCRETE				\$285,944		
Asphalt paving (parking lot)	11300	SF	\$6.00	\$67,800	4" depth asphalt paving	
Concrete Paving - 4" depth	14200	SF	\$10.00	\$142,000	10,400sq within playground fence, 3800sq along parking lot.	
Concrete Stairs w/ Handrails	1	LS	\$10,000.00	\$10,000	Concrete stairs + 4 hand rails, 5 risers each staircase	
Concrete Walls	450	LF	\$125.00	\$56,250	8-10" curb width, top of planter: 18" above finish grade.	
Wood Bench Tops to Seat Wall	5	EA	\$1,500.00	\$7,500	Allowance for custom construction	
Crushed Aggregate Path - 6' Wide	21	tons	\$114.00	\$2,394	Narrow pathway at top of boulder scramble and 6' wide path in Nature Play Area - Includes stone, labor, site prep, and fabric. Stone: 925sf @ 4" depth = 21 tons, Price \$48/ton. Labor = \$1.50/sf	Halquist Stone

McFarland Inclusive Playscape

Estimate of Costs

11/19/20

SITE IMPROVEMENTS - GENERAL		\$414,750				
Restroom	1	LS	\$150,000.00	\$150,000	Includes restroom building, (2) adult changing tables, drinking fountain, utilities connections (water, sewer, storm), installation, and freight	HuffCutt & Max-Ability
Picnic Shelter (2)	1	LS	\$70,000.00	\$70,000	20x20 Gable Structure \$14,775, 24x24 Gable Structure \$19,300. Includes engineering, installation, and freight	Coverworx
Colorful Entrance Structure	1	LS	\$40,000.00	\$40,000	Wood pergola, 45' length through center of structure x 10' width. Colorful Plexiglass roof sold separately and installed by contractor.	Coverworx
Shadesails	4	EA	\$15,000.00	\$60,000	30x30x30 Triangular Shade Sail with (3) metal posts. Includes engineering, installation, and freight.	
Perimeter Fence	750	LF	\$42.00	\$31,500	4' ht. Black Aluminum Fence with (2) double hinge gates	
Bike Racks	17	EA	\$250.00	\$4,250	Allowance for purchase item. Black powder coated "U" Rack, surface mounted with grout cover. Includes product, installation, and shipping	
Picnic Tables	16	EA	\$1,000.00	\$16,000	An allowance for purchased item. (8) ADA accessible square picnic tables and (8) ADA accessible rectangular picnic tables. Includes freight.	
Benches	6	EA	\$1,500.00	\$9,000	Allowance for purchased item. Includes freight.	
Quiet Nooks	6	EA	\$1,500.00	\$9,000	Allowance for custom constrution. Seating platforms designed to create a sense of enclosure.	
Wayfinding Posts	6	EA	\$1,500.00	\$9,000	Allowance for custom 10' ht. 6x6 posts with colored sign or painted icon for wayfinding. Embedded in concrete footing.	
Communication Boards	3	EA	\$2,000.00	\$6,000	Allowance for purchased item	
Entrance Sign / Map and Kiosk	1	LS	\$10,000.00	\$10,000	Allowance for purchased item	
PLAYGROUND SURFACING		\$147,900				
Pour-in-place rubber surfacing	5630	SF	\$15.00	\$84,450	100% Color Pour-In-Place Rubber. Includes sub-base, rubber, and instalation. Does not include Excavation. Cost savings opportunity: 50% color / 50% black rubber blend. Two to five area 900 Sf, Vestibular area 3700sf, five to twelve 1030sf	
Flush Concrete Curb at PIP Edge - 6" wide	230	LF	\$15.00	\$3,450		
Artificial Turf Surfacing	3000	SF	\$20.00	\$60,000	Includes sub-base, turf, and install. Does not include excavation	

McFarland Inclusive Playscape

Estimate of Costs

11/19/20

VESTIBULAR PLAY AREA		\$71,650				
Wheelchair Accessible Spinner	1	LS	\$13,900.00	\$13,900	The Inclusive Whirl, Price includes product, installation, and Freight	PlayWorld
Single Spinner Seat	1	LS	\$3,750.00	\$3,750	Cozy Cocoon, price includes product , installation, and Fright	PlayWorld
Swing Structure	1	LS	\$54,000.00	\$54,000	Includes (1) rope swing, (2) bucket swings, (1) Accessible swing seat, (2) nest swings	Columbia Cascade
SENSORY AREA		\$78,100				
Electronic Movement Game	1	LS	\$55,000.00	\$55,000	Sona, includes product, 10 subscription, pavement painting, installation, and freight	Yalp
Sensory Panels	1	LS	\$15,250.00	\$15,250	Museum Grand Gallery Sensory Panels, price includes product, installation, and freight	Miracle Recreation
Musical Instruments	1	LS	\$2,500.00	\$2,500	Small Cabasa and Large Cabasa, price includes product, installation and freight	PlayWorld
Musical Instruments	1	LS	\$5,350.00	\$5,350	Concerto Chimes, price includes product, installation, and freight	PlayWorld
2-5 YR OLD AREA		\$40,000				
Musical Instrument - Fire Station Bell	1	LS	\$2,500.00	\$2,500	An Allowance for custom construction	
Playhouses	2	EA	\$5,000.00	\$10,000	An Allowance for custom construction. Playhouse to have 4 sides and roof.	
Wood Fire Truck	1	LS	\$12,000.00	\$12,000	An Allowance for custom construction. Truck includes steering wheel, crawl through opening, partial overhead structure, wide opening and wheel chair turnaround space, window openings, cargo net seat.	
Interpretive Play Signage	1	LS	\$500.00	\$500	Allowance for purchased item	
Fire Station Themed Statue (Dalmation or Fire Hydrant)	1	LS	\$5,000.00	\$5,000	Allowance for purchased item	
Small Custom Climber	1	LS	\$10,000.00	\$10,000	Allowance for custom construction	
HILL PLAY AREA		\$42,000				
Wood Hilltop Structure / Bridge / Climbing Wall	1	LS	\$30,000.00	\$30,000	Allowance for custom construction	
3' ht, Wide Plastic Embankment Slide	1	LS	\$5,000.00	\$5,000	Includes slide, sit down platform, and installation. Hill slide installation does not include preparation/grading of hill.	Playworld
Single Spinner Seat	1	LS	\$2,000.00	\$2,000	Spin Cup, price includes product, installation, and freight	Playworld
Boulder Scramble	1	LS	\$5,000.00	\$5,000		

McFarland Inclusive Playscape

Estimate of Costs

11/19/20

NATURE PLAY AREA	\$6,800					
(1) Log Table and (2) Stump Seats	3	EA	\$500.00	\$1,500	An Allowance for custom construction	
Nature Kitchen	1	LS	\$3,000.00	\$3,000	An Allowance for custom construction	
Woven Stick Peek Through Panel	1	LS	\$2,000.00	\$2,000	An Allowance for artistic installation	
Habitat Houses	2	EA	\$150.00	\$300	An Allowance for habitat houses. Includes installation and freight.	
5-12 YR OLD AREA	\$26,550					
Double Crisscross Logs - 12-8" dia	1	LS	\$3,000.00	\$3,000	An Allowance for custom construction	
Single Elevated Balancing Lot	1	LS	\$1,000.00	\$1,000	An Allowance for custom construction	
Climbing Net	1	LS	\$2,000.00	\$2,000	An Allowance for custom construction	
Stepping Stones	4	EA	\$500.00	\$2,000	Boulders set into the safety surfacing	
6' Plastic Embankment Slide with Transfer Seat at Bottom	1	EA	\$7,550.00	\$7,550	Includes slide, sit down platform, and installation. Hill slide installation does not include preparation/grading of hill.	PlayWorld
6' Roller Embankment Slide with Transfer Seat at Bottom	1	EA	\$11,000.00	\$11,000	Includes slide, sit down platform, and installation. Hill slide installation does not include preparation/grading of hill.	PlayWorld
PLANTING & IRRIGATION	\$48,500					
Planting Beds	4200	SF	\$3.50	\$14,700	Assumes no irrigation. Includes soil, plants, top dressing, and installation.	
Open Lawn - Sod	3700	SF	\$1.50	\$5,550	Assumes no irrigation. Includes sod, soil, and installation.	
Seeded Area - Wild Flowers and Tall Grass	5000	SF	\$0.25	\$1,250	Assumes no irrigation. Includes seed, soil, and installation.	
Shade Trees	20	EA	\$300.00	\$6,000	Assumes no irrigation.	
Stormwater Facility	6000	SF	\$3.50	\$21,000	Assumes no irrigation. Includes soil, plants, top dressing, and installation	
Estimated Construction Cost	\$1,239,444.00					
Contractor Overhed and Bonding	10%			\$123,944		
Permit	1%			\$12,394		
Contengency	15%			\$185,917		
Estimated Construction Cost	\$1,561,699.44					

Appendix A

Village of McFarland – Special Needs Playground Survey

The Village of McFarland is planning for a new inclusive playground with the help of Learning Landscapes Design. The objective of this inclusive playground will be to include everyone in the McFarland community. With your input, we will create a thoughtfully designed play environment where children of all abilities can play together and be challenged at their own developmental level. Our goal for this playground is to take away the barriers, both physical and social, and provide a fun experience for all.

Through a site analysis process, we have chosen three potential development sites and we would like the community to weigh in on your preferred location. We have put together a graphic, which can be found at: <https://bit.ly/33q2oZh>, that shows a preliminary design approach at each potential location.

Please take a few minutes to review the design approach options and answer the following questions. This survey will help us understand which location is preferred, how playgrounds are used, and what you would like to see included in the design.

Thank you!

1. Out of the three location in mind, please rank each of the following playground sites in order of importance with (1) being the most desired location and (3) being the least desired location.

_____ Highlands Oak Park (5945 Osborn Dr)

_____ Cedar Ridge Park (5303 Wild Cherry Ln)

_____ Community Park (3234 County Hwy AB)

2. Referring to question number one, why is the selected park above your MOST desirable location for an inclusive playground? (Select all that apply)

_____ Near your place of residence

_____ Distance from town center

_____ Walkable / Bikeable

_____ Easy to get to by car

_____ Park Size

_____ Other:

3. Referring to question number one, why is the selected park above your LEAST desirable location for an inclusive playground? (Select all that apply)

_____ Too far from your place of residence

_____ Distance from town center

_____ Not walkable / bikeable

_____ Difficult to get to by car

_____ Park Size

_____ Other:

Section II: Types of Play

The following questions are for parents and caregivers to rank the type of play, or activity, that your child[ren] enjoy most. Please answer the questions based on the number of children withi your household.

4. Child One: Rank the type of play your child enjoys the most. (1) being the most enjoyable and (8) being least enjoyable.

- ☐ Physical Play (jumping, climbing, running, etc.)
- ☐ Imaginative Play (pretend house or castle)
- ☐ Sensory Play (music, art, colors, tactile panels)
- ☐ Vestibular Play (spinning, swinging, etc.)
- ☐ Water Play (water works station)
- ☐ Construction Play (building forts or stacking blocks)
- ☐ Quiet Reflection (sitting, observation)
- ☐ Nature Play (exploration, flower picking, bug hunts, etc.)

5. Child Two: Rank the type of play your child enjoys the most? (1) being the most enjoyable and (8) being least enjoyable

- ☐ Physical Play (jumping, climbing, running, etc.)
- ☐ Imaginative Play (pretend house or castle)
- ☐ Sensory Play (music, art, colors, tactile panels)
- ☐ Vestibular Play (spinning, swinging, etc.)
- ☐ Water Play (water works station)
- ☐ Construction Play (building forts or stacking blocks)
- ☐ Quiet Reflection (sitting, observation)
- ☐ Nature Play (exploration, flower picking, bug hunts, etc.)

6. Child Three: Rank the type of play your child enjoys the most? (1) being the most enjoyable and (8) being least enjoyable

- ☐ Physical Play (jumping, climbing, running, etc.)
- ☐ Imaginative Play (pretend house or castle)
- ☐ Sensory Play (music, art, colors, tactile panels)
- ☐ Vestibular Play (spinning, swinging, etc.)
- ☐ Water Play (water works station)
- ☐ Construction Play (building forts or stacking blocks)
- ☐ Quiet Reflection (sitting, observation)
- ☐ Nature Play (exploration, flower picking, bug hunts, etc.)

7. Child Four: Rank the type of play your child enjoys the most? (1) being the most enjoyable and (8) being least enjoyable

- ☐ Physical Play (jumping, climbing, running, etc.)
- ☐ Imaginative Play (pretend house or castle)
- ☐ Sensory Play (music, art, colors, tactile panels)
- ☐ Vestibular Play (spinning, swinging, etc.)
- ☐ Water Play (water works station)
- ☐ Construction Play (building forts or stacking blocks)
- ☐ Quiet Reflection (sitting, observation)
- ☐ Nature Play (exploration, flower picking, bug hunts, etc.)

Village of McFarland – Special Needs Playground Survey, continued

8. Please rank the type of physical equipment children in your household prefer? (1) being the most popular and (8) being the least popular.

- Slides
- Ladders/bridges/monkey/climbing walls
- Balance beams/ stepping stones
- Tunnels
- Rockers/Seesaws
- Swings
- Spinners
- Track Rides/Zip Lines

9. Please select the top (3) site features needed on the playground.

- Seating
- Restrooms
- Perimeter Containment Fence
- Unitary Surfacing (i.e. rubber playground surfacing)
- Shade
- Signage (Wayfinding, Map, Orientation)
- Picnic Tables
- Parking
- Drinking Water
- Other:

10. Does your child, or a child you car for, have a disability or medical issue?

- Yes
- No

11. If you answered "yes: to the questions above, please explain how it impacts their playground experience.

12. What can we add to the playground to ensure that your family has what they need to come and play?

13. Any additional comments? Please share.

Appendix B

Survey Results

ABOUT

Survey Open ... August 5 – August 19

Total Responses ... 189

Average Time to Complete ... 24:10

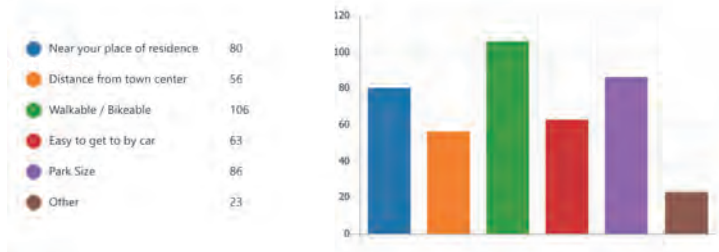
Q1: 161 Responses

Out of the three locations in mind, please rank each of the following playground sites in order of importance with (1) being the most desired location to (3) being the least desired location.

Rank	Options
1	Cedar Ridge Park (5303 Wild ...
2	Highlands Oak Park (5945 Osb...
3	Community Park (3234 Count...

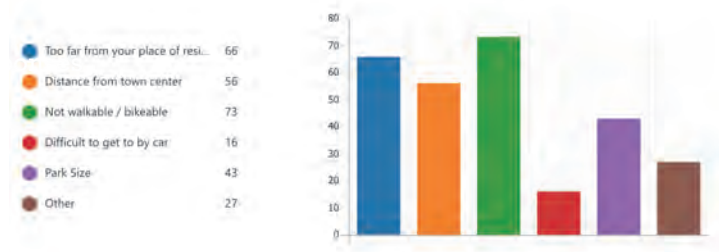


- **Cedar Ridge Park**
 - 53.4% First Choice
 - 21.7% Second Choice
 - 24.8% Third Choice
- **Highland Oak Park**
 - 13.7% First Choice
 - 59.6% Second Choice
 - 26.7% Third Choice
- **Community Park**
 - 32.9% First Choice
 - 18.6% Second Choice
 - 48.4% Third Choice



Q2: 187 Responses

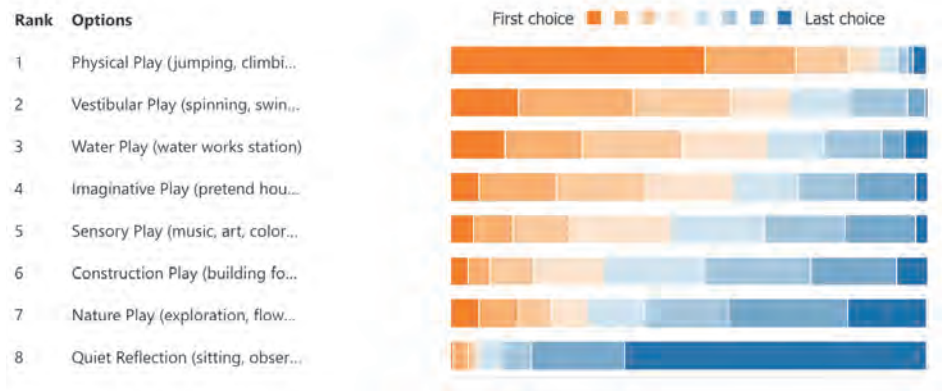
Referring to question number one, why is the selected park above your MOST desirable location for an inclusive playground?



Q3: 170 Responses

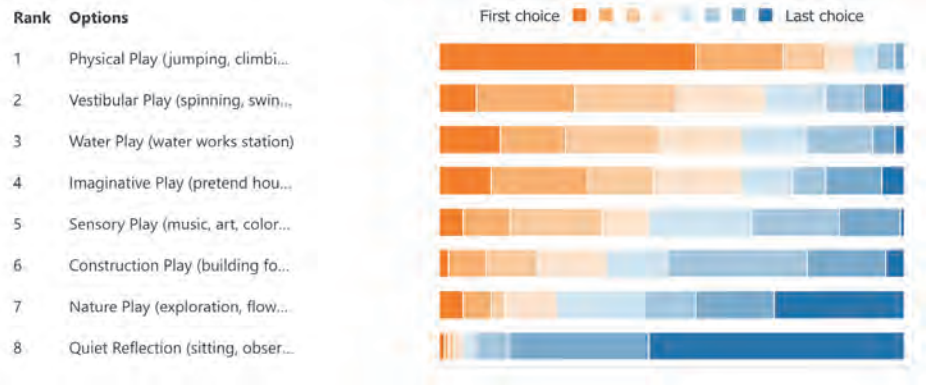
Referring to question number one, why is the selected park above your LEAST desirable location for an inclusive playground?

Appendix B - Survey Results



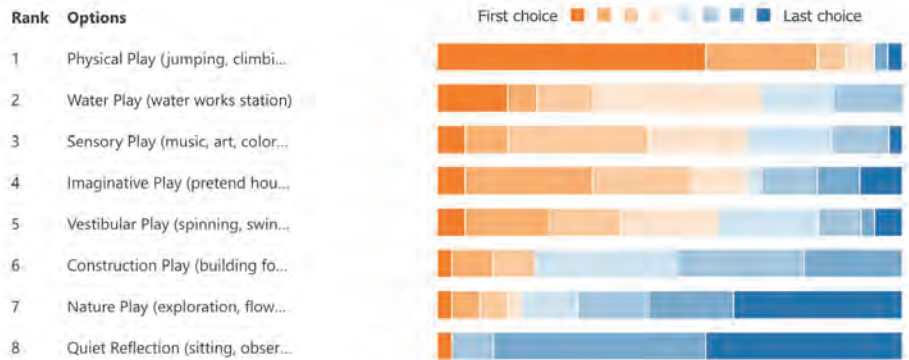
Q4: 167 Responses

Child One: Please rank the type of play your child enjoys the most. (1) being the most enjoyable and (8) being least enjoyable.



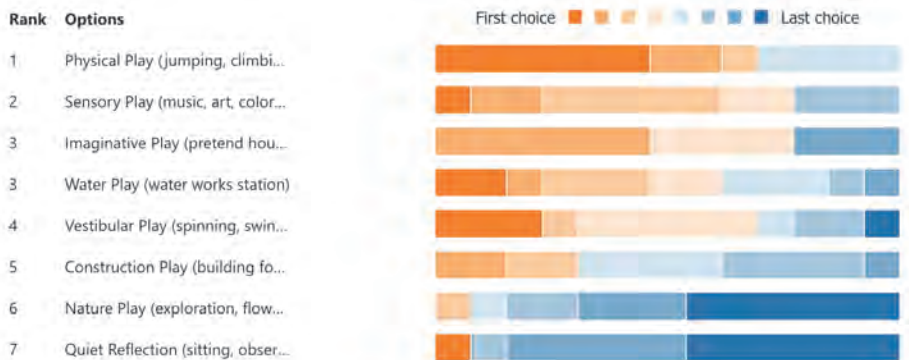
Q5: 100 Responses

Child Two: Please rank the type of play your child enjoys the most. (1) being the most enjoyable and (8) being least enjoyable.



Q6: 33 Responses

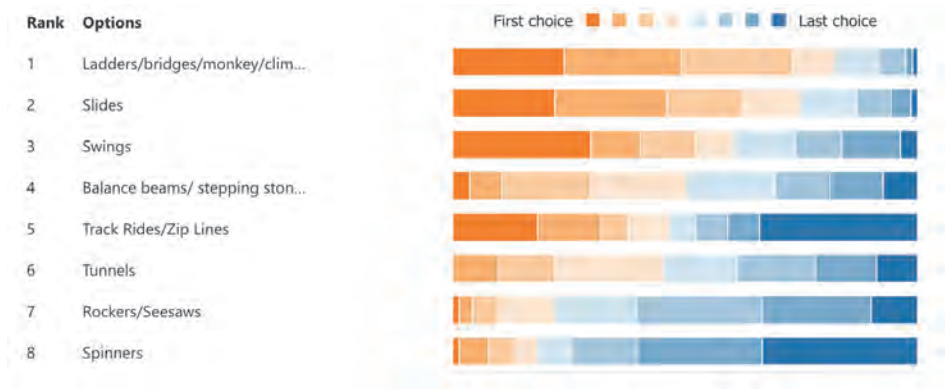
Child Three: Please rank the type of play your child enjoys the most. (1) being the most enjoyable and (8) being least enjoyable.



Q7: 13 Responses

Child Four: Please rank the type of play your child enjoys the most. (1) being the most enjoyable and (8) being least enjoyable.

Appendix B - Survey Results



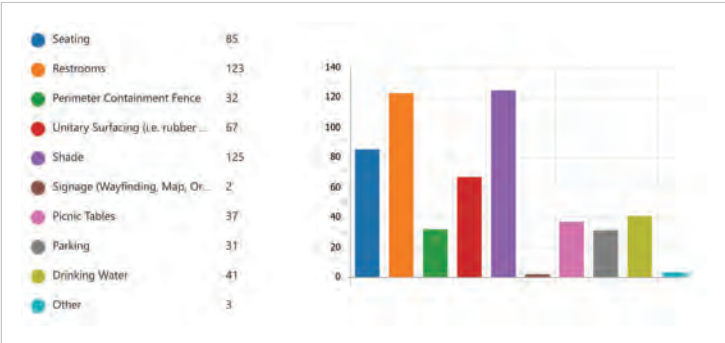
Q8: 159 Responses

Please rank the type of physical equipment children in your household prefer? (1) being the most preferred and (8) being the least preferred.

Q9: 179 Responses

Please select your top 3 site features needed on the playground.

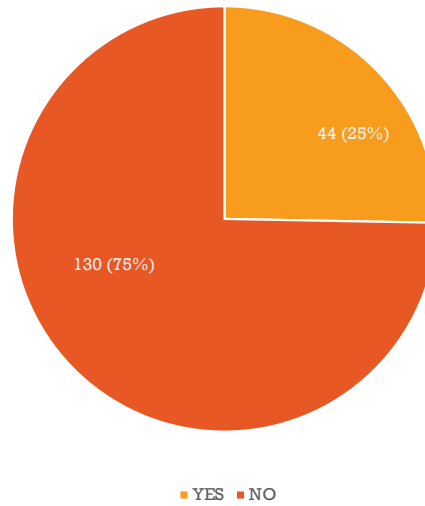
SHADE RESTROOMS SEATING



Q10: 174 Responses

Does your child, or a child
you care for, have a disability
or medical issue?

RESULTS



[illegible]

If you answered "yes" to the question above, please explain how it impacts their playground experience.

(Full Responses in PDF)

If you answered "yes" to the question above, please explain how it impacts their playground experience.

(Full Responses in PDF)

Autism- needs lots of space and independent play areas

Hands on, tactile, and sensory play is so important!

My 6-year-old Daughter uses a wheelchair/walker. My 2-year-old son has autism and is a runner.

Sensory issues and diabetes make playing difficult at times loud noises, dogs, and bathroom breaks limit play

Wheelchair and developmental delays

ADHD and sensory issues

I'm an occupational therapist and have two kids of my own and a nephew with autism and it definitely changes how I look at accessibility of a playground, elopement for my nephew was a huge concern going anywhere

She just needs an area to take a break and catch her breath. She has asthma.

Need to be able to supervise easily, tends to run off, needs support to use equipment

Our daughter uses a wheelchair. She is unable to use her arms and legs for play. She also can't sit up or hold her head up on her own. She relies on a caregiver to help her play and push her in her chair.

She is in a wheelchair

Uneven ground makes it trickier to navigate

Needs to observe hearing and physical impairment

Needs assistance to get into swings, etc.

Autistic

It is helpful to us to have a restroom close by that is accessible to the child and the caregiver to assist as needed.

Inclusion is huge. Being able to participate to any degree with peers is long overdue, appreciated, and welcomed!

Mental and physical disabilities make sensory very important.

Developmental delays,

Doesn't enjoy traditional playgrounds because they are too physically demanding.

Most playgrounds have limited access.

Less emphasis on physical play, more sensory activities

Cerebral palsy—need wheelchair accessible activities and supportive equipment for reduced tone

My son has fluid on the brain and macrocephaly which causes him to fall more frequently during physical activity. Because of this, I prefer playgrounds with rubber and avoid mulch which is less stable.

Lacks balance and size compared to peers.

Blindness

Some things are too tricky

Autism: he runs away

sun allergies chemical sensitivities

Food allergies- would love for there to be signage, and sensory processing- have vestibular play is welcome

Equipment needs to be accessible for those with motor planning issues

Sensory sensitivities and motor functioning

Sensory & vestibular play is very important.

Crowds are difficult.

Sensory input is important. Perimeter fence ensures safety

Neurological disorder

My son has never been a huge fan of playgrounds because he lacks the core muscle strength and balancing skills that are required to use most of the equipment on a regular playground. He always gravitates towards the swings or sandbox, because they are easier for him.

Uneven surfaces prevent our child's access to playground/parks. Parking is critical as long distances to walk creates a barrier. Swings styled for individuals with disabilities must be hung at a height that allows a single person to be able to help our family member get onto the swing seat (swings that are too high are impossible to lift our individual into to sit. Paths thru a variety of accessible play features should have solid footing, handrails for slopes & be wide enough to allow 2 individuals in wheelchairs to easily pass each other... Steps are a barrier, so accessible ramps are needed. Would enjoy a variety of equipment that gives different types of sensory input- proprioceptive, vestibular. A wheelchair swing would be nice for anyone arriving in a w/c.

Q12: 66 Responses

What can we add to the playground to ensure that your family has what they need to come and play?

(Full Responses in PDF)

What can we add to the playground to ensure that your family has what they need to come and play?
(Full Responses in PDF)

Parking/easily accessible from road.

PLEASE DO NOT PUT SAND OR WEAPONS. A 'WEAPON' is something like a stick, toy or other thing that can be thrown towards another child or adult. Sand can be thrown, rocks, pea gravel, woodchips, etc. If there is rubber matting, great or those rubber pellet things don't hurt and will not get into eyes that much. I've had sand thrown in my eyes and had to go to the ER. My other kid and little friends, as well as myself/dad has been hit with toys, sticks, etc. It is VERY hard to have a barely verbal child when he did NOT understand that his actions HURT others. He does not mean to hurt others, it happened. A water table is amazing, but make sure the water toys are on a chain or something so they cannot be hurled at another kid. Bubbles are also amazing, but those huge wand things hurt! When I saw the example, park pictures of exploratory areas / nature areas of woods or something, sand play, etc. I was in my head.... oooooh no, we would have turned around and had to leave unless that was gated off. Something that would have gates and 'locks' that adults have to control the entry in / out of areas perhaps? That obviously doesn't make it 'user' friendly for kids in wheelchairs to access, but kids that are autistic, or ADHD, or unable to control their little bodies need guidance and an environment free from things mentioned so they don't hurt themselves or others.

Bike parking near parent seating around the perimeter; half shaded equipment (to avoid burns on hot equipment)

The designs look fantastic.

Sand box, but also restroom options and water

My nephew lives nearby and is wheelchair bound. Unitary surface and accessible equipment are essential.

a bathroom and no pets allowed

Wheelchair access, lots of space and restrooms

Splash pad

Several different options, which I believe are already in consideration.

A fence, safe padding and accessories

Wheelchair accessibility

Options for multiple age levels.

Equipment for a wide age range

Fencing would be very helpful

Options for wheelchair users to play without having to be transferred out...swings, marry-go-round, or any options for movement while still in the wheelchair.

a beer garden

safety and walk/bike accessible

The swings where an adult and child can ride on the same swing together

Just signage to tell folks that ALL kids can play on the playground.

Scenery stuff, fence, changing table for bigger kids

A swing that the wheelchair can go on

Flooring that is even and easy to roll wheelchairs and strollers on. Fewer steps and more inclines.

Wheelchair accessible to moving parts

monkey bars and climbing equipment

Parking and bathrooms

Ramp to swing

Additional picnic/seating/maybe covered area

Sensory toys, spaces where he can play around others but still have space

Restroom

Restrooms, safety measures such as a perimeter fence, parking, different levels of equipment for all to enjoy

I don't have a child with disabilities but have cared for children with disabilities. I love that McFarland is doing this!

Adequate parking, security features to decrease chances of vandalism, 'buddy benches'...

A sensory area as well as shade

Bike rack(s); Multiple sunshade sails in different locations with picnic tables

Spaces for all kiddos with and without disabilities and all ages so families can play together

Bathrooms, picnic tables, shaded areas.

Shade

Things for All ages of children. Not just big kids

Safe access for children with physical differences.

Restrooms and picnic tables

A community swimming pool

Wheelchair accessible paths, equipment for wheelchairs without requiring we transfer child. Benches to rest and accommodate needs with changing table that could fit a 7-year-old

Soft rubber surfacing definitely helps and shade so that families can come during the quieter times of day without being burnt.

Most anything would be great. A full-on splash pad is more enjoyable if close

Green space for running, playing catch.

A spacious bathroom for changing diapers/clothes and an even rubber surface for running.

Brail. Equipment that makes noise. Musical or other

A variety of playground equipment for a wide range of ages.

Bathrooms for sure for younger children

Easy to get on

Perimeter fence with limited entrances/exits

Happy Hour

parking restroom/water

Food allergy signage, lots of kinds of interactive play

Benches surrounding the park for sensory break and shaded areas for break from the hot sun

Crowds are difficult. Pictures on Facebook would help to comfort ahead of time.

Fence, water play, vestibular and physical sensory input

Shade is a big thing otherwise we are limited to early or late in the day due to having multiple melanomas removed

Water play keeps him engaged and relaxed for hours

My son has medical needs that would require a bathroom for most visits. Picnic tables in the shade would also be helpful to manage medical needs.

Accessible swing or gentle gliding play equipment. Parents with different abilities need benches or picnic tables. Color coded sections to depict different areas usage: Adequate space to maneuver around equipment. A basketball hoop at the level for a wheelchair user. Avoid placement of horizontal rails that limit visual fields of wheelchair users. Keep visual lines open for caregivers to observe across play area. Tactile signage and communication board with descriptive language for nonverbal users to express themselves. Colors can signify different usage areas or quiet zones/ active.

[illegible]

Any additional comments?
Please share.
(Full Responses in PDF)

Please share.

I think this park idea is amazing and I am happy to further share ideas, clearly, we've been through some trials and tribulations. My boys are 'good' now and my special son is on some medicine and in therapy that helps a lot, McFarland has been incredibly welcoming, and we are grateful to live here. I am sorry to have missed the meeting, I thought it was tonight, campingliz@gmail.com.

This park will be incredible for McFarland!

Thank you for considering

This is a great idea we are new McFarland and I'm so happy to see this forward thinking going on!

other parks need improvements

I would only suggest that you call this project an “all abilities park” rather than a special needs park.

Consider talking about this differently. By saying “Special Needs Park” this sounds limiting to only those with special needs. I would assume the intention is that ALL KIDS would be able to play here. “Inclusive Park,” perhaps. Thanks for listening and considering.

Page 69 of 105

Necessary addition to our community. We need to give the residents opportunities in our community to access. Our world is changing with residents staying at home for work. These considerations need to be addressed.

Thank you for asking us!

Subcommittee for disabilities

Maintenance costs need to be very low. There are many options that don't require active regular upkeep and repair. This is a priority to me. The building toys seem like they would disappear quickly. Site C suggests a larger park master plan and new school. Without that info, site C makes no sense

Thank you for doing this project! It sounds Amazing!

We are very excited for an inclusive playground!

I appreciate the community survey! This is a great way to get input! I hope that we can move forward with a water option in town soon. All of our surrounding communities have them and it would be nice to stay in town for water play.

The presentation was wonderful, but we need to keep spending under control for this project, especially to look towards a family-oriented water facility (which obviously can be made accessible as well) in the near future.

Great idea

Thank you

We don't have younger children, but I feel this is an important need for the village and especially for those who are at a disadvantage for using traditional park equipment.

We will be grandparents and feel this is a need

Thank you!

We would like a community swimming pool

Thank you for doing this!

Thank you for all your hard work in making this a reality.

Thank you for considering Cedar Glade. It is a large park with very little equipment. Even if this much needed park goes to another location, please consider minor upgrades and improvements to Cedar Ridge park.

abilities and needs change with age

Thanks for working so hard to get community input

Shade will be important as well

Thank you taking the time so ensure all are included!

I think the park is a great idea and a much-needed resource for many families.

Having a park located with room to expand and adequate parking is essential. However, I'm concerned that putting park on Siggelkow across the interstate is an isolated placement that doesn't capture the Village feel and might be so removed it's at risk for vandalization. Wasn't there room near the ballfields on MN? Please remember to include equipment that adults with disabilities can use as small children have access to equipment at elementary schools, while larger individuals have few opportunities. Also including features for all abilities will make for a more inclusive experience, rather than segregating those with disabilities.

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 6, 2023

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: **Discussion and action** to make a recommendation to the Village Board regarding a change order to construct Phase 1(b) for the Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

The previous agenda item outlined the plan for the development of an Inclusive Playground at Waubesa Intermediate School. The project would be implemented this year and next in partnership with the McFarland School District. The District is working on implemented Phase 1(a) which serves as the new facility to serve the park. The Village through this change order would move forward Phase 1(b) which is the road and utility connections to access the site. The change order is through the contractor reconstructing Paulson Road this year. The work that is proposed here is of a similar variety at a smaller scale. Bidding the project of this size on its own with a contractor already mobilized is likely to lead to a higher expected cost. The timing for this work is also moved up a year to align with the facilities construction schedule. The utility connections are needed in the process and the timeline for Phase 1(a) is to construct the project for completion in the Spring of 2024 prior to the softball season beginning.

FINANCIAL/BUDGET IMPACT:

The total cost for this change order is \$215,487. Aspects of these costs were to be budgeted in 2024 as recommended by the last Capital Improvement Plan. However, they were also proposed to be completed without using borrowed money. The two sources proposed in the CIP were through the ARPA Fund and Parks Fund. ARPA Fund is one time money through the Federal Government aligned very well for eligibility with this project. All expected funds have been received and available for our use. Alternatively, Parks Fund remains very healthy and able to address this aspect of the project as well. If borrowed money within the Capital Projects Fund were desired then it could be picked up through the unexpended proceeds of the McDaniel Park Beach Project that was recently terminated. Funds to support that project should be used sooner rather than later as there is a deadline for them to be expended versus the unknown nature of when that project comes forward.

VILLAGE PLAN REFERENCE:

None.



ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended Action:

Motion, second to make a recommendation of approval to the Village Board regarding change order to construct Phase 1(b) for the Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

ATTACHMENTS:

1. Change Order 1 - MC 197 Signed

Date of Issuance: 6/1/2023	Effective Date: 6/1/2023
Owner: Village of McFarland	Engineer's Project No.: MC 197
Contractor: Speedway Sand & Gravel, Inc.	
Engineer: Town & Country Engineering, Inc.	
Project: 2023 Street and Utility Improvements	

The Contract is modified as follows upon execution of this Change Order:

This change order is for the addition of utilities and access pavement to the future park site at Waubesa Intermediate School. The scope of work is further described and detailed in the attachments. The completion date of the work under this change order shall be October 30, 2023. The work is expected to start after September 1, 2023. No liquidated damages shall be assessed for work under this change order that occurs beyond the original contract completion dates.

Description:	Quant.	Unit	Unit Price	Amount
CO1.1 Waubesa Intermediate School Phase I Plans	1	lump sum	\$215,487.00	\$215,487.00

TOTAL CHANGE ORDER

\$215,487.00

Attachments: Waubesa Intermediate School Phase I Plans, Speedway Quote Letter

CHANGE IN CONTRACT PRICE	CHANGE IN CONTRACT TIMES <i>[note changes in Milestones if applicable]</i>
Original Contract Price: \$2,017,538.45	Original Contract Times: Substantial Completion: September 15, 2023 Ready for Final Payment: September 15, 2023 days or dates
[Increase] [Decrease] from previously approved Change Orders No. <u>N/A</u> to No. <u>N/A</u> : \$0.00	[Increase] [Decrease] from previously approved Change Orders No. <u>N/A</u> to No. <u>N/A</u> : Substantial Completion: _____ Ready for Final Payment: _____ days
Contract Price prior to this Change Order: \$2,017,538.45	Contract Times prior to this Change Order: Substantial Completion: September 15, 2023 Ready for Final Payment: September 15, 2023 days or dates
[Increase] [Decrease] of this Change Order: \$215,487.00	[Increase] [Decrease] of this Change Order: Substantial Completion: none Ready for Final Payment: September 15, 2023 days or dates
Contract Price incorporating this Change Order: \$2,233,025.45	Contract Times with all approved Change Orders: Substantial Completion: September 15, 2023 Ready for Final Payment: September 15, 2023 days or dates

RECOMMENDED:

By: _____
Engineer (Authorized Sign.)
Title: Project Engineer
Date: 6/1/2023

By: _____
Title: _____
Date: _____

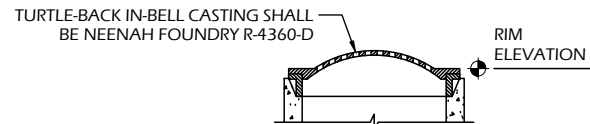
ACCEPTED:

By: _____
Owner (Authorized Sign.)
Title: _____
Date: _____

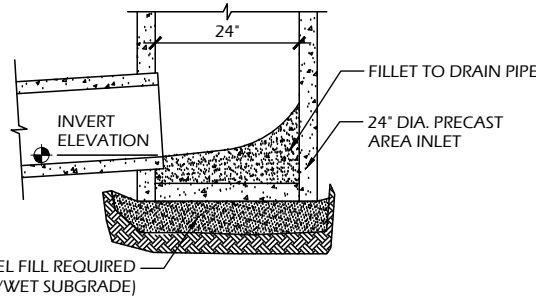
ACCEPTED:

By: _____
Contractor (Authorized Sign.)
Title: Project Manager
Date: 06/01/23

File: V:\23.007 McFarland Waubesa Phase 1\CAD\1-P-D.dwg Layout: C900 User: bluem Plotted: Apr 27, 2023 - 8:29pm



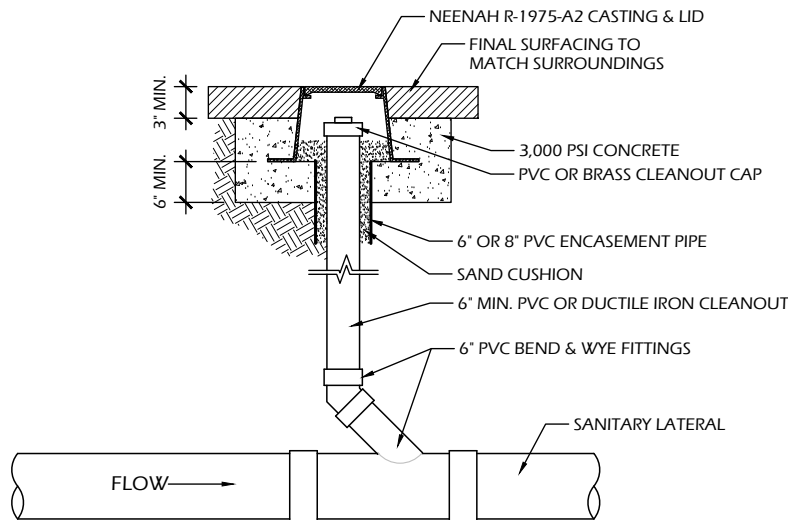
AREA INLET WITH TURTLE-BACK CASTING



AREA INLET BOTTOM SECTION

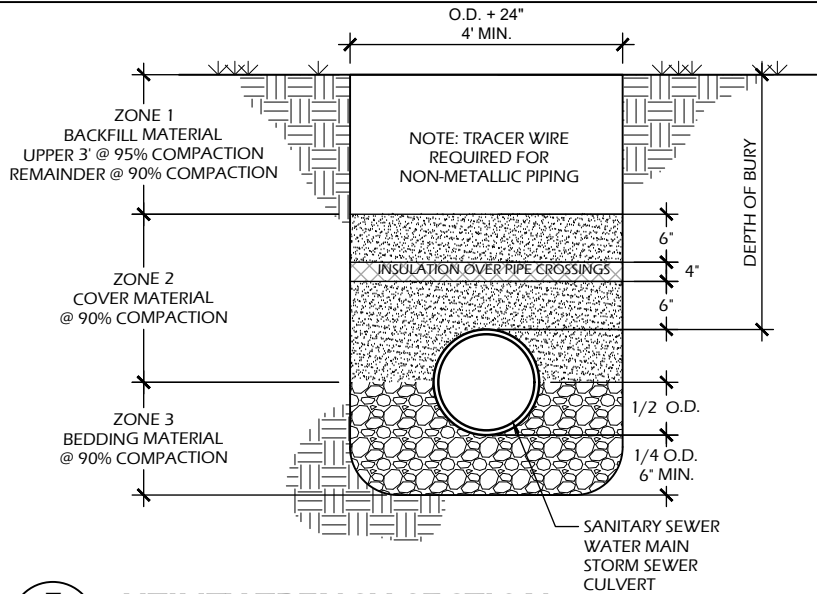
7 AREA INLET

C900 SCALE: NTS



6 SANITARY CLEANOUT

C900 SCALE: NTS

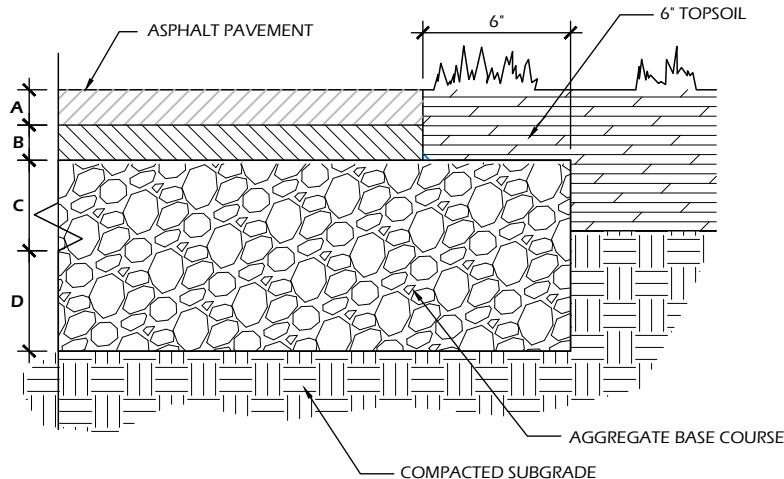


5 UTILITY TRENCH SECTION

C900 SCALE: NTS

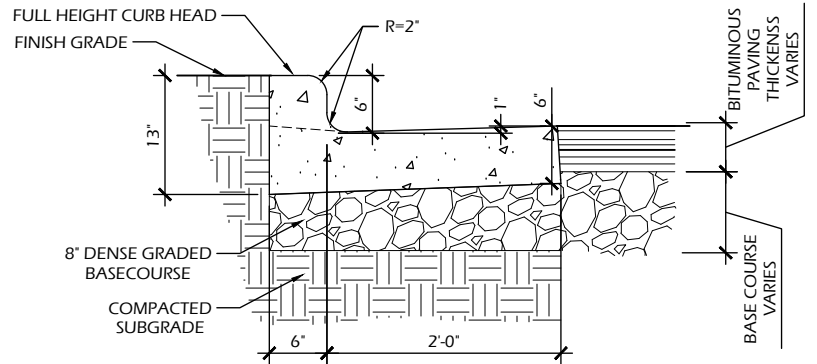
ASPHALT PAVEMENT TYPICAL SECTION - LOCAL STREET PATCH			
	MATERIAL	MATERIAL THICKNESS (INCHES)	PAVEMENT TYPE (WISDOT)
A	BITUMINOUS UPPER LAYER	1.5	5 LT 58-28 S
B	BITUMINOUS LOWER LAYER	1.75	4 LT 58-28 S
C	¾ IN CRUSHED AGGREGATE BASE COURSE	6.0	
D	3 IN BREAKER RUN BASE COURSE	12.0	
TOTAL THICKNESS (INCHES)		21.25	

ASPHALT PAVEMENT TYPICAL SECTION - DRIVEWAY			
	MATERIAL	MATERIAL THICKNESS (INCHES)	PAVEMENT TYPE (WISDOT)
A	BITUMINOUS UPPER LAYER (FUTURE)	1.5	5 LT 58-28 S
B	BITUMINOUS LOWER LAYER	2.25	4 LT 58-28 S
C	¾ IN CRUSHED AGGREGATE BASE COURSE	6.0	
D	3 IN BREAKER RUN BASE COURSE	12.0	
TOTAL THICKNESS (INCHES)		21.75	



4 ASPHALT PAVEMENT

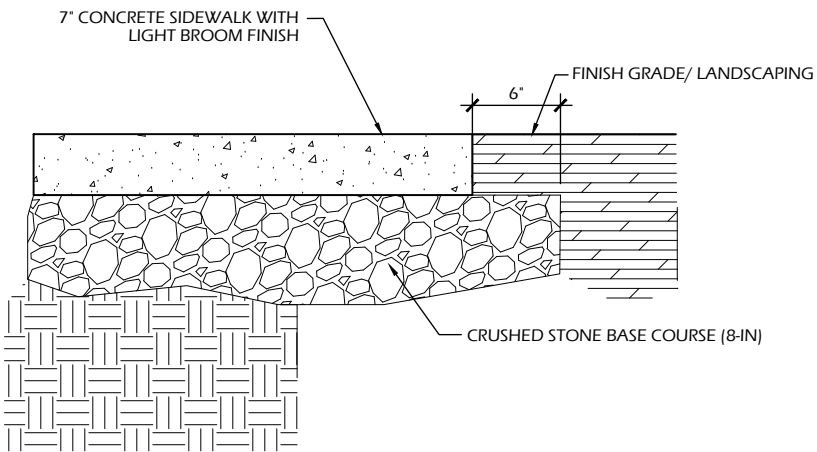
C900 SCALE: NTS



- GENERAL NOTES:
- SEE TOP OF GRADING PLAN TO DETERMINE LOCATIONS OF HOLDING OR REJECT CURBS.
 - IF SIDEWALK ABUTS CURB, BACK OF CURB TO BE "STRING LINE" STRAIGHT & RUBBED CLEAN.
 - PROVIDE CONTROL JOINTS 10'± O.C. PROVIDE BITUMINOUS EXPANSION JOINTS 50' O.C.
 - PAVING CONTRACTOR SHALL PROVIDE FLUSH BITUMINOUS TO CONCRETE CURB. IF BITUMINOUS IS RAISED AFTER PAVING, PAVING CONTRACTOR SHALL HEAT UP, REMOVE AND COMPACT EXCESS PAVEMENT.

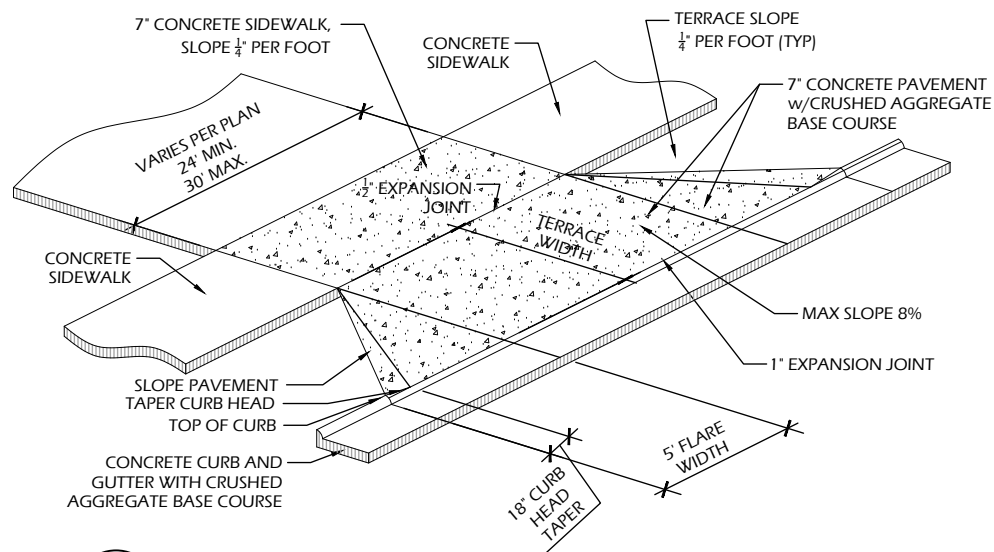
3 30" CURB & GUTTER

C900 SCALE: NTS



2 CONCRETE PAVEMENT

C900 SCALE: NTS



1 DRIVEWAY APRON

C900 SCALE: NTS

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN. WRITTEN DIMENSIONS SUPERSEDE ANY SCALED DIMENSIONS.
3. PROPOSED GRADE AND LEVEL SHALL BE PERIODICALLY REVIEWED IN THE FIELD BY THE OWNER OR A/E.
4. SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE SPECIFICATIONS EXCEPT THOSE AREAS INDICATING OTHERWISE. THIS SHALL INCLUDE ANY AREAS OUTSIDE OF THE PROJECT LIMITS THAT ARE DISTURBED BY CONTRACTOR ACTIVITY.
5. ANY EXISTING STRUCTURES AND/OR UTILITIES NOT SHOWN ON THESE DOCUMENTS WHICH NEED TO BE REMOVED, RELOCATED, AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR AND INCLUDED IN THE BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE STAKING. DIGITAL PLAN FILES MAY BE AVAILABLE FROM THE A/E.

Project Name: **WAUBESA INTERMEDIATE SCHOOL PHASE 1**
5605 RED OAK TRAIL
McFARLAND, WI

Sheet Title: **SITE LAYOUT & GRADING PLAN**

Revisions:	
Project #:	23.007
Issued For:	Review
Date:	04/26/2023

SPEEDWAY SAND & GRAVEL INC.

EXCAVATING, GRADING, SITEWORK & DEMOLITION

8500 Greenway Blvd. Suite 202 Middleton, WI 53562

Telephone (608) 836-1071 Fax (608) 836-7485

To: Town & Country

From: Katie Lichtie

Page(s): 1

Attn: Tim Stieve

Date: 5/23/23

Job: Waubesa School

Base Proposal:

- Traffic Control
- Installation only of tracking pad, inlet protection and silt fence
- Strip topsoil and stockpile onsite for reuse, haul off excess.
- Site demolition and removals and replacement of sidewalk and curb.
- Site grading
- Base course under site asphalt, fine grade and pavement per plan
- Place topsoil, seed fertilizer, and mulch
- Site sanitary, storm and water main

Price: \$ 215,487.00

Exclude:

Clearing and grubbing

Permits and fees.

Removal and replacement of unsuitable Soils

Rock excavation

Mill and overlay

Compaction testing

Construction staking and layout.

Dewatering

Thank you,

Katie Lichtie katie@speedwaysg.com

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 6, 2023

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding a proposal for plan, design and bidding services for Phase 2 for the Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

Included in your packet is a proposal to address the plan, design, and bidding services for Phase 2 of the Inclusive Playground at Waubesa Intermediate School. The Village and District have been working with the current provider on the conceptual planning side on the project for about a year. We will split the costs of the proposal as presented as well. This work is meant to help us plan out what the improvements are going to be, design them for construction, and then find someone to build it through the bidding process. Along the way there will be space for engagement as well. Construction is anticipated in the late spring of 2024 for completion prior to the start of the 2024 school year in the Fall.

FINANCIAL/BUDGET IMPACT:

The cost for this proposal is \$69,475. The 2023 Budget provided \$100,000. One of the benefits then of sharing in these costs is already seen as our expense is expected around \$35,000 after we split this bill with the School District. They are agreeable also to this proposal.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended action:

Motion, second to make a recommendation of approval to the Village Board regarding a proposal for plan, design and bidding services for Phase 2 for the Inclusive Playground at Waubesa Intermediate School with the McFarland School District.

ATTACHMENTS:



1. 23_0531TO #12 Waubesa IS Phase 2

Waubesa Intermediate School Phase 2
TASK ORDER #12 - SCOPE OF SERVICES

General Project Scope:

Project scope includes development of design and engineering plans for the proposed inclusive playground, day use social area, artificial turf football field, pathways, and shade structure at the Waubesa Intermediate School. This project is a collaborative project between the Village and School District and will build upon the work currently underway for Phase 1 (restroom building, service drive, and parking). The desire is for plan completion over the fall/winter in preparation for construction during the summer of 2024.

Task Items below are further described in the Master Agreement set forth between Parkitecture + Planning and the Village of McFarland.

Services to be completed:

1. Facilitate Kick off meeting with Village and School District staff. This meeting will review design intent, theme opportunities, precedent imagery, and may include a digital charrette.
2. Conduct stakeholder engagement to include District staff, Park Board Members, select community members, etc.
3. Develop a concept for the playscape and social area to explore options and further development of the theme options.
4. Collaborate with Village and District staff and pre-selected play equipment manufacturer to produce graphic renderings. This may include interviews with selected manufacturer representatives.
5. Develop conceptual plans for the new artificial turf football/soccer field.
6. Attend public event to solicit input on design direction. This may coincide with a regular scheduled Park Board Meeting.
7. Attend Park Board Meeting (Virtual).
8. Produce final rendered graphics (plan views, vignettes, and 3-D stills) for use in public awareness and potential fundraising efforts by Village and District.
9. Design and Engineering for the proposed park elements to include:
 - a. Demolition of existing facilities
 - b. Site layout plans
 - c. Hardscape layout plans and details
 - d. Grading, stormwater drainage, and erosion control plans
 - e. Artificial Turf Field plans
 - f. Playground area and equipment layout plans (park and school areas)
 - g. Playground surfacing and retainer systems
 - h. Landscape/restoration plan
 - i. Site and paving construction details
 - j. Coordination with playground vendor for equipment drawings and installation details
10. Assemble Opinion of Probable Construction Costs (OPC).
11. Prepare Project Manual including front end documents and special provision specifications for public bidding.

Waubesa Intermediate School Phase 2

12. Prepare and submit Local and State Permits.
 - a. Local erosion control permit
 - b. DNR WRAPP permit
13. Assist Village with Public Bidding.
 - a. Host bid documents on Quest CDN for public bidding
 - b. Answer bidder questions and issue addenda if needed
 - c. Facilitate bid opening and provide bid tabulation

Deliverables:

Final project deliverables will include the following:

- Preliminary Plans
- Final Bid Documents (Plans and Bid Form)
- Stormwater Management Report

Schedule:

Parkitecture is prepared to begin work on the project on or about June 15, 2023.

Fee:

In consideration of the scope outlined above, Parkitecture requests a fixed fee of \$69,475 including expenses (permit and geo-technical fees not included).

Signature below shall serve as notification to proceed.

Accepted by:

Village of McFarland



Parkitecture + Planning

Date:

5/29/2023

Date:

VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 6, 2023

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Sayer Larson, Parks Superintendent

AGENDA ITEM: Update regarding Community Park.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

The committee requested a financial update of Community Park Phase 1.

The 2022 Budget allocated \$1,100,000 for the first phase of the project. The 2023 Budget included additional funding of \$275,000 to upgrade from the in-ground mainlines and above-ground water wheels to a full in-ground irrigation system. The change order is incorporated to address the plan revision for irrigation whereby we are removing the system that would have maintained the turf above ground through water wheels to below ground through sprinklers. Revenue and expense breakdowns are as follows:

Revenues - The following revenues fund the project based on what has presently been allocated/authorized:

\$ 725,000 Borrowed Money (2022)

\$ 275,000 Borrowed Money (2023)

\$ 350,000 Parks Fund

\$ 25,000 Fund Balance

\$1,375,000 Total Project Revenue

Expenses - Please note the updated cost projections to include the change order:

\$ 755,447 Construction Contract

\$ (10,000) Alternate (Spring 2023 Completion, Deduct)

\$ 6,000 Owner Furnished Gate

\$ 71,904 High Capacity Well

\$ 390,760 Irrigation Plan Revision

\$ 45,916 Engineering/Construction Administration



\$ 8,857 Services (Asbestos Abatement, Soil Testing, Etc.)

\$ 106,116 Contingency (~8.5% of Project Cost)

\$1,375,000 Total Project Expense

The construction contract has already been awarded and that number only changes now through change orders. Mass grading work is complete, native and no mow areas have been seeded, high capacity well installed, irrigation line installation to be completed 6/16.

Contingency Funds Expended:

\$39,889.00 - Remove house & haul to landfill (10/2022)

\$10,000.00 - Additional tree removals (10/2022)

\$19,245.00 - CT cabinet, panelboard, electrical work to make site "connection-ready" (5/2023)

\$9900.00 - Reinforce riprap swale at the eastern end of parking lot (5/2023)

\$10,464.50 - Electrical service connection - Alliant Energy (5/2023)

TOTAL APPROVED: \$89,498.50 (84.34%)

The contingency funds for this project were a little less than the customary 10%. However, the project is more than half way complete with most unknown issues now resolved.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

No action is required on this item.

ATTACHMENTS:

None

**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Tuesday, June 6, 2023

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Sayer Larson, Parks Superintendent, Matt Schuenke, Village Administrator

AGENDA ITEM: Update regarding the 2023 McDaniel Park Beach Improvements Project.

PREVIOUS ACTION:

The former Parks, Recreation, and Natural Resources Committee reviewed a presentation on this project at its meeting on February 24, 2022.

The Parks and Recreation Committee reviewed the project again at its meeting on September 6, 2022.

The Sustainability and Natural Resources Committee reviewed the project at its meeting on September 12, 2022.

The Parks & Recreation committee recommended approval to the Village Board for the McDaniel Park site improvements at their October 4, 2022 meeting.

The Village Board recommended approval for the McDaniel Park site improvements at their October 25, 2022 meeting.

The Parks & Recreation committee recommended approval to the Village Board for the design and bidding services for McDaniel Park site improvements at their November 1, 2022 meeting.

The Sustainability and Natural Resources Committee recommended approval to the Village Board regarding this proposal at their meeting on November 14, 2022.

The Village Board recommended approval at their meeting on November 22, 2022.

The Parks & Recreation committee recommended approval to the Village Board regarding Town and Country's design as presented and authorized the project for bid at their February 7, 2023 meeting.

The Sustainability and Natural Resources Committee recommended approval to the Village Board regarding the Town and Country's design as presented and authorized the project for bid at their February 13, 2023 meeting.



The Village Board recommended approval at their meeting on February 14, 2023.

The Sustainability and Natural Resources Committee recommended to the Village Board the award contract to R & T Voegeli Excavating, LLC of Monroe for an amount of \$154,896 for the 2023 McDaniel Park beach improvements project including base bid with additional expenses for engineering and contingency for a total project cost in an amount of \$200,000 at their meeting March 13, 2023.

The Village Board awarded the contract at their meeting on March 14, 2023.

The Parks and Recreation Committee discussed the matter at their meeting on May 2, 2023 offering support for the project while acknowledging the challenges of the situation.

The Sustainability and Natural Resources Committee discussed the matter at their meeting on May 8, 2023 noting their prior support for the project may have changed as a result of this information and that the scope of the project seems to have evolved beyond what was intended.

The Village Board voted to terminate the contracts with the Village contractor and Dane County at its meeting on May 23, 2023.

ISSUE SUMMARY:

Earlier this year we approved a contract to improve the beach at McDaniel Park to convert from gravel to sand. Additionally, a barrier was to be installed with water filtration in partnership with Dane County. This work requires a permit with the Wisconsin Department of Natural Resources. During the permitting process it was discovered that additional excavation of rocks of varying sizes was needed along the shortline and within the entry point to the water. The Village pursued permission to remove these rocks through the DNR which led to a meeting with their Staff on April 7th and 25th. We discussed past park planning to outline the public interest in developing the beach as well as the permitting process. Generally speaking the conversion of the beach material, addition of the barrier, and water filtration were all fine but the DNR has taken exception to the removal of the rocks. They will not permit the removal of the rocks through our current permit application. Additional planning is needed to prepare a new permit geared more towards dredging and less towards the beach project that was planned. As such, the Village will not be able to further pursue this project in 2023. The Village Board voted to terminate both contracts for this work to which both entities agreed to release the Village from these obligations. Present plans are to resume the permitting process in 2024 along with a possible implementation date for swimming season of 2025. The Committee had reviewed this matter previously at our meeting in May.

FINANCIAL/BUDGET IMPACT:

The 2023 Budget was approved to allocate \$250,000 for the project. Funds for the project will be reallocated to a different capital project.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.



BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

No action is required on this item.

ATTACHMENTS:

1. MC 204 CURRENT SET

2023 MCDANIEL PARK IMPROVEMENTS

Village of McFarland, Wisconsin

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
1	EROSION CONTROL PLAN AND GENERAL NOTES
2	EROSION CONTROL – STANDARD CONSTRUCTION DETAILS
3	MCDANIEL PARK IMPROVEMENTS – PLAN VIEW
4	GENERAL CONSTRUCTION DETAILS



NO SCALE



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

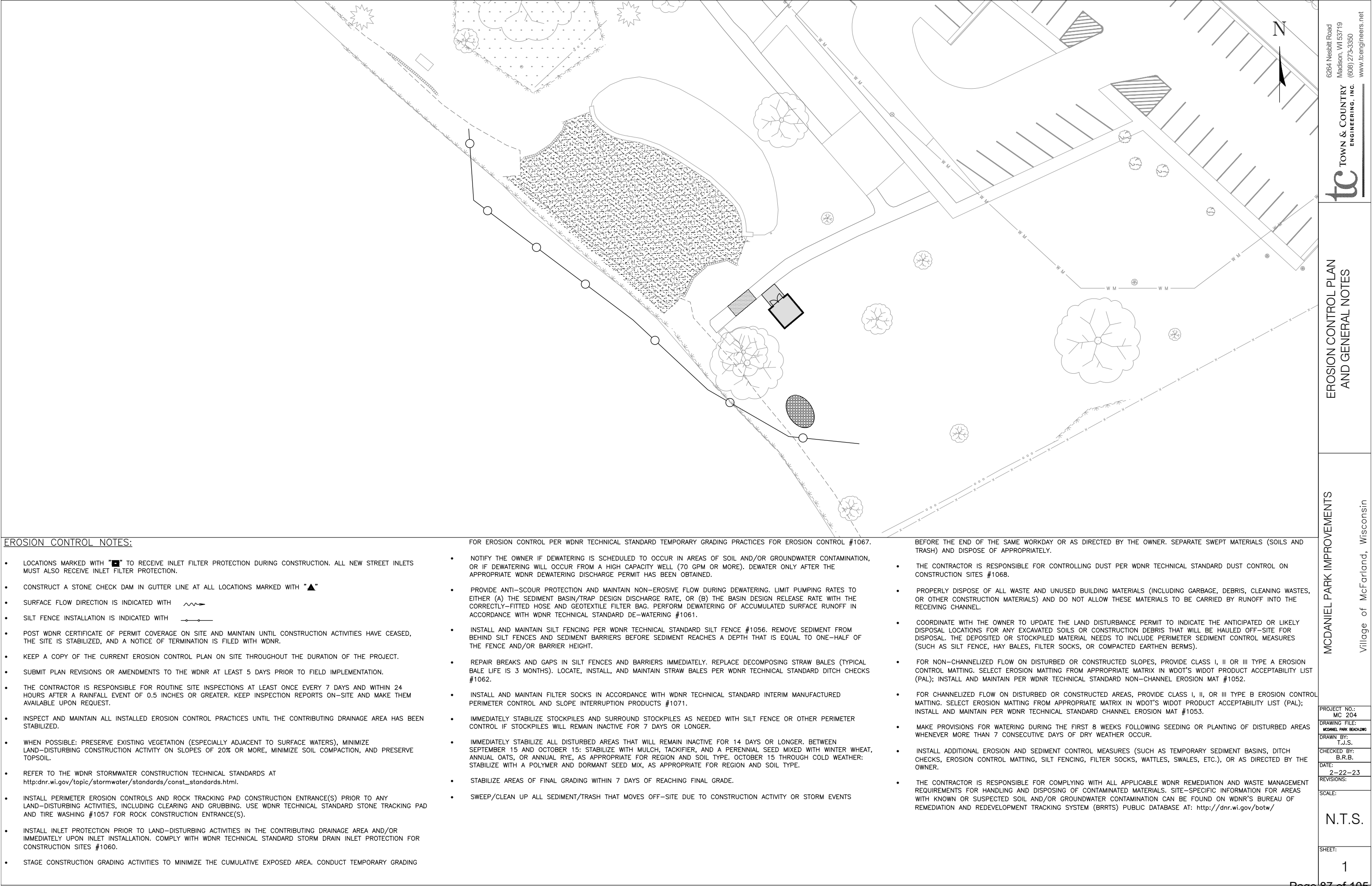
UNDERGROUND TELE.	UT
UNDERGROUND CATV.	UCATV
UNDERGROUND ELEC.	UE
OVERHEAD	OH
EXISTING GAS	G
PROPERTY LINE	W M
EXISTING WATER MAIN	W M
EXISTING SANITARY SEWER	SAN
EXISTING STORM SEWER	STM
EXISTING FENCE LINE	X
SAWCUT	XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX
NEW STORM SEWER	=====
NEW WATER MAIN	=====
NEW SANITARY SEWER	=====

NEW ITEMS:	CS	HYDRANT	MANHOLE	CURB INLET	ENDWALL	GAS WARNING
WATER VALVE	CURB STOP					
EXISTING ITEMS:	MAILBOX	POWER POLE	LIGHT POLE	LAMP POST	PULL BOX	
FLAG POLE						
WATER VALVE	CURB STOP	HYDRANT	WELL	MONITORING WELL	TRACER WIRE	
SANITARY MANHOLE	SANITARY VALVE	CLEANOUT	STORM MANHOLE	CURB INLET	CIRCULAR INLET	
SQUARE INLET	ENDWALL	STUMP	DECID. TREE (RELATIVE SIZE SHOWN)	EVERGREEN	SHRUB OR HEDGE	SIGN
CATV. PED.	TELE. PED.	ELEC. PED.	GAS VALVE	STREET SIGN	IRON PIPE	IRON ROD

NOTES: 1.) EXISTING FEATURES AND LABELS ARE SHOWN WITH SCREENED, LIGHTER LINES.
2.) NEW CONCRETE IS SHOWN SHADED IN PLAN VIEWS
3.) CONCRETE REMOVALS ARE SHOWN BY CROSS-HATCHING

DATE	BY	REVISIONS	SHEET

PROJECT NO.: MC 204	DRAWN BY: T.J.S.	CHECKED BY: B.A.B.	REV. DATE: 2-22-23
DRAWING FILE: MCDANIEL PARK BEACH.DWG			



EROSION CONTROL NOTES:

- LOCATIONS MARKED WITH "■" TO RECEIVE INLET FILTER PROTECTION DURING CONSTRUCTION. ALL NEW STREET INLETS MUST ALSO RECEIVE INLET FILTER PROTECTION.
- CONSTRUCT A STONE CHECK DAM IN GUTTER LINE AT ALL LOCATIONS MARKED WITH "▲"
- SURFACE FLOW DIRECTION IS INDICATED WITH
- SILT FENCE INSTALLATION IS INDICATED WITH
- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
- INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING

FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.

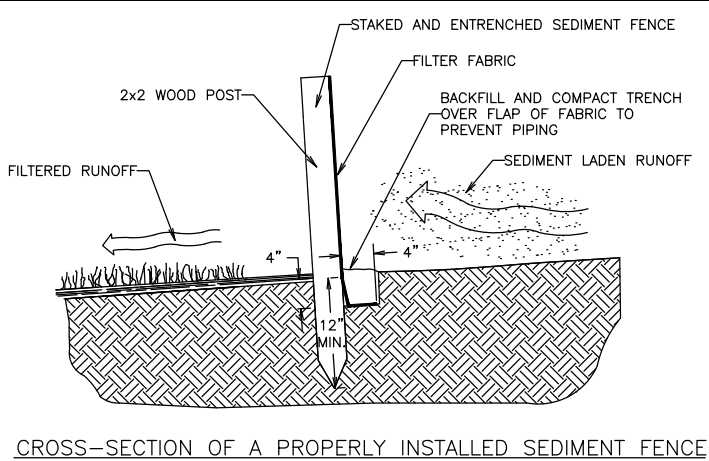
- NOTIFY THE OWNER IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION, OR IF DEWATERING WILL OCCUR FROM A HIGH CAPACITY WELL (70 GPM OR MORE). DEWATER ONLY AFTER THE APPROPRIATE WDNR DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES TO EITHER (A) THE SEDIMENT BASIN/TRAP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
- INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS #1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS

BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE OWNER. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.

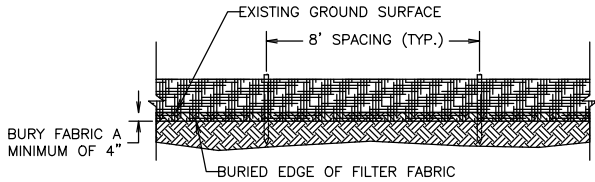
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1068.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- COORDINATE WITH THE OWNER TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS I, II OR III TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS I, II, OR III TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WIDOT PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), OR AS DIRECTED BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: <http://dnr.wi.gov/botw/>

**EROSION CONTROL PLAN
AND GENERAL NOTES**

MCDANIEL PARK IMPROVEMENTS
Village of McFarland, Wisconsin

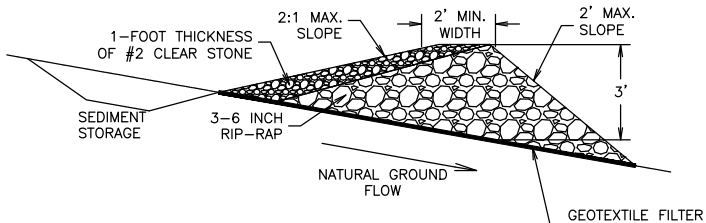


CROSS-SECTION OF A PROPERLY INSTALLED SEDIMENT FENCE

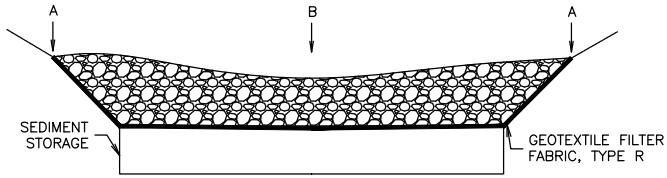


SEDIMENT FENCE DETAIL

DETAIL
SEDIMENT FENCE

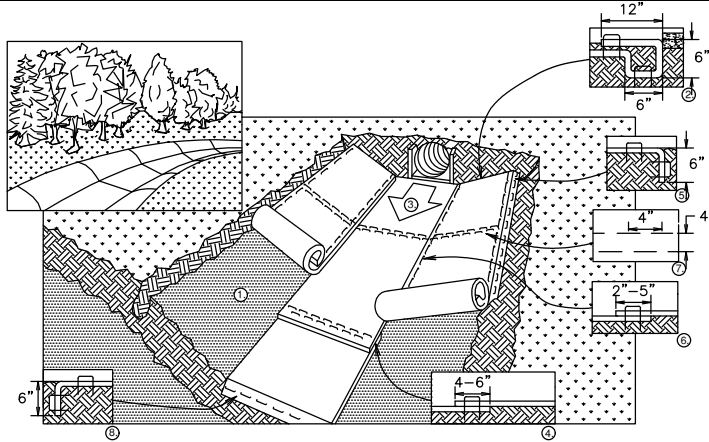


SECTION VIEW



FRONT VIEW

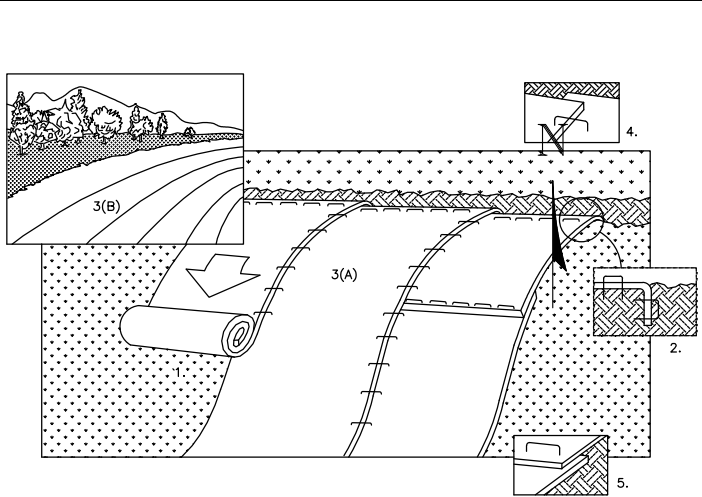
DETAIL
STONE CHECK DAM



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET
3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
5. FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 4" AND STAPLED.
7. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

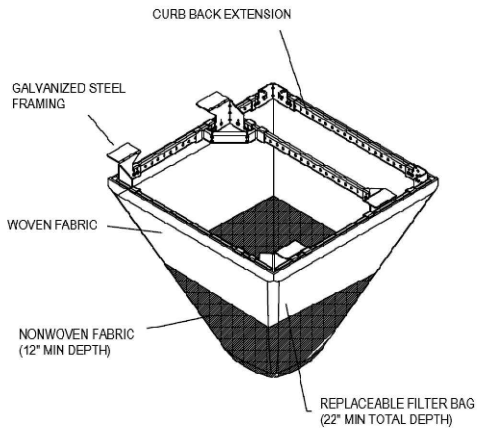
DETAIL
EROSION CONTROL MAT - CHANNEL INSTALLATION



NOTE:
REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

DETAIL
EROSION CONTROL MAT - SLOPE INSTALLATION

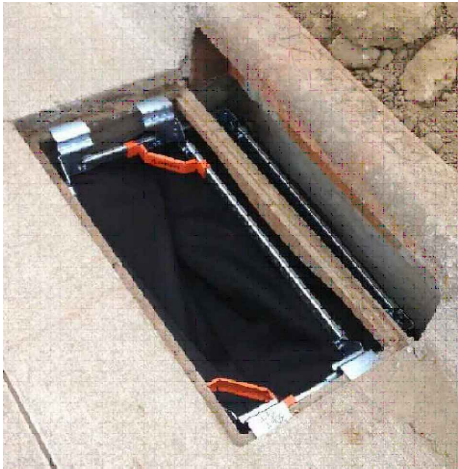


GENERAL NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

FRAMED INLET PROTECTION SHALL BE COMPLIANT WITH ALL ASTM STANDARD D8057-17 REQUIREMENTS, INCLUDING:
A. BYPASS OVERFLOW THAT MEETS OR EXCEEDS INLET DESIGN FLOW
B. FRAME AND BAG STRONG ENOUGH TO HANDLE FULL SEDIMENT LOAD.

DETAIL
INLET PROTECTION - FRAMED (W/ CURB BOX)



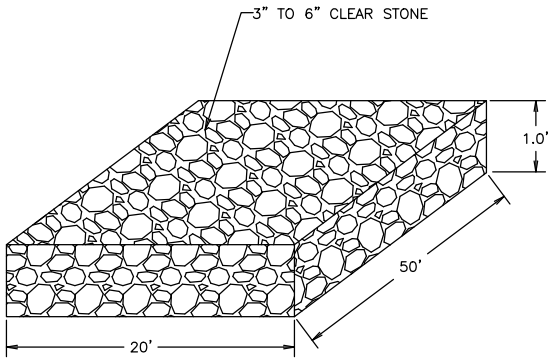
INSTALLATION NOTES:

NO PART OF INLET PROTECTION SHALL BE PROJECTING ABOVE THE GRATE.

FOR COMBINATION INLETS, PROTECTION SHALL CAPTURE RUNOFF ENTERING BOTH GRATE AND CURB OPENING.

A DUAL FABRIC FILTER BAG, WITH NON-WOVEN BOTTOM AND WOVEN TOP SHALL BE USED.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

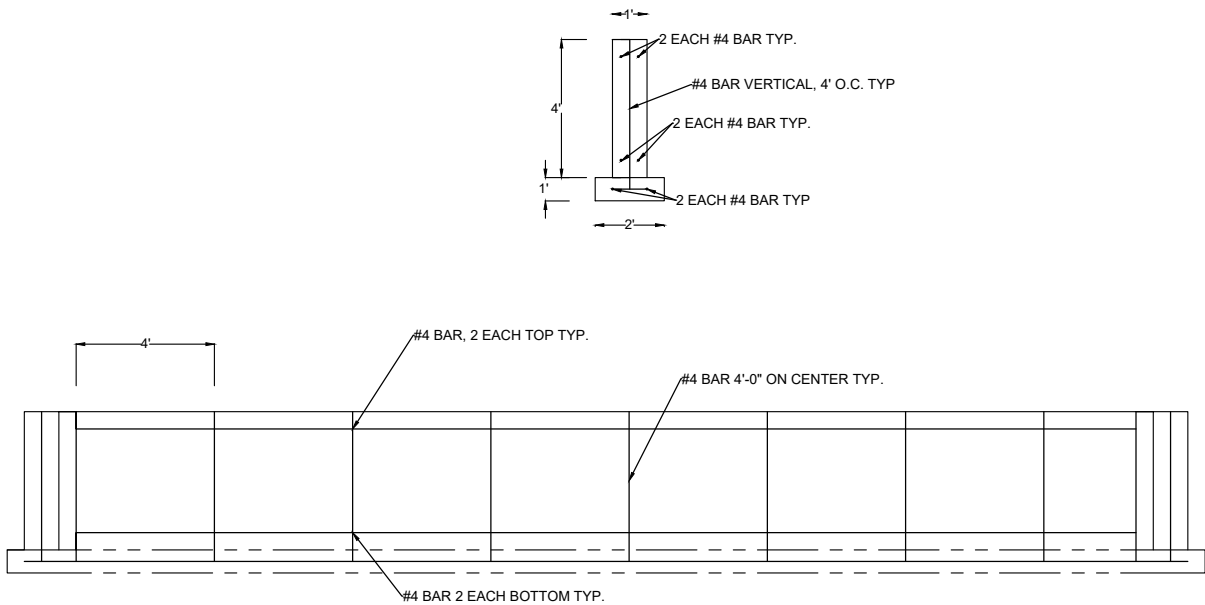


NOTE:

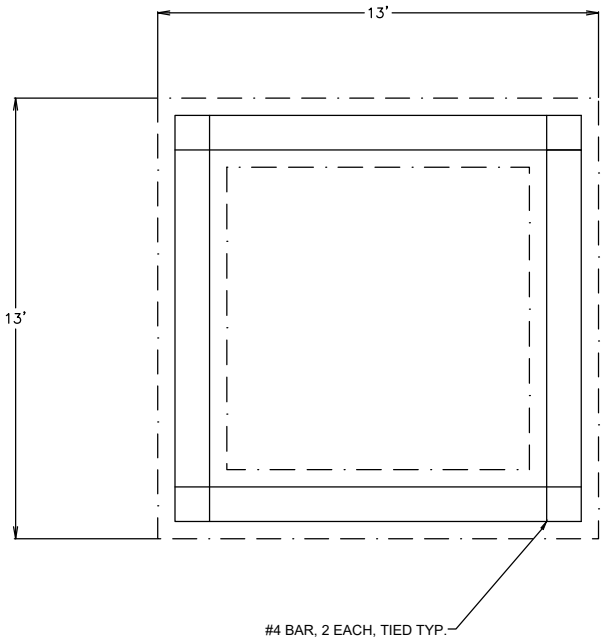
- ON STREET SURFACES CRUSHED AGGREGATE BASE STONE SERVES AS TRACKING PAD.

DETAIL
CLEAR STONE TRACKING PAD

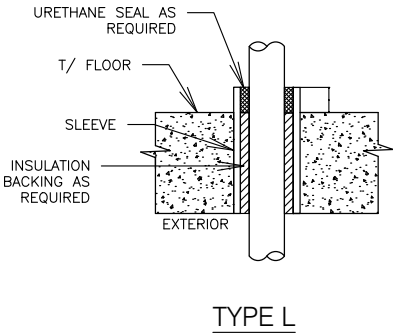




DETAIL
FROST WALL SECTIONS

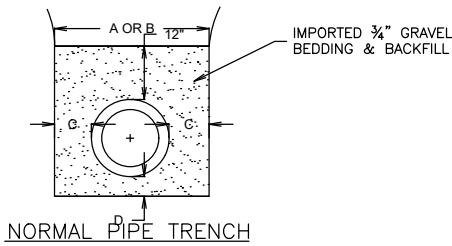


DETAIL
FROST WALL PLAN

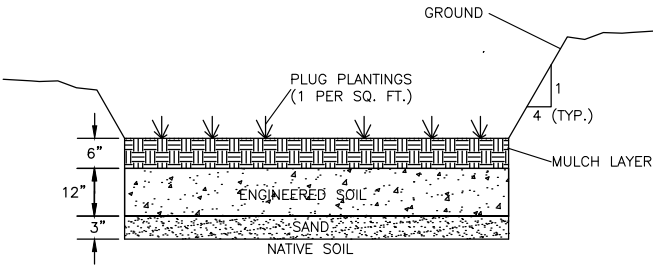


DETAIL
BASE/FLOOR PIPING PENETRATION

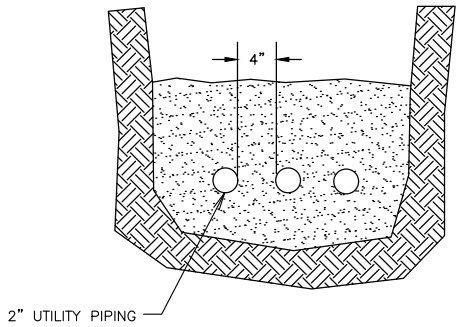
DIMENSIONS:
A: OUTSIDE DIAMETER OF PIPE PLUS 24" MAXIMUM, EXCEPT NEED NOT BE LESS THAN 36". TRENCH SHIELDS NARROWER THAN 4 FEET INSIDE WIDTH WILL NOT BE REQUIRED UNLESS SPECIFICALLY REQUIRED IN THE PROJECT SPECIFICATIONS.
B: FOR ROCK, OUTSIDE DIAMETER OF PIPE PLUS 18" MAXIMUM, EXCEPT NEED NOT BE LESS THAN 36".
C: MINIMUM - 6"
D: MINIMUM 4" BELOW BARREL AND 3" BELOW BELL.



DETAIL
TRENCH WIDTH AND BEDDING



DETAIL
BIORETENTION FLUSHING AREA



DETAIL
JOINT TRENCH INSTALLATION

GENERAL DETAILS

MCDANIEL PARK IMPROVEMENTS
Village of McFarland, Wisconsin

PROJECT NO.: MC 204
DRAWING FILE: MCDANIEL PARK BEACH/DWG
DRAWN BY: T.J.S.
CHECKED BY: B.R.B.
DATE: 2-22-23
REVISIONS:
SCALE:

N.T.S.

SHEET:

4

McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 6, 2023

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Introduction regarding the 2024-2028 Capital Improvement Plan (CIP) including 10 year plan for park system improvements.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

Please find included within your packets the proposed 5 years Capital Improvement Plan for 2024-2028 as its related to the Village including park improvements overseen by the Public Works Department. The base of this plan is fueled by the 10 year Park Improvement Plan that has been updated from last year's approval for the new term. Information contained within this 10 year plan came from previously accepted master plans, the previously accepted Capital Improvement Plan relative to parks projects, and other previously discussed initiatives. The 10 year plan is also updated based on our progress in 2023 in order to reconcile with the 5 year plan and included in your packet for reference. The full 5 year plan includes all other Capital needs for parks as well in addition to the larger projects previously discussed and conceived. Our plan for the meeting is to simply introduce this information in which we'll discuss in further detail at the next meeting. The Village Board at the same time is reviewing the full 5 year CIP for all Departments in which the projects presented here for parks are included with all other capital requests across the Village. We anticipate finishing this work near the end of August in order to accept the 2024-2028 CIP for inclusion in the 2024 Budget process that will begin this Fall.

FINANCIAL/BUDGET IMPACT:

All of the estimated costs are shown for each project within the year they are planned.

VILLAGE PLAN REFERENCE:

There are many different plans that we have that fuel this work. [Please click on this to view the Parks, Recreation, and Natural Resources website for a list](#) and access to each of these plans. A list of what is provided is as follows:

- Aquatics Feasibility Study
- Inclusive Playground Master Plan
- McDaniel Park Master Plan
- Outdoor Recreation and Open Space Plan 2019 to 2023
- Urso/Schuetz Master Plan



Additionally, you can click on this link to view the draft master plan for [McFarland Park](#) and [Community Park](#).

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Presented for introduction. No action needed and further discussion is anticipated in July.

ATTACHMENTS:

1. 2024-2028 McFarland CIP - DRAFT - 05312023
2. Parks Capital Improvement Plan 05312023 mgs



5 Year
Capital Improvement Program

2024-2028

August 22, 2023
Village Board Review and Approval

DRAFT

2024-2028 McFarland Capital Improvement Plan

Funding Summary

By Department...	2024	2025	2026	2027	2028	Total
Administration	39,500	52,500	27,500	27,500	57,500	204,500
Facilities	12,683,000	12,684,500	186,000	188,000	188,000	25,929,500
Communications/Technology	5,000	5,000	5,000	5,000	5,000	25,000
Police	185,000	65,000	285,000	235,000	35,000	805,000
Fire and Rescue	110,000	1,009,000	188,250	1,413,000	584,250	3,304,500
Public Works	9,788,250	4,746,250	6,249,000	5,897,250	6,513,250	33,194,000
Senior Outreach	0	0	0	0	0	0
Library	371,000	113,000	8,000	8,000	8,000	508,000
Parks	3,023,000	3,500,000	3,105,000	1,760,000	7,565,000	18,953,000
Community Development	175,000	20,500	56,000	56,250	281,250	589,000
Total	26,379,750	22,195,750	10,109,750	9,590,000	15,237,250	83,512,500

By Fund...	2024	2025	2026	2027	2028	Total
General - Fund 100	4,500	4,500	4,500	4,500	4,500	22,500
Comm/Tech - Fund 200	5,000	5,000	5,000	5,000	5,000	25,000
TID #3 - Fund 305	-	-	-	3,070,750	1,686,500	4,757,250
TID #4 - Fund 310	-	-	-	-	-	-
TID #5 - Fund 315	-	-	-	-	-	-
Capital Projects - Fund 400	20,509,250	18,188,000	5,277,000	4,831,750	11,042,000	59,848,000
Parks - Fund 405	515,000	500,000	165,000	435,000	440,000	2,055,000
Utility - Fund 600	4,562,500	3,021,500	3,943,000	1,096,250	1,996,000	14,619,250
Stormwater - Fund 605	783,500	476,750	715,250	146,750	63,250	2,185,500
Total	26,379,750	22,195,750	10,109,750	9,590,000	15,237,250	83,512,500

Within Fund 400...	2024	2025	2026	2027	2028	Total
General Revenue	250,000	275,000	300,000	325,000	350,000	1,500,000
Grants	2,182,000	5,000	690,750	750	6,000,000	8,878,500
Intergovernmental	800,000	-	500,000	-	-	1,300,000
Borrowing	17,275,250	17,678,000	3,786,250	4,506,000	4,692,000	47,937,500
Reserves	2,000	230,000	-	-	-	232,000
Total	20,509,250	18,188,000	5,277,000	4,831,750	11,042,000	59,848,000

Within Borrowing...	2024	2025	2026	2027	2028	Total
Bonds	12,500,000	12,500,000	-	-	-	25,000,000
Notes	4,775,250	5,178,000	3,786,250	4,506,000	4,692,000	22,937,500
Total	17,275,250	17,678,000	3,786,250	4,506,000	4,692,000	47,937,500

Within Fund 600 and 605...	2024	2025	2026	2027	2028	Total
Water	2,328,250	2,897,250	2,913,000	982,000	1,965,250	11,085,750
Sanitary Sewer	2,234,250	124,250	1,030,000	114,250	30,750	3,533,500
Storm Sewer	783,500	476,750	715,250	146,750	63,250	2,185,500
Total	5,346,000	3,498,250	4,658,250	1,243,000	2,059,250	16,804,750

Capital Improvement Program

Village of McFarland

Prior Plan Approval/Inclusion Year:

2021	2022	2023	2024	2025	2026	2027	2028
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Program Year: 2024

Funding by Project

Projects	Dept	General Fund 100	Comm/Tech Fund 200	TID #3 Fund 305	TID #4 Fund 310	TID #5 Fund 315	Capital Projects - Fund 400					Parks Fund 405	Utility - 600		Stormwater Fund 605	Total
							General	Grants	Intergov	Borrow	Reserve	Total	Water	Sewer		
Digital Records Mgmt	Admin						25,000					25,000				25,000
Equipment/Furniture	Admin	2,500										-				2,500
HR Software	Admin						12,000					12,000				12,000
Community Center (Build)	Facilities									12,500,000		12,500,000				12,500,000
General Tech Equipment	Facilities									30,000		30,000				30,000
Land Acquisition	Facilities						40,000					40,000				40,000
Network Equip	Facilities						4,000					4,000	3,000	3,000	3,000	13,000
Sinking Fund	Facilities						100,000					100,000				100,000
Equipment Upgrade	C/T											-				-
	C/T		5,000									-				5,000
	C/T											-				-
Equipment	Police									15,000		15,000				15,000
RMS System	Police									150,000		150,000				150,000
Traffic Safety	Police									20,000		20,000				20,000
Car 1 Sinking Fund	Fire/EMS						7,750					7,750				7,750
EMS Equipment	Fire/EMS									24,250		24,250				24,250
Fire Equipment	Fire/EMS						24,500	5,000		27,250		56,750				56,750
Ice/Water Rescue	Fire/EMS						6,500					6,500				6,500
Technology	Fire/EMS									14,750		14,750				14,750
Exchange Street (Build)	DPW							1,177,000		2,101,250		3,278,250	1,039,750	164,000	390,750	4,872,750
Grapple Bucket	DPW									6,000		6,000				6,000
Landscape Rakes	DPW									20,000		20,000				20,000
Leased Equipment	DPW						9,000					9,000	8,000	8,000	8,000	33,000
Lift Station #2 (Build)	DPW											-		2,000,000		2,000,000
Paving and Utility Plan	DPW									698,750		698,750	1,018,250			1,717,000
Pedestrian Ways	DPW									100,000		100,000				100,000
Pickup Truck X 4	DPW									57,000		57,000	57,000	57,000	57,000	228,000
Sidewalk Replace	DPW									100,000		100,000				100,000
Sinking Fund	DPW						2,250					2,250	2,250	2,250	2,250	9,000
Small Capital	DPW											-			2,500	2,500
Street Maintenance	DPW									150,000		150,000				150,000
Street Sweeper	DPW											-			320,000	320,000
Street Tree Planting	DPW									30,000		30,000				30,000
Well #5 (Design)	DPW											-	200,000			200,000
Outreach	Outreach											-				-
	Outreach											-				-
	Outreach											-				-
Comp - Workstation	Library						8,000					8,000				8,000
HVAC Controls	Library									115,000		115,000				115,000
Parking Lot/Hardscape	Library									73,000		73,000				73,000
Roof Maintenance	Library									175,000		175,000				175,000
Bathroom (Design/Build)	Parks											-	75,000			75,000
Bocce Electrical/Light	Parks									-		-				-
Brandt Park Bathrooms	Parks									110,000		110,000				110,000
CP Phase 2 (Design)	Parks									175,000		175,000				175,000
Field Grading	Parks									40,000		40,000				40,000
Inclusive Park (Build)	Parks							1,000,000	800,000			1,800,000	300,000			2,100,000
Lewis Park Flooring	Parks									30,000		30,000				30,000
Lake Access (Design/Build)	Parks									300,000		300,000				300,000
McDaniel Park (Permitting)	Parks									25,000		25,000				25,000
Mower	Parks									28,000		28,000				28,000
Park Equipment	Parks											-	15,000			15,000
Playground (Highland)	Parks											-	125,000			125,000
Property Acquisition	Parks											-				-
Downtown TID	CD									-		-				-
East Side BP TID	CD									50,000		50,000				50,000
Outdoor Rec Plan	CD						8,000			-	2,000	10,000				10,000
Property Acquisition	CD											-				-
Small Capital	CD	2,000										-				2,000
Sinking Fund	CD						3,000					3,000				3,000
Zoning Code	CD									110,000		110,000				110,000
Total Projects		4,500	5,000	-	-	-	250,000	2,182,000	800,000	17,275,250	2,000	20,509,250	515,000	2,328,250	2,234,250	26,379,750

Capital Improvement Program

Village of McFarland

Prior Plan Approval/Inclusion Year:

2021	2022	2023	2024	2025	2026	2027	2028
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Program Year: 2025

Funding by Project

Projects	Dept	General Fund 100	Comm/Tech Fund 200	TID #3 Fund 305	TID #4 Fund 310	TID #5 Fund 315	Capital Projects - Fund 400					Total	Parks Fund 405	Utility - 600		Stormwater Fund 605	Total
							General	Grants	Intergov	Borrow	Reserve			Water	Sewer		
Badger Book Replacement	Admin									25,000		25,000					25,000
Digital Records Mgmt	Admin						25,000					25,000					25,000
Equipment/Furniture	Admin	2,500										-					2,500
Community Center (Build)	Facilities									12,500,000		12,500,000					12,500,000
General Tech Equipment	Facilities									30,000		30,000					30,000
Land Acquisition	Facilities						40,000					40,000					40,000
Network Equip	Facilities						4,000					4,000		3,500	3,500	3,500	14,500
Sinking Fund	Facilities						100,000					100,000					100,000
	C/T											-					-
Equipment Upgrade	C/T		5,000									-					5,000
	C/T											-					-
Equipment	Police						15,000					15,000					15,000
Squad Car Video	Police						22,750			7,250		30,000					30,000
Traffic Safety	Police						5,000			15,000		20,000					20,000
Ambulance (x 2)	Fire/EMS									625,000	125,000	750,000					750,000
Car 1 Sinking Fund	Fire/EMS						8,500					8,500					8,500
Chief Vehicle	Fire/EMS									127,000		127,000					127,000
EMS Equipment	Fire/EMS						4,750					4,750					4,750
Fire Equipment	Fire/EMS							5,000		55,500		60,500					60,500
Ice/Water Rescue	Fire/EMS									5,250		5,250					5,250
Technology	Fire/EMS						11,750			41,250		53,000					53,000
CTH MN 5 (Design)	DPW									50,000		50,000					50,000
E. Interceptor II (Design)	DPW											-			30,000		30,000
Leased Equipment	DPW						9,000					9,000		8,000	8,000	8,000	33,000
Patrol Truck	DPW									80,000		80,000		80,000	80,000	80,000	320,000
Paving and Utility Plan	DPW									507,750		507,750		403,000			910,750
Pedestrian Ways	DPW									100,000		100,000					100,000
Pickup Truck	DPW									44,000		44,000					44,000
Sidewalk Replace	DPW									100,000		100,000					100,000
Sinking Fund	DPW						2,750					2,750		2,750	2,750	2,750	11,000
Small Capital	DPW											-				2,500	2,500
Stormwater Maintenance	DPW											-				350,000	350,000
Street Maintenance	DPW								150,000			150,000					150,000
Street Sweeper	DPW											-				30,000	30,000
Street Tree Planting	DPW								30,000			30,000					30,000
Tool Cat Machine	DPW								85,000			85,000					85,000
Vehicle Lift	DPW								200,000			200,000					200,000
Well #5 (Build)	DPW											-		2,300,000			2,300,000
	Outreach											-					-
	Outreach											-					-
	Outreach											-					-
Comp - Workstation	Library						8,000					8,000					8,000
Roof Replacement	Library										105,000	105,000					105,000
Bathroom (Design/Build)	Parks											-	160,000				160,000
CP Phase 2 (Build)	Parks								2,000,000			2,000,000	325,000				2,325,000
Egner Park Facility (Design)	Parks								75,000			75,000		100,000			175,000
Larson Park	Parks								100,000			100,000					100,000
McDaniel Park (Build)	Parks								250,000			250,000					250,000
McF Park Ph 3.1 (Design)	Parks								75,000			75,000					75,000
McF Park (Facility)	Parks								250,000			250,000					250,000
Park Equipment	Parks											-	15,000				15,000
Property Acquisition	Parks											-					-
Siggekow Trail (Design)	Parks								150,000			150,000					150,000
Parks PF Needs Assessment	CD						15,000					15,000					15,000
Property Acquisition	CD											-					-
Small Capital	CD	2,000										-					2,000
Sinking Fund	CD						3,500					3,500					3,500
Total Projects		4,500	5,000	-	-	-	275,000	5,000	-	17,678,000	230,000	18,188,000	500,000	2,897,250	124,250	476,750	22,195,750

Capital Improvement Program

Village of McFarland

Prior Plan Approval/Inclusion Year:

2021	2022	2023	2024	2025	2026	2027	2028
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Program Year: 2026

Funding by Project

Projects	Dept	General	Comm/Tech	TID #3	TID #4	TID #5	Capital Projects - Fund 400						Parks	Utility - 600		Stormwater	Total
		Fund 100	Fund 200	Fund 305	Fund 310	Fund 315	General	Grants	Intergov	Borrow	Reserve	Total	Fund 405	Water	Sewer	Fund 605	
Digital Records Mgmt	Admin						25,000					25,000					25,000
Equipment/Furniture	Admin	2,500					-					-					2,500
General Tech Equipment	Facilities									30,000		30,000					30,000
Land Acquisition	Facilities						40,000					40,000					40,000
Network Equip	Facilities						4,000					4,000		4,000	4,000	4,000	16,000
Sinking Fund	Facilities						100,000					100,000					100,000
Equipment Upgrade	C/T						-					-					-
	C/T		5,000				-					-					5,000
	C/T						-					-					-
Equipment	Police						15,000					15,000					15,000
Patrol Vehicles	Police									200,000		200,000					200,000
Traffic Safety	Police						20,000					20,000					20,000
USH 51 Cameras	Police									50,000		50,000					50,000
Car 1 Sinking Fund	Fire/EMS						9,000					9,000					9,000
EMS Equipment	Fire/EMS						5,000					5,000					5,000
Fire Equipment	Fire/EMS						1,750	5,000		66,500		73,250					73,250
Ice/Water Rescue	Fire/EMS									4,500		4,500					4,500
Staff Vehicle	Fire/EMS									80,250		80,250					80,250
Technology	Fire/EMS						8,500			7,750		16,250					16,250
CTH MN 5 (Build)	DPW							685,750		319,000		1,004,750		882,250		366,750	2,253,750
E. Interceptor II (Build)	DPW											-			1,000,000		1,000,000
Leased Equipment	DPW						9,000					9,000		8,000	8,000	8,000	33,000
Paving and Utility Plan	DPW									497,500		497,500		500,750		286,000	1,284,250
Pedestrian Ways	DPW						47,750			52,250		100,000					100,000
Pickup Truck	DPW									15,000		15,000		15,000	15,000	15,000	60,000
Property Acquisition	DPW									350,000		350,000					350,000
Sidewalk Replace	DPW									100,000		100,000					100,000
Sinking Fund	DPW						3,000					3,000		3,000	3,000	3,000	12,000
Small Capital	DPW											-				2,500	2,500
Street Maintenance	DPW									150,000		150,000					150,000
Street Sweeper	DPW											-				30,000	30,000
Street Tree Planting	DPW									30,000		30,000					30,000
Tool Cat	DPW									93,500		93,500					93,500
Tower Paint (Holscher)	DPW											-		500,000			500,000
USH 51 Seg 7 (Build)	DPW									250,000		250,000					250,000
Outreach	Outreach						-					-					-
	Outreach						-					-					-
	Outreach						-					-					-
Comp - Workstation	Library						-					-					-
	Library						8,000					8,000					8,000
	Library						-					-					-
CP Phase 3 (Design)	Parks									50,000		50,000					50,000
Egner Park Facility (Build)	Parks									350,000		350,000		1,000,000			1,350,000
Lake Access Study	Parks									15,000		15,000					15,000
McF Park Ph 3.1 (Build)	Parks									425,000		425,000					425,000
Park Equipment	Parks											-	15,000				15,000
Playground (Cedar Ridge)	Parks											-	150,000				150,000
Property Acquisition	Parks											-					-
Siggelkow Trail (Build)	Parks								500,000	600,000		1,100,000					1,100,000
Comprehensive Plan	CD									50,000		50,000					50,000
Property Acquisition	CD											-					-
Small Capital	CD	2,000										-					2,000
Sinking Fund	CD						4,000					4,000					4,000
Total Projects		4,500	5,000	-	-	-	300,000	690,750	500,000	3,786,250	-	5,277,000	165,000	2,913,000	1,030,000	715,250	10,109,750

Capital Improvement Program

Village of McFarland

Prior Plan Approval/Inclusion Year:

2021

2022

2023

2024

2025

2026

2027

2028

Program Year: 2027

Funding by Project

Projects	Dept	General Fund 100	Comm/Tech Fund 200	TID #3 Fund 305	TID #4 Fund 310	TID #5 Fund 315	Capital Projects - Fund 400						Parks Fund 405	Utility - 600		Stormwater Fund 605	Total
							General	Grants	Intergov	Borrow	Reserve	Total		Water	Sewer		
Digital Records Mgmt	Admin						25,000					25,000					25,000
Equipment/Furniture	Admin	2,500										-					2,500
General Tech Equipment	Facilities									30,000		30,000					30,000
Land Acquisition	Facilities						40,000					40,000					40,000
Network Equip	Facilities						4,500					4,500		4,500	4,500	4,500	18,000
Sinking Fund	Facilities						100,000					100,000					100,000
Equipment Upgrade	C/T											-					-
	C/T		5,000									-					5,000
	C/T											-					-
Equipment	Police						15,000					15,000					15,000
Patrol Vehicles x 3	Police									200,000		200,000					200,000
Traffic Safety	Police						20,000					20,000					20,000
Car 1 Sinking Fund	Fire/EMS						10,000					10,000					10,000
CPR Compressors	Fire/EMS									55,500		55,500					55,500
EMS Equipment	Fire/EMS						5,000					5,000					5,000
Fire Equipment	Fire/EMS						38,500	750		4,500		43,750					43,750
Pumper/Engine	Fire/EMS									1,281,750		1,281,750					1,281,750
Technology	Fire/EMS						17,000					17,000					17,000
Facility (Plan)	DPW									100,000		100,000					100,000
Leased Equipment	DPW						9,000					9,000		8,000	8,000	8,000	33,000
Patrol Truck	DPW									82,500		82,500		82,500	82,500	82,500	330,000
Paving and Utility Plan	DPW			3,070,750						920,250		920,250		692,750			4,683,750
Pedestrian Ways	DPW									100,000		100,000					100,000
Pickup Truck	DPW						500			16,500		17,000		16,000	16,000	16,000	65,000
Sidewalk Replace	DPW									100,000		100,000					100,000
Sinking Fund	DPW						3,250					3,250		3,250	3,250	3,250	13,000
Small Capital	DPW											-				2,500	2,500
Street Maintenance	DPW									150,000		150,000					150,000
Street Sweeper	DPW											-				30,000	30,000
Street Tree Planting	DPW									30,000		30,000					30,000
Tractor	DPW									85,000		85,000					85,000
Well #3 (Design)	DPW											-		175,000			175,000
	Outreach											-					-
	Outreach											-					-
	Outreach											-					-
Comp - Workstation	Library											-					-
	Library						8,000					8,000					8,000
	Library											-					-
Aquatics (Design)	Parks									500,000		500,000					500,000
Bathroom (Design/Build)	Parks											-	170,000				170,000
CP Phase 3 (Build)	Parks									250,000		250,000	250,000				500,000
Lower Yahara (Design)	Parks									150,000		150,000					150,000
McF Park Ph 3.2 (Build)	Parks									425,000		425,000					425,000
Park Equipment	Parks											-	15,000				15,000
Property Acquisition	Parks											-					-
Comprehensie Plan	CD						25,000			25,000		50,000					50,000
Property Acquisition	CD											-					-
Small Capital	CD	2,000										-					2,000
Sinking Fund	CD						4,250					4,250					4,250
Total Projects		4,500	5,000	3,070,750	-	-	325,000	750	-	4,506,000	-	4,831,750	435,000	982,000	114,250	146,750	9,590,000

Capital Improvement Program

Village of McFarland

Prior Plan Approval/Inclusion Year:

2021

2022

2023

2024

2025

2026

2027

2028

Program Year: 2028

Funding by Project

Projects	Dept	General Fund 100	Comm/Tech Fund 200	TID #3 Fund 305	TID #4 Fund 310	TID #5 Fund 315	Capital Projects - Fund 400						Parks Fund 405	Utility - 600		Stormwater Fund 605	Total
							General	Grants	Intergov	Borrow	Reserve	Total		Water	Sewer		
Digital Records Mgmt	Admin	2,500					25,000					25,000					25,000
Equipment/Furniture	Admin						-					-					2,500
Voting Equipment	Admin									30,000		30,000					30,000
General Tech Equipment	Facilities						30,000					30,000					30,000
Land Acquisition	Facilities						40,000					40,000					40,000
Network Equip	Facilities						4,500					4,500		4,500	4,500	4,500	18,000
Sinking Fund	Facilities						100,000					100,000					100,000
Equipment Upgrade	C/T						-					-					-
	C/T		5,000				-					-					5,000
	C/T						-					-					-
Equipment	Police						15,000					15,000					15,000
Traffic Safety	Police						20,000					20,000					20,000
AED Machines	Fire/EMS									39,500		39,500					39,500
Brush Truck	Fire/EMS									90,000		90,000					90,000
Car 1 Sinking Fund	Fire/EMS						10,250					10,250					10,250
EMS Equipment	Fire/EMS						5,500					5,500					5,500
Fire Equipment	Fire/EMS						40,500			4,750		45,250					45,250
SCBA Replacements	Fire/EMS									375,000		375,000					375,000
Technology	Fire/EMS						18,750					18,750					18,750
Facility (Design)	DPW						-					-					-
Leased Equipment	DPW						9,000					9,000		8,000	8,000	8,000	33,000
Paving and Utility Plan	DPW			1,686,500						623,750		623,750		405,000			2,715,250
Pedestrian Ways	DPW									100,000		100,000					100,000
Pickup Truck	DPW						15,000					15,000		15,000	15,000	15,000	60,000
Sidewalk Replace	DPW									100,000		100,000					100,000
Sinking Fund	DPW						3,250					3,250		3,250	3,250	3,250	13,000
Small Capital	DPW											-				2,500	2,500
Street Maintenance	DPW									150,000		150,000					150,000
Street Sweeper	DPW											-				30,000	30,000
Street Tree Planting	DPW									30,000		30,000					30,000
USH 51 Seg 6 (Build)	DPW									1,750,000		1,750,000		204,500			1,954,500
Well #3 (Build)	DPW											-		1,325,000			1,325,000
Outreach	Outreach											-					-
	Outreach											-					-
	Outreach											-					-
Comp - Workstation	Library											-					-
	Library						8,000					8,000					8,000
	Library											-					-
Aquatics (Build)	Parks							6,000,000				6,000,000					6,000,000
Arnold Larson (Plan/Design)	Parks						1,000			74,000		75,000					75,000
Brandt Parking Lot (Design/Build)	Parks									250,000		250,000					250,000
Dredging (Design)	Parks									50,000		50,000					50,000
Lower Yahara (Build)	Parks									750,000		750,000	250,000				1,000,000
Park Equipment	Parks											-	15,000				15,000
Playground (???)	Parks											-	175,000				175,000
Property Acquisition	Parks											-					-
Downtown TID	CD									25,000		25,000					25,000
Property Acquisition	CD											-					-
Small Capital	CD	2,000										-					2,000
Sinking Fund	CD						4,250					4,250					4,250
Wayfinding Signage	CD									250,000		250,000					250,000
Total Projects		4,500	5,000	1,686,500	-	-	350,000	6,000,000	-	4,692,000	-	11,042,000	440,000	1,965,250	30,750	63,250	15,237,250

2023-2027 CAPITAL IMPROVEMENT PLAN (CIP)

Appendix A

Financial Analysis

Appendix B

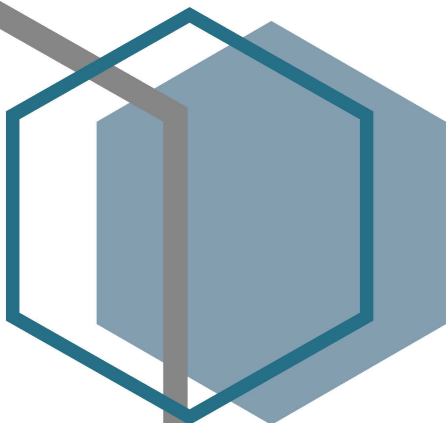
Project Summaries

Appendix C

Paving and Utility Plan 2023-2032

Appendix D

Park System Capital Improvements 2023 - 2032



**2023-2027
CAPITAL
IMPROVEMENT
PLAN (CIP)**

Appendix A

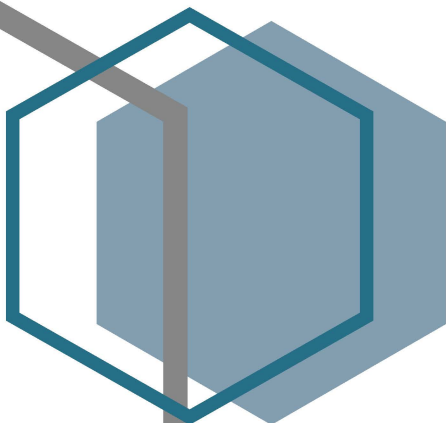
Financial
Analysis

Village of McFarland																					
2024 - 2028 Capital Improvement Program																					
Estimated Debt Service - Village Purposes Notes & Bonds - With Growth																					
Year Due	Existing Debt Service	2024 \$12,500,000 Bonds		2024 \$4,750,000 Notes		2025 \$12,500,000 Bonds		2025 \$4,930,000 Notes		2026 \$3,770,000 Notes		2027 \$4,505,000 Notes		2028 \$4,695,000 Notes		Combined Debt Service	Tax Rate	Est. Tax Rate Increase *	Est. Tax Increase ****	***	Year Due
		Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest	Principal	Interest					Percentage of Legal Debt Limit Used	
2023	3,374,967															3,374,967	\$2.47			59.72%	2023
2024	4,067,749															4,067,749	\$2.64	\$0.16	\$63.43	72.38%	2024
2025	3,910,869	425,000	693,562	100,000	220,781											5,350,212	\$3.27	\$0.63	\$247.87	84.26%	2025
2026	4,173,244	425,000	533,813	300,000	168,750	145,000	699,862		246,500							6,692,169	\$3.90	\$0.63	\$244.26	78.88%	2026
2027	4,021,628	475,000	513,562	400,000	155,625	475,000	545,288	425,000	188,700	200,000	196,031					7,595,834	\$4.25	\$0.36	\$139.02	79.43%	2027
2028	3,499,647	500,000	491,625	450,000	139,688	500,000	523,350	425,000	171,700	325,000	144,819	425,000	230,297			7,826,126	\$4.25	\$0.00	\$0.51	70.74%	2028
2029	3,400,822	525,000	468,563	500,000	121,875	525,000	500,287	450,000	154,200	325,000	131,006	425,000	164,369	120,000	246,872	8,057,994	\$4.29	\$0.04	\$15.68	62.96%	2029
2030	2,990,019	550,000	444,375	525,000	102,656	550,000	476,100	475,000	135,700	375,000	116,131	425,000	146,306	425,000	185,406	7,921,693	\$4.14	(\$0.16)	(\$60.68)	55.40%	2030
2031	2,506,869	625,000	417,937	550,000	82,500	575,000	450,788	525,000	115,700	400,000	99,663	450,000	127,712	450,000	166,813	7,542,982	\$3.86	(\$0.28)	(\$107.42)	48.38%	2031
2032	2,564,928	650,000	389,250	625,000	60,469	600,000	424,350	580,000	93,600	425,000	82,131	450,000	108,588	475,000	147,156	7,675,472	\$3.85	(\$0.01)	(\$3.60)	41.27%	2032
2033	2,199,325	650,000	360,000	650,000	36,562	625,000	396,787	675,000	68,500	425,000	64,069	450,000	89,463	500,000	126,438	7,316,144	\$3.60	(\$0.25)	(\$98.58)	34.56%	2033
2034	1,491,509	650,000	330,750	650,000	12,188	650,000	368,100	675,000	41,500	425,000	46,006	455,000	70,231	525,000	104,656	6,494,940	\$3.13	(\$0.47)	(\$182.33)	28.69%	2034
2035	1,466,469	650,000	301,500			675,000	338,287	700,000	14,000	425,000	27,944	475,000	50,469	550,000	81,813	5,755,482	\$2.72	(\$0.41)	(\$160.62)	23.57%	2035
2036	1,440,894	700,000	271,125			700,000	307,350			445,000	9,456	475,000	30,281	550,000	58,437	4,987,543	\$2.31	(\$0.41)	(\$159.95)	19.19%	2036
2037	1,415,319	700,000	239,625			720,000	275,400					475,000	10,094	550,000	35,063	4,420,501	\$2.01	(\$0.30)	(\$118.41)	15.37%	2037
2038	1,389,209	700,000	208,125			720,000	243,000							550,000	11,687	3,822,021	\$1.70	(\$0.31)	(\$119.59)	12.11%	2038
2039	1,362,031	700,000	176,625			720,000	210,600									3,169,256	\$1.38	(\$0.32)	(\$124.47)	9.51%	2039
2040	1,334,318	700,000	145,125			720,000	178,200									3,077,643	\$1.32	(\$0.07)	(\$25.94)	7.01%	2040
2041	1,306,606	700,000	113,625			720,000	145,800									2,986,031	\$1.25	(\$0.06)	(\$25.13)	4.60%	2041
2042	431,375	725,000	81,563			720,000	113,400									2,071,338	\$0.85	(\$0.40)	(\$156.73)	2.97%	2042
2043		725,000	48,937			720,000	81,000									1,574,937	\$0.64	(\$0.22)	(\$84.81)	1.75%	2043
2044		725,000	16,313			720,000	48,600									1,509,913	\$0.60	(\$0.04)	(\$14.92)	0.57%	2044
2045						720,000	16,200									736,200	\$0.29	(\$0.31)	(\$121.85)		2045
\$48,347,797		\$12,500,000	\$6,246,000	\$4,750,000	\$1,101,094	\$12,500,000	\$6,342,749	\$4,930,000	\$1,230,100	\$3,770,000	\$917,256	\$4,505,000	\$1,027,810	\$4,695,000	\$1,164,341	\$114,027,147		\$0.36	\$139.02		
Est. Int. Rate		4.50%		3.75%		4.50%		4.00%		4.25%		4.25%		4.25%				Average for 2024-2028 CIP			
* Based on Villages 2023 Est. Assessed Value -				\$1,543,697,303 **		\$1,364,907,000	22 Actual														
						\$1,543,697,303	23 Est.														
** Assuming growth at 6%, 5%, 4%, 3% and 2% thereafter						\$1,636,319,141															
						\$1,718,135,098															
*** Calculation based on All General Obligations, 5% of Equalized Value using same growth assumptions as above.						\$1,786,860,502															
						\$1,840,466,317															
						\$1,877,275,644															
**** Median Home Value				\$ 390,600		\$1,914,821,156															
5/30/2023																					

**2023-2027
CAPITAL
IMPROVEMENT
PLAN (CIP)**

Appendix D

**Park System
Capital
Improvements
2023-2032**



McFarland Parks Capital Improvement Plan

Project/Amenity	Location	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Notes
Small Projects, Furniture, Equipment	Varies	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	General application on the replacement of items and new small amenities.
Equipment	Varies	28,000										Annually the Parks Division considers various equipment needs to support operations.
Miscellaneous Projects	Varies	70,000										Field Grading and Lewis Floor (2024).
Playground, Park Amenities	Case by Case	125,000		150,000		175,000		180,000		185,000		Update/upgrade old playground equipment. Locations to be determined in CIP.
Bathrooms	Case by Case	75,000	160,000		170,000		180,000		190,000		200,000	Establish new bathroom facilities within system. Locations to be determined in CIP.
Property Acquisition	Case by Case	TBD		TBD		TBD		TBD		TBD		Review available opportunities, could happen sooner or later.
Siggelkow Road Bike Trail	Community Park		150,000	1,100,000								Plan/County Grant/Design 2024-2025, and Construct 2026.
Parking Lot, Shelter, Playground (Phase 2)	Community Park	175,000	2,325,000									Design 2024 and Construct 2025. Construction of shelter, parking lot, playground, etc.
Trails, Pump Track, Prairie Restoration (Phase 3)	Community Park			50,000	500,000							Design 2026 and Construct 2027. All remaining items but for new facility.
Indoor Athletic Complex (Phase 4)	Community Park						50,000	250,000	5,000,000			Plan (Operations) 2029, Design 2030, & Construct 2031. Year round complex.
McFarland Park Facility Purchase	McFarland Park		250,000									Village paid for a portion when constructed, would need to payoff remaining debt.
Fitness Court, Trails, Baseball, Playground (Phase 3)	McFarland Park		75,000	425,000	425,000							Design 2025 and Construct 2026/2027. Fill in support elements, new amenities.
Aquatics (Phase 4)	McFarland Park				500,000	6,000,000						Plan/Design 2026-2027 and Construct 2028.
Lake Access	Lewis Park, Other	300,000		15,000								Lewis Park (2024) and General Study (2026).
Inclusive Park	WIS	2,100,000										Construct 2024. Partnership with School District.
Restroom Renovation, Technology Upgrades	Brandt Park	110,000										Updates to the existing bathrooms, add access control, and cameras.
Parking Lot	Brandt Park					250,000						Design/Build 2028. Upper diamond, support park and trail.
Water Quality Boom System	McDaniel Park	25,000	250,000									Improved water quality, filtration, and beach development. Dane County Partnership.
Band Shelter, Event Space	Arnold Larson Park		100,000			75,000		750,000				General Improvements in 2025, Plan/Design 2028 and Construct 2029/2030.
Shelter/Bathroom Facility	Egner Park		175,000	1,350,000								Design 2025 and Construct 2026. Shared with water utility and pump house.
Lower Yahara River Trail (Phase 1)	Urso/Schuetz Park				50,000	250,000						Design/Grant Application 2027 and Construct 2028. Southern entrance thru park.
Disc Golf Facility/Trailhead (Phase 2)	Urso/Schuetz Park				100,000	750,000						Design 2027 and Construct 2028. Second facility to support east park, trail.
Dredging Work (Phase 3)	Urso/Schuetz Park					50,000	350,000					Design 2028 and Construct 2029. Partner with channel, lagoon, and ponds.
		3,023,000	3,500,000	3,105,000	1,760,000	7,565,000	595,000	1,195,000	5,205,000	200,000		
Parks Fund		515,000	500,000	165,000	435,000	440,000	195,000	195,000	205,000	200,000		
General Capital Revenue						1,000						
Fundraising						6,000,000			5,000,000			
Grants		1,000,000										
Intergovernmental		800,000		500,000								
Other Funds			100,000	1,000,000								
Private Funding												
Borrowing		708,000	2,900,000	1,440,000	1,325,000	1,124,000	400,000	1,000,000	0	0		

McFarland Parks Capital Improvement Plan

Project/Amenity	Location	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Notes
Small Projects, Furniture, Equipment	Varies	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	15,000	General application on the replacement of items and new small amenities.
Equipment	Varies	28,000										Annually the Parks Division considers various equipment needs to support operations.
Miscellaneous Projects	Varies	70,000										Field Grading and Lewis Floor (2024).
Playground, Park Amenities	Case by Case	125,000		150,000		175,000		180,000		185,000		Update/upgrade old playground equipment. Locations to be determined in CIP.
Bathrooms	Case by Case	75,000	160,000		170,000		180,000		190,000		200,000	Establish new bathroom facilities within system. Locations to be determined in CIP.
Property Acquisition	Case by Case	TBD		TBD		TBD		TBD		TBD		Review available opportunities, could happen sooner or later.
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Trails, Pump Track, Prairie Restoration (Phase 3)	Community Park			50,000	500,000							Design 2026 and Construct 2027. All remaining items but for new facility.
Indoor Athletic Complex (Phase 4)	Community Park						50,000	250,000	5,000,000			Plan (Operations) 2029, Design 2030, & Construct 2031. Year round complex.
McFarland Park Facility Purchase	McFarland Park		250,000									Village paid for a portion when constructed, would need to payoff remaining debt.
Fitness Court, Trails, Baseball, Playground (Phase 3)	McFarland Park		75,000	425,000	425,000							Design 2025 and Construct 2026/2027. Fill in support elements, new amenities.
Aquatics (Phase 4)	McFarland Park				500,000	6,000,000						Plan/Design 2026-2027 and Construct 2028.
Lake Access	Lewis Park, Other	300,000		15,000								Lewis Park (2024) and General Study (2026).
Inclusive Park	WIS	2,100,000										Construct 2024. Partnership with School District.
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Dredging Work (Phase 3)	Urso/Schuetz Park					50,000	350,000					Design 2028 and Construct 2029. Partner with channel, lagoon, and ponds.
		3,023,000	3,500,000	3,105,000	1,760,000	7,565,000	595,000	1,195,000	5,205,000	200,000		
Parks Fund		515,000	500,000	165,000	435,000	440,000	195,000	195,000	205,000	200,000		
General Capital Revenue						1,000						
Fundraising						6,000,000			5,000,000			
Grants		1,000,000										
Intergovernmental		800,000		500,000								
Other Funds			100,000	1,000,000								
Private Funding												
Borrowing		708,000	2,900,000	1,440,000	1,325,000	1,124,000	400,000	1,000,000	0	0		