

**Parks, Recreation, &
Natural Resources
Commission**

**Thursday, November 18,
2021**

6:30 PM

**McFarland Municipal Center
Community Room**

AGENDA

You are invited to this meeting through a Zoom webinar. The public is strongly encouraged to watch and participate in these meetings remotely through either the webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/81976769624>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 819 7676 9624

1. CALL TO ORDER, ROLL CALL.
2. PUBLIC APPEARANCES.
 - a. This is an opportunity for members of the public to address the Village Board. Please remember this is a virtual meeting conducted through the Zoom online meeting platform. Zoom meeting attendees wishing to address the board may do so using the Question and Answer feature within the Zoom online meeting platform. You may state your name, address, and provide your comments to the board for their consideration. Members of the public who are present in person and wish to address the board should fill out a public comment form and turn into the meeting chairperson. Members of the public may speak during public appearances or during their selected agenda item as they designate on the public comment form. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to aimie.irwin@mcfarland.wi.us to be included as part of the meeting.
3. APPROVAL OF MINUTES.
 - a. Discussion and action regarding the minutes from the Parks, Recreation and Natural Resources Committee meeting held on October 28, 2021.
4. BUSINESS.
 - a. Discussion and action to make a recommendation to the Village Board regarding Community Park Phase 1 Design/Bidding Services.
 - b. Discussion and action to make a recommendation on a proposal from the Waubesa Sailing Club to replace the decking for the McDaniel Park pier.
 - c. Discussion and action to make a recommendation to the Village Board regarding the USH 51 Pedestrian Underpass at Babcock Park along the Yahara River

- d. Update on the Board, Commission, and Committee Restructuring Project.
- e. Presentation of the Parks Superintendent's monthly report.

5. SCHEDULE NEXT MEETING DATE.

- a. Thursday, December 16, 2021 at 6:30 p.m.

6. ADJOURNMENT.

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related to Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the McFarland Municipal Center at (608) 838-3153 or cassandra.suettinger@mcfarland.wi.us

VILLAGE OF MCFARLAND

Parks, Recreation, & Natural Resources Commission Minutes

Thursday, October 28, 2021 - 6:30 PM

1. CALL TO ORDER, ROLL CALL.

Village trustee, Carrie Nelson called the regular meeting of the Parks, Recreation, and Natural Resources Committee to order at 6:30 PM in the Municipal Center Community Room. This meeting was held via Zoom.

Members present: Darrel Waldera, Dan Kolk, Katherine Pease, Sarah Kuba, David Wilson, Justin Rupert, Carrie Nelson, TJ Jerke, Tanya Lancaster

Members not present: John Feldner

Staff Present: Village Administrator Matt Schuenke, Parks Superintendent Sayer Larson, Assistant to the Public Works Director Aimee Irwin. Blake Theisen with Parkitecture & Consultants.

2. PUBLIC APPEARANCES.

- a. *This is an opportunity for members of the public to address the Village Board. Please remember this is a virtual meeting conducted through the Zoom online meeting platform. Zoom meeting attendees wishing to address the board may do so using the Question and Answer feature within the Zoom online meeting platform. You may state your name, address, and provide your comments to the board for their consideration. Members of the public who are present in person and wish to address the board should fill out a public comment form and turn into the meeting chairperson. Members of the public may speak during public appearances or during their selected agenda item as they designate on the public comment form. Please adhere to the 3-minute time limit. Additionally, you may send your public comments to aimee.irwin@mcfarland.wi.us to be included as part of the meeting.*

None.

3. APPROVAL OF MINUTES.

- a. *Discussion and action regarding the minutes from the Parks, Recreation and Natural Resources Committee meeting held on September 23, 2021.*
Motion by Village Trustee Carrie Nelson, seconded by Sarah Kuba, to approve the minutes from the Parks, Recreation and Natural Resources Committee meeting held on September 23, 2021. Motion carries 7 - 0 - 2, with David Wilson and Justin Rupert abstaining.

4. BUSINESS.

- a. *Discussion and action to make a recommendation to the Village Board regarding the final draft of the master plan for William McFarland Park and the future Community Park.*
Schuenke provided a brief review of updates that have occurred since the last review by the committee, including that no additional comments had been received. Blake Theisen

with Parkitecture & Consultants reviewed plans for William McFarland and Community Parks, which include minor updates since the previous review. Theisen stated that the final recommendations have been updated within the included report and the implementation section has been fully vetted.

Motion by Village Trustee Carrie Nelson, seconded by Village Trustee Justin Rupert, to recommend approval to the Village Board regarding the final draft of the master plan for William McFarland Park and the future Community Park. Motion carries 9 - 0 - 0 by acclamation.

b. Discussion and participation in a diversity, equity, and inclusion SWOT (Strengths, Weaknesses, Opportunities, and Threats) Analysis Framework.

Schuenke provided an introduction of the participation in a (SWOT) Strengths, Weaknesses, Opportunities and Threats Analysis in relation to Parks, Recreation and Natural Resources. Guests to assist in this analysis included Percy Brown Jr. and Dr. Rainey Briggs. Brown and Briggs provided an overview for the analysis this evening and conducted the SWOT analysis with committee members.

c. Discussion regarding the development of a Park System Capital Improvement Plan.

Schuenke presented the updated development of a Park System Capital Improvement Plan. For this evening's meeting, estimates of financial numbers have been added from the previous draft of the plan. The second portion of the plan demonstrates what the funding could be per year for all included projects. Schuenke reviewed the 2022 projects and stated that these funds have been included within the 2022 budget. Schuenke said that Indian Mound maintenance would be included within operating funds and a review of the Siggelkow Road park plan is recommended with the removal of pickle ball courts from this location.

- Dan Kolk provided that the fundraising amount may require a hired consultant to assist with achieving the fundraising level depicted within the plan.
- Carrie Nelson asked if any upfront costs may be required for the Indian Mound maintenance. Sayer Larson stated that the mounds have been maintained at a minimum but additional maintenance could be directed to the mounds. Larson stated that maintenance includes reviewing vegetation but he does not anticipate additional contractual services being required.
- TJ Jerke asked if the committee would be willing to include additional language within the plan to explore other possible lake access points. Committee members discussed the possibility of including additional language. Schuenke provided that as part of the funds for lake access within 2022, the planning could include exploring other locations beyond the identified Lewis Park location.
- Tanya Lancaster asked if a project is presented to be funded by fundraising and fundraising is not received, will the project be put on hold or would additional borrowing need to occur. Schuenke stated that the funding would be revisited as plans are developed for the particular projects. As the projects are designed, more accurate financial estimates can be obtained and funding can be discussed.

Schuenke provided the next steps to the plan, which includes incorporating this plan into the 5-year Capital Improvement plan, engaging the Village Board in discussions of the

proposed plan, and then reconnecting on the plan following the completion of the 2022 budget.

d. Presentation of the Parks Superintendent's monthly report.

Larson presented the Parks Superintendent's report for the month.

- Dan Kolk asked what the goal is of the Grandview project. Larson stated that an opportunity presented itself to begin the process of restoring the Grandview area, which included removing a large patch of invasive species and declining trees.
- TJ Jerke asked how often a replacement tree was required within Juniper Ridge and if the village could review future tree plantings to avoid replacements. Larson responded that the species selected were misplaced, which likely caused them to fail. Future tree planting plans in a development will be reviewed by department staff prior to tree selection and planting.

5. SCHEDULE NEXT MEETING DATE.

a. Thursday November 18, 2021 at 6:30 p.m.

6. ADJOURNMENT.

Motion by Katherine Pease, seconded by Village Trustee Justin Rupert, to adjourn at 8:32pm.

Pursuant to law, written notice of this meeting was given to the public and posted on the public bulletin boards in accordance with Open Meetings Law.

Respectfully submitted,
Aimee Irwin
Assistant to the Public Works Director



**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Thursday, November 18, 2021

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding Community Park Phase 1 Design/Bidding Services.

PREVIOUS ACTION:

The Master Plan for the new Community Park was accepted by the Committee at the meeting on October 28, 2021 and received acceptance by the Village Board at its meeting on November 8, 2021.

ISSUE SUMMARY:

Included within the packet is a proposal to design the mass grading at the Community Park as the first phase to develop this area. The project scope includes development of a mass grading plan as the first step in developing the site plan for this park that is recommended within the Master Plan. This work will also address future needs for septic, wells, and irrigation systems.

The plans prepared will provide a bid package for site preparation and earthwork balancing for the future implementation of the Master Plan elements. This will also provide for the final grading and restoration plans to allow for Soccer fields beginning in 2023 and beyond. The design work will begin this Winter in anticipation for a Spring 2022 bidding process.

Construction would begin in the late Spring and early Summer of next year. This is mainly rough grading of the site to make way for final improvements in the future. Getting the terrain situated to allow grass to grow is a lengthy process with the soonest eligibility to use this new space to take place in the Fall of 2023 or later, so starting sooner rather than later simply to get the grass growing at the proper elevations is a key first step.

FINANCIAL/BUDGET IMPACT:

The total project budget for 2022 on this project is \$1.1 million that is funded between borrowed money in the Capital Projects Fund and impact fees within the Parks Fund. The cost of this proposal is \$26,596. The Village Board is set to approve this project within the 2022 Budget as part of their meeting on November 22nd.

The proposal is presented by Parkitecture which is who prepared and completed the Master Plan for the site. Staff is recommending this proposal as a sole source purchase without conducting a larger Request for Proposal (RFP) effort for the following reasons:

1. The Planner and Designer will be the same group. They have familiarity with the site and project overall.
2. Going through an RFP process may identify another Consultant that has a lower cost



- proposal, but it will require them to start over on the project. They will have the Master Plan to draw from but without the knowledge gained in preparing that plan.
3. The work that is proposed on this site is unique in nature that should be designed, specified, and bid with an Consultant that specializes in this work. This is an area where, again, we could find a lower cost option within a Consultant but if they lack familiarity in the final outcome it could cost us within our bids based on how they prepare the design.
 4. The proposed Consultant has experience in these projects and the resources to design and bid the project as presented.
 5. The proposed Consultant has previously completed work for the Village to prepare the Master Plan, Aquatics Feasibility Study, and Pickleball Planning/Design. We have a good relationship with them, they are highly responsive, and they provide a high quality product.
 6. As you move from Planning to Design, the project evolves and the details take over which can alter the vision for the project. Keeping the Planner and Designer the same helps keep that vision consistent from plan to design and ultimately construction.

Sole source purchasing is an available purchasing option for the Village to consider and when in the best interest of the Village should be pursued. For these reasons listed above, Staff recommends this route as it is in the best interest of the Village for the design services needed within Phase 1 at the new Community Park.

VILLAGE PLAN REFERENCE:

[William McFarland Park and New Community Park Master Plan \(Appendicies\)](#) - November 8, 2021

ORDINANCE REFERENCE:

[Fiscal Policy Manual - Section 10.06\(f\)\(2\) \(page 41\)](#) - "If the Village has an ongoing working relationship with a firm (e.g. engineer or legal services), however, it may elect to solicit and evaluate a proposal from just that firm if deemed to be in the best interest of the Village."

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended Action:

Motion and second to approve the proposal from Parkitecture in the amount of \$26,596 for the Community Park Phase 1 Design/Bidding Services.

ATTACHMENTS:

1. 21_0913 MCF Community Park Mass Grading Proposal

Community Park Mass Grading Plan
TASK ORDER #4 - SCOPE OF SERVICES

General Project Scope:

Project scope includes development of a mass grading plan for the new Community Park site located on CTH AB and Siggelkow Road. This effort is the first step towards development of this facility. Plans shall provide a bid package for the site prep and earthwork balancing for the future implementation of the Master Plan elements. This bid package will also include final grading and restoration plans for the soccer fields. The Village desires to have the soccer complex online for public use by spring of 2023.

Task Items below are further described in the Master Agreement set forth between Parkitecture + Planning and the Village of McFarland.

Services to be completed:

1. **Mass Grading and Drainage System Plan Preparation**
Parkitecture will prepare schematic design and earthwork modeling for the entire site. Storm sewer system and field underdrain network will be included. Irrigation, septic and well systems design by others, Parkitecture will assist the Village with coordination and collaboration with these service providers for implementation in conjunction with the grading efforts.
2. **Preliminary Site Plan Preparation**
Parkitecture will develop site layout plans for a temporary entrance road, main pathways, and parking lot to establish limits of grading, drainage patterns, etc.
3. **Site Restoration Plan Preparation**
Parkitecture will prepare a site restoration, seeding, and erosion control plan for the entire site.
4. **Stormwater Management Plan and Permit**
Parkitecture will develop a SWMP for the grading and disturbance activity. This will include a model and report for permit inclusion. Permit will be submitted on behalf of the Village. Permit fees shall be paid directly by Village or submitted as a reimbursable expense by Parkitecture. Village to order soil borings and infiltration test pits.
5. **Opinion of Probable Construction Costs**
Parkitecture will assemble a table of probable construction costs for the proposed project bid items.
6. **Bidding Documents**
Parkitecture will develop final plan set and specifications manual for public bidding for this phase of construction.
7. **Solicitation of Bids**
Parkitecture will post bidding documents on Quest CDN, solicit bidders, answer bidder questions, issue addenda, and conduct bid opening. A bid tabulation and recommendation for award will be provided to the Village Board.

Deliverables:

Final project deliverables will include the following:

- Preliminary Plans
- Final Bid Documents (Plans and Specifications)
- Stormwater Management Plan

Community Park Mass Grading Plan

Schedule:

Parkitecture is prepared to begin work on the project on or about November 1, 2021 and will solicit bids in spring of 2022.

Fee:

In consideration of the scope outlined above, Parkitecture requests a fixed fee of \$26,596 including expenses (permit and geo-technical fees not included).

Signature below shall serve as notification to proceed.

Accepted by:

Village of McFarland



Parkitecture + Planning

Date:

____9/13/2021____

Date:


VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Thursday, November 18, 2021

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation on a proposal from the Waubesa Sailing Club to replace the decking for the McDaniel Park pier.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

The current decking of the pier at McDaniel Park is in need of either significant maintenance or replacement. The pier was constructed and installed by the Waubesa Sailing Club in 2005/2006, and has been under the ownership of the Village since 2013. The Club uses it to park their boats within their membership, but the pier is also accessible to the Public used for fishing or just accessing the water without being in the water. The Club would like to partner with the Village to replace the current wood decking using composite lumber that is maintenance free and also more slip resistant than the current product. If agreeable, the Club would coordinate for this work in the Spring to align with the piers installation on the water. Without the replacement, we would need to consider staining the existing decking material which will incur a cost and a limited return on investment.

Please see the enclosed presentation from the Club outlining their proposal.

FINANCIAL/BUDGET IMPACT:

The cost for the project is proposed at \$20,000. The Club is still working on what they can afford to cost share and will present in the meeting. The Village can expect to cover between \$10,000 to \$15,000 of this expense.

The project will be paid for out of the Parks Fund from the 2022 Budget. The costs incurred will be applied to Facility Improvements which lists a total allowance next year of \$75,000.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:



Recommended Action:

Motion and second to recommend approval to the Village Board of a proposal from the Waubesa Sailing Club to replace the decking for the McDaniel Park pier.

ATTACHMENTS:

1. WSC & McDaniel Pier Proposal - Final (1)



Waubesa Sailing Club Proposal to Upgrade McDaniel Pier

Fall, 2021

Waubesa Sailing Club and McFarland have a strong long-standing relationship and partnership



- Waubesa Sailing Club (WSC) was founded 35+ years ago
- WSC members built and installed McDaniel Pier in 2005/2006
- Ownership of the Pier transferred to the Village of McFarland in 2013
- WSC enhanced the Pier by adding slip sections (fingers), cleats, bumpers and other pier safety features (\$10,000)
- WSC annually performs minor repairs, installation and removal
- Annually, WSC hosts 'Friends and Family Sail Day' for the community
- WSC holds an annual fundraiser for the McFarland Food Pantry
- McFarland residents, visitors and WSC all benefit from the Pier



Proposal to upgrade McDaniel Pier to synthetic material

The existing wood decking is near end of life.

WSC proposes to convert main pier decking to synthetic.

Note: Aluminum frames are structurally sound and are not included in this proposal.

The advantages of a synthetic pier:

- More cost effective than wood decking (e.g., eliminates board replacement and staining)
- Improves safety
- Extends expected useful life
- 12-year warranty
- Facilitates easier storage

Synthetic decking estimated cost ~ \$20K vs unstained cedar ~ \$17K



WSC MEMBERS VOTED 'YES' TO CONTRIBUTE SUBSTANTIAL \$\$ TOWARD SYNTHETIC DECKING



WSC CONTINUES TO ENHANCE, INSTALL AND REMOVE PIER ANNUALLY



MCFARLAND MAINTAINS 2021 SLIP PRICING FOR WSC MEMBERS



MCFARLAND RESIDENTS, VISITORS AND WSC CONTINUE TO BENEFIT FROM THE PIER



Thank You for Your Consideration!
WSC Board of Directors



APPENDIX

McDaniel Pier

- McDaniel Pier is a unique, non-standard size, to provide safer public access
- 22 frame sections: 10' L x 5' W
- 2 triangle frames: 5' L x 2 ½' W
- Each frame take 2-5' x 5' deck sections = 44 total deck sections
- Each frame has support bars: 1 lengthwise & 2 side to side
- Each 5' x 5' deck section consists of 5-5' x 1' section

Titan Deck By Voyager

- Barefoot friendly, non-slip, skid-resistant surface
- Reliable, durable, and virtually maintenance-free
- Titan Deck boards are made of injection-molded polypropylene
- New sections (synthetic or wood) will need to be assembled on site by Bryan Gill initially
- Can be stored outside on site
- Comes with a 12-year limited warranty
- Note: Titan display pier at Clearwater Piers outside 27/7/365 for 14 years still in excellent condition!

Clearwater Piers

Bryan Gill

Clearwater Piers

4525 Pflaum Road

Madison, WI 53718

clearwaterpiers@gmail.com

608.400.3334

Clearwater Piers (4 years)

Previous Gill's Marine Crane Service (10 years)

Note: Bryan installed and removed McDaniel Pier for several years



**VILLAGE OF
McFarland
SUMMARY SHEET**

MEETING DATE: Thursday, November 18, 2021

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding the USH 51 Pedestrian Underpass at Babcock Park along the Yahara River

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

The Village is working with the Wisconsin Department of Transportation on planning for the reconstruction of US Highway 51 in the future. There are two segments planned for this project that will not be ready for actual construction for a few years. Segment 7 of this project will go first from Larson Beach Road to just short of Voges Road and be mainly a repaving project.

That work is planned for implementation in 2024. Segment 6 of this project will go from Larson Beach Road to our southern Village limits including the reconstruction of the bridge over the Yahara River. That work is planned for implementation as early as 2027 or as late as 2029.

The Village had identified an opportunity with the replacement of the bridge over the Yahara River. The question was asked whether or not an underpass could be created to allow for safer access under the highway to Babcock County Park, fishing, canoe/kayaking, and generally more accessibility to the water. Enclosed is the response from WisDOT on the feasibility of the project. An example of what this underpass would look like is included from the City of Madison on John Nolen Drive going over Wingra Creek. It is feasible, but with a cost of course.

The purpose of the meeting is to review this concept and get some feedback from the Committee on its viability. WisDOT is requesting our agreement to include this in the design process which is underway for both segments. Our recommendation to the Village Board will help aide in the decision making process to enter into the agreement.

FINANCIAL/BUDGET IMPACT:

The cost proposed for this is \$1,509,000. This effectively is the expense to add the underpass concept to the already proposed bridge replacement. Adding the underpass requires the bridge to be longer and taller which creates additional costs to consider beyond just simply replacing the bridge. Dane County is interested in the project as well and likely a financial partner. Staff continues to work with WisDOT and Dane County on cost sharing models so that the financial burden is not 100% on the Village.



VILLAGE PLAN REFERENCE:

Previous transportation planning for pedestrian improvements have called for connection from Yahara Drive into Babcock County Park. This creates better east to west connection through the Village either within defined trails or on-street corridors. The short jog south to go under the highway along the river would provide for a safe continuous connection helping to bring this plan to fruition. See diagram in packet for more information.

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

ATTACHMENTS:

1. USH 51 Yahara River Bridge Underpass Proposal
2. Wingra Creek Ped-Bike Path at John Nolen Drive
3. Pedestrian Planning
4. Bicycle and Pedestrian System Map - Comprehensive Plan



MSA Memo

To: David Schmidt, WisDOT SW Region
From: Ben Wilkinson, MSA Professional Services
Subject: Cost Estimate for Pedestrian Underpass, USH 51 at Yahara River Bridge, ID
5845-16-06
Date: September 27, 2021

At the direction of WisDOT, MSA has reviewed adding a pedestrian underpass beneath the USH 51 structure crossing the Yahara River near Babcock Park, on the south edge of the Village of McFarland. The estimated additional costs for the pedestrian underpass are summarized on the following pages. For USH 51, a 45-mph design speed has been assumed with upper minimum design values per the FDM. The proposed mainline profile will require a maximum ~5.5 foot grade raise from the profile used during the study phase of the project (see Exhibit A). Four retaining walls (A, C, D, and E in Exhibits A and B) will need to increase in height with the proposed profile change. If traffic is maintained on USH 51 during construction, additional costs for staging is expected due to the differential between the elevation of the existing structure and the new structure. An estimation of additional staging costs are also provided. Significant temporary shoring will be required to accommodate the profile change.

The underpass is assumed to have a 12' horizontal clearance and 10' vertical clearance. Since the difference in elevation between the 100-year flood and the 10-year flood is less than 0.15 feet, the underpass minimum elevation is just above the 100-year elevation of 845.69. A 15.5-foot lengthening of the bridge is required to accommodate the underpass (If additional lengthening is required beyond what is currently shown, a girder size increase will be needed as well as a corresponding additional profile raising). Design details for the location of the path after it exits the underpass on the west side of USH 51 will still need to be determined with Dane County Parks. Any additional walls or railings needed for the path in that area are not included with this estimate. 100' of railing has been included along the path on the east approach to the underpass.

The USH 51 construction project is assumed to have excess fill material available; therefore, the estimated additional fill quantity of 5594 CY is not included in this estimate because the material will be readily available (Borrow should not be needed).

SUMMARY OF ADDITIONAL COSTS FOR PEDESTRIAN UNDERPASS (see further below for details of each line item):

- Additional Bridge Structure Cost = \$517,000
- Additional Underpass Structure Cost = \$275,000
- Additional Retaining Wall Cost = \$454,000
- Additional Multi-Use Path Cost = \$61,000
- Additional Lighting Cost = \$13,000
- Additional Real-Estate Cost = \$15,000
- 10% Construction Delivery Costs = \$134,000
- Engineering Design Costs = \$40,000
- **TOTAL ADDITIONAL COST = \$1,509,000**

Additional Structure Costs:

Bridge (aesthetic costs are included in the linear footage costs below):

- 15.5 feet of additional structure length (79.6 feet wide). The previous bridge was 80 feet long; the revised bridge is 95.5 feet long. The difference in bridge costs – shorter bridge vs longer bridge required for the underpass = \$2,148,750 - \$1,720,000 = \$428,750
 - Estimated Cost of the 95.5' bridge = \$22,500/LF @ 95.5 feet = \$2,148,750
 - Estimated Cost of the 80' bridge = \$21,500/LF @ 80.0 feet = \$1,720,000
- Temporary shoring to accommodate grade raise: 1202 SF (south end) + 348 SF (north end) = 1600 SF @ \$55/SF = \$88,000
- **Subtotal for additional bridge structure cost = \$517,000**

Underpass beneath bridge:

- Reinforced Concrete Path: 140 feet x 14 feet width, 12 inches thick = 73 CY @ \$1000/CY = \$73,000
- Sheet Pile: 130 feet length x 18 feet height @ \$45/SF = \$105,300
- Pedestrian Railing (aesthetics costs included): 140 feet @ \$300/LF = \$42,000
- Base Aggregate 1 1/4-Inch: 140 feet x 14 feet width, 9 inches thick = 55 CY @ \$15/TON = \$1650
- Protective Surface Treatment: 265 SY @ 5\$/SY = \$1325
- Structure Excavation: 80 feet excavation length x 21 feet excavation width x 20 feet excavation depth = 1245 CY @ a LS of \$8000
- Structure Backfill: 80 feet backfill length x 15.5 feet backfill width x 15 feet backfill depth x 2 Ton/CY = 1380 TON @ 30\$/TON = \$41,400
- **Subtotal for underpass structure cost = \$275,000**

- **Total Additional Structure Costs = \$792,000**

Additional Retaining Wall Costs:

- Retaining Wall A: 660 SF added @ \$100/SF = \$66,000
- Retaining Wall B: 60 SF subtracted @ \$100/SF = **-\$6000**
- Retaining Wall C: 2175 SF added @ \$100/SF = \$220,000
- Retaining Wall D: 1617.5 SF added @ \$100/SF = \$162,000
- Retaining Wall E: 120 SF added @ \$100/SF = \$12,000
- **Total for Additional Retaining Wall costs = \$454,000**

MEMO

September 27, 2001

Additional Multi-Use Path Costs:

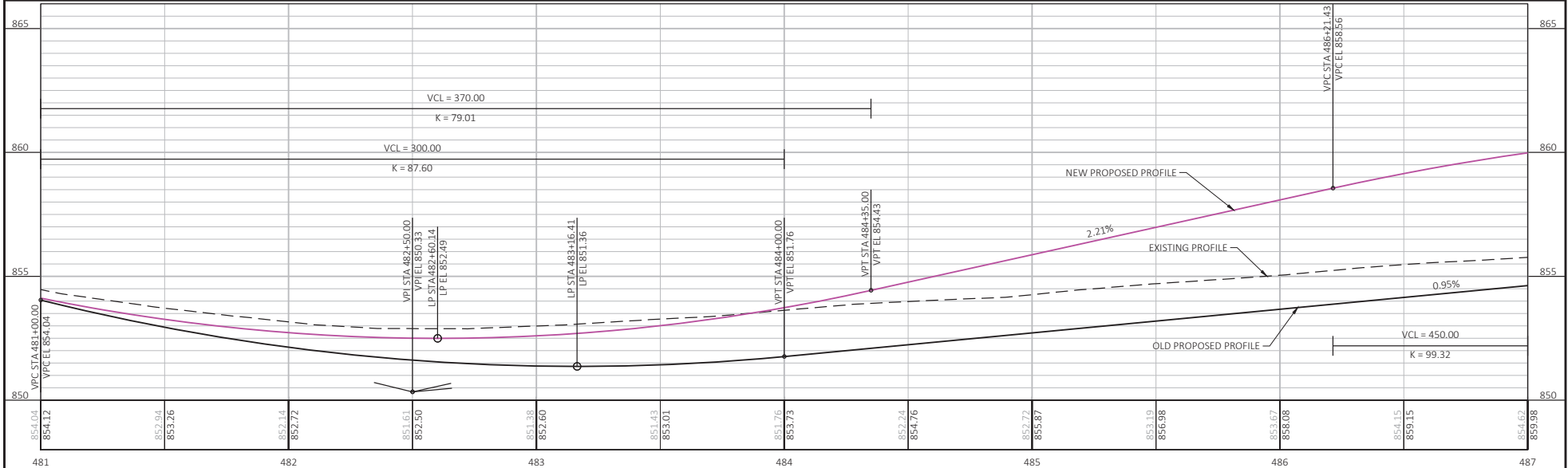
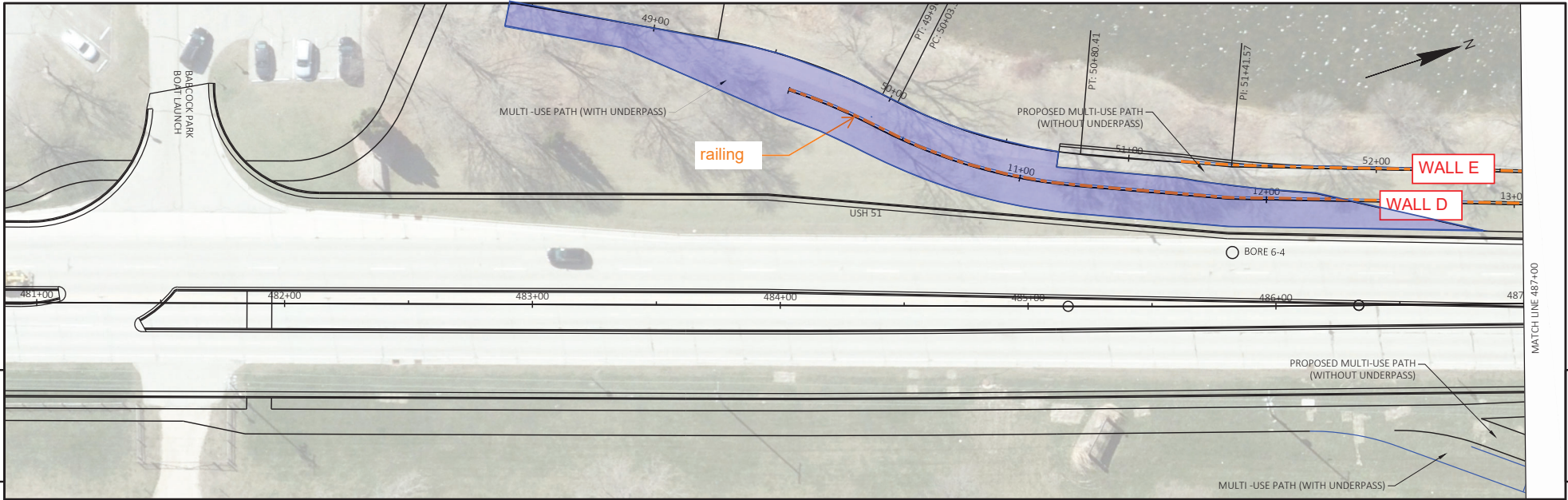
- Asphaltic Surface: 1330 feet additional path length x 10 path width x 3 inches thick = 250 Ton @\$110/Ton = \$27,500
- Base Aggregate Dense 1 1/4": 1330 feet additional path length x 14 feet width x 8 inches thick = 920 Ton @ \$13.00/Ton = \$13,000
- Additional Railing in areas near water: 100 feet @\$200/LF = \$20,000
- **Total for Additional Multi-Use Path costs = \$61,000**

Additional Lighting Costs:

- Light pole, concrete base, luminaire and mounting bracket: 2 @ \$3,000/EACH = \$6,000
- Underpass Luminaire: 3 @ \$1000/EACH = \$3,000
- Conduit: 400 feet @ \$8/LF = \$3,200
- Electrical Wire: 300 feet @ \$1.00/LF = \$300
- **Total for Additional Lighting costs = \$13,000**

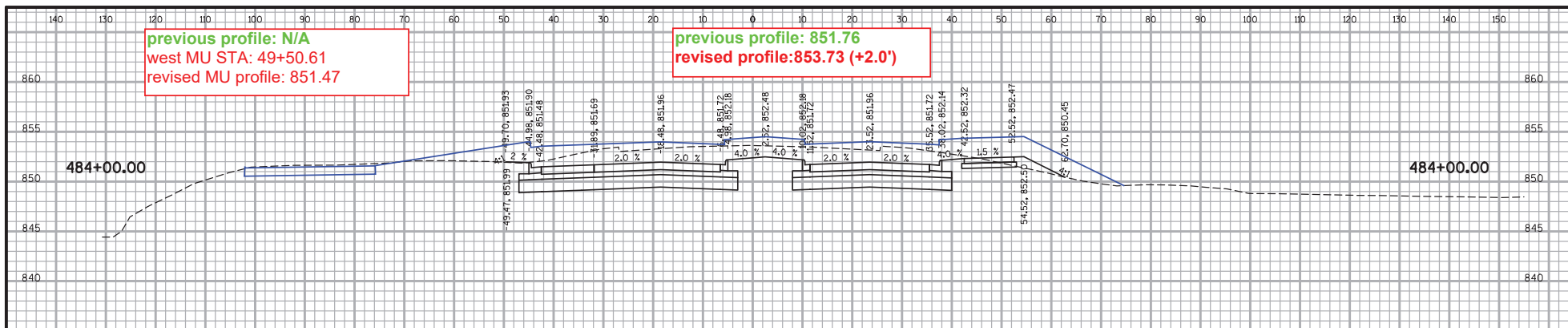
Additional Real Estate Costs:

- Additional TLE (southwest and southeast quadrants) for additional grading: 14,000 SF @ \$20,000/acre = \$6000
- Additional FEE R/W (southwest quadrant) for additional retaining wall: 3700 SF @ \$100,000/acre = \$9000
- **Total for Additional Real Estate costs = \$15,000**



PROJECT NO: 5845-16-06	HWY: USH 51	COUNTY: DANE	PLAN AND PROFILE: BRIDGE UNDERPASS EXHIBIT	SHEET E
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FILE NAME : G:\00\00093\00093635\CADD\SHETSPLAN\050101-PP.DWG PLOT DATE : 9/9/2021 8:32 AM PLOT BY : CHASE KIELER PLOT NAME : SHEET E WISDOT/CADD5 SHEET 44



Original Cross
Sections are from July
2019 Planning Study

9

9

PROJECT NO: 5845-06-03

HWY: USH 51

COUNTY: DANE

CROSS SECTIONS: USH 51 - URBAN MCFARLAND

SHEET

E

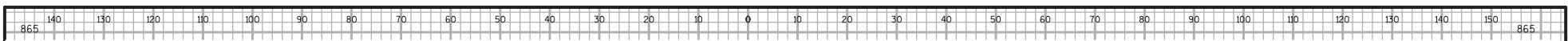
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PLOT DATE : 7/10/2019

PLOT BY : .username_

PLOT NAME :

PLOT SCALE : **.....plotscale.....** WISDOT/CADD SHEET 21

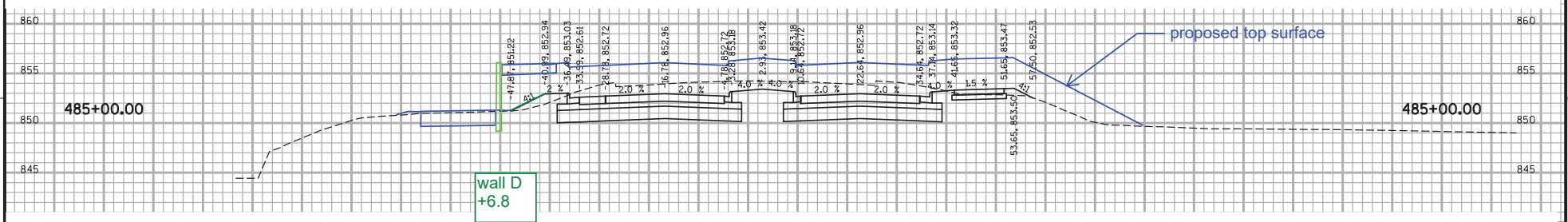


Original Cross Sections are from July 2019 Planning Study

previous profile: N/A
west MU STA: 50+58
revised MU profile: 851.06

previous profile: N/A
east MU STA: 11+00
revised MU profile: 855.29

previous profile: 852.72
revised profile: 855.87 (+3.2')



9

9



PROJECT NO: 5845-06-03	HWY: USH 51	COUNTY: DANE	CROSS SECTIONS: USH 51 - URBAN MCFARLAND	SHEET	E
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FILE NAME : S:\MAD\1000--1099\1089\947\Drawings\CAD\Alternative H\Plan\US 51 Urban McFarland Sheets.dgn PLOT DATE : 7/10/2019 PLOT BY : _username_ PLOT NAME : PLOT SCALE : **.....plotscale.....** WISDOT/CADD SHEET 21

Original Cross Sections are from July 2019 Planning Study

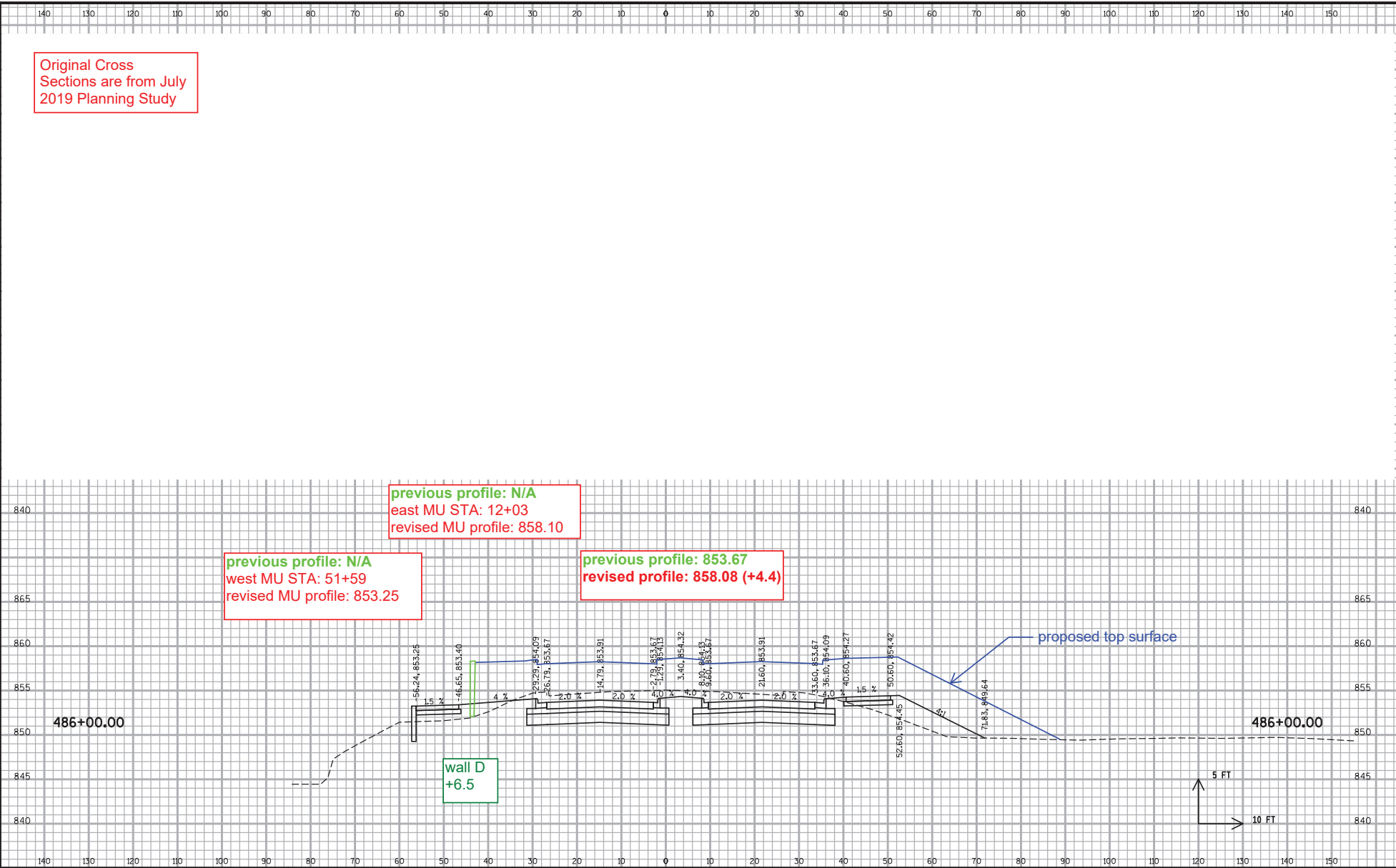
previous profile: N/A
 east MU STA: 12+03
 revised MU profile: 858.10

previous profile: N/A
 west MU STA: 51+59
 revised MU profile: 853.25

previous profile: 853.67
 revised profile: 858.08 (+4.4)

wall D
 +6.5

proposed top surface



Original Cross Sections are from July 2019 Planning Study

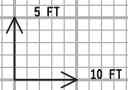
previous MU profile: 852.76
west MU STA: 52+58
revised MU profile: 854.00

previous MU profile: 854.78
east MU STA: 13+03
revised MU profile: 859.74

Previous profile: 854.62
revised profile: 859.99 (+5.4')

wall E
+1.2

wall D
+3.5



PROJECT NO: 5845-06-03

HWY: USH 51

COUNTY: DANE

CROSS SECTIONS: USH 51 - URBAN MCFARLAND

SHEET

E

FILE NAME : S:\MAD\1000--1099\1089\947\Drawings\CAD\Alternative H\FPlan\US 51 Urban McFarland Sheets.dgn

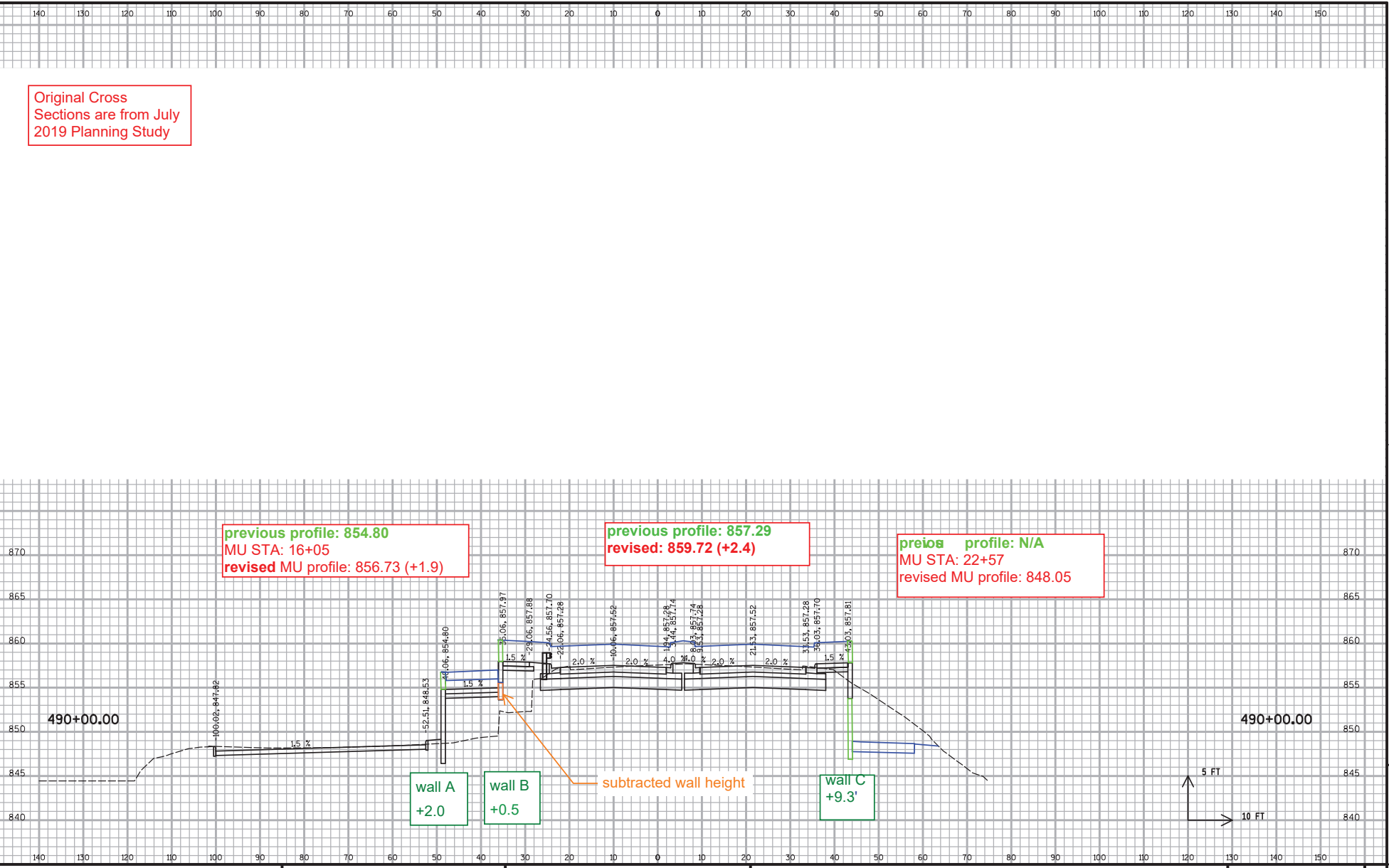
PLOT DATE : 7/10/2019

PLOT BY : _username_

PLOT NAME :

PLOT SCALE : **.....plotscale.....** WISDOT/CADDS SHEET 21

Original Cross Sections are from July 2019 Planning Study



PROJECT NO: 5845-06-03

HWY: USH 51

COUNTY: DANE

CROSS SECTIONS: USH 51 - URBAN MCFARLAND

SHEET

E

FILE NAME : S:\MAD\1000--1099\1089\947\Drawings\CAD\Alternative HPlan\US 51 Urban McFarland Sheets.dgn

PLOT DATE : 7/10/2019

PLOT BY : _username_

PLOT NAME :

PLOT SCALE : **.....plotscale.....** WISDOT/CADDS SHEET 21

Original Cross Sections are from July 2019 Planning Study

strand profile: 850.12
 MU STA: 17+55
 revised MU profile: 851.32 (+1.2)

previous profile: 856.74
 revised profile: 856.70 (-.04)

previous profile: N/A
 MU STA: 24+07
 revised MU profile: 855.84

previous profile: 849.29
 MU STA: 17+05
 revised MU profile: 852.35 (+2.0)

previous profile: 857.16
 revised profile: 857.67 (+0.5)

previous profile: N/A
 MU STA: 23+57.21
 revised MU profile: 853.06

wall A +2.2

wall B -0.8

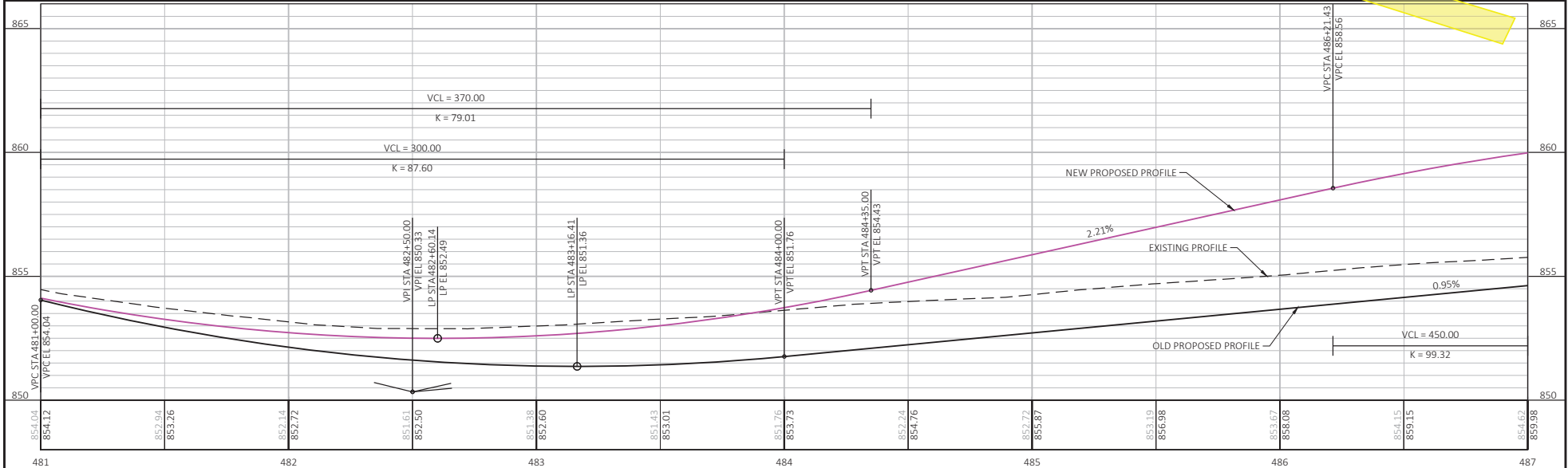
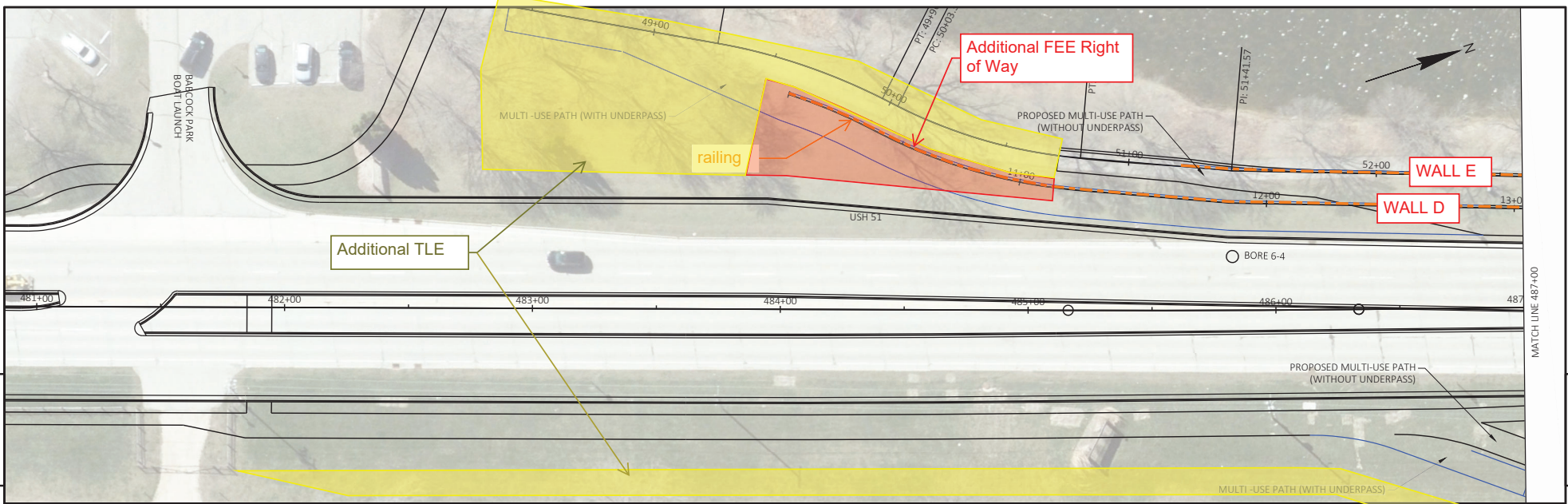
wall C +1.5

wall A +4.1

wall B -1.7

wall C +7.2'





PROJECT NO: 5845-16-06	HWY: USH 51	COUNTY: DANE	PLAN AND PROFILE: BRIDGE UNDERPASS EXHIBIT	SHEET E
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FILE NAME : G:\00\00093\00093635\CADD\SHETSPLAN\050101-PP.DWG PLOT DATE : 9/8/2021 2:33 PM PLOT BY : CHASE KIELER PLOT NAME : SHEET SCALE : 1 IN=40 FT WISDOT/CADD SHEET 44



Wingra Creek ped/bike path at John Nolen Drive



Village Data

- Sidewalk Ratings
 - Grindings
 - Replace
 - Utilities
 - Questionable
 - Other
- Bike/Ped Planning Routes
 - Priority Sidewalks
 - ⋯ Off-Street Ped Path - Future
 - ⋯ On-Street Signed Routes - Future
 - ⋯ On-Street Bike Lanes - Future
 - ⋯ Off-Street Bike/Ped Paths - Future
 - On-Street Bike Lanes - Current
 - Off-Street Bike/Ped Paths - Current
 - Urban Escape
- Pedestrian Facilities
 - Planned Sidewalks
 - Existing Sidewalks
- Zoning
 - ▭ CO Conservancy
 - ▭ A1 Agricultural Transition
 - ▭ RH-1 Rural Homes

MAP 10

BICYCLE AND PEDESTRIAN SYSTEM



COMPREHENSIVE PLAN

Legend

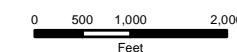
Existing Facilities

- On-Street Bike Lanes
- Off-Street Bike/Ped Paths
- Urban Escape Routes

Planned Facilities

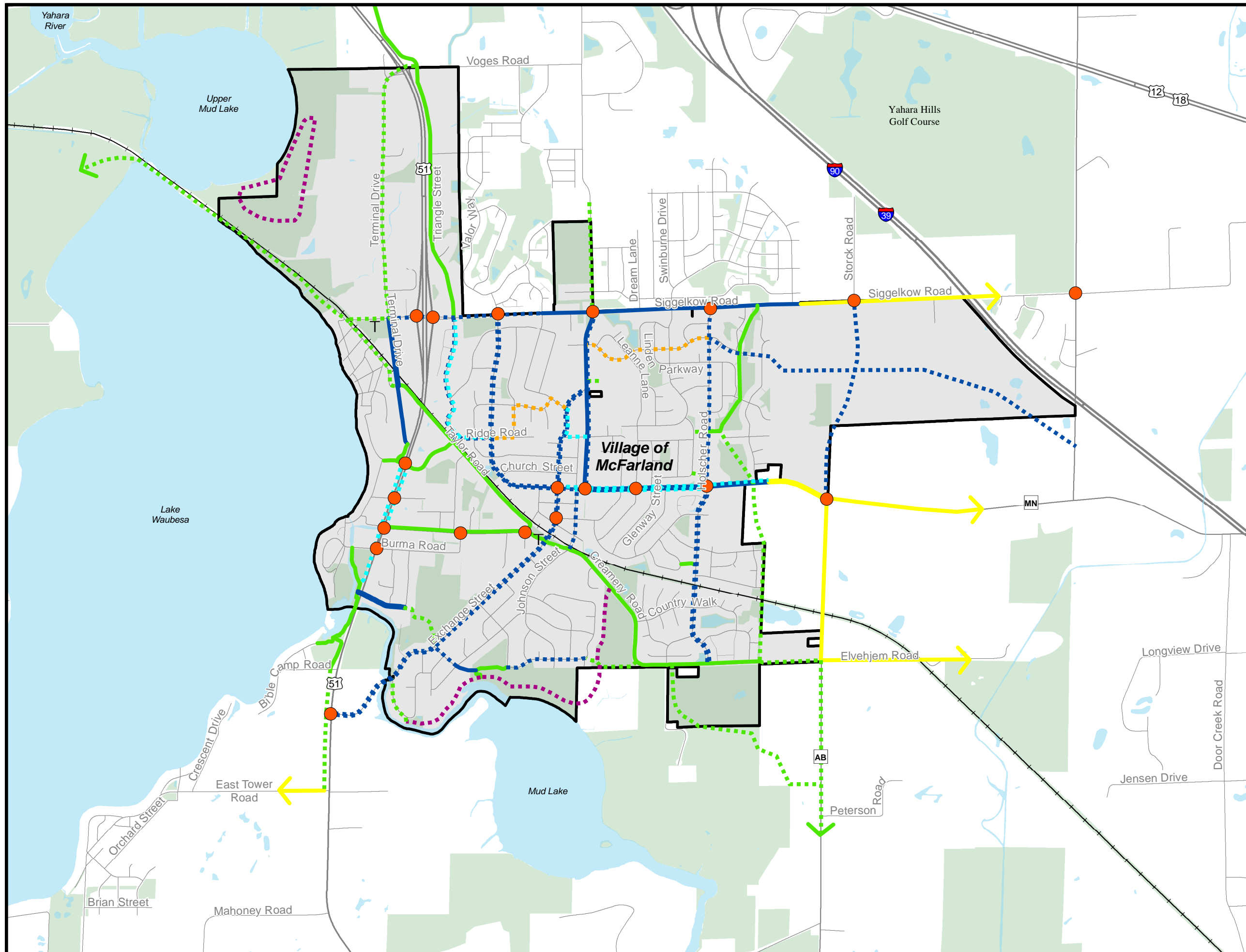
- Priority Sidewalks
- Off-Street Ped Paths
- Off-Street Bike/Ped Paths
- On-Street Signed Routes
- On-Street Bike Lanes
- Trailheads
- Intersection Improvements

- Village of McFarland Limits (8/17)
- Interstate Highway
- United States Highway
- County and Local Roads
- Railroad
- Public Lands and Recreation
- Surface Water



Date: August 2017

Data Sources: Village of McFarland, Town and Country Engineering, Dane County LIO, Dane County Parks, and CARPC




VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Thursday, November 18, 2021

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Update on the Board, Commission, and Committee Restructuring Project.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

The Village Board is working on restructuring its Board, Commission, and Committee System that has recommended splitting this Committee into two groups. It would consist of the Parks and Recreation Committee, and the Sustainability and Natural Resources Committee. The Village Board through its Committee of the Whole recently conducted a review of these changes. [Please click on this link to view the meeting packet](#) and the suggest changes. It was requested that this item be placed on the agenda as an update for the Committee to understand where the board is at in the process.

FINANCIAL/BUDGET IMPACT:

None.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Presented as an update. No action required.

ATTACHMENTS:

None


VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Thursday, November 18, 2021

SECTION: Staff Reports

DEPARTMENT: Public Works

CONTACT:

AGENDA ITEM: Presentation of the Parks Superintendent's monthly report.

PREVIOUS ACTION:

ISSUE SUMMARY:

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

ATTACHMENTS:

1. PARKS REPORT NOV2021

PARKS, RECREATION & NATURAL RESOURCES COMMITTEE

November 18,2021

Parks Superintendent Report - November 2021

The following is information concerning events and activities of the Parks Department for the previous month. This information is provided in brief to provide an overview of the highlights.

Maintenance Operations

Mowing operations, facility maintenance, fall clean up are primary functions.

Village Street tree planting

Selected zone 2 for planting. Planting completed 11/09/21.

Eco-Park Restoration

Contractor completed a burn in areas to be interseeded.

Volunteering Parks

Worked with volunteer group from Amtelco to create a small trail in Woodland Commons conservancy.

Working with local boy scout in creating an eagle scout project at McDaniel park.

Dog Park Expansion / Disc Golf Update

Dog park expansion update – looking to remove fence November/December depending on ground conditions.

Working through issues of failing white oak trees.

Facility Update

Facilities closed: McDaniel, Brandt, Curling Club (restrooms).

Year-round facilities: Lewis, William McFarland, Dog Park.

Construction Update

Contractor working through final corrections – Epoxy flooring refinished, black top corrections made at dog park.

Meetings/Trainings/Seminars

Attending virtual WPRA and other local parks meetings as time permits. Attended WPRA fall workshop training and have signed up for WDNR's CMTI program.