

**PARKS, RECREATION,
& NATURAL
RESOURCES
COMMITTEE**

Thursday, July 9, 2020

6:30 PM

McFarland Municipal Center
Conference Room A

AGENDA

You are invited to this meeting through a Zoom webinar. The Public is strongly encouraged to watch and participate in these meetings remotely through either the webinar or telephone options listed below.

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/88229456981>

Or by Telephone:

+1 (312) 626-6799

Webinar ID: 882 2945 6981

1. CALL TO ORDER, ROLL CALL.
2. PUBLIC APPEARANCES.
3. APPROVAL OF MINUTES.
 - a. Discussion and action regarding the minutes from the Parks, Recreation, and Natural Resources Committee meeting held on June 18, 2020
4. BUSINESS.
 - a. Discussion and action on permission to play an amplifying system pursuant to Village Code of Ordinances 44-20 for Alyse Weber at Lewis Park Shelter on July 25th from 3:30 p.m. to 8:00 p.m.
 - b. Discussion and action to make a recommendation to the Village Board regarding the award of contract for the 2020 Park Facility Projects.
 - c. Discussion to set a schedule to tour the Community Park property.
 - d. Presentation of the Parks Superintendent monthly report.
5. SCHEDULE NEXT MEETING DATE.
 - a. Thursday August 27, 2020 at 6:30 p.m.
6. ADJOURNMENT.

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related to Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the McFarland Municipal Center at (608) 838-3153 or cassandra.suettinger@mcfarland.wi.us.

Parks, Recreation, and Natural Resources Committee
Meeting Minutes (DRAFT)
June 18, 2020

1. CALL TO ORDER, ROLL CALL. Meeting was called to order at 6:30 p.m. via Zoom by Village Trustee and Chair Carolyn Clow. Roll call: Clow, Clair Utter, John Feldner, Sarah Kuba, David Wilson, Chuck Rolfsmeyer, Darrell Waldera, Katharine Pease, Andy Jakubowski. Absent: Rick Ruecking, Dan Kolk.

Staff present: Jim Hessling, Public Works Director; Sayer Larson, Parks Superintendent; and Phil McDade, Public Works staff.

2. PUBLIC APPEARANCES. None.

3. APPROVAL OF MINUTES.

a. Discussion and action regarding the minutes from the meeting held on May 28, 2020. Clow motioned, Jakubowski seconded, to approve the minutes of the May 28, 2020 meeting. Motion passed 9-0-0.

4. BUSINESS

a. Discussion and recommendation to the Village Board on a site plan application by the McFarland Soccer Club for the addition of a fundraising brick patio around the existing outdoor patio at the soccer building located at William McFarland Park. Larson discussed with the committee a proposal by the McFarland Soccer Club to build a 10-foot-by-13-foot patio adjacent to the shelter at William McFarland Park to help raise money for the club through the sale of patio bricks. Larson said the club has agreed to oversee maintenance of the patio. Pease moved, Kuba seconded, to recommend to the Village Board approval of the site plan application by the McFarland Soccer Club for the addition of a fundraising brick patio around the existing outdoor patio at the soccer building located at William McFarland Park including Larson's conditions. Motion passed 9-0-0.

b. Update and discussion regarding Parks Master Planning at William McFarland Park and the future Community Park. Blake Theisen of Parkitecture + Planning reviewed with the committee initial planning assessments of William McFarland Park and a future Community Park at 3234 County Highway AB, which was recently annexed into the village. William McFarland Park is home to two ice arenas, several soccer fields, a baseball diamond, a skate-park, and bocce ball courts, making it one of the most diversely used parks in the village, Theisen said. Both indoor ice rink buildings – the McFarland Ice Arena and the Madison Curling Club – want to expand their facilities, he said. The proposed Community Park includes 26 acres of land (compared to 20 acres for William McFarland Park), and includes a stand of oak trees in the southwestern corner of the lot. The proposed Community Park provides regional access via County Highway AB, but it lacks municipal utility infrastructure such as water and sewer systems, Theisen said. The committee did not take action on the agenda item.

c. Update and discussion regarding the planning project to develop a special needs park. Hessling discussed preliminary planning for a special needs park with the committee. Possible sites for the park could be: Cedar Ridge Park; Highland Oaks Park; and the new Community Park at 3234 County Highway AB. Committee members discussed their desire to see parks in the village have areas and equipment

accessible to those with special needs. The PRNR committee was in agreement that a mixture of a traditional style and a nature based style playground set up would be the best option. Village staff have also been working with core group regarding special needs populations and their recreational needs. The committee did not take action on the agenda item.

d. Discussion and update regarding the bid openings for the construction of park facilities at the Dog Park (new shelter) and McDaniel Park (concession addition/bathroom renovation, open air shelter).

Clow gave an update to the committee on the bid deadline extension. Several contractors asked that we extend the timeline for which bids are due. The bid deadline was extended to June 26 as to give contractors more time to bid the job. The previous timeline was tight and by extending the deadline it is our hope to get more bids and increased competition.

e. Discussion and action to set the final schedule for bid opening and award of contract for park facility projects. Clow said she asked that this item come before the committee, as bid openings for the Dog Park shelter and McDaniel Park additions and renovations were extended to June 26, and thus will occur after the June committee meeting but prior to the committee's July meeting. Clow said she was seeking direction from the committee on whether it wanted to review the bids prior to its July meeting. Jakubowski and Waldera said they did not have objections to the bids being opened without review from the committee. Clow motioned, Feldner seconded, to waive committee review of the bid openings for construction of park facilities at the Dog Park (new shelter) and McDaniel Park (concession addition/bathroom renovation, open air shelter) on the condition the bids were within budget and in accordance with the bid specifications, otherwise they would come back to committee for discussion and direction. Motion passed 9-0-0.

f. Discussion and action to make a recommendation to the Village Board regarding the creation of a Vegetation Management Use Policy as Chapter 3 of the Park System Policy Manual. Larson discussed changes in the vegetation management use policy with the committee, and said he had changed terminology in the policy from weed pressure to density. The policy defines areas of public village land that would be subject to pesticide applications and/or fertilizer use. Utter asked that wording pertaining to public works be changed to village in certain areas of the document. Committee was agreeable to this. Clow motioned, Utter seconded, to recommend to the Village Board creation of a Vegetation Management Use Policy as Chapter 3 of the Park System Policy Manual with language changes submitted by Utter. Motion passed 9-0-0.

g.. Presentation of the Parks Superintendent monthly report. Larson presented information regarding preparations by Public Works staff to re-open village playgrounds, plans for re-opening the village park reservation system, and the McFarland Black Lives Matter gathering at Arnold Larson Park.

5. SCHEDULE NEXT MEETING DATE.

a. Thursday, July 23, 2020 at 6:30 p.m.

6. ADJOURNMENT Utter moved, Jakubowski seconded, to adjourn the meeting. Motion passed 9-0-0. Meeting adjourned at 8:53 p.m.



VILLAGE BOARD SUMMARY SHEET

MEETING DATE: Thursday, July 9, 2020

SECTION: Business

DEPARTMENT: Administration

CONTACT: Cassandra Suettinger, Village Clerk/Treasurer

AGENDA ITEM: Discussion and action on permission to play an amplifying system pursuant to Village Code of Ordinances 44-20 for Alyse Weber at Lewis Park Shelter on July 25th from 3:30 p.m. to 8:00 p.m.

PREVIOUS ACTION:

ISSUE SUMMARY:

The Village received a request from Alyse Weber to have amplified sound for her wedding at Lewis Park on July 25th. Her request is to play music through an iphone and amp from 3:30 to 8:00 p.m. to create a light, loving atmosphere. She has additionally report they are concerned about risks related to COVID-19 and do not want to put family at risk by having a dance floor or wild music. She noted the opportunity to use a qualify amplification system would be for increased quality and not volume.

Effective July 2, 2020 at 8 a.m. Dane County limited indoor gatherings to 10 people and outdoor gatherings to 25 people. In light of the spiking cases in Dane County, and tightened restrictions, Village staff canceled all shelter reservations through October 31st of 2020 and will not be accepting any new reservations. Residents may still use outdoor areas within the parks and the open air shelter at McDaniel Park, but it would be at their own risk and liability. Based on this Alyse can still have her wedding at Lewis Park, but it would need to be outside only with access to the outdoor restrooms and be limited to 25 people per Dane County's Order. Village staff informed Alyse of the restrictions on July 2nd and Alyse requested additional time to decide if se still wants hold her event. Alyse will be prepared to provide an update for next week. Staff left the item on the PRNR meeting in case she still wants to hold the event.

FINANCIAL/BUDGET IMPACT:

N/A

VILLAGE PLAN REFERENCE:

N/A

ORDINANCE REFERENCE:

44-20 (b Sound devices. No person shall operate or play any amplifying system unless specific



authority is first obtained from the Parks and Recreation Committee, unless the person is seeking a special event license, for which the Public Safety Committee has initial jurisdiction.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Staff recommends approval of allowing the amplification of sound for Alyse Weber's wedding at Lewis Park on July 25th from 3:30 p.m. to 8:00 p.m.

ATTACHMENTS:

None



VILLAGE BOARD SUMMARY SHEET

MEETING DATE: Thursday, July 9, 2020

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding the award of contract for the 2020 Park Facility Projects.

PREVIOUS ACTION:

The project was reviewed at the meeting on April 16, 2020 and authorized for bidding.

The project was recommended to the Village Board for award of contract on June 18, 2020 should the bids fall within budget parameters.

ISSUE SUMMARY:

Enclosed please find the letter from the Architect regarding review of bid opening and the bid tabulation from those bidders participating. This project, as we've discussed previously, would construct a new shelter at the Dog Park that would provide for restrooms, indoor/outdoor dog washing, storage, and small enclosure for year round use. Additionally, it provides for a second open air shelter at McDaniel Park as well as an addition to the existing facility within this park for to be defined restroom facilities and a renovation of those restrooms to make them ADA compliant.

FINANCIAL/BUDGET IMPACT:

Please find attached a full breakdown of the project costs as associated with the now known construction costs.

As a whole, the bid for all three projects is substantially under budget including contingency. The total cost of all of this work is projected at \$988,925 and the total availability for funds for all projects included is \$1,077,482 which leaves us in a surplus condition after completion of nearly \$90,000.

Individually, this is a different story. The facility at the Dog Park came in well under its estimated allocation of funds while the two facilities at McDaniel Park came in well over the their estimated allocation of funds. However, the amount under for the Dog Park project was in excess of the amount over at McDaniel Park allowing the bid as a whole to fall in line with budget parameters.



The project as a whole is funded mainly by borrowed funds that have already been received for 2020. If we are not to apply these then we would need to quickly re-purpose them for a similar use in 2021.

VILLAGE PLAN REFERENCE:

There are numerous inclusions of these projects within our plans to serve as background and justification for their consideration:

- **Outdoor Recreation and Open Space Plan 2019** - The overall plan for our Park System recommended continued implementation of the Master Plan for McDaniel Park (page 32). Specifically to "plan and construct second shelter/storage building" and "continue to explore innovative possibilities to enhance the area". The two projects for this park are also included within the planned budget listed on page 41. This plan also recommended further expansion of the Dog Park, ADA improvements, and drinking fountain (page 36). Funding was also allocated within this plan for improvements within this park in line with the facility that is proposed (page 41).
- **McDaniel Park Master Plan 2017** - Both projects as presented were suggested through this accepted Master Plan. The second pavilion is detailed on page 4 of this plan. The building addition is document on page 6 of this plan. We did not intend to have to renovate the bathrooms as much as this bid does include, this is contributing to the higher than expected cost. We want to be able to have all our parks be as ADA compliant as possible and moving forward with this design will accomplish this.
- **Urso/Schuetz Park Master Plan 2017** - Facility improvements to this park were always envisioned to help provide additional amenities. This project is proposed to improve the parking lot after a parking lot on the west side of the park was improved a few years ago. The partnering with the facility helps to provide better use of the park for dog park users and will improve accessibility and use of the park in the long run in the spirit of this plan.
- **McFarland Village Board Goals/Objectives 2019-2020** - One of the key objectives for the Village Board is to "develop opportunities to create amenities for special needs kids, adults, and other health/wellness initiatives not otherwise provided through the Community" (page 2). All three projects fulfill this objective in different ways. Another portion of this has an action plan to "review public/private partnerships in Parks as an Economic Benefit". It has been our intent to do that with the addition within McDaniel Park after the space has been created.
- **McFarland Strategic Plan 2020** - Goal F within this plan strives to "support the development of active and passive recreational amenities that appeal to all age groups and abilities" (Page 10). One of the key strategies for this is to "develop new and diverse park amenities for indoor and outdoor use that are not currently offered in our Community" (Page 10). The second open air shelter in McDaniel is a replication of what we currently have there, but the other two proposed projects fall in line within this



strategy in order to achieve this goal.

The Outdoor Recreation and Open Space Plan, McDaniel Park Master Plan, and Urso/Schuetz Park Master Plan can be found through this link:

https://www.mcfarland.wi.us/parks_recreation_and_natural_resources_committee

The McFarland Village Board Goals/Objectives and Strategic Plan can be found through this link:

<https://www.mcfarland.wi.us/villageboard>

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Village Staff is recommending that the Committee make its recommendation to the Village Board for the award of contract to US Vet General Contractors of McFarland in a contract amount of \$758,739 and authorize a 10% contingency as part of the project costs. The number presented includes the based bid for all three locations plus the alternate which is additional site work at the small dog area to improve drainage and wet areas. The recommended 10% contingency is not included as part of the recommended contract award and is carried as part of the project costs and not part of the bidders construction contract.

In making this recommendation, Staff feels that the bids and the project costs as presented are within the direction of the Committee as well as the Committee's desire to construct these projects as authorized. If desired and as part of your recommendation, the Committee could recommend award of contract for all three projects with a request that the Village Board follow through on a budget amendment to account for these variances in individual project costs. A budget amendment, if approved, would align the budget with what we now now as actuals that we didn't know last Fall. This would not change the bottom line. If this were a concern, this is one way to alleviate that concern.

ATTACHMENTS:

1. 3491 McFarland Park Projects - Issued to Bid SMALL
2. 3491 McFarland Bid Review letter.
3. 2020 Park Facility Project Funding 07022020 mgs

McFarland Park Facility Projects

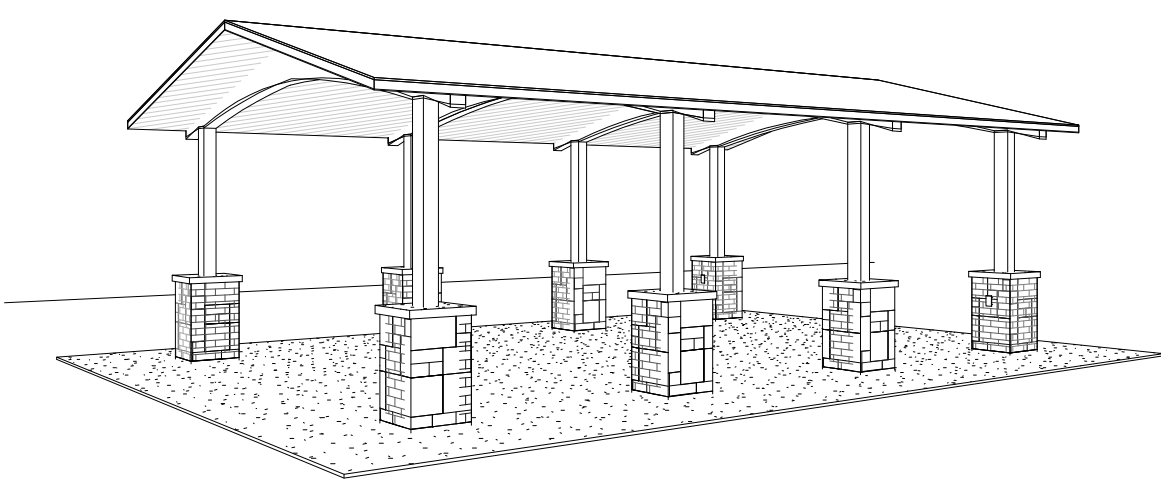
Village of McFarland
McFarland, WI

Construction Documents June 5, 2020



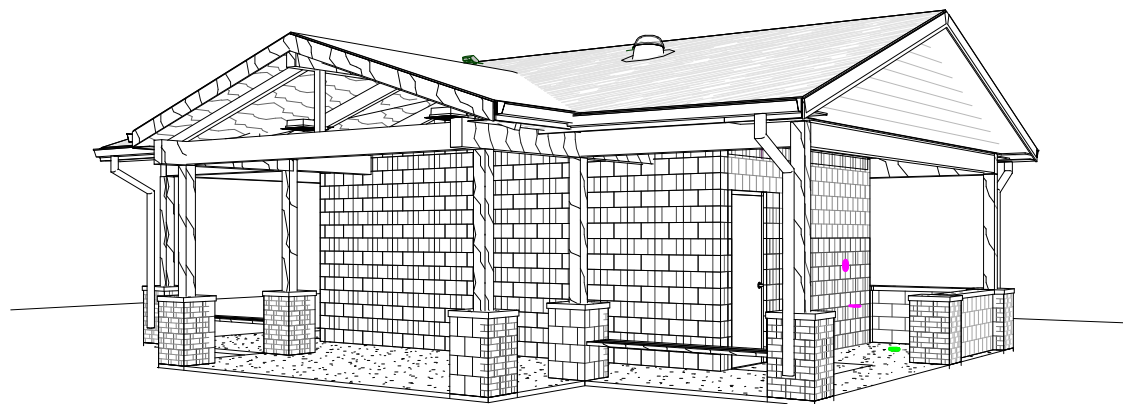
Pavilion Addition

Scale:



Open Air Park Shelter

Scale:



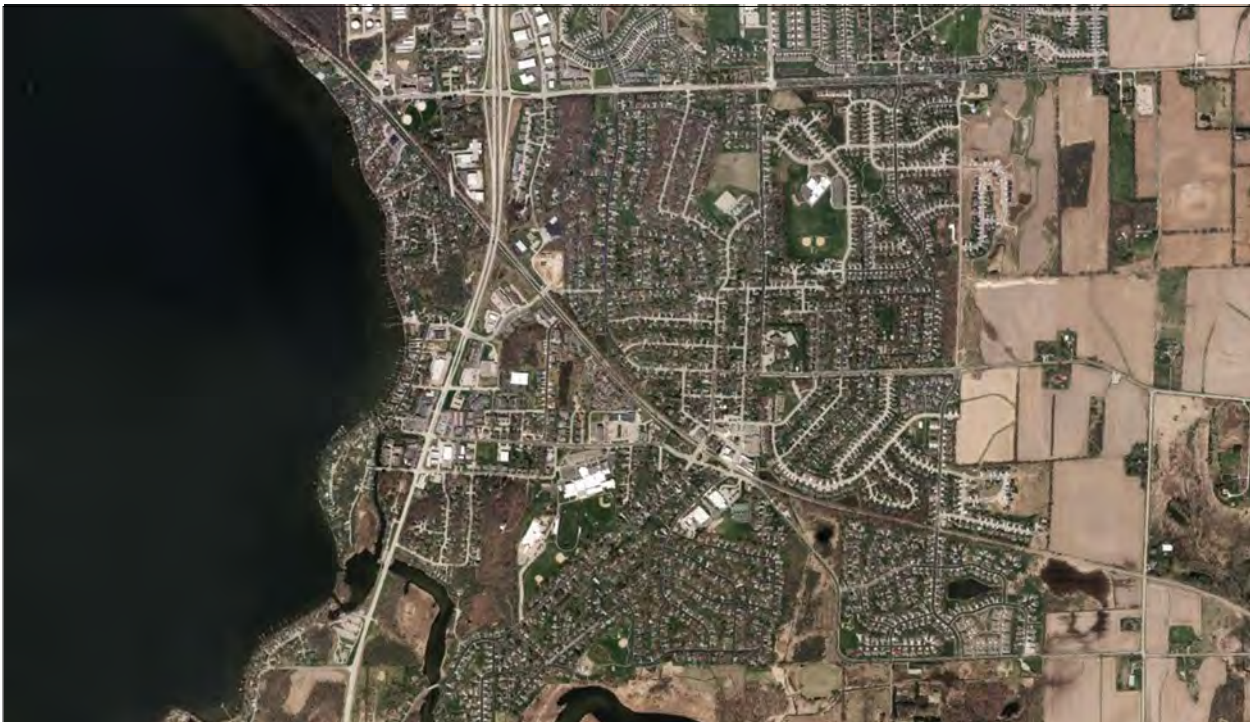
Toilet/Dog Wash Shelter

Scale:

Pavilion Addition and Open Air Park Shelter
McDaniel Park
4806 McDaniel Lane
McFarland, WI

Toilet/Dog Wash Shelter
6300 Elvehjem Road
McFarland, WI

CONCEPTUAL RENDERING - NOT FOR CONSTRUCTION



REGIONAL MAP



LOCAL MAP

Consultants

Civil/Landscape

Town & Country Engineering, Inc.
2912 Marketplace Drive, Suite 103
Madison, WI 53719
Phone: (608) 273-3350

Structural

Ambrose Engineering, Inc.
W66 N215 Commerce Ct., Suite #100
Cedarburg, WI 53012
Phone: (262) 377-7602

HVAC

Fredericksen Engineering
12308 Corporate Parkway, Suite 400
Mequon, WI 53092
Phone: (262) 243-9090

Plumbing

Muermann Engineering, a Division of MSA
W227 N16867 Tillie Lake Court, Suite 202
Jackson, WI 53037
Phone: (262) 677-4588

Electrical

Muermann Engineering, a Division of MSA
W227 N16867 Tillie Lake Court, Suite 202
Jackson, WI 53037
Phone: (262) 677-4588

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Overall Toilet/Dog Wash Shelter Plan
Scale: 1/8" = 1'-0"

Overall Open Park Shelter Plan
Scale: 1/8" = 1'-0"

Overall Pavilion Addition Plan
Scale: 1/8" = 1'-0"

Office Locations:

Davenport
220 Emerson Place, Suite 301
Davenport, Iowa 52801

Milwaukee
829 S. 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200

Sheboygan
1227A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.459.4200

www.brayarch.com

Project Title:

McFarland Park Facility Projects
Village of McFarland
McFarland, WI

REVISIONS:

DATE	DESCRIPTION
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Project Number:

3491

Issued For:

Construction
Documents

Issued to Bid 06/05/2020

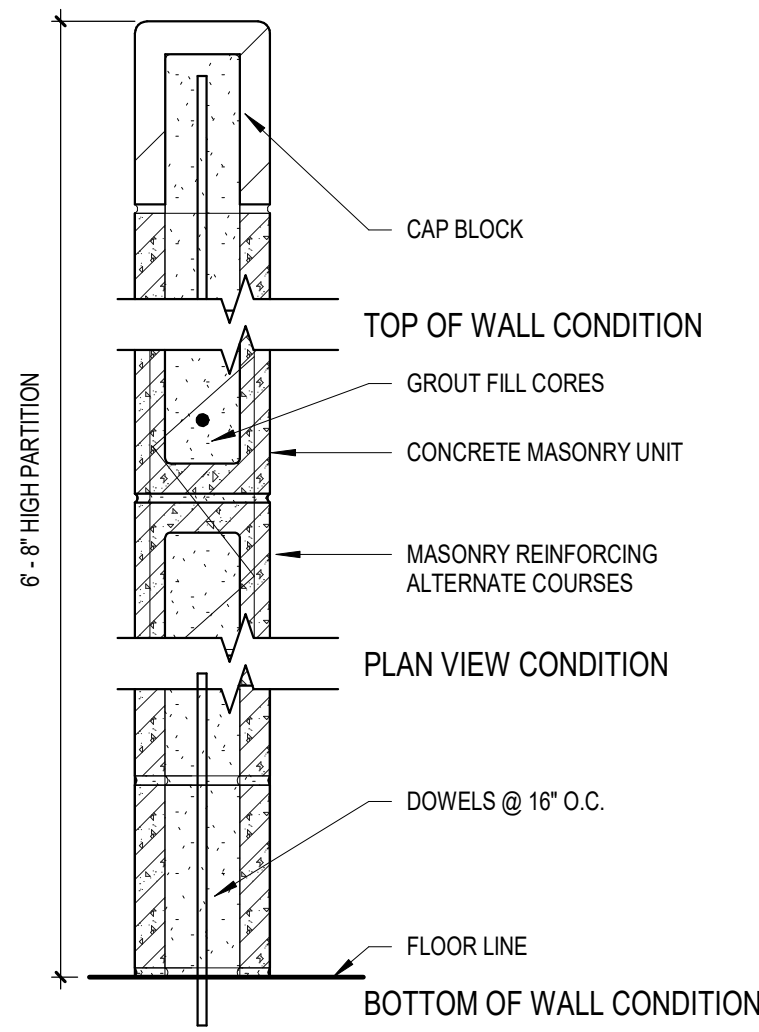
Sheet Title:

Overall Code
Plans

Sheet Number:

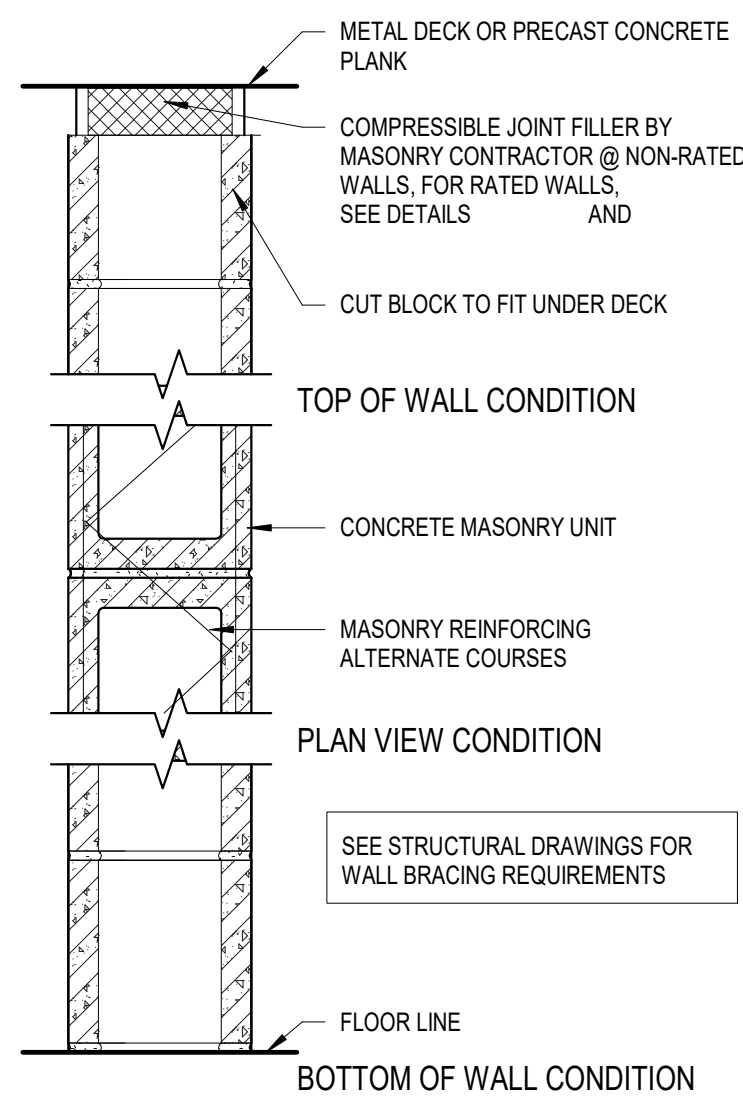
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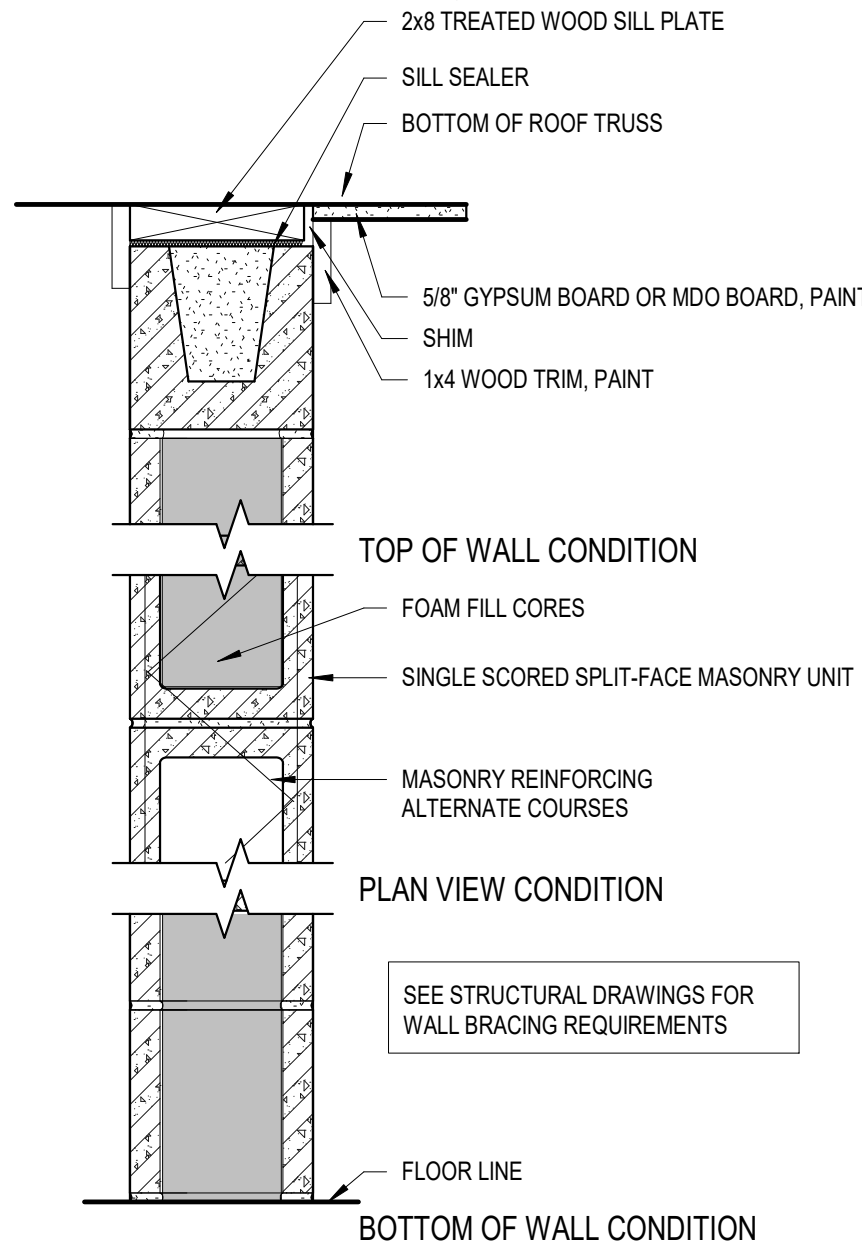
INDICATES NOMINAL DIMENSION OF CMU
F6 = 6" CMU = 5 5/8" ACTUAL
F8 = 8" CMU = 7 5/8" ACTUAL

WALL TYPE F#
 Scale: 1 1/2" = 1'-0"



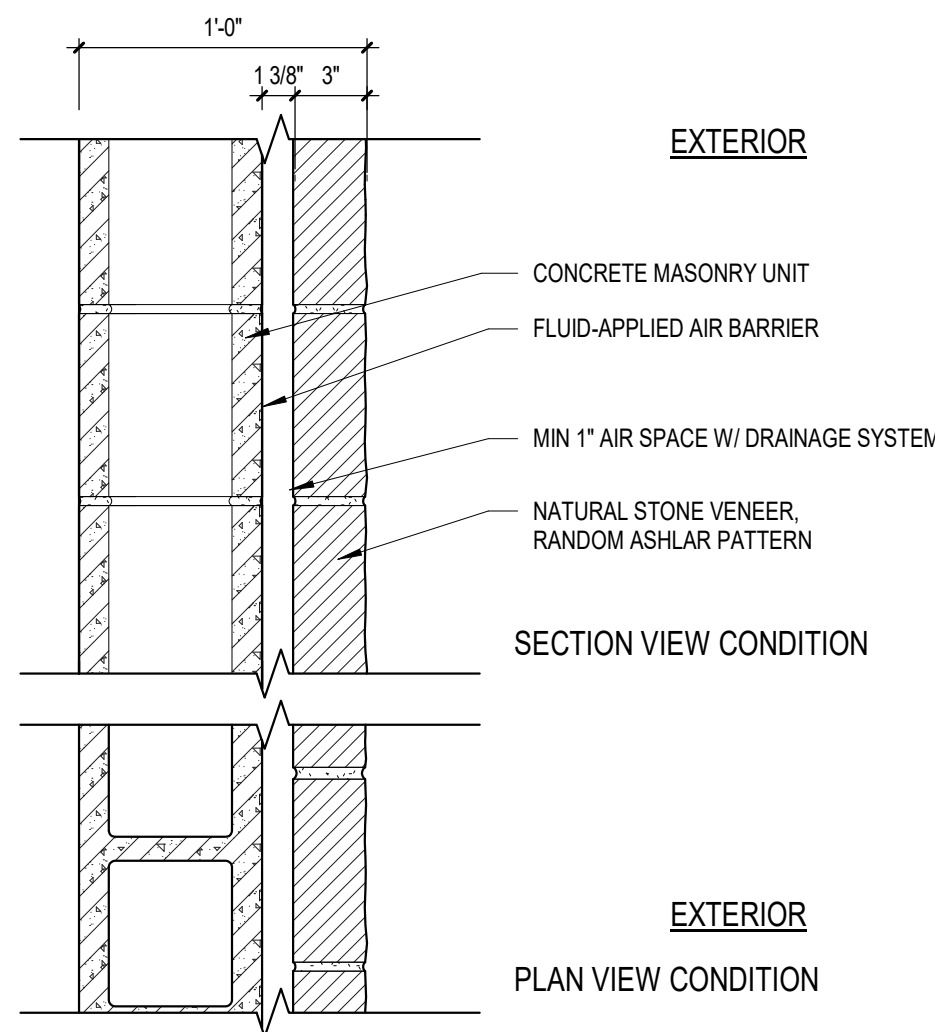
U.L. DESIGN NO.: U905 (AT RATED WALLS)
"S" SUFFIX INDICATES WALLS TO HAVE SOLID GROUT FILLED CORES
2.8" MIN. EQUIV. THICKNESS @ 1 HR. WALLS
4.2" MIN. EQUIV. THICKNESS @ 2 HR. WALLS
INDICATES NOMINAL DIMENSION OF CMU
G4 = 4" CMU = 3 5/8" ACTUAL
G6 = 6" CMU = 5 5/8" ACTUAL
G8 = 8" CMU = 7 5/8" ACTUAL
G12 = 12" CMU = 11 5/8" ACTUAL

WALL TYPE G#
 Scale: 1 1/2" = 1'-0"



"S" SUFFIX INDICATES WALLS TO HAVE SOLID GROUT FILLED CORES
INDICATES NOMINAL DIMENSION OF RFCMU
H4 = 4" RFCMU = 3 5/8" ACTUAL
H6 = 6" RFCMU = 5 5/8" ACTUAL
H8 = 8" RFCMU = 7 5/8" ACTUAL

WALL TYPE H#
 Scale: 1 1/2" = 1'-0"



INDICATES NOMINAL DIMENSION OF CMU
X8 = 8" CMU = 12" OVERALL WALL DEPTH

WALL TYPE X#S
 Scale: 1 1/2" = 1'-0"

GENERAL NOTES

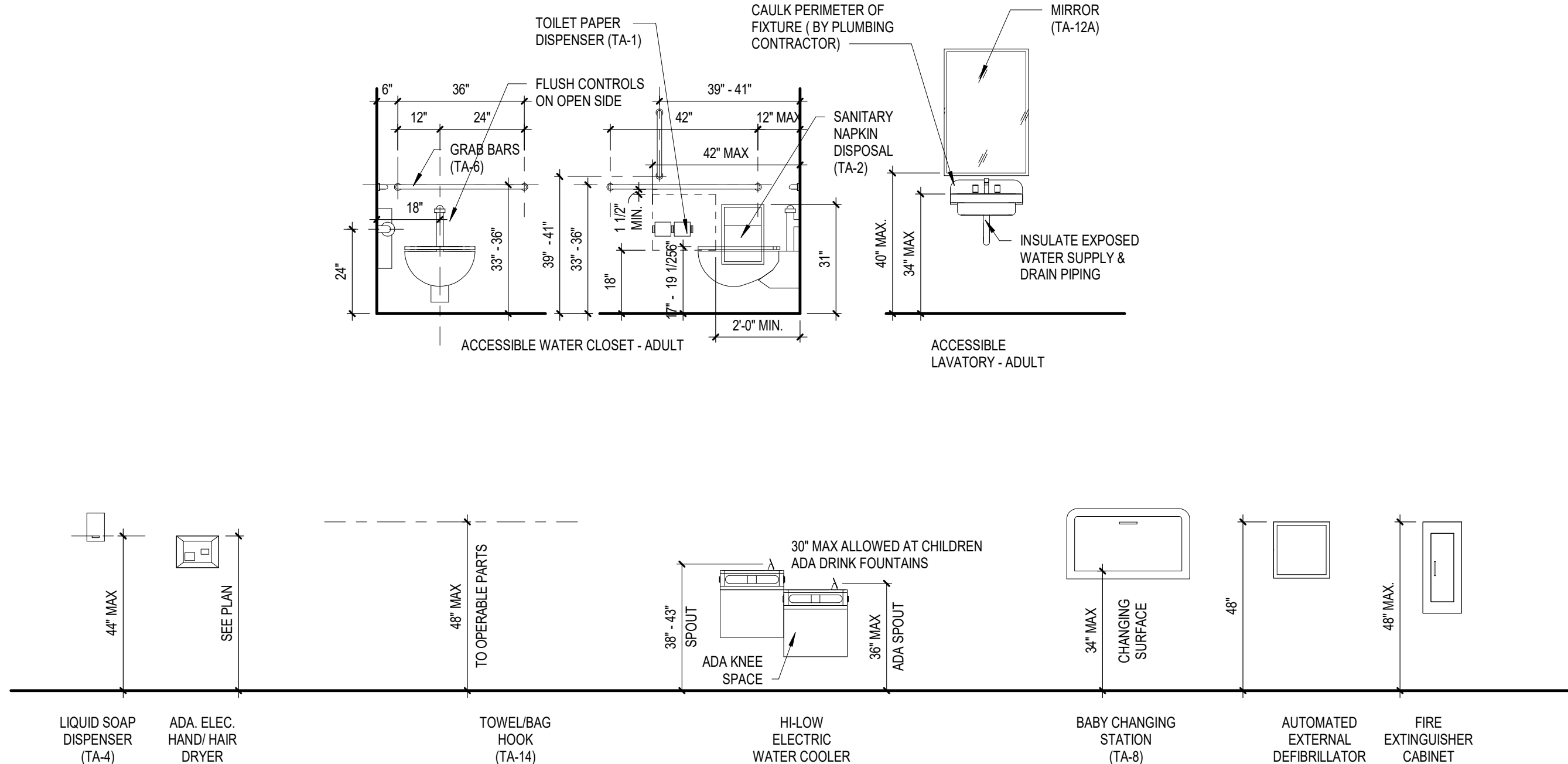
- DO NOT SCALE FROM DRAWINGS.
- EXISTING CONDITIONS: EXISTING CONDITIONS SHOWN ON DRAWINGS REPRESENT CURRENT BUILDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR REVIEW. WORK DONE WITHOUT RESOLUTION OF DISCREPANCIES MUST BE REDONE AT THE REQUEST OF THE ARCHITECT AT NO ADDITIONAL COST TO THE CONTRACT.
- REFER TO SHEET G0.2 FOR WALL TYPES.
- REFER TO SHEET G0.2 FOR TYPICAL MOUNTING HEIGHTS. REFER TO INTERIOR ELEVATION SHEET FOR ROOM SPECIFIC FIXTURE MOUNTING HEIGHTS.
- REFER TO SHEET A9.0 FOR FLOOR TRANSITION DETAILS.
- REFER TO SHEET A9.0 FOR TYPICAL FLOOR/BASE CONDITIONS.
- CMU WALLS ARE DIMENSIONED TO FACE OF WALL.
- HOUSEKEEPING PADS BY GENERAL CONTRACTOR. SEE PLUMBING DRAWINGS FOR LOCATIONS.
- PITCH ALL CONCRETE SLOOPS AND APRONS 1/4" PER FOOT AWAY FROM BUILDING.
- SLOPE ALL INTERIOR FLOOR SLABS TO DRAINS, MINIMUM 1/4" PER FOOT.

PROJECT KEYNOTE LEGEND

EPT-1	EPOXY PAINT
FRP-1	FIBER REINFORCED PANEL
PT-4	PAINT
RES-1	RESINOUS FLOOR
SSV-1	WOOD STAIN - SEE INTERIOR FINISH LEGEND
TA-1	TOILET PAPER DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-4	LIQUID SOAP DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-5	ELECTRIC HAND DRYER - FURNISHED BY ELEC. CONTRACTOR, INSTALLED BY ELEC. CONTRACTOR
TA-6	42", 36", 18"V GRAB BAR SET - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-8	BABY CHANGING STATION - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-12	MIRROR - SEE INTERIOR ELEVATION FOR SIZE - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-14	ROBE HOOK - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR

SYMBOL LEGEND

MATERIAL SYMBOLS	GRAPHIC SYMBOLS
ALUMINUM	ROOM NAME ROOM NUMBER
BATT INSULATION	BUILDING SECTION NUMBER SHEET NUMBER
CONCRETE	WALL SECTION NUMBER SHEET NUMBER
CONCRETE BLOCK	DETAIL NUMBER SHEET NUMBER
EARTH	DOOR NUMBER
FACE BRICK	
FINISH WOOD	
GRAVEL	
GROUT	
GYPSUM BOARD	DEMO KEYNOTE KEYNOTE
PLYWOOD	WALL TYPE
RIGID INSULATION	FLOOR LEVEL VERTICAL WORKING POINT ELEVATION
ROUGH LUMBER	REVISION
SAND	NORTH ARROW PLAN NORTH
SPRAY APPLIED INSULATION	
STEEL	EXTERIOR ELEVATION NUMBER
	INTERIOR ELEVATION NUMBER
	EXISTING WALL EXISTING DOOR
	DEMOLISHED WALL DEMOLISHED DOOR
	NEW WALL NEW DOOR
	NEW GRID LINES



NOT ALL ELEMENTS ARE SPECIFIC TO THIS PROJECT

TYPICAL MOUNTING HEIGHTS
 Scale: 3/8" = 1'-0"

TYPICAL ABBREVIATIONS LIST

@	AIR CONDITIONING
AVC	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECT(UAL)
AT	ACOUSTICAL TILE
AVG	AVERAGE
AWP	ACOUSTICAL WALL PANEL
BCJ	BRICK CONTROL JOINT
BLDG	BUILDING
BOT	BOTTOM
BRS	BEARING
CAB	CABINET
CG	CORNER GUARD
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CLG	CEILING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
DEMO	DEMOLITION/DEMOLISH
DEPT	DEPARTMENT
DF	DRINK FOUNTAIN
DIA	DIAMETER
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
EFS	EXTERIOR FINISH SYSTEM
EFS	EXTERIOR INSULATION FINISH SYSTEM
EUJ	EXPANSION JOINT
ELEC	ELECTRIC(AL)
EPT	EPOXY PAINT
EX	EXISTING
FAB	FABRIC
PB	FACE BRICK
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FIN	FINISH
FL	FLOOR
FORM	FACE OF MASONRY
FW	FACE OF WALL
FP	FIREPROOF(ING)
PV	FIELD VERIFY
GALV	GALVANIZED
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HGT	HEIGHT
HM	HOLLOW METAL
HR	HOUR
HVAC	HEATING/VENTILATION & AIR CONDITIONING
INFO	INFORMATION
JC	JANITOR CLOSET
LAB	LABORATORY
LAM	LAMINATE(JE)(ION)
LOC	LOCATION
MAX	MAXIMUM
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
N	NORTH
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OC	OVERHEAD
OH	OVERHEAD
PLAM	PLASTIC LAMINATE
PLMB	PLUMBING
PREAB	PRE-ABRATED
PROJ	PROJECTION(OR)
PT	PAINT
QT	QUARRY TILE
R	RISER
RB	RUBBER BASE
RCB	RUBBER COVE BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REINF	REINFORCING
REQD	REQUIRED
RM	ROOM
ROW	RIGHT OF WAY
RUB	RUBBER
SAN	SANITARY
SCHED	SCHEDULE
SHT	SHEET(ING)
SHV	SHELF(F)ING
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STOR	STORAGE
STRUCT	STRUCTURE(E)(AL)
SYS	SYSTEM
T&G	TONGUE & GROOVE
TI	TOP OF
TEMP	TEMPERATURE, TEMPORARY, TEMPERED
TER	TERRAZZO
TR	TREAD
TRTD	TREATED
TS	TACK SURFACE
TT	TERRAZZO TILE
TYPI	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VB	VINYL BASE
VCT	VINYL COMPOSITE TILE
WI	WITH
WD	WOOD
WDB	WOOD WALL BASE
WP	WEATHERPROOF
YO	YARD
YR	YEAR

Project Title:

McFarland Park Facility Projects
 Village of McFarland
 McFarland, WI

REVISIONS:

#	DATE	DESCRIPTION
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Project Number:

3491

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 Documents

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Sheet Title:

Wall Types,
 Abbreviations,
 Symbols,
 Mounting Heights,
 General Notes

Sheet Number:

G0.2



- CONSTRUCT A STONE CHECK DAM IN GUTTER LINE AT ALL LOCATIONS MARKED WITH "▲"
- SURFACE FLOW DIRECTION IS INDICATED WITH
- SILT FENCE INSTALLATION IS INDICATED WITH
- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER, KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
- INSTALL PERMITTER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).

- 
- The logo for Bray Architects, featuring a stylized red and grey graphic element to the left of the text "bray architects" in a lowercase, sans-serif font.

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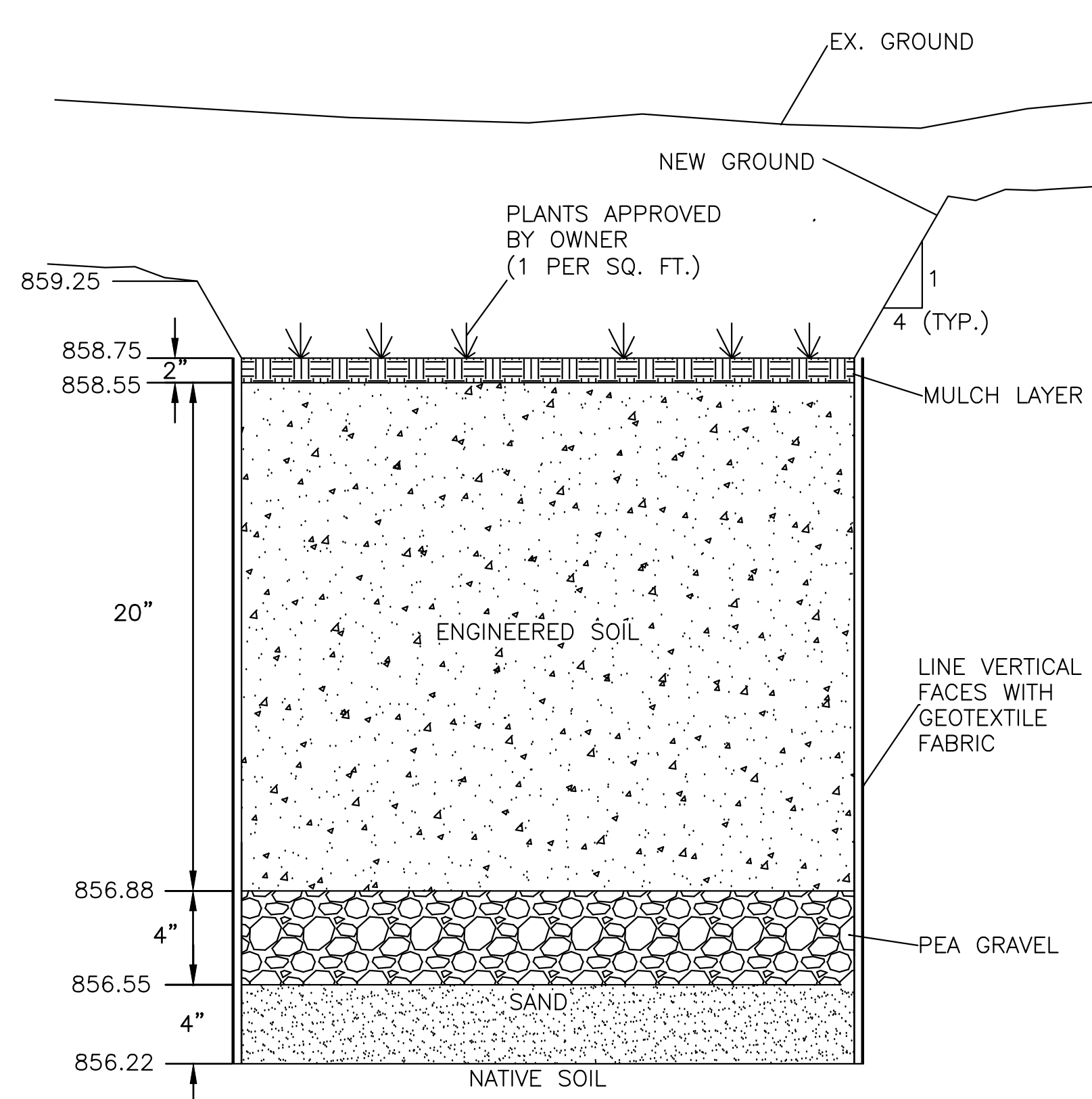
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	DATE	DESCRIPTION
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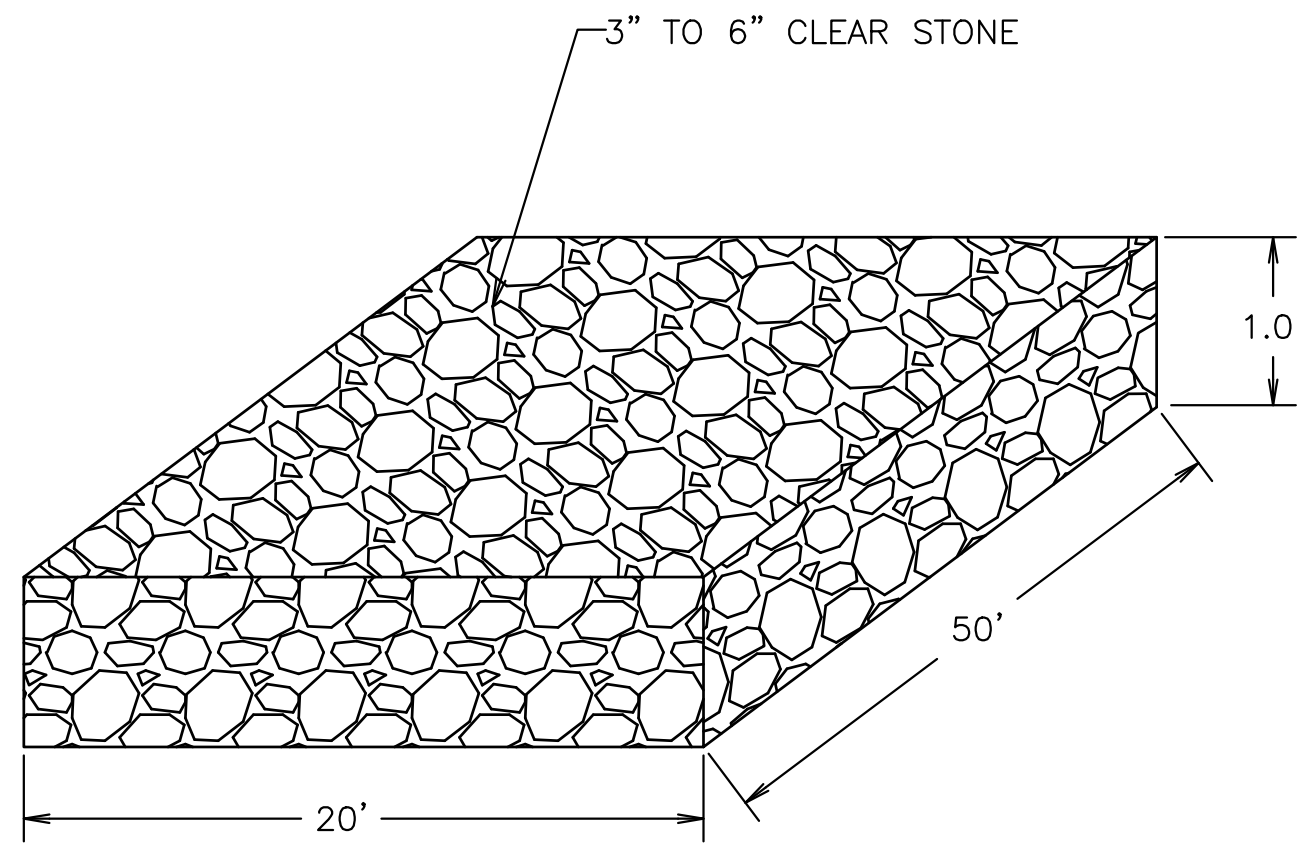
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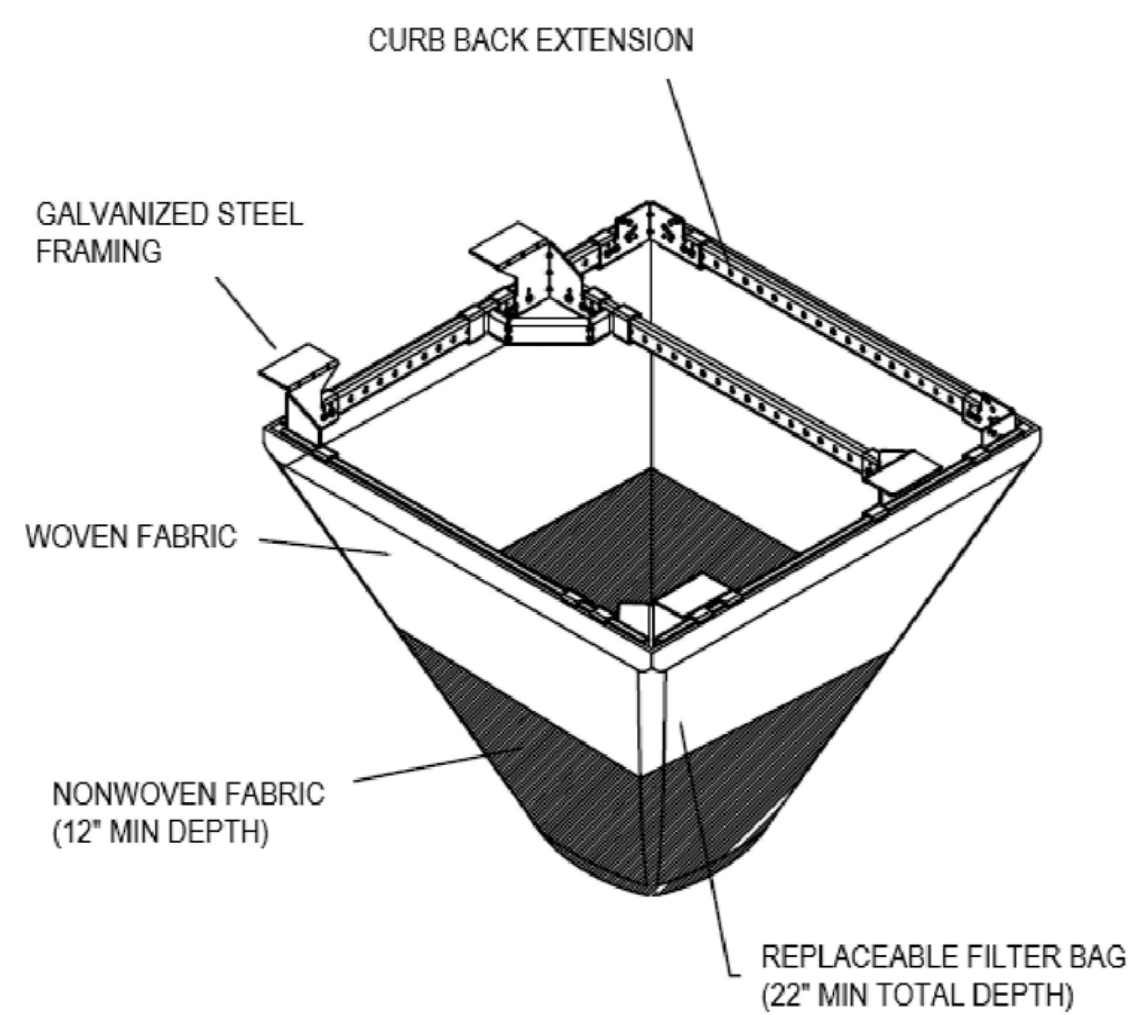


DETAIL
BIO-RETENTION AREA



NOTE:
— ON STREET SURFACES
CRUSHED AGGREGATE BASE STONE
SERVES AS TRACKING PAD.

DETAIL
CLEAR STONE TRACKING PAD

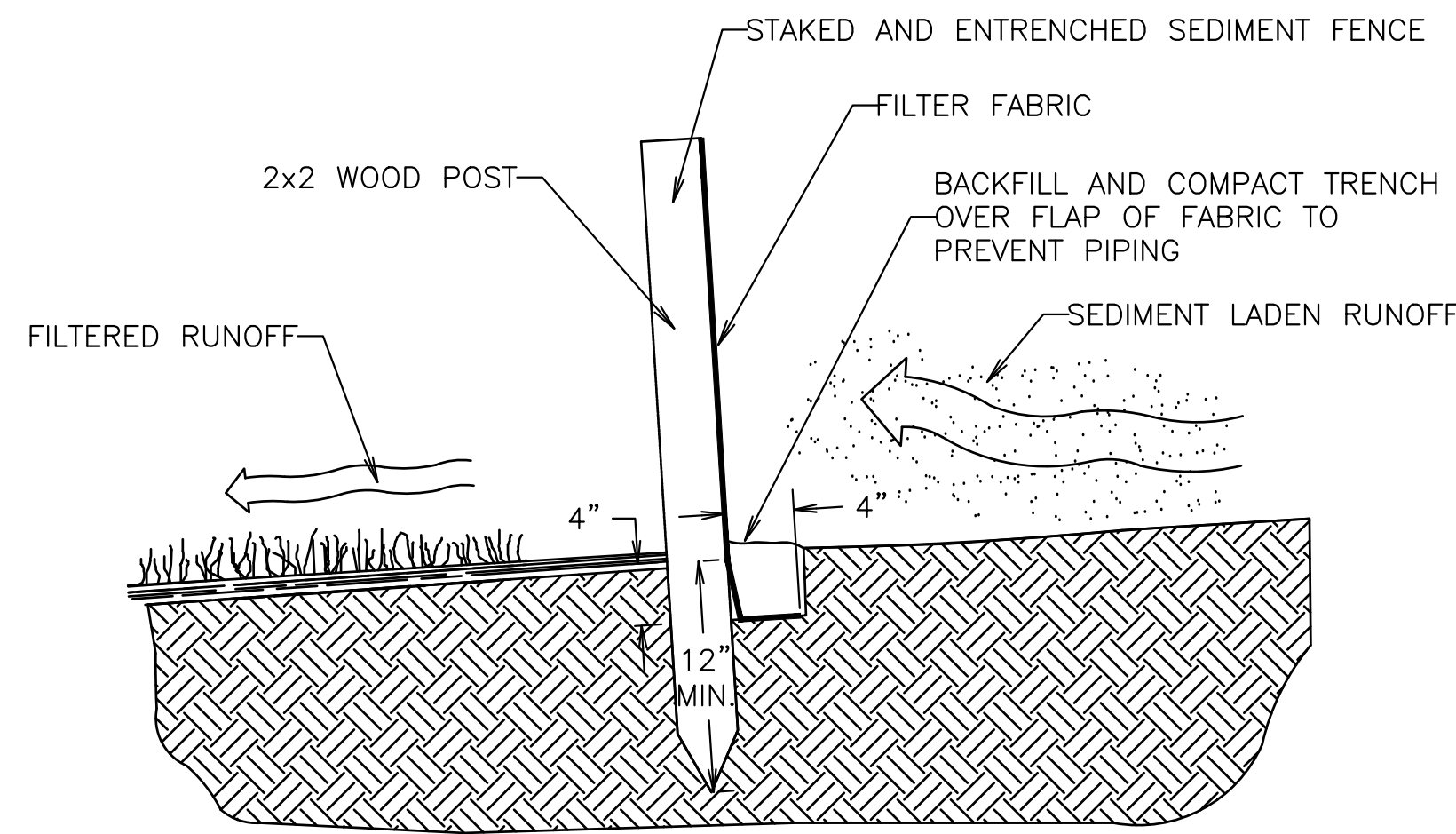


GENERAL NOTES:

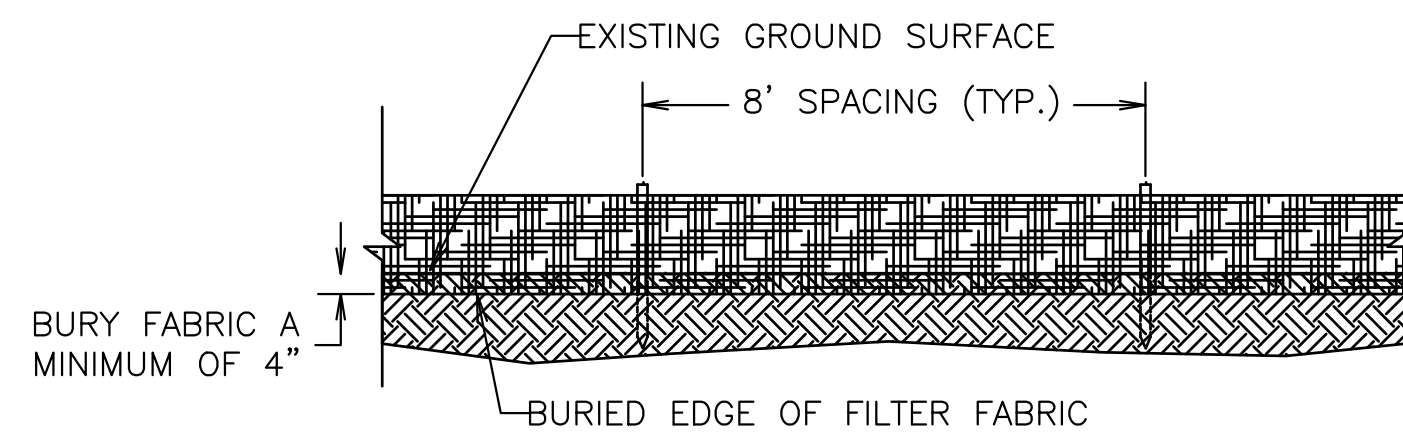
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

FRAMED INLET PROTECTION SHALL BE COMPLIANT WITH ALL ASTM STANDARD D8057-17 REQUIREMENTS, INCLUDING:
A. BYPASS OVERFLOW THAT MEETS OR EXCEEDS INLET DESIGN FLOW
B. FRAME AND BAG STRONG ENOUGH TO HANDLE FULL SEDIMENT LOAD.

DETAIL
INLET PROTECTION - FRAMED (W/ CURB BOX)



CROSS-SECTION OF A PROPERLY INSTALLED SEDIMENT FENCE



SEDIMENT FENCE DETAIL

DETAIL
SEDIMENT FENCE



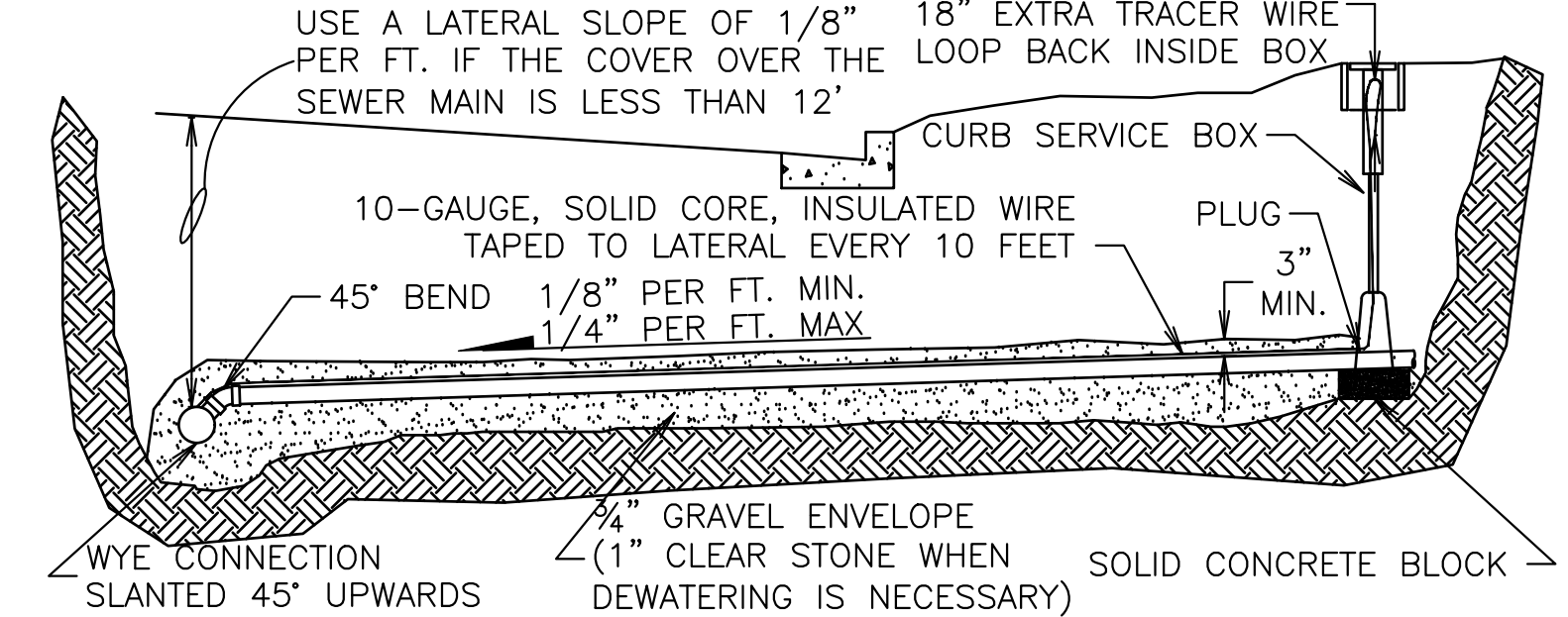
INSTALLATION NOTES:

NO PART OF INLET PROTECTION SHALL BE PROJECTING ABOVE THE GRATE.

FOR COMBINATION INLETS, PROTECTION SHALL CAPTURE RUNOFF ENTERING BOTH GRATE AND CURB OPENING.

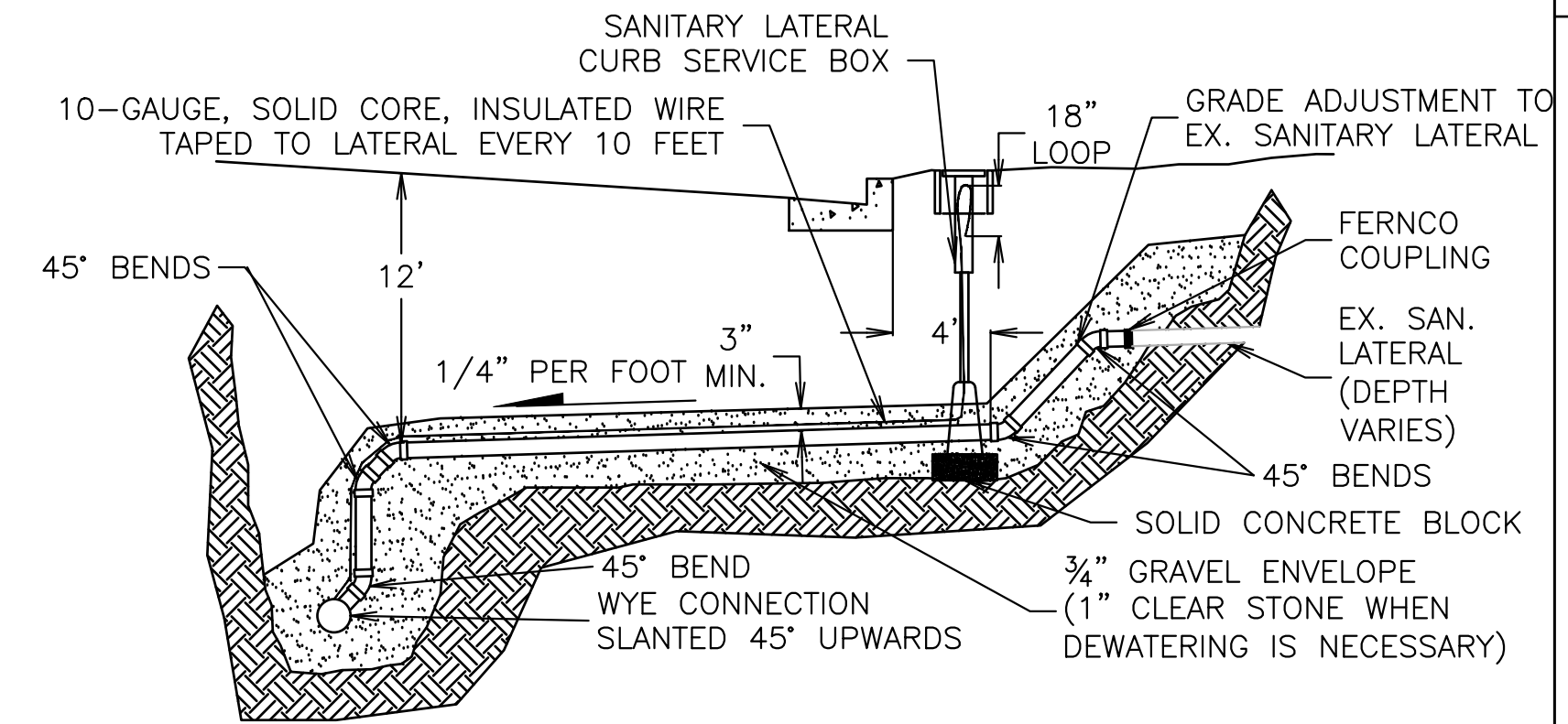
A DUAL FABRIC FILTER BAG, WITH NON-WOVEN BOTTOM AND WOVEN TOP SHALL BE USED.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



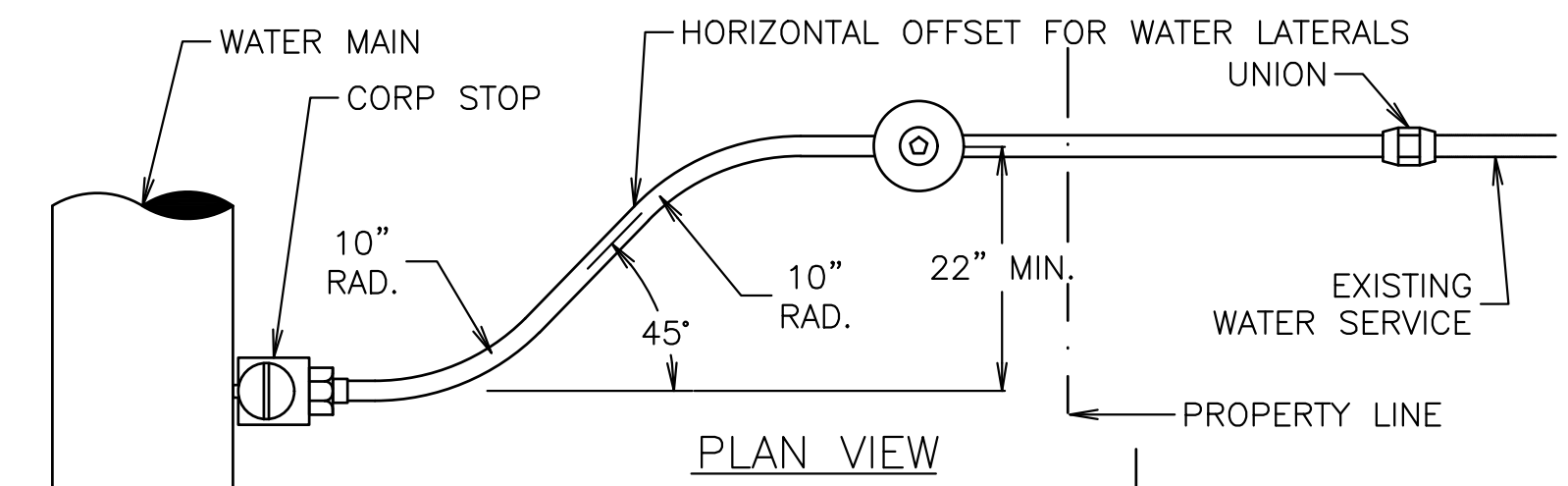
STANDARD INSTALLATION

- NOTES:
1. CONSTRUCT LATERALS IN CONFORMANCE WITH CHAPTER SPS 382 OF THE WISCONSIN ADMINISTRATIVE CODE.
 2. LATERAL SLOPE SHALL BE 1/4" PER FOOT WHERE SUFFICIENT COVER EXISTS.
 3. CONTRACTOR SHALL VERIFY SIZE, DEPTH, AND LOCATION OF EXISTING LATERALS.
 4. WHERE LATERALS ARE NOT IMMEDIATELY CONNECTED TO BUILDING SEWERS THE ENDS OF THE LATERALS SHALL BE MARKED BY POSITIONING 4"x4" BOARDS VERTICALLY FROM THE ENDS OF THE LATERALS TO AT LEAST 2' ABOVE THE GROUND SURFACE.
 5. THE LOCATION OF ALL SEWER LATERALS CROSSING UNDER THE CURB & GUTTER SHALL BE MARKED BY STAMPING AN "S" IN THE TOP OF THE CURB OVER THE LOCATION OF THE SEWER LATERAL.

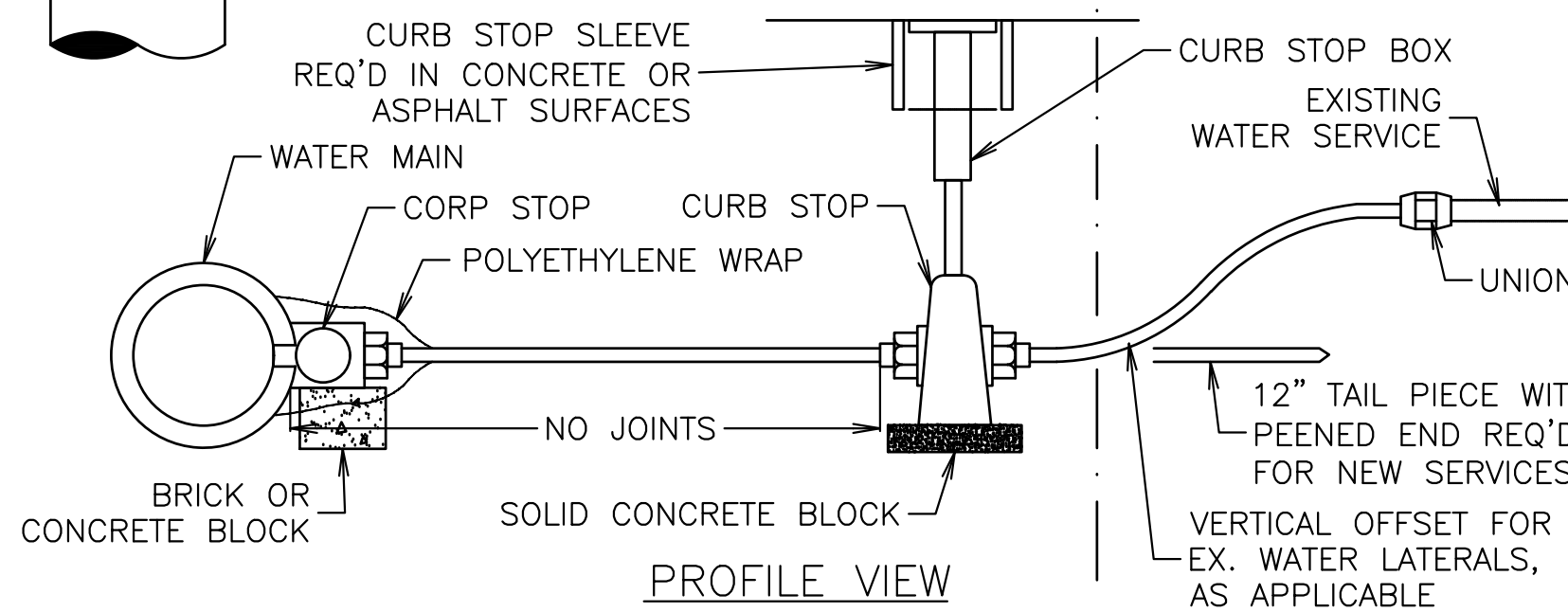


INSTALLATION WITH VERTICAL RISER

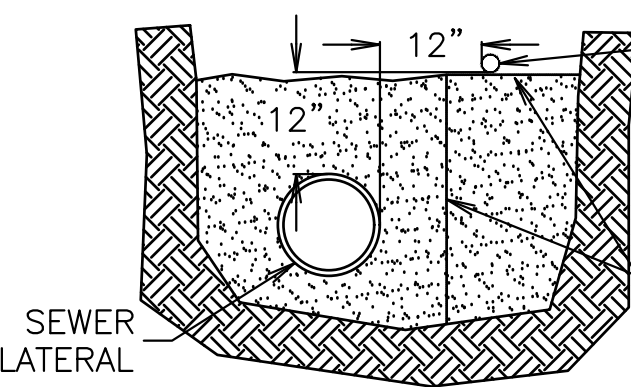
DETAIL
SANITARY SEWER LATERAL



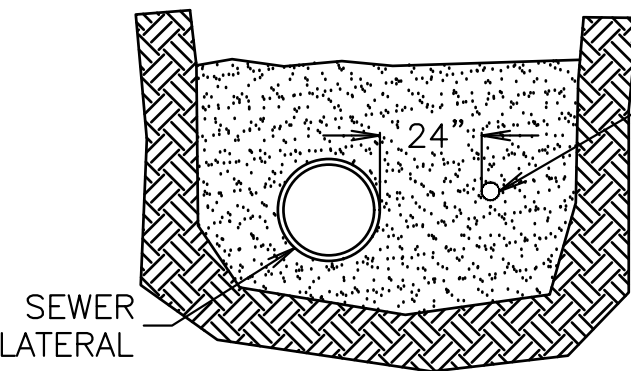
PLAN VIEW



PROFILE VIEW



JOINT TRENCH INSTALLATION



JOINT TRENCH INSTALLATION W/
LESS THAN 12" VERTICAL SEPARATION

DETAIL
WATER SERVICE INSTALLATION

NOTES:
— HORIZONTAL AND VERTICAL OFFSETS SHALL BE MADE WITH AN APPROVED PIPE BENDING TOOL. SHARP BENDS OR KINKS IN THE WATER SERVICE ARE NOT ALLOWED.

— VERTICAL OFFSETS SHALL BE MADE ON THE PROPERTY LINE SIDE OF THE CURB STOP.

— PLASTIC OR CAST IRON CURB BOX SLEEVES SHALL BE INSTALLED WHERE CURB BOXES ARE INSTALLED IN CONCRETE OR ASPHALT SURFACES.

—THE SEWER LATERAL SHALL BE LOCATED ON THE DOWNSTREAM SIDE OF THE WATER SERVICE, BASED ON SEWER MAIN FLOW DIRECTION.

—THE LOCATION OF ALL WATER SERVICES CROSSING UNDER THE CURB & GUTTER SHALL BE MARKED BY STAMPING A "W" IN THE TOP OF CURB OVER THE LOCATION OF THE WATER SERVICE LINE.

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McFarland Park Facility Projects
Village of McFarland
McFarland, WI

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Sheet Title:
Standard
Construction
Details -
Erosion Control

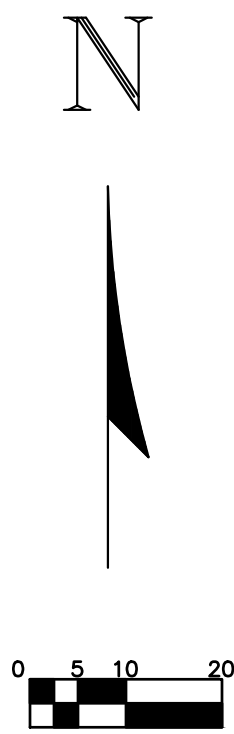
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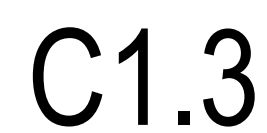
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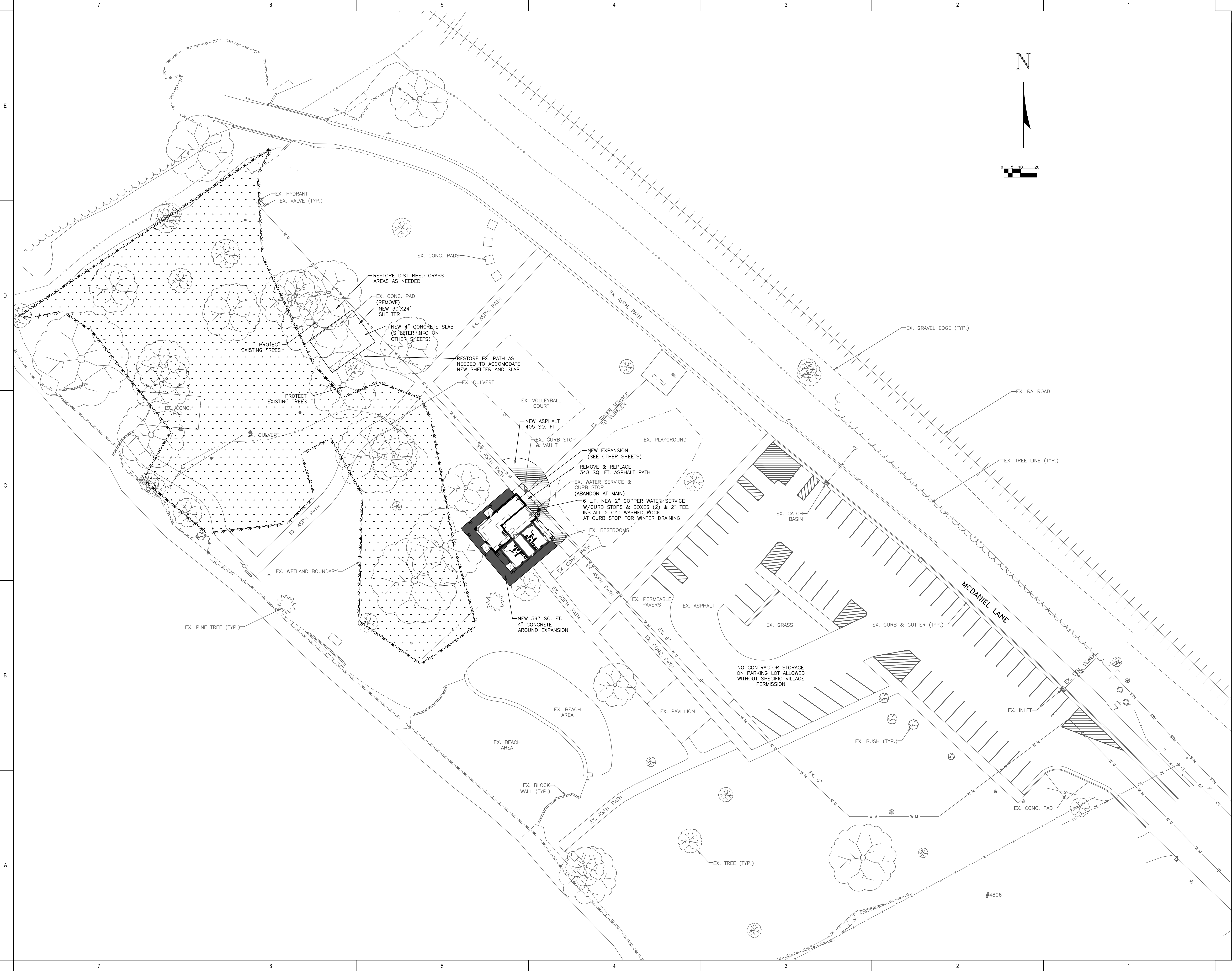


TEMPORARY BENCHMARK TABLE		
TBM	ELEV.	DESCRIPTION
400	861.52	X IN CONC. NE CORNER OF INTERSECTION
401	862.49	PK NAIL ON N SIDE OF ELVEHJEM ROAD

- NOTES
- * WHITE EPOXY PAINT FOR PARKING LOT PAVING MARKINGS.
- * EAST HALF OF PARKING LOT IS REJECT CURB & GUTTER CONTRACTOR TO GRADE PHASE II, AND HAVE RESTORATION ESTABLISHED BEFORE GRADING PHASE II OF DOG PARK.
- * CONTRACTOR TO ENGAGE 3RD PARTY ENGINEER/SOILS PROFESSIONAL TO PERFORM SITE EVALUATION AT BOWMAN PARK AND AREA 4. PROVIDE A WRITTEN CONSTRUCTION PRACTICE STANDARD 1002 BEFORE BEGINNING CONSTRUCTION AND PROVIDE RESULTS TO OWNER TO CONFIRM STORMWATER MANAGEMENT DESIGN PARAMETERS.
- * ASPHALT PAVING FOR PARKING LOT:
 - 1. PLACEMENT OF SINGLE LIFT OF 4" TYPE 58-285, 2" THICKNESS.
 - 2. ASPHALT PAVE PLACEMENT PLACEMENT OF SINGLE LIFT OF 4" TYPE 58-285, 2" THICKNESS.







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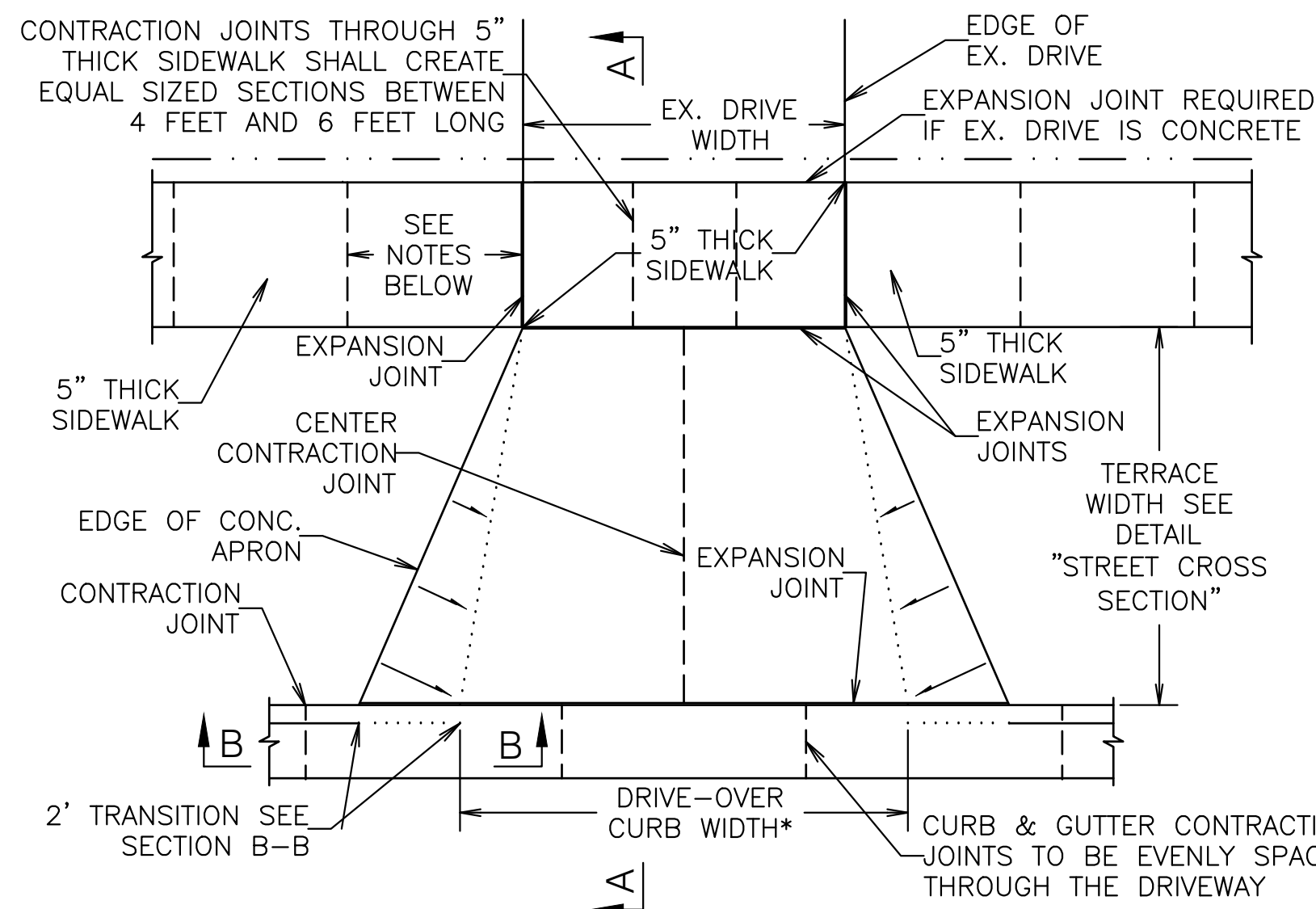
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Sheet Title:
**McDaniel Park
Site Layout Plan**

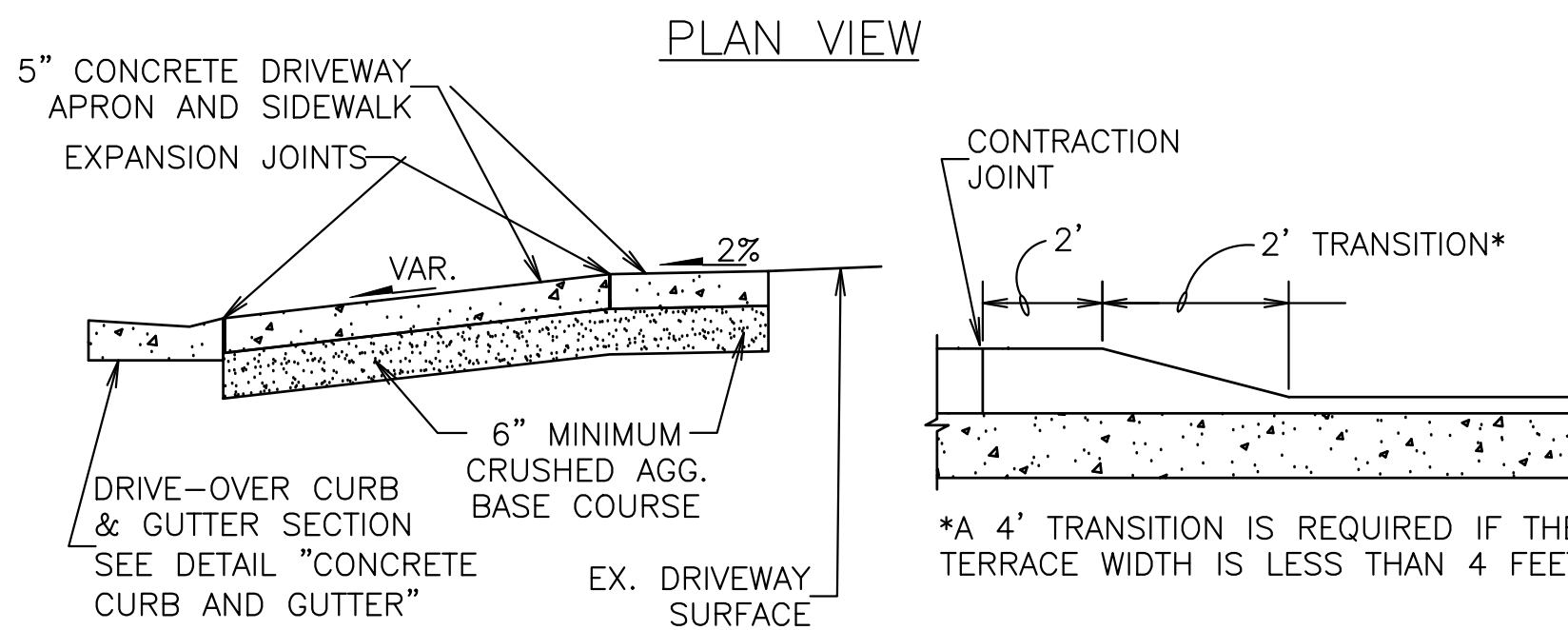
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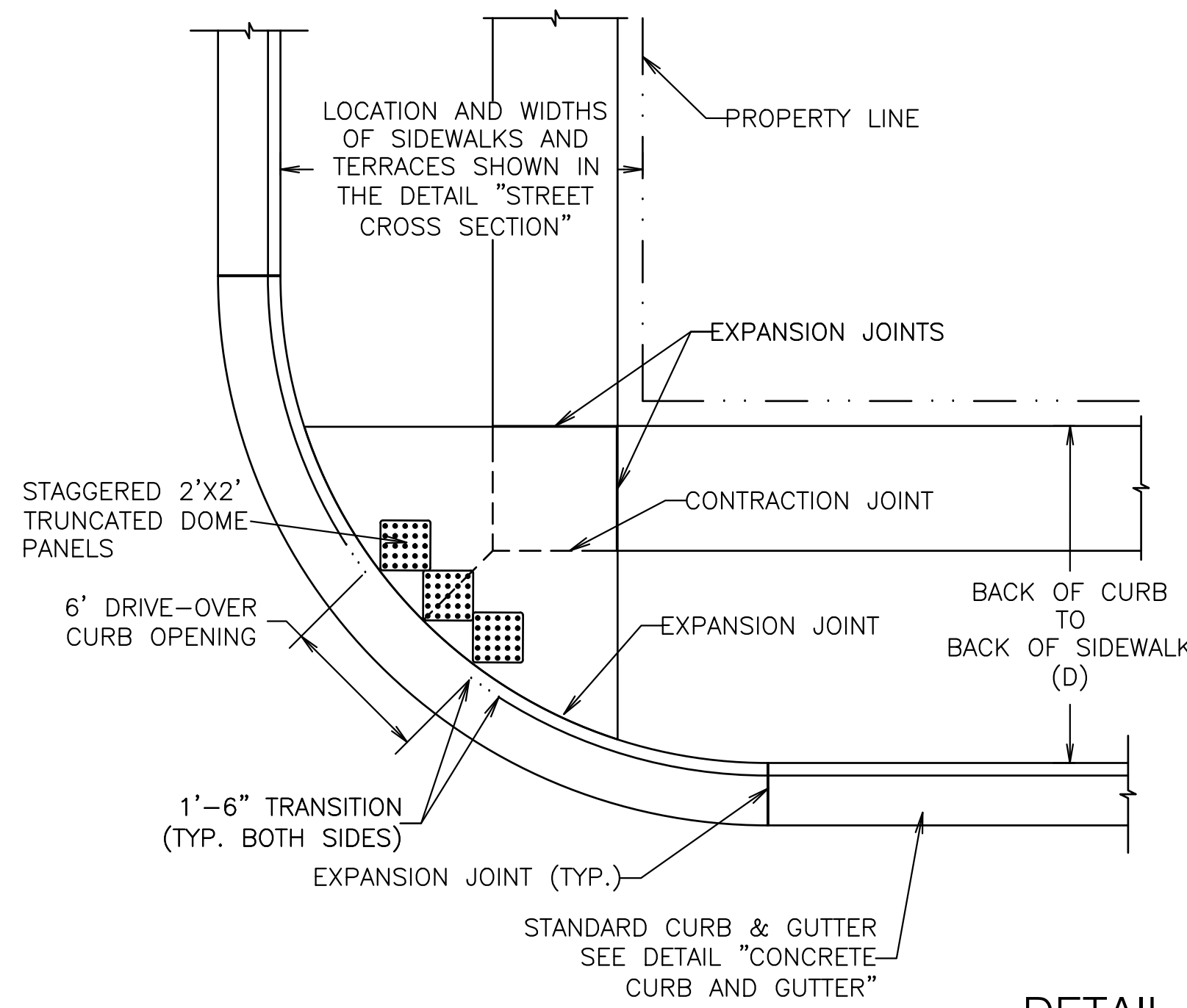


NOTES: - 5" THICK WALK WIDTH SHALL BE EQUAL TO THE EX. DRIVE WIDTH OR A MINIMUM OF 12' CENTERED ON THE EX. DRIVE. THE DRIVE-OVER CURB WIDTH SHALL BE EQUAL TO THE 5" THICK WALK WIDTH PLUS 2', CENTERED ON THE EX. DRIVE.
- CONTRACTION JOINTS IN 5" THICK SIDEWALKS SHALL BE PLACED EVERY 5'. EXPANSION JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 96 FEET.



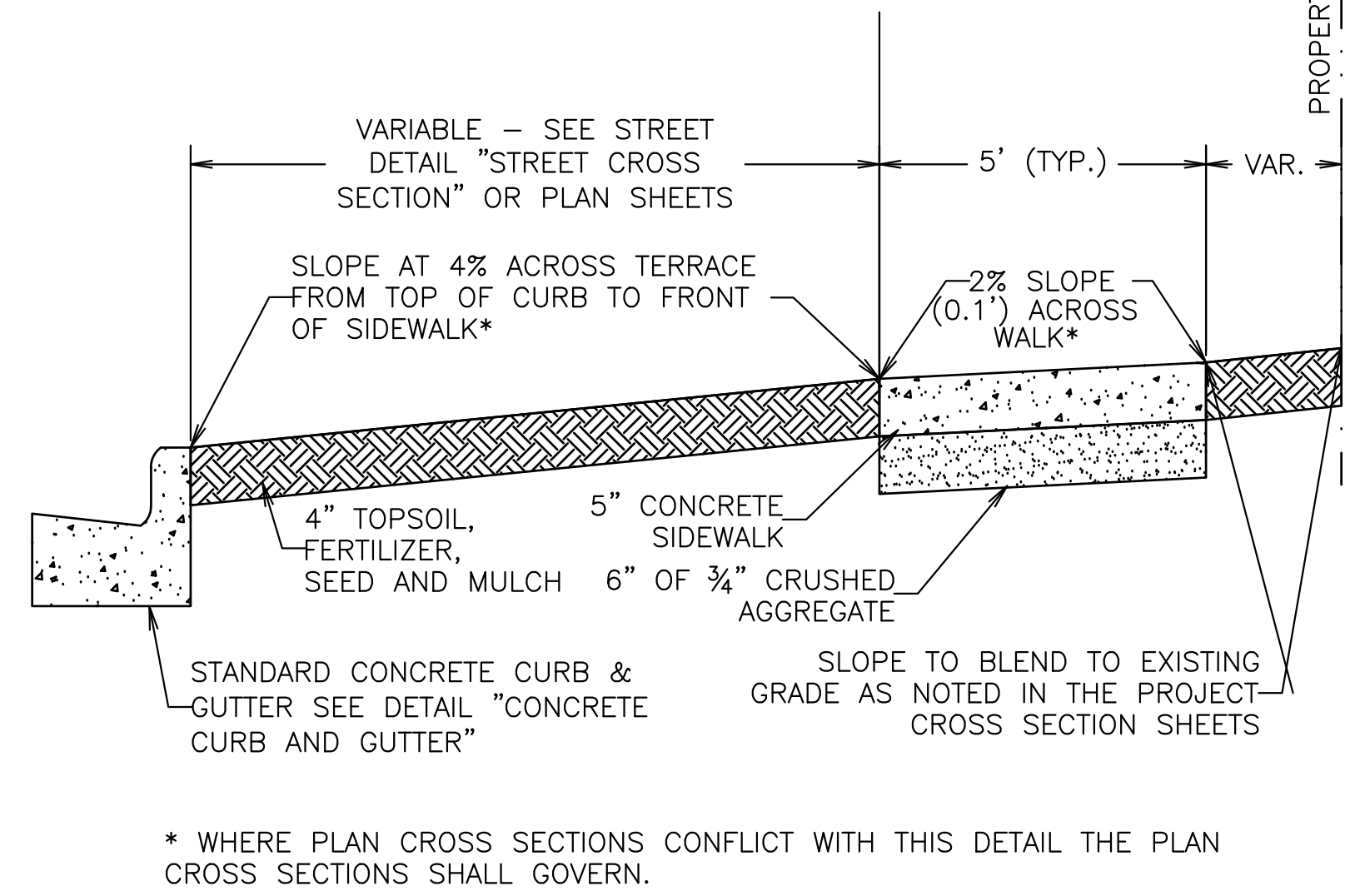
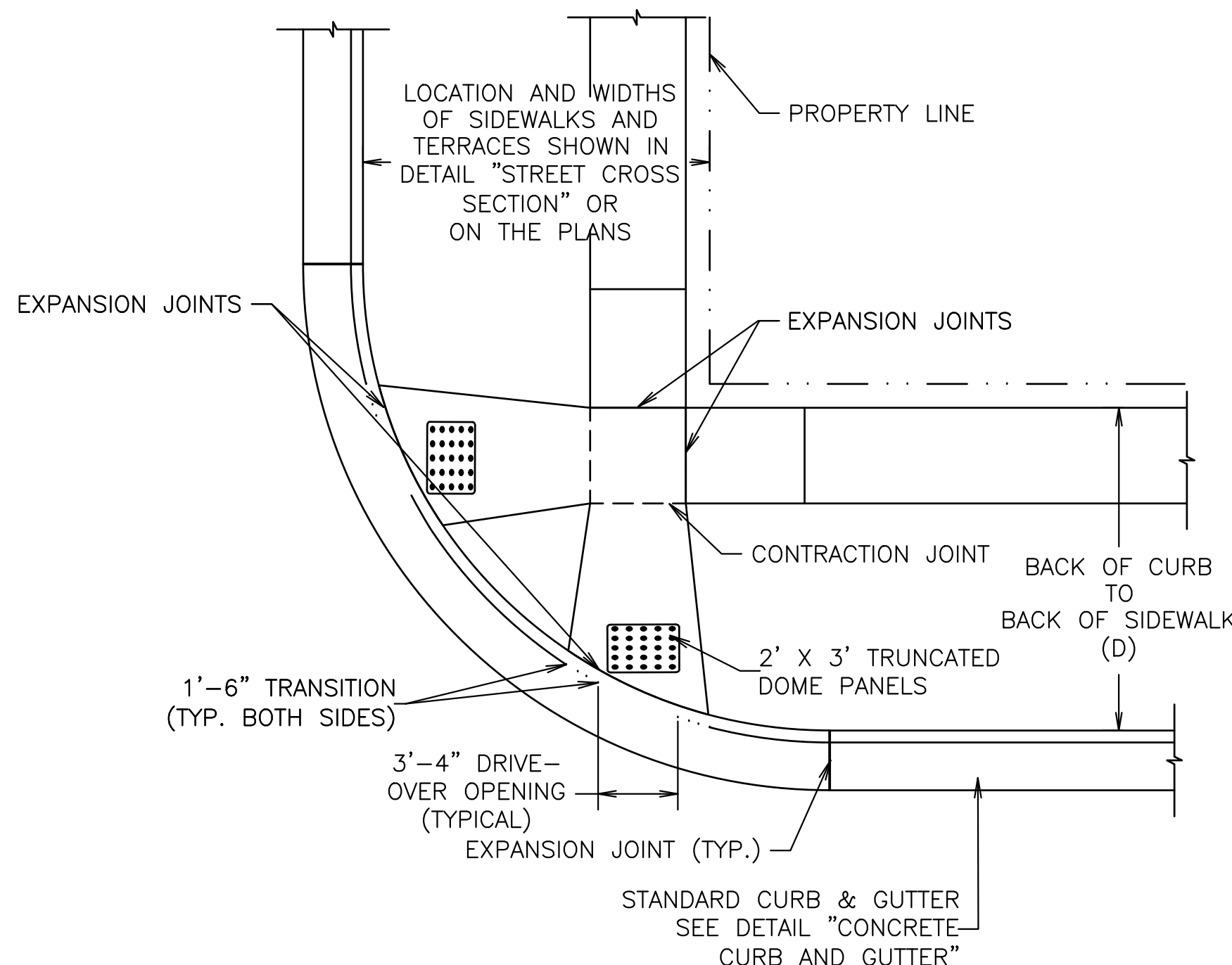
DETAIL
DRIVEWAY

TYPE 1 CURB RAMP
- FOR USE WHEN THE DISTANCE FROM THE BACK OF THE CURB TO THE BACK OF THE SIDEWALK (D) IS LESS THAN 12 FEET.

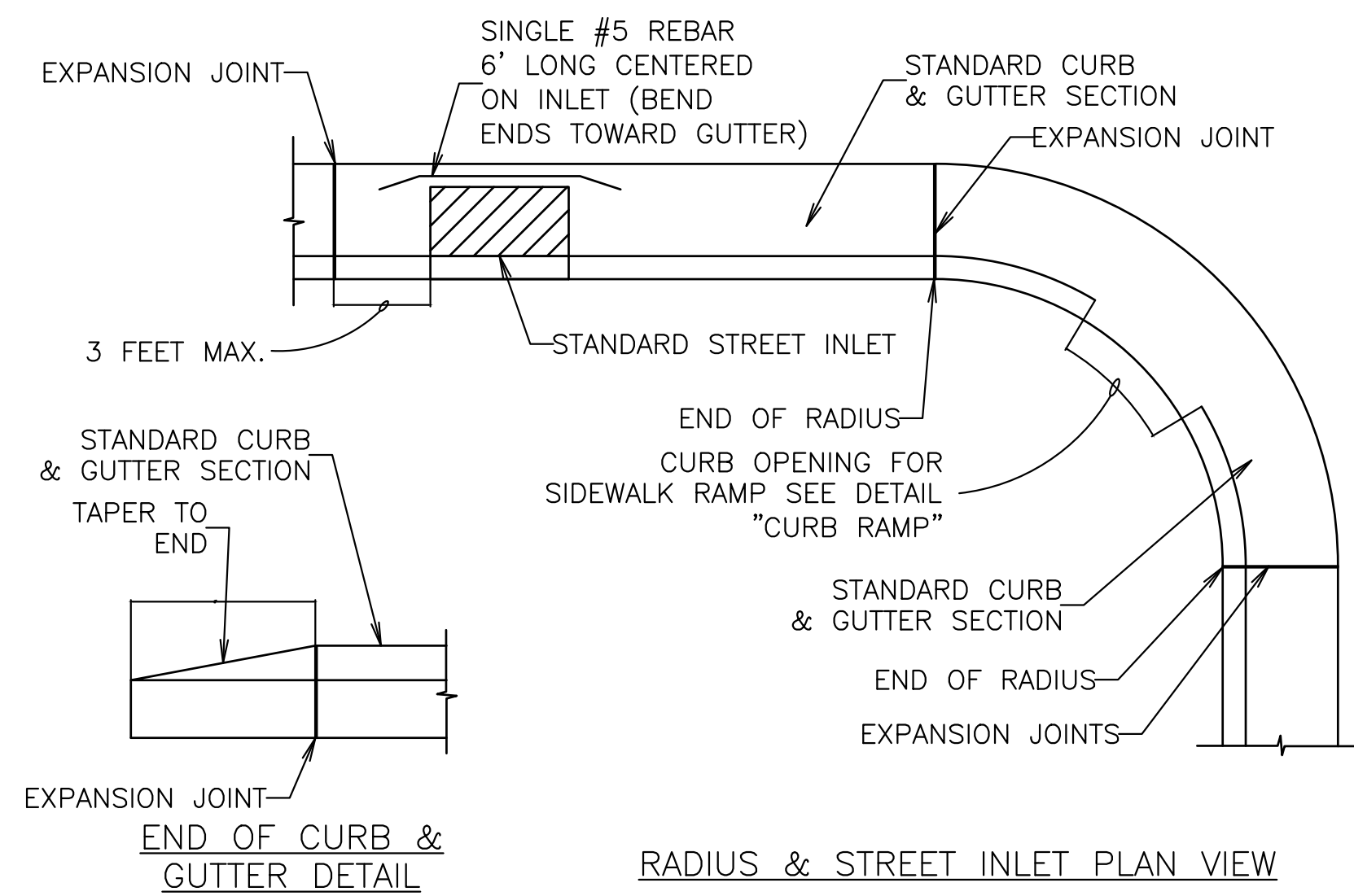
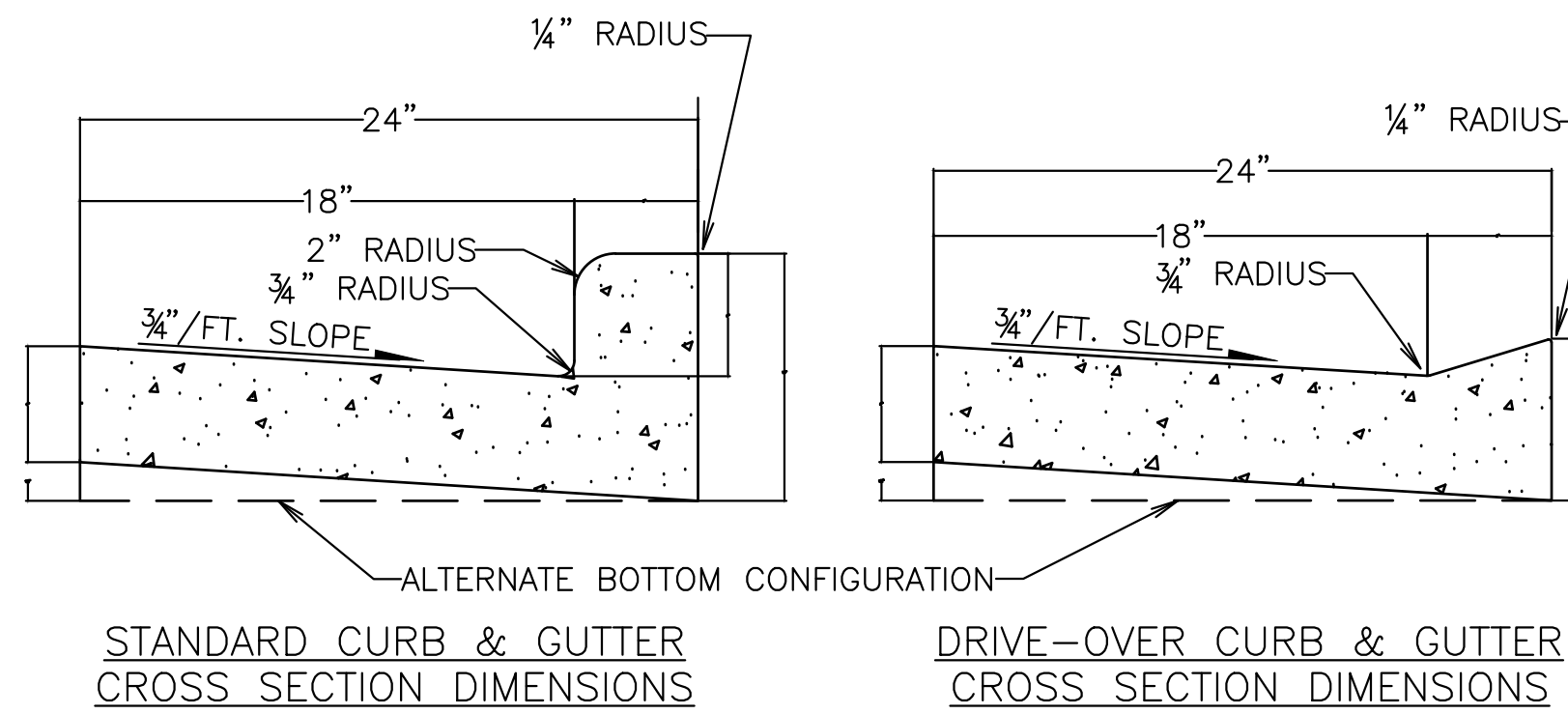


DETAIL
CURB RAMP

TYPE 2 CURB RAMP
- FOR USE WHEN THE DISTANCE FROM THE BACK OF THE CURB TO THE BACK OF THE SIDEWALK (D) IS GREATER THAN OR EQUAL TO 12 FEET.

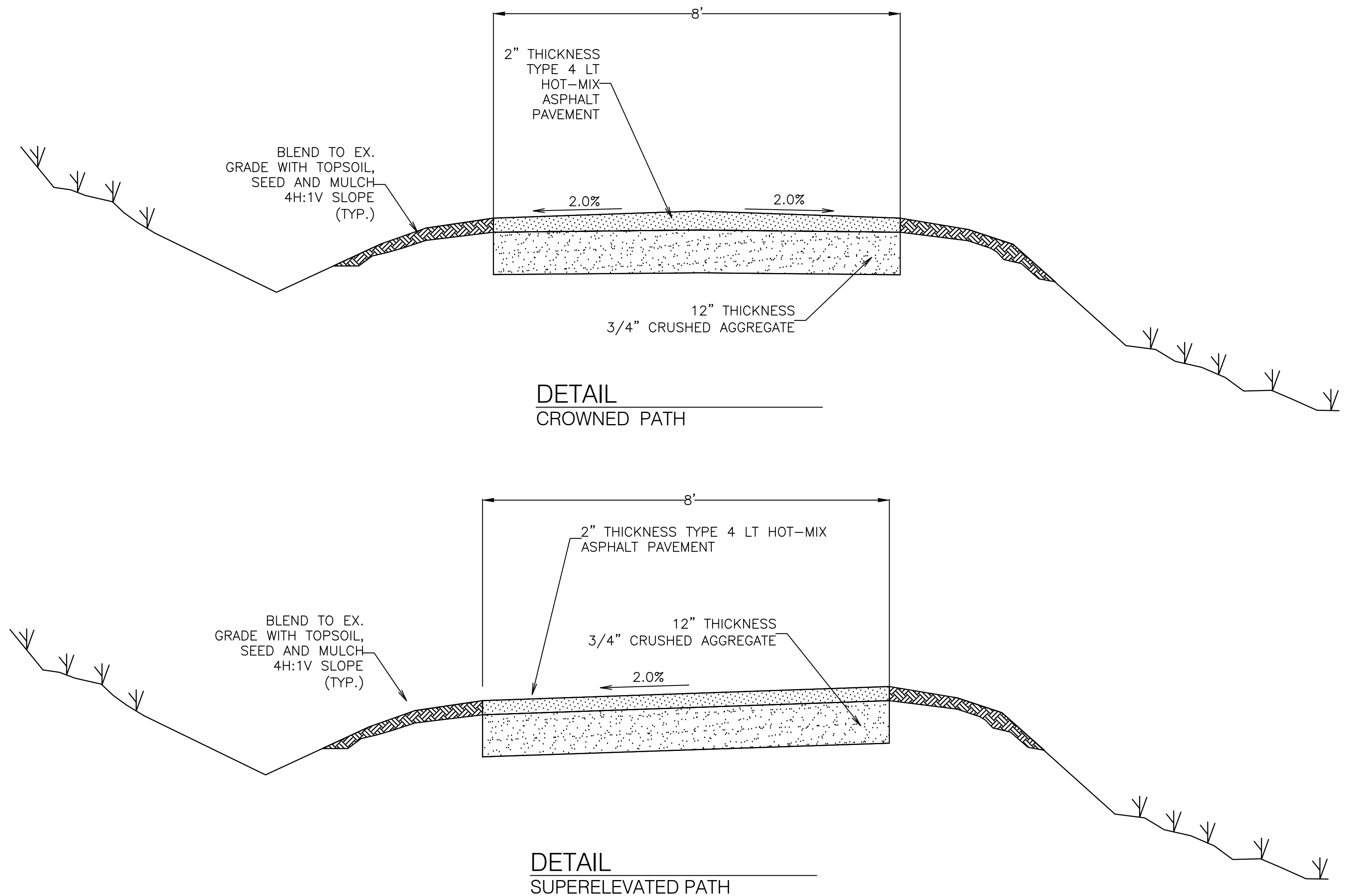


DETAIL
SIDEWALK - TERRACE SECTION



NOTES:
1.) CONTRACTION JOINTS SHALL BE PLACED EVERY 6 TO 12 FEET AND AT LOCATIONS SHOWN IN THE CURB RAMP AND DRIVEWAY DETAILS.
2.) EXPANSION JOINTS SHALL BE PLACED AT EVERY END OF RADIUS, 3 FEET ON ONE SIDE OF EACH STREET INLET AND AT INTERVALS NOT TO EXCEED 300 FEET.

DETAIL
CONCRETE CURB AND GUTTER



DETAIL
CROWNED PATH

DETAIL
SUPERELEVATED PATH

NOTES:
TRUNCATED DOME PANELS MUST TOUCH ONE CORNER TO RADIUS OF BACK OF CURB. IF MORE THAN ONE IS USED THEY MUST TOUCH OR OVERLAP. DOMES SHALL BE ALIGNED WITH CROSS WALK DIRECTION.

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McFarland Park Facility Projects
Village of McFarland
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Sheet Title:

Standard
Construction
Details -
Street
Improvements

Sheet Number:

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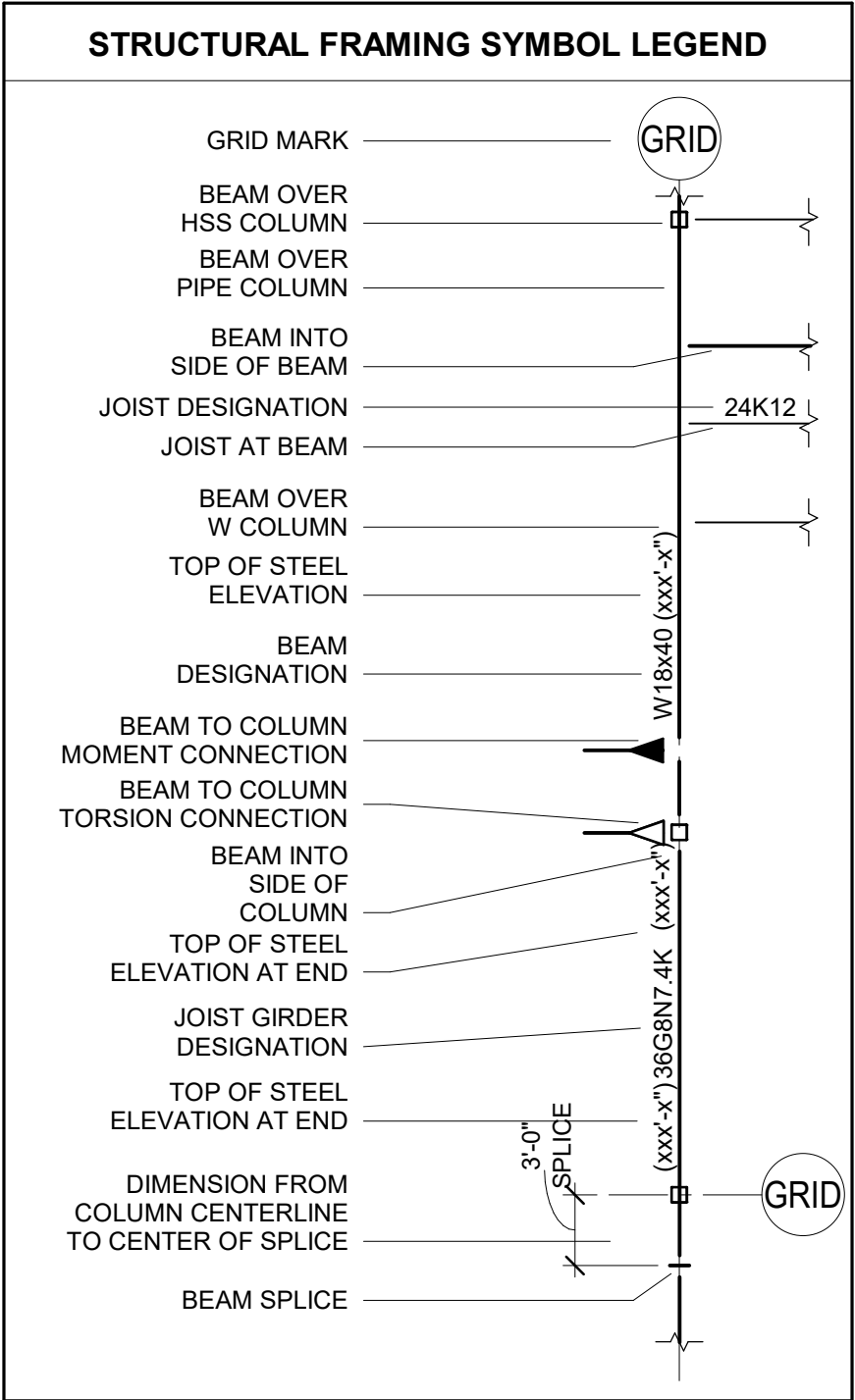
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STEEL LINTEL SCHEDULE				
MARK	TYPE	SIZE	PLATE	GUSSETS
L-01	A	W8x10	PL1/4x7	-----
L-02	B	W8x10	PL5/16x11	1/4" @ 32" o/c
L-03	B	W8x18	PL5/16x11	1/4" @ 32" o/c

SEE SHEET S5.1 FOR TYP LINTEL SECTIONS AND DETAILS



WOOD TRUSS FRAMING NOTES

- RD-01: 5/8" PLYWOOD ROOF SHEATHING
- RD-02: 3" NOMINAL WOOD DECK SIMPLE SPAN LAYUP
- TB xxx'-x" INDICATES TRUSS BEARING ELEVATIONS
- FRAME ALL HVAC ROOF OPENINGS w/ 2x4
- TRUSSES SHALL BE DESIGNED FOR THE LOADS INDICATED IN GENERAL NOTE 1.1.3 AND ANY ADDITIONAL LOADS, INCLUDING DRIFTING SNOW LOADS, SHOWN ON THIS PLAN.
- TEMPORARY TRUSS BRACING: SHALL BE PROVIDED BY THE GENERAL CONTRACTOR TO RESIST WIND AND ERECTION LOADS, UNTIL PERMANENT BRACING IS INSTALLED.
- TEMPORARY BRACING: SHALL BE SELECTED BY OTHERS BUT SHALL NOT BE LESS THAN 2x4 @ 6'-0" OC AT TOP CHORDS, 8'-0" OC AT BOTTOM CHORDS AND 20'-0" OC AT WEB MEMBERS.
- IN ADDITION TO ROOF SHEATHING AND OTHER PERMANENT BRACING AS INDICATED ON DRAWINGS, PROVIDE HORIZONTAL/DIAGONAL WEB MEMBER BRACING AS SPECIFIED BY THE TRUSS DESIGNER.
- TRUSSES SUPPORTING PIGGYBACK TRUSSES OR OTHER OVER FRAMING SHALL HAVE THE TOP CHORDS BRACED WITH 2x4 @ 24" o/c UNO. PROVIDE ADDITIONAL TOP CHORD BRACING AS SPECIFIED BY THE TRUSS DESIGNER, CONNECT BRACING TO THE ROOF SHEATHING OR END WALLS.
- ROOF TRUSS DESIGN LOADS
 - TOP CHORD DL 15 PSF
 - BOTTOM CHORD DL 10 PSF
 - BALANCED SNOW LOAD 25.2 PSF
 - UNBALANCED SNOW LOAD

EXISTING CONDITIONS NOTE

- ALL EXISTING CONDITIONS TO BE FIELD MEASURED AND FIELD VERIFIED PRIOR TO FABRICATION OR CONSTRUCTION. IN CASE OF DISCREPANCY BETWEEN PLANS & FIELD CONDITIONS NOTIFY ARCHITECT. DO NOT PROCEED UNTIL THE CONDITIONS ARE RESOLVED.
- SEE ARCHITECTURAL DRAWINGS FOR DEMOLITION INFORMATION NOT SHOWN ON THIS DRAWING.
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN ON THIS DRAWING.
- CONTRACTORS ARE RESPONSIBLE FOR CORRECT AND COMPLETE USE OF INFORMATION PROVIDED IN CONSTRUCTION DOCUMENTS. IN CASE OF MISSING INFORMATION OR DISCREPANCY NOTIFY ARCHITECT OR ENGINEER. DO NOT PROCEED UNTIL THE CONDITIONS ARE RESOLVED.

WOOD POST SCHEDULE			
MARK	SIZE	POST BASE	ANCHORS
WP-01	6x6 DF-L NO 1	CBSQ66 - SDS2	---

COLUMN SCHEDULE			
MARK	SIZE	BASE PLATE	ANCHOR BOLTS
C-01	HSS7x5x1/4	PL3/4x11x0'-11"	(4) 3/4"

PROVIDE 1/4" SETTING PLATE SAME SIZE AS BASE PLATE.

ANCHOR BOLT EMBEDMENT: 12 x (BOLT DIAMETER).

PROVIDE PLATE WASHER PL3/8x3x0'-3" w/ NUT TOP & BOT, TACK WELD NUTS TO BOLT.

MASONRY PIER SCHEDULE			
MARK	SIZE	VERT REINF	TIES
MP-01	8"x12"	(2) #5	#3 @ 8" OC
MP-02	8"x16"	(2) #5	#3 @ 8" OC
MP-03	8"x22"	(2) #5	#3 @ 8" OC

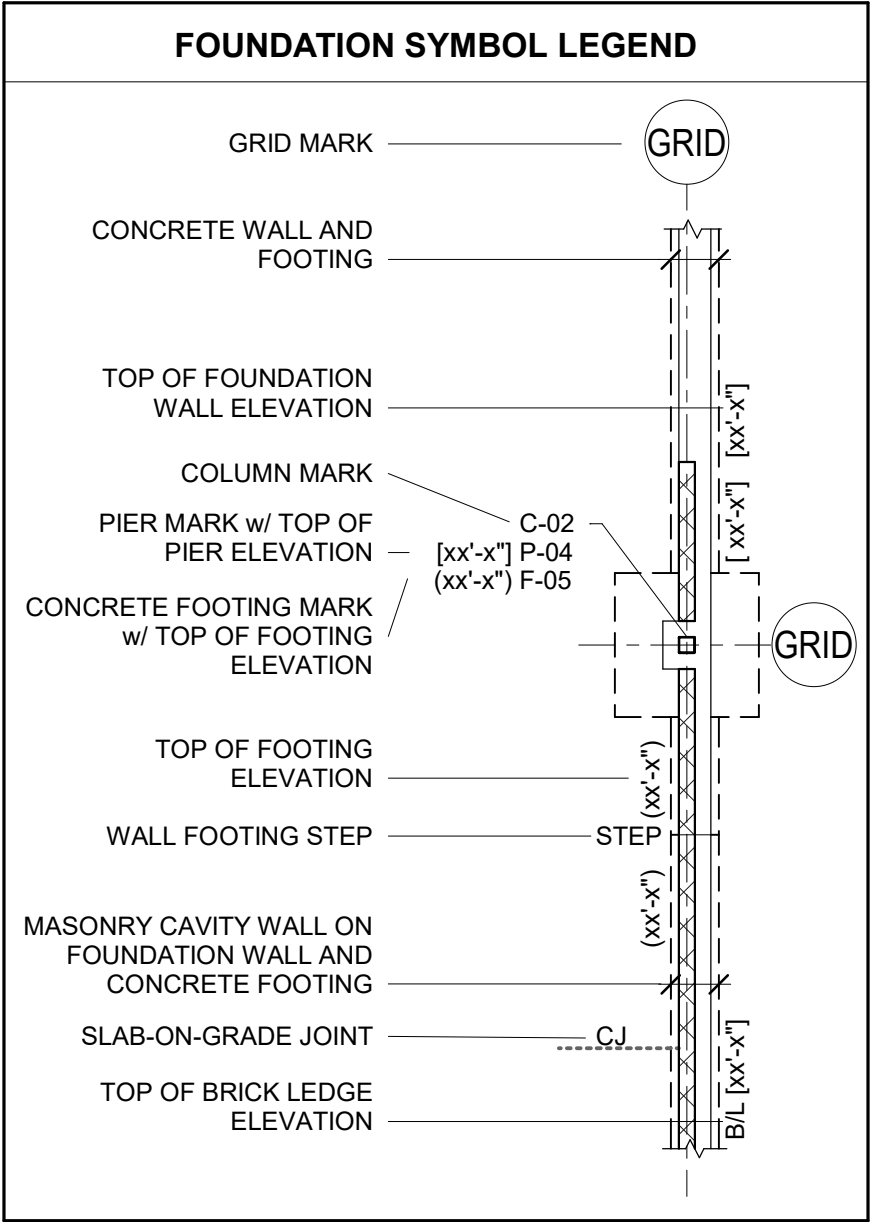
PROVIDE DOWELS INTO FOUNDATION WALL OR FOOTING SAME SIZE AND QUANTITY AS PIER VERTICALS.

CONCRETE PIER SCHEDULE			
MARK	SIZE	VERT REINF	TIES
CP-01	20"x20"	(4) #7	#3 @ 12" OC

PROVIDE DOWELS INTO FOOTING SAME SIZE AND QUANTITY AS PIER VERTICALS.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING EACH WAY
F-01	3'-0"x3'-0"x12"	(4) #5

SOIL CAPACITY = 2000 PSF (ASSUMED).



SLAB ON GRADE NOTES

- FINISHED FLOOR - EL 100'-0" (unless noted otherwise)
FIN FLR IS FOR REFERENCE ONLY - SEE CIVIL DWGS FOR DATUM INFORMATION
- SEE ARCHITECTURAL DRAWINGS FOR UNDER SLAB INSULATION REQUIREMENTS
- SEE DETAILS 17/S5.0 AND FOR SLAB JOINT DETAILS.
- STOOP SLABS
5" SLAB W/ #3 @ 12" OC EACH WAY

MASONRY WALL NOTES

- ALL MASONRY TO BE LAID IN RUNNING BOND PATTERN (unless noted otherwise)
- SEE PLANS & DETAILS FOR REINFORCING OF MASONRY WALLS

CONCRETE FOUNDATION NOTES

- FINISHED FLOOR - EL 100'-0" (unless noted otherwise)
- TOP OF FOOTINGS
INTERIOR - EL 99'-4" (unless noted otherwise)
EXTERIOR - EL 96'-0" (unless noted otherwise)
- (xx'-x") INDICATES TOP OF FOOTING ELEVATIONS.
- (xx'-x") INDICATES TOP OF FOUNDATION WALL/PIER ELEVATIONS
TOW - EL 100'-0" (unless noted otherwise)
TOP - EL 99'-4" (unless noted otherwise)
- WALL FOOTINGS
EXTERIOR - 2'-0" x 10" NO REINF (unless noted otherwise)
STOOPS - 1'-4" x 8" NO REINF (unless noted otherwise)
- PROVIDE (2) #4 TOP BARS IN INTERIOR WALL FOOTINGS AT ALL OPENINGS 6'-0" OR GREATER.
- BL (xx'-x") INDICATES BRICK LEDGE ELEVATION
BRICK LEDGE - EL 99'-4" (unless noted otherwise)
- CONCRETE FOUNDATION WALL REINFORCING
(2) #5 CONT TOP AND BOTTOM (unless noted otherwise)
- SEE ARCH PLANS FOR LOCATION OF NON-BEARING WALLS.
- COORDINATE ALL FLOOR DRAINS AND PITCHED SLABS WITH ARCHITECTURAL AND PLUMBING DRAWINGS.
- SEE DETAIL 1/S5.0 AND 2/S5.0 FOR TYPICAL CONCRETE FOUNDATION WALL DETAILS.
- SEE DETAIL 3/S5.0 FOR TYPICAL PIPE PENETRATIONS THROUGH FOUNDATIONS.

AM BROSE ENGINEERING
PHONE: 262-571-7902
AE PROJECT # 020137

Project Title:
McFarland Park Facility Projects
Village of McFarland
McFarland, WI

REVISIONS:		
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Sheet Title:
PROJECT SCHEDULES AND NOTES

Sheet Number:

S0.2



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220 Emerson Place, Suite 301
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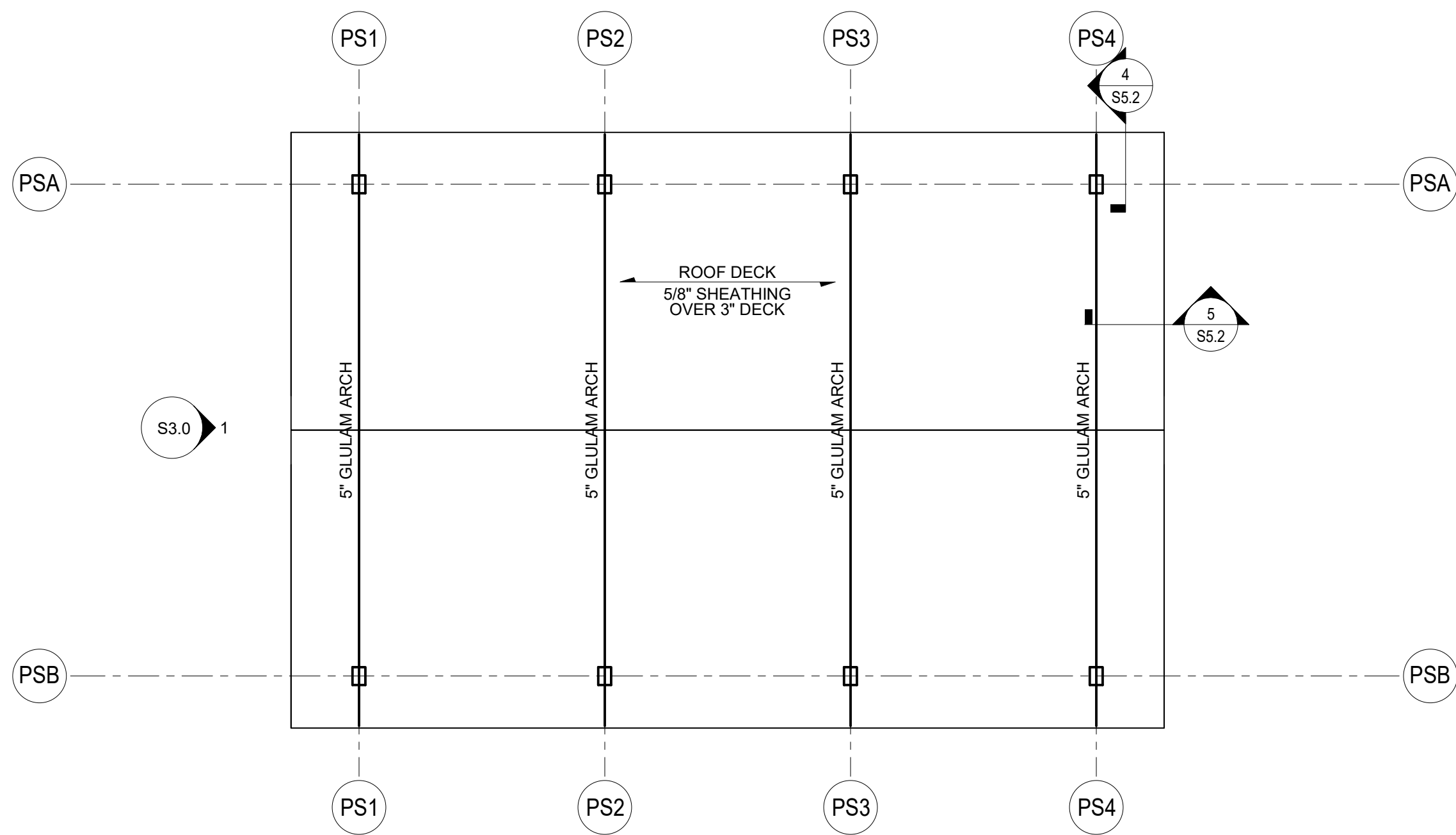
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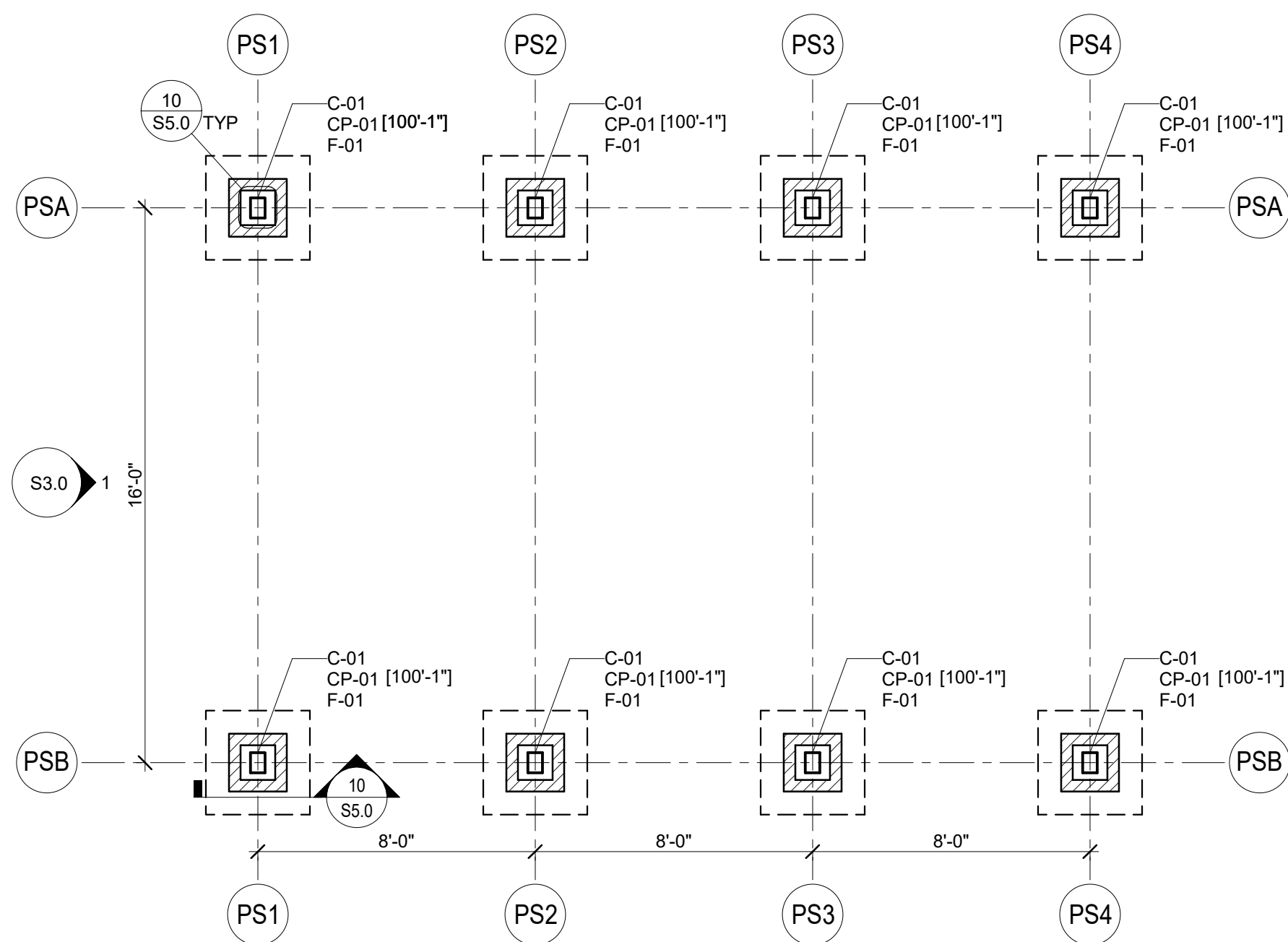
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NORTH
SCALE: 1/4\" = 1'-0\"
OPEN SHELTER ROOF FRAMING PLAN



NORTH
SCALE: 1/4\" = 1'-0\"
OPEN SHELTER FOUNDATION PLAN



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ENGINEERING
PHONE: 920.577.7902
AE PROJECT# 000-137

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OPEN SHELTER
FOUNDATION AND
ROOF FRAMING
PLANS

Sheet Number:

S1.1



Office Locations:

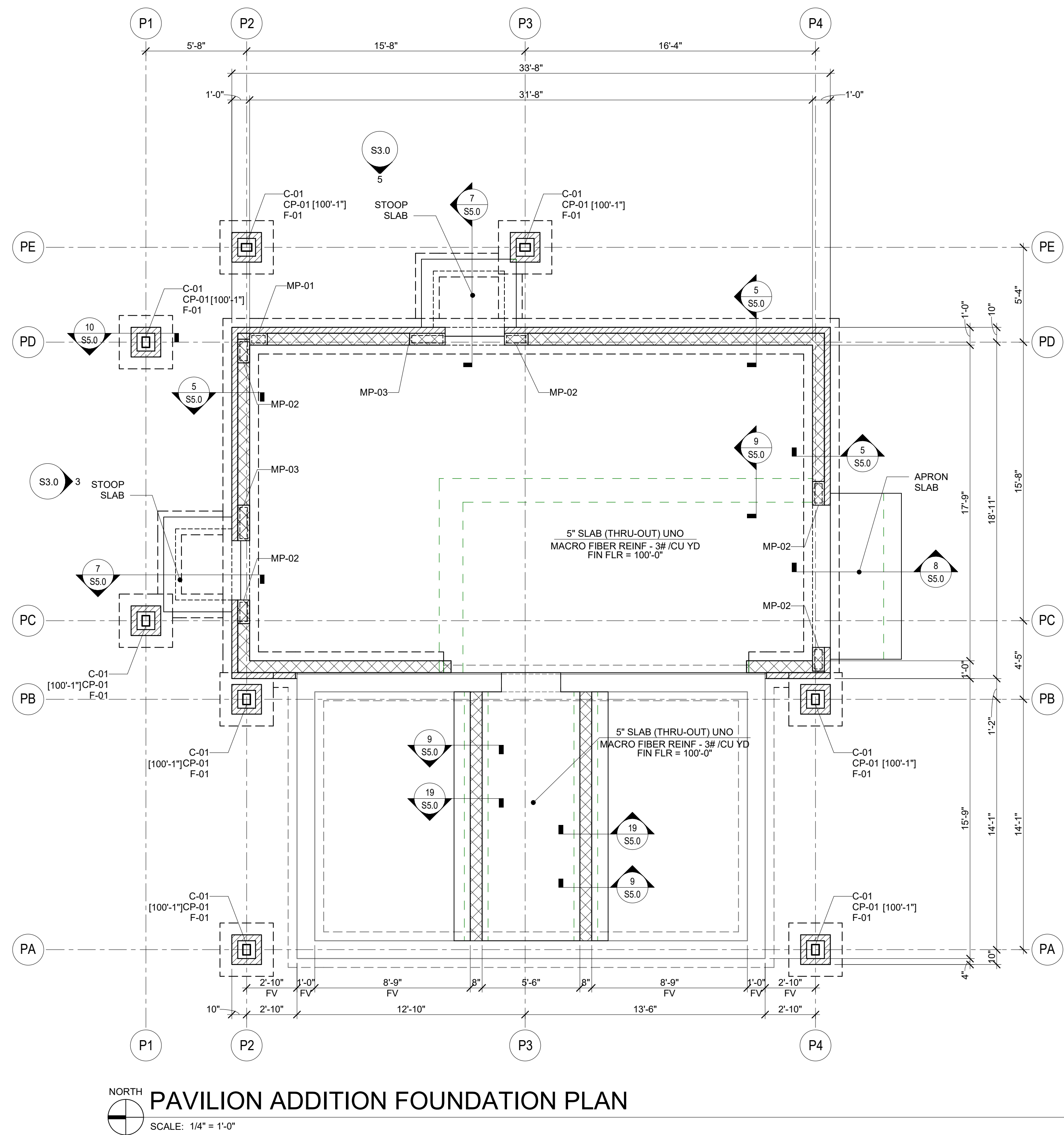
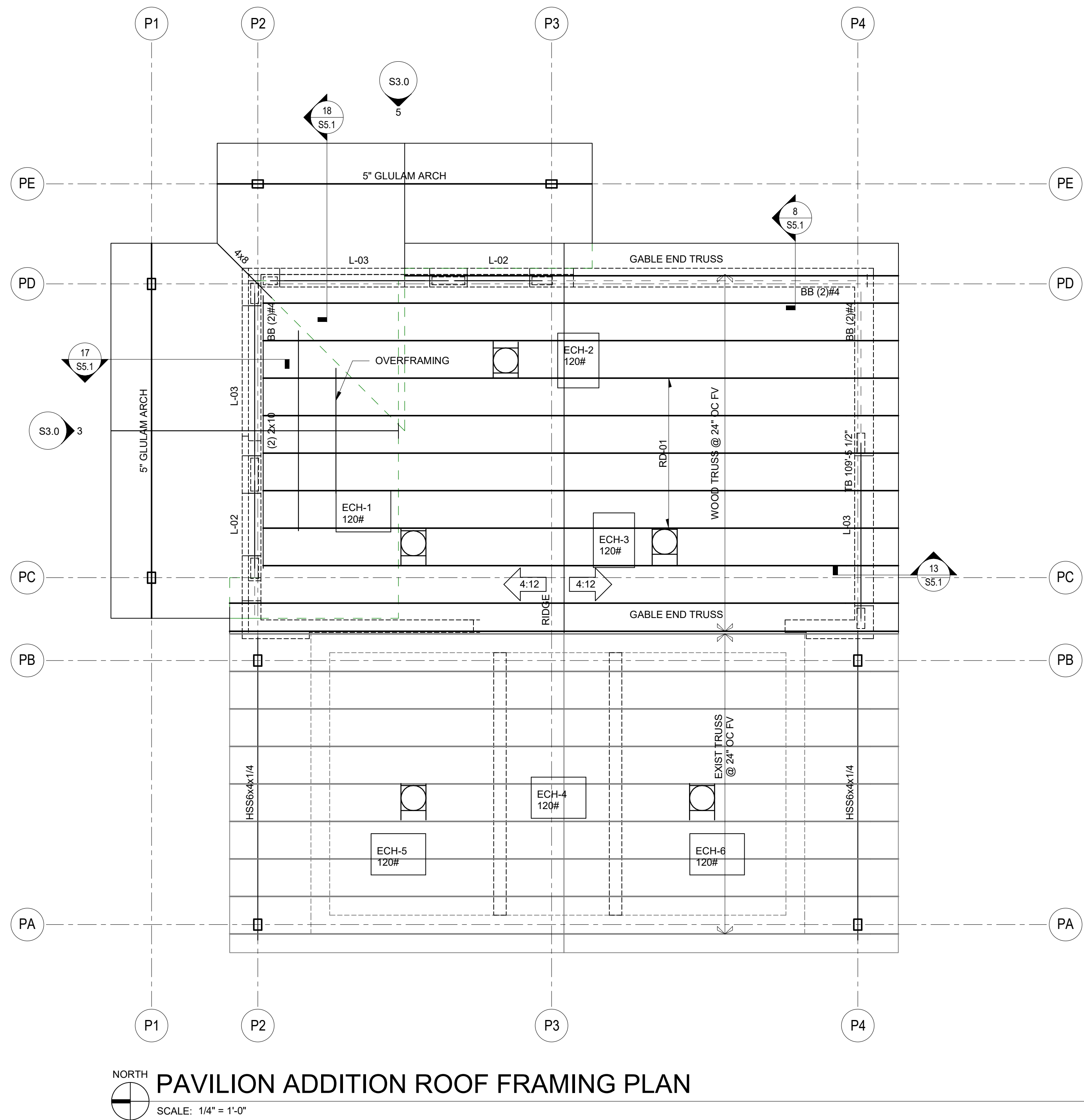
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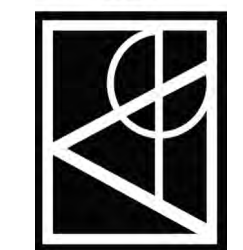
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S1.2

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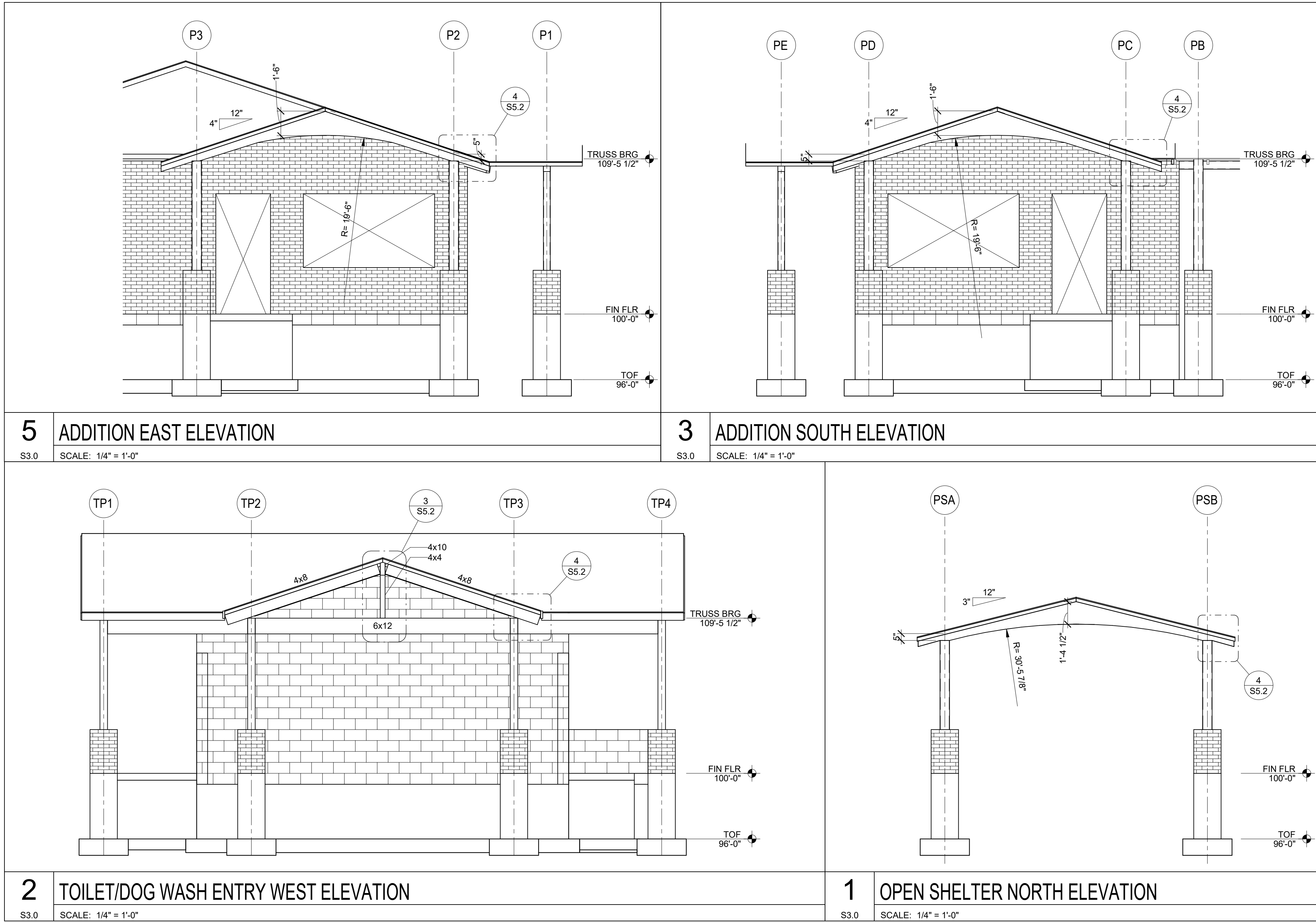
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2

1



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PHONE: 262-377-7802
AE PROJECT# 000-137



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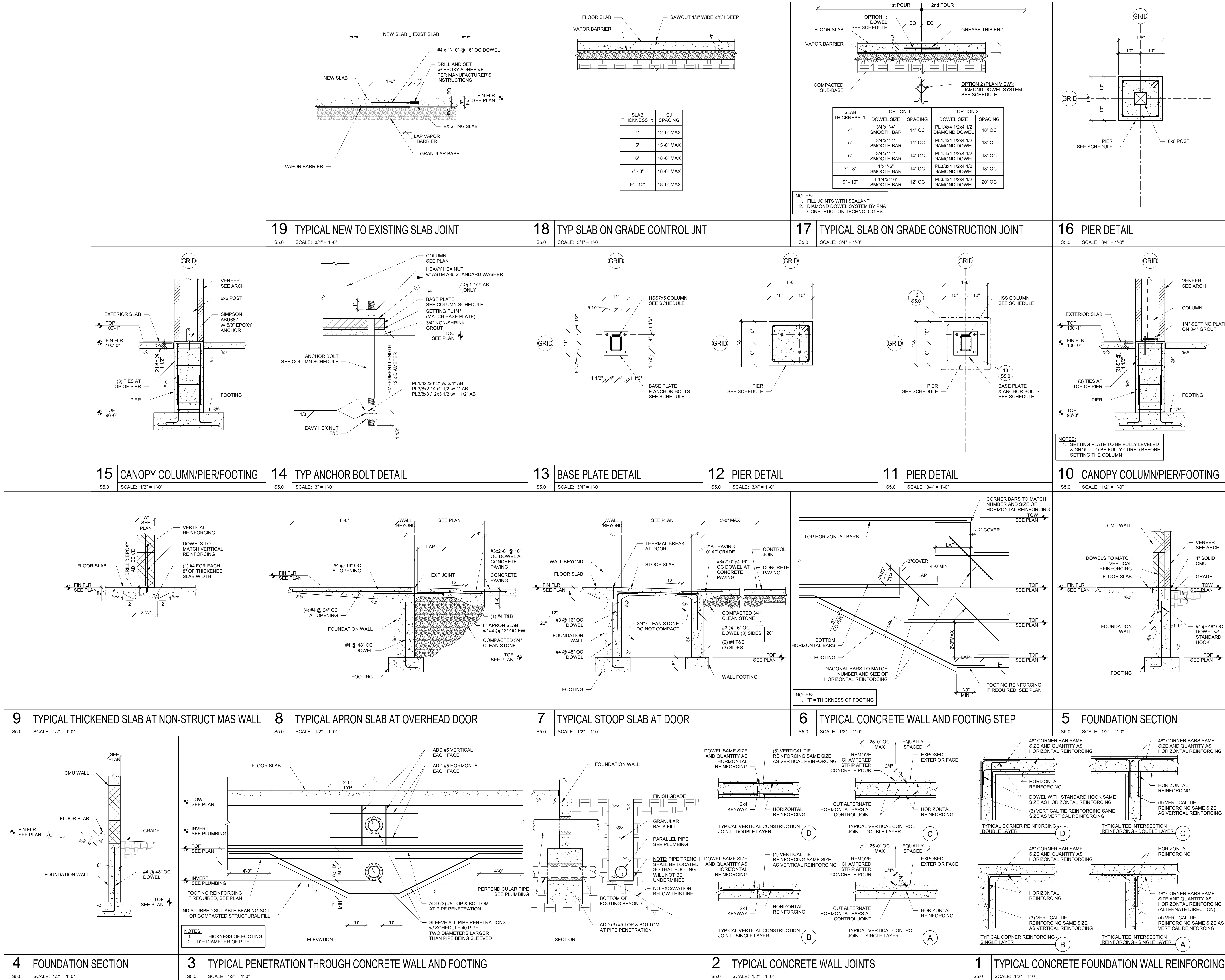
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FRAMING ELEVATIONS

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S3.0

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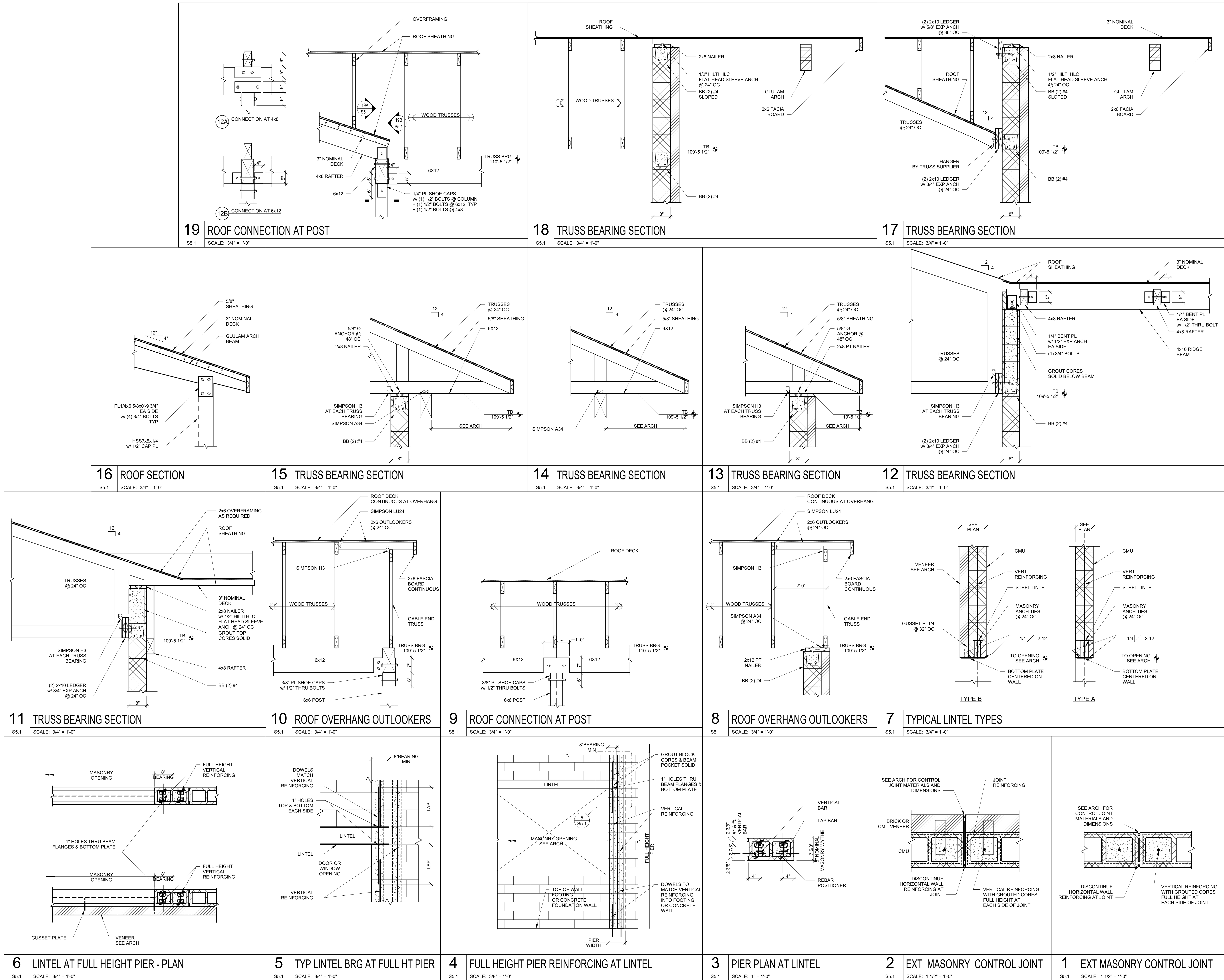
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SECTIONS AND DETAILS

Sheet Number:

S5.0

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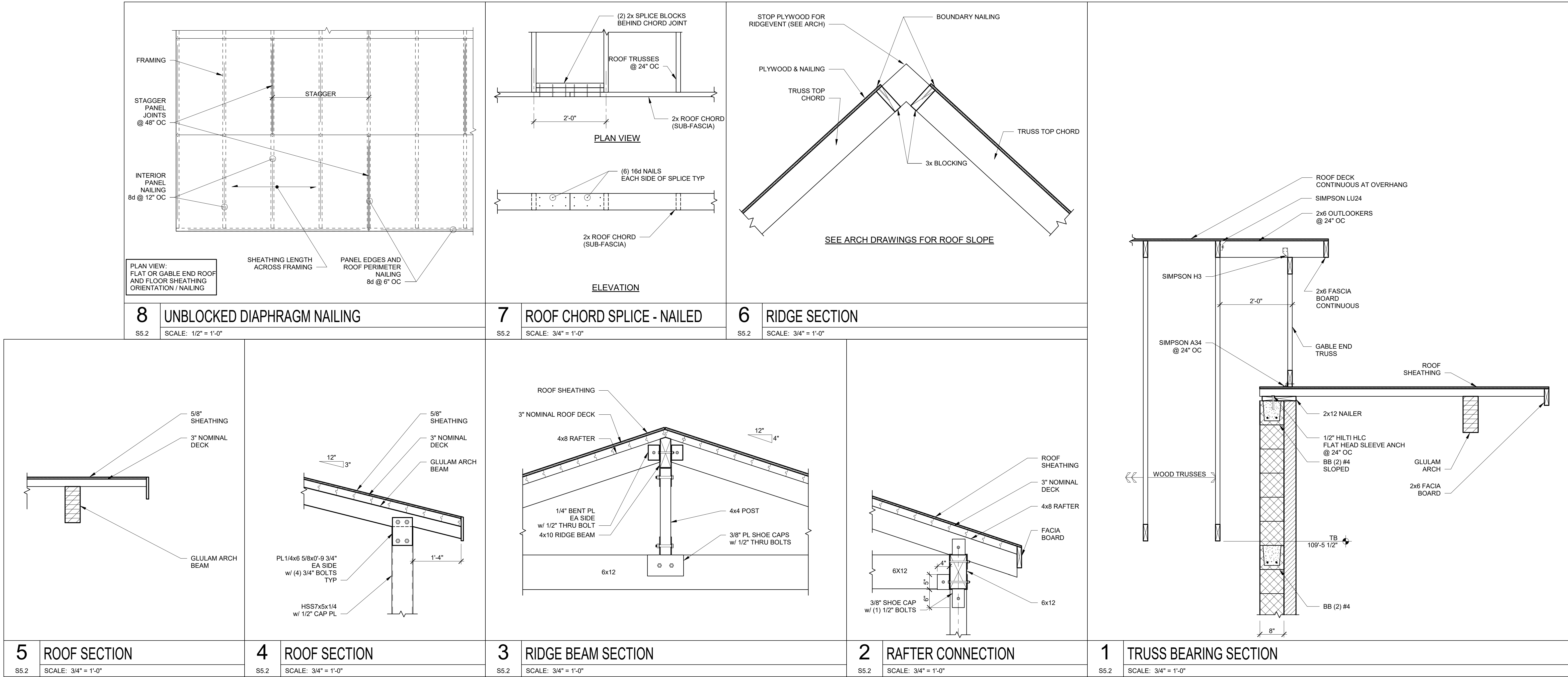
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Project Title:
**McFarland Park Facility Projects
Village of McFarland
McFarland, WI**

REVISIONS:	
DATE	DESCRIPTION

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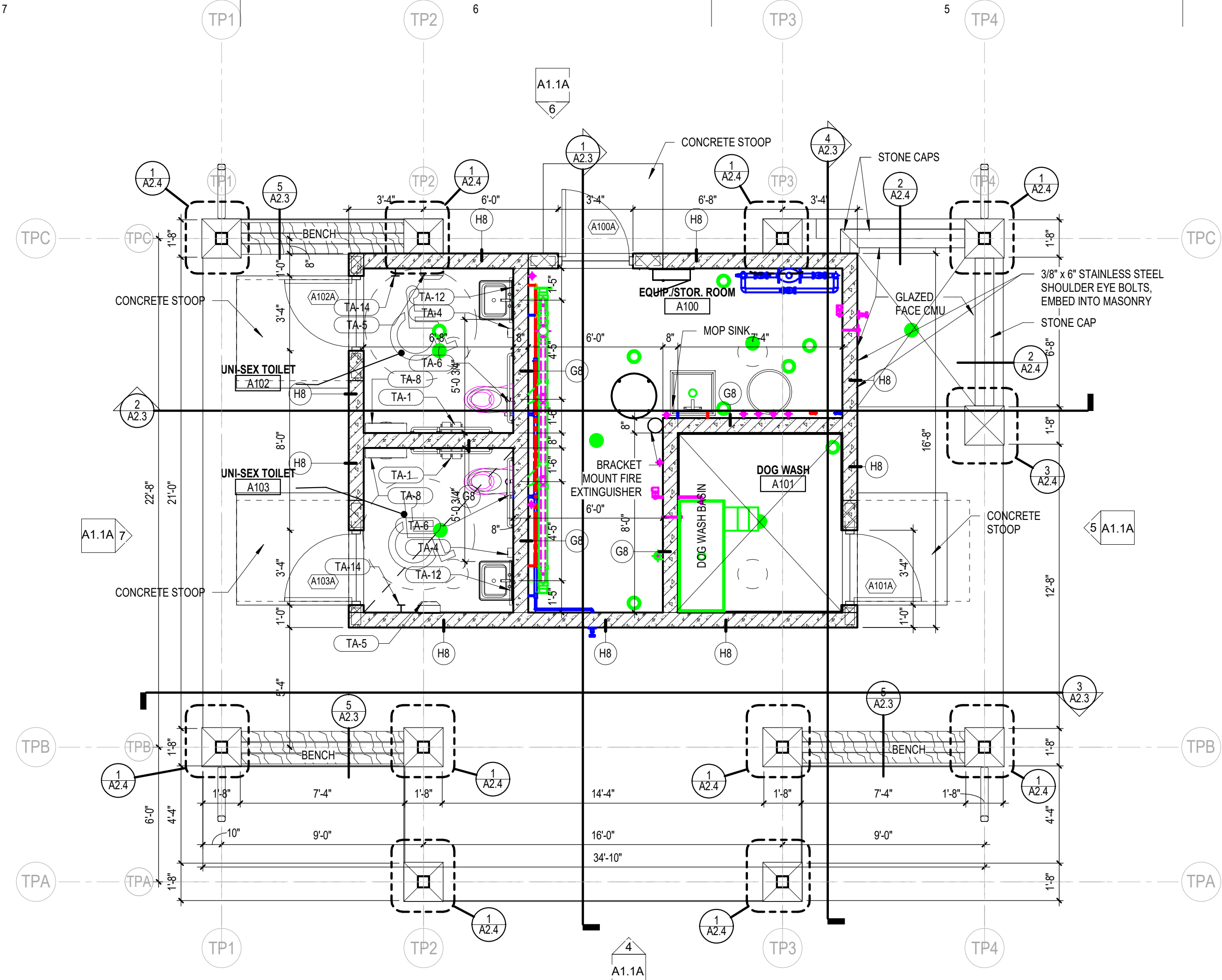
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Sheet Title:
SECTIONS AND DETAILS

Sheet Number:
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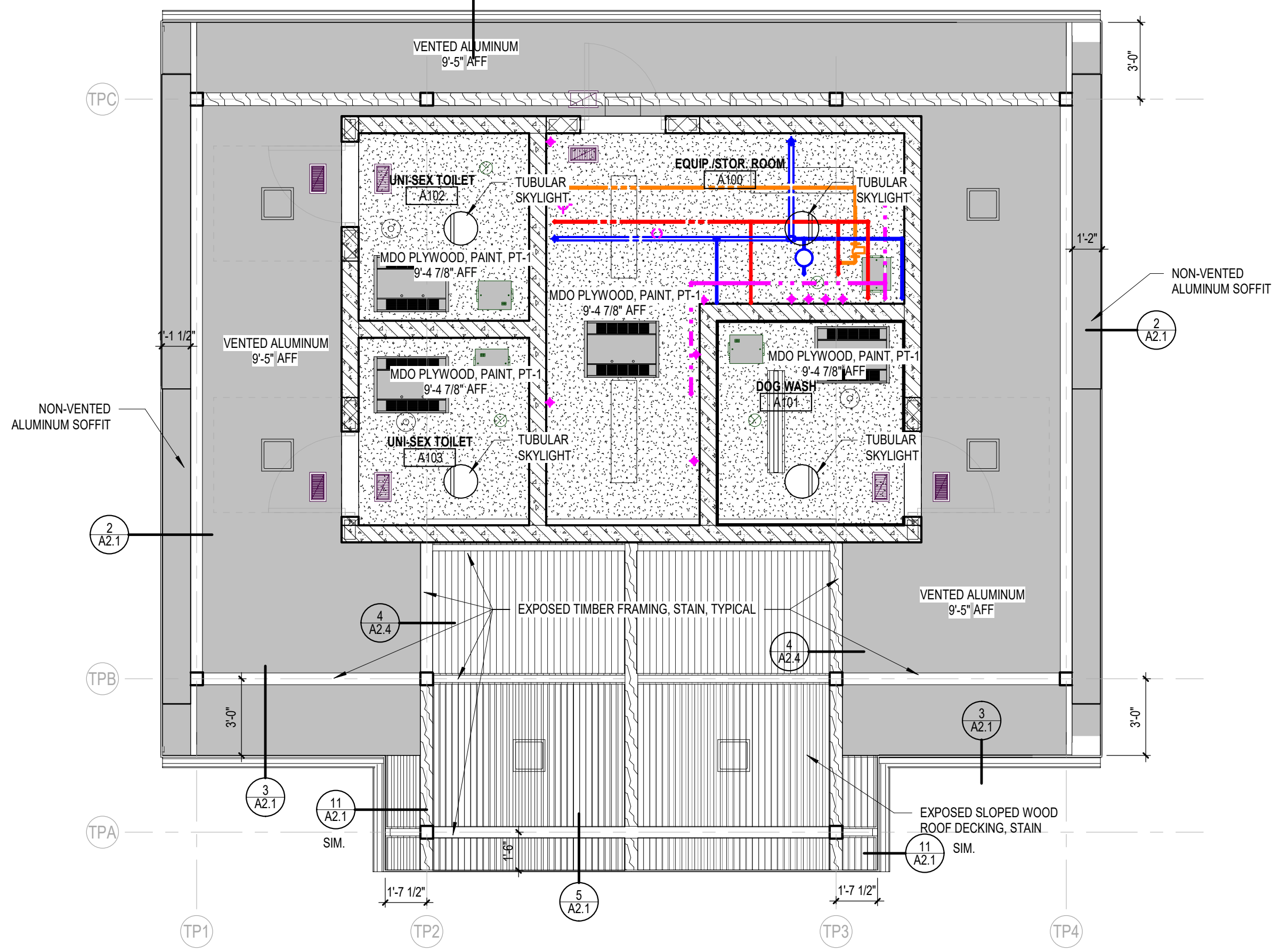


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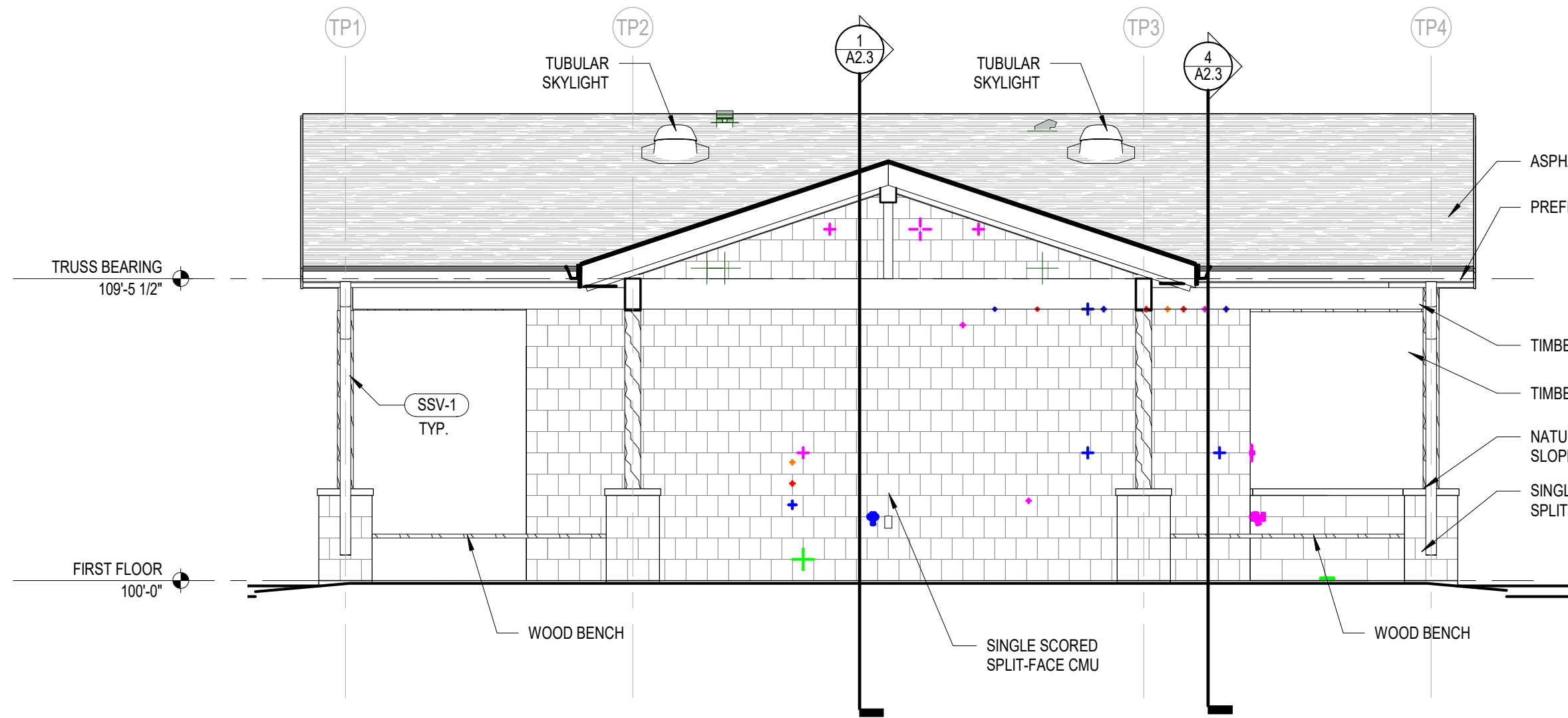
1 Toilet/Pet Wash Shelter Floor Plan

A1.1A Scale: 1/4" = 1'-0"



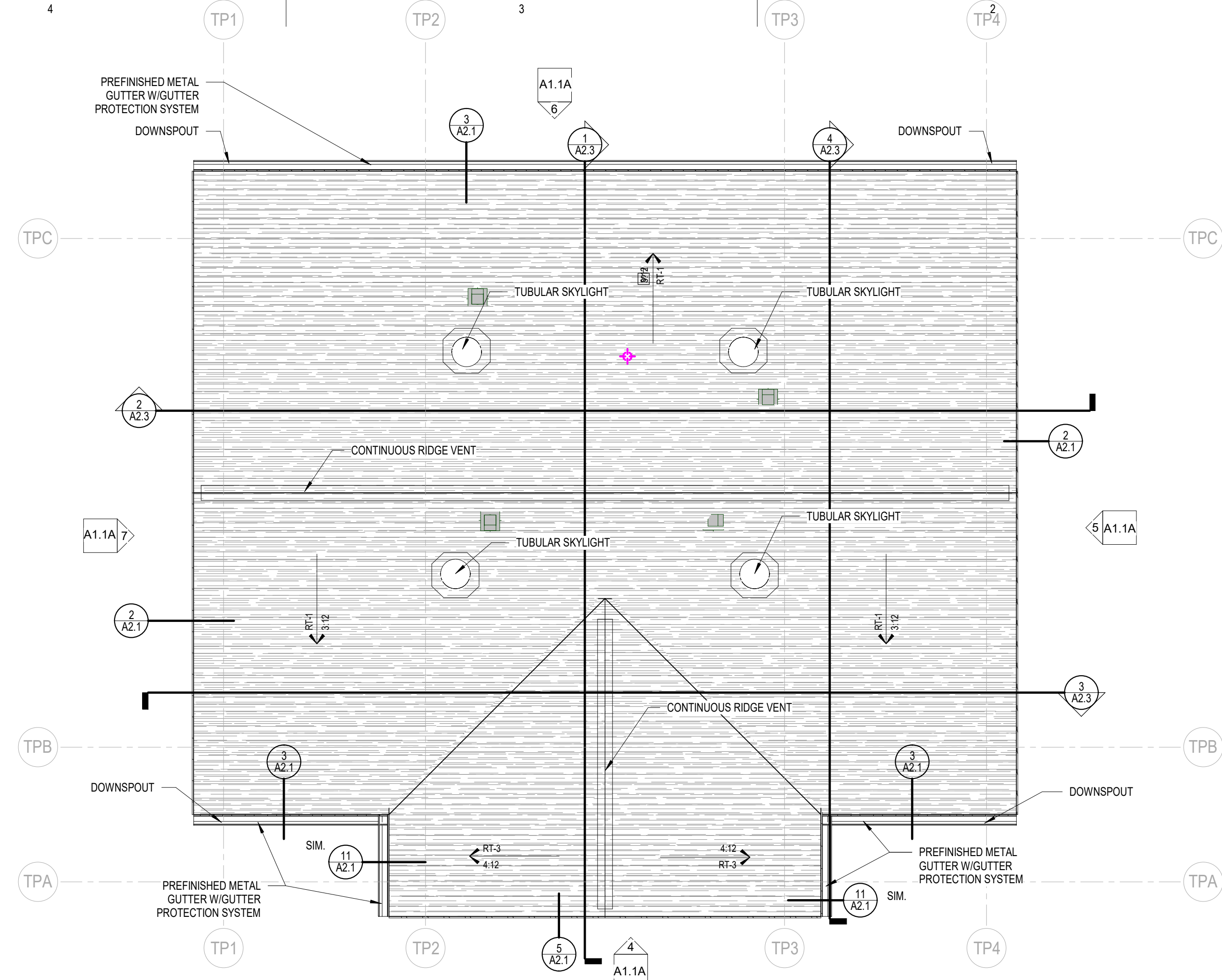
3 Reflected Ceiling Plan Toilet/Pet Wash Shelter

A1.1A Scale: 1/4" = 1'-0"



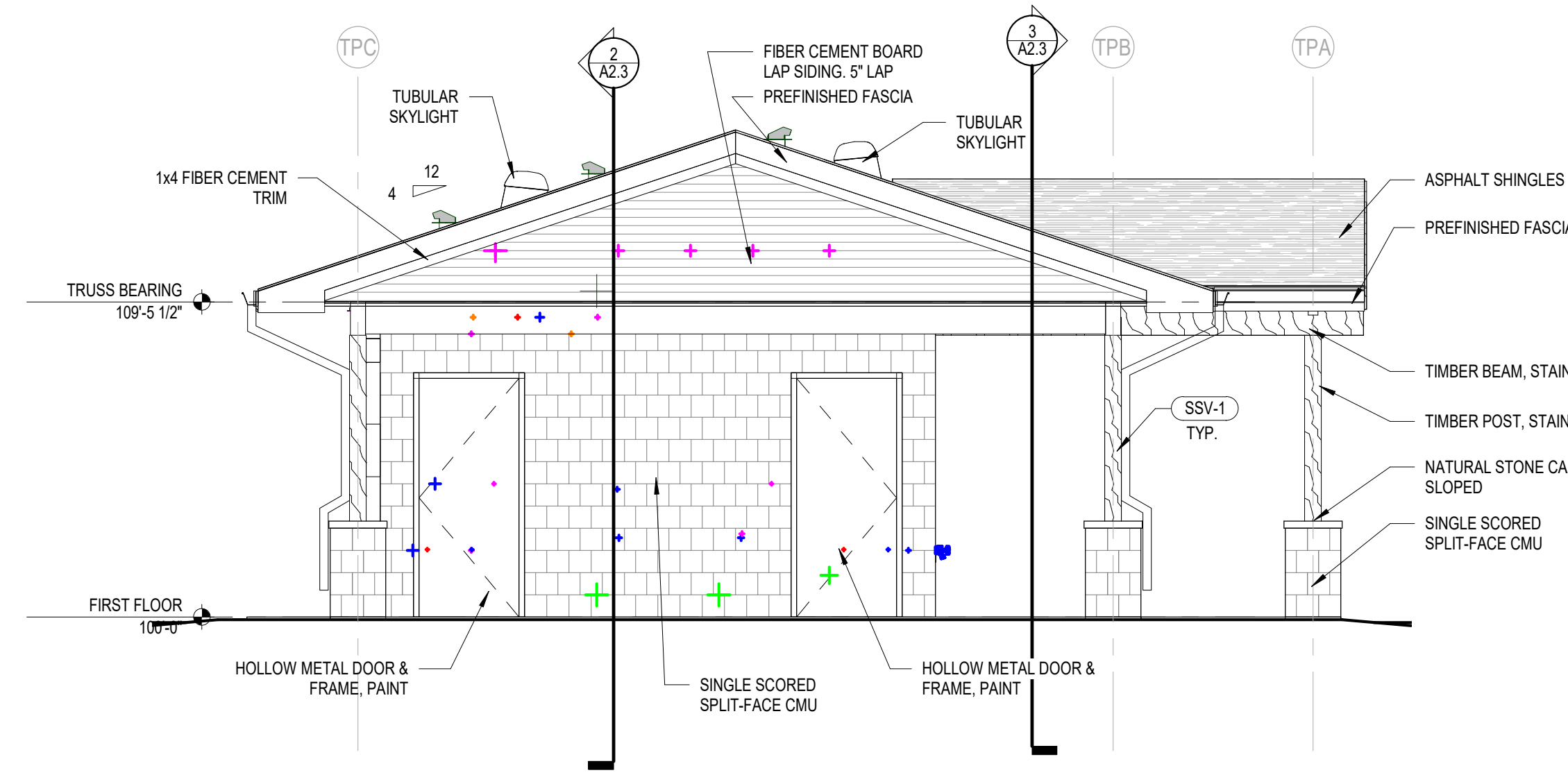
4 Toilet/Pet Wash Shelter Front Elevation

A1.1A Scale: 1/4" = 1'-0"



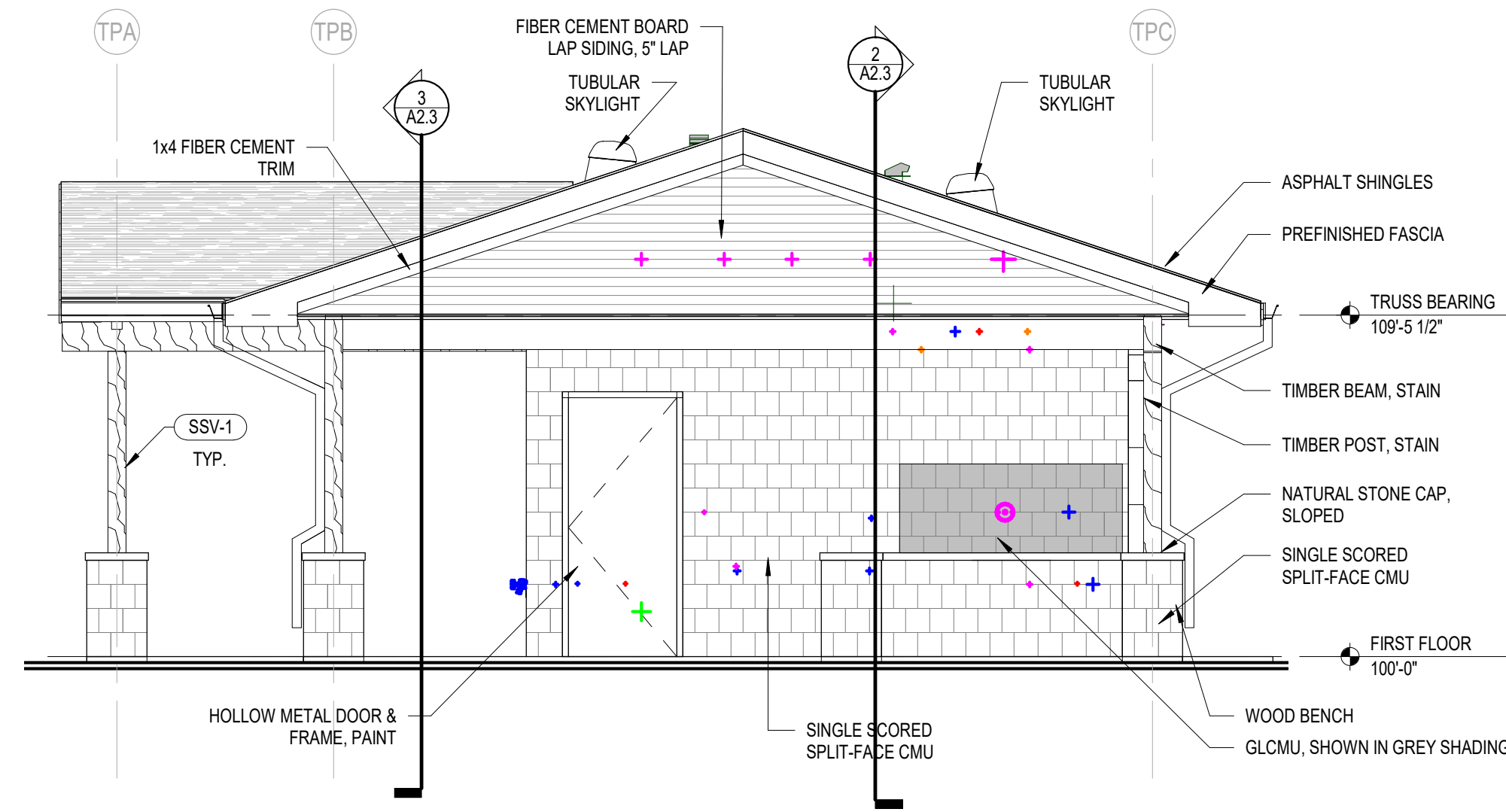
2 Toilet/Pet Wash Shelter Roof Plan

A1.1A Scale: 1/4" = 1'-0"



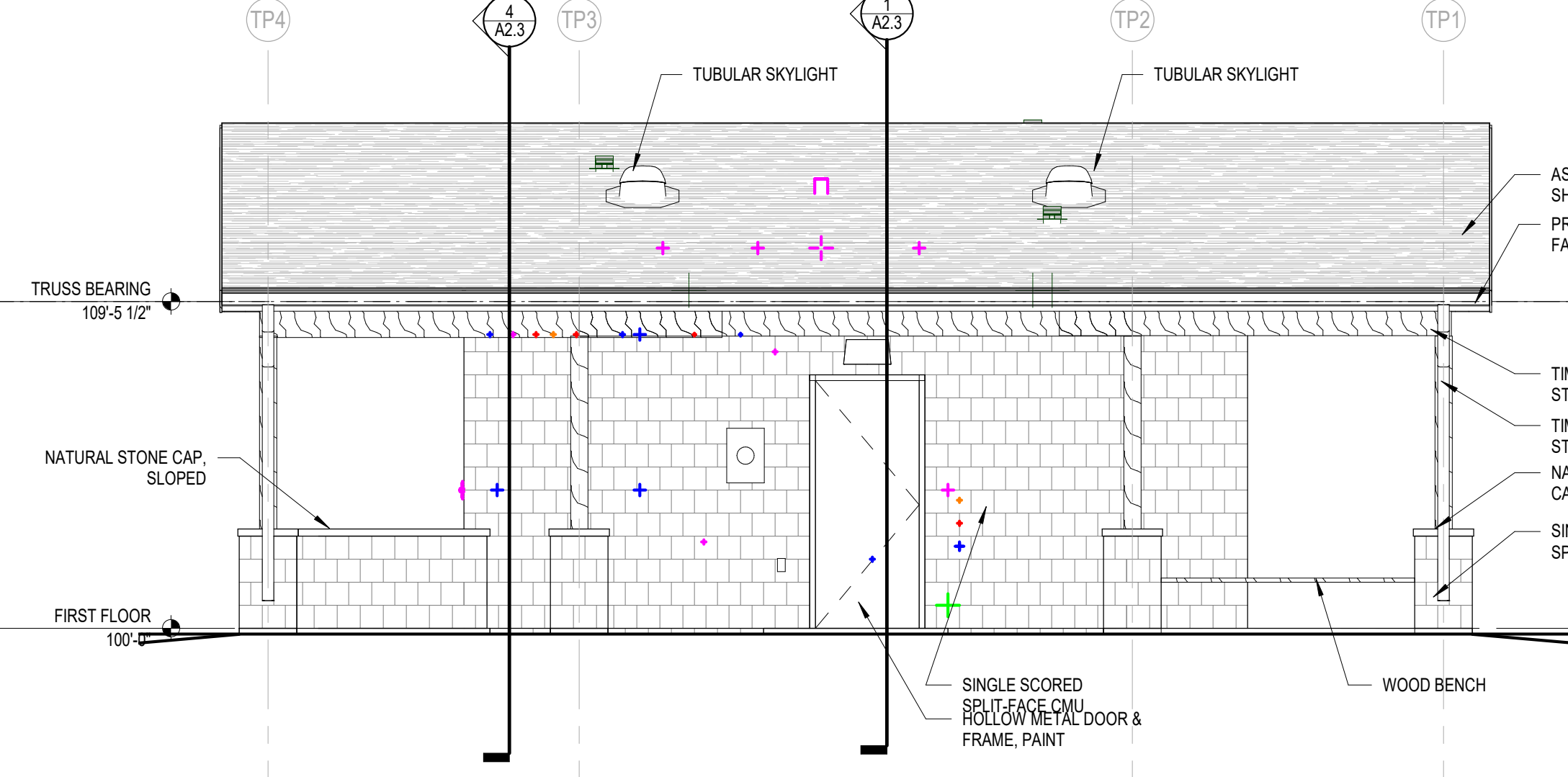
7 Toilet/Pet Wash Shelter Side Elevation B

A1.1A Scale: 1/4" = 1'-0"



5 Toilet/Pet Wash Shelter Side Elevation A

A1.1A Scale: 1/4" = 1'-0"



6 Toilet/Pet Wash Shelter Rear Elevation

A1.1A Scale: 1/4" = 1'-0"

KEYNOTE LEGEND

SSV-1	WOOD STAIN - SEE INTERIOR FINISH LEGEND
TA-1	TOILET PAPER DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-4	LIQUID SOAP DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-5	ELECTRIC HAND DRYER - FURNISHED BY ELEC. CONTRACTOR, INSTALLED BY ELEC. CONTRACTOR
TA-6	42" x 36" 18"V GRAB BAR SET - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-8	BABY CHANGING STATION - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-12	MIRROR - SEE INTERIOR ELEVATION FOR SIZE - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-14	ROBE HOOK - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR

GENERAL NOTES

- DO NOT SCALE FROM DRAWINGS.
- EXISTING CONDITIONS: EXISTING CONDITIONS SHOWN ON DRAWINGS REPRESENT CURRENT BUILDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR REVIEW. WORK DONE WITHOUT RESOLUTION OF DISCREPANCIES MUST BE REDONE AT THE REQUEST OF THE ARCHITECT AT NO ADDITIONAL COST TO THE CONTRACT.
- REFER TO SHEET G0.2 FOR WALL TYPES.
- REFER TO SHEET G0.2 FOR TYPICAL MOUNTING HEIGHTS. REFER TO INTERIOR ELEVATION SHEET FOR ROOM SPECIFIC FIXTURE MOUNTING HEIGHTS.
- REFER TO SHEET A9.0 FOR FLOOR TRANSITION DETAILS.
- REFER TO SHEET A9.0 FOR TYPICAL FLOOR/BASE CONDITIONS.
- CMU WALLS ARE DIMENSIONED TO FACE OF WALL.
- HOUSEKEEPING PADS BY GENERAL CONTRACTOR. SEE PLUMBING DRAWINGS FOR LOCATIONS.
- PITCH ALL CONCRETE STOOPS AND APRONS 1/4" PER FOOT AWAY FROM BUILDING.
- SLOPE ALL INTERIOR FLOOR SLABS TO DRAINS, MINIMUM 1/4" PER FOOT.

ROOF PLAN LEGEND & NOTES

ROOF TYPE 1 (RT-1):	- ASPHALT SHINGLES - SYNTHETIC UNDERLAYMENT 5/8" PLYWOOD SHEATHING
ROOF TYPE 2 (RT-2):	- ASPHALT SHINGLES - SYNTHETIC UNDERLAYMENT - EXISTING PLYWOOD SHEATHING
ROOF TYPE 3 (RT-3):	- ASPHALT SHINGLES - SYNTHETIC UNDERLAYMENT 5/8" PLYWOOD SHEATHING 2X6 T&G WOOD DECKING 4:12 SLOPE
ROOF TYPE 4 (RT-4):	- ASPHALT SHINGLES - SYNTHETIC UNDERLAYMENT 5/8" PLYWOOD SHEATHING 2X6 T&G WOOD DECKING 3:12 SLOPE

- NOT ALL ROOF PENETRATIONS ARE SHOWN. ROOFING CONTRACTOR TO VERIFY PENETRATIONS WITH ALL BUILDING TRADES.
- SEE PLUMBING AND HVAC DRAWINGS FOR SIZES, QUANTITIES, LOCATIONS AND TYPES OF ROOF PENETRATIONS.

GENERAL CEILING PLAN NOTES

	MOO PLYWOOD CEILING
	EXISTING GYP. BOARD CEILING

- ALL CEILINGS AND SOFFITS TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE. WHERE A PAINT COLOR IS INDICATED, PAINT THE BOTTOM AND FACE OF THE SOFFIT THE COLOR INDICATED.
- COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL THE EXACT LOCATIONS OF CEILING FIXTURES, HVAC EQUIPMENT, ETC. CONSULT WITH ARCHITECT REGARDING ANY DISCREPANCIES.
- SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR CEILING MOUNTED DEVICE SYMBOL LEGEND.

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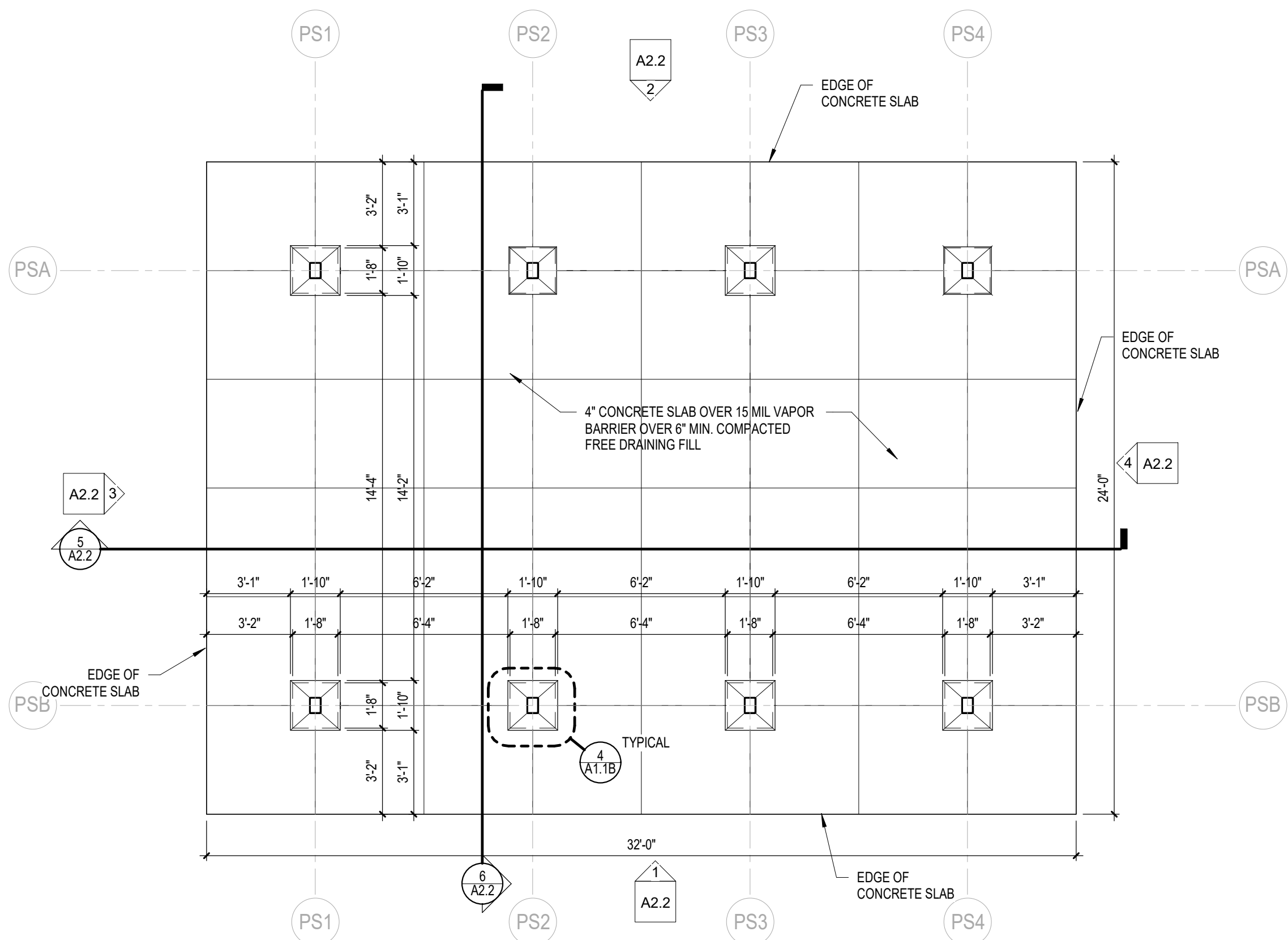
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Sheet Title:

Toilet/Dog Wash Shelter Plans & Elevations

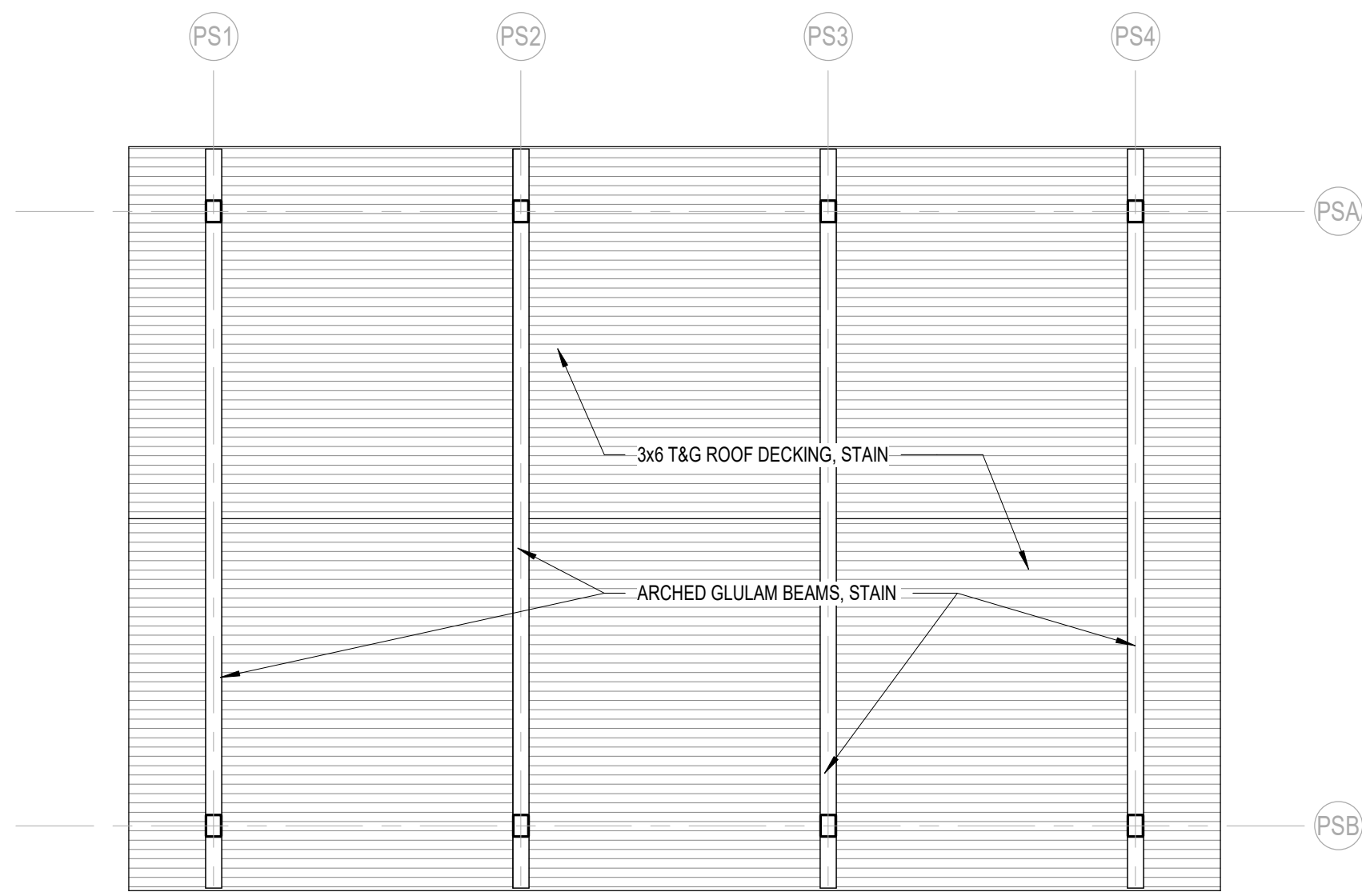
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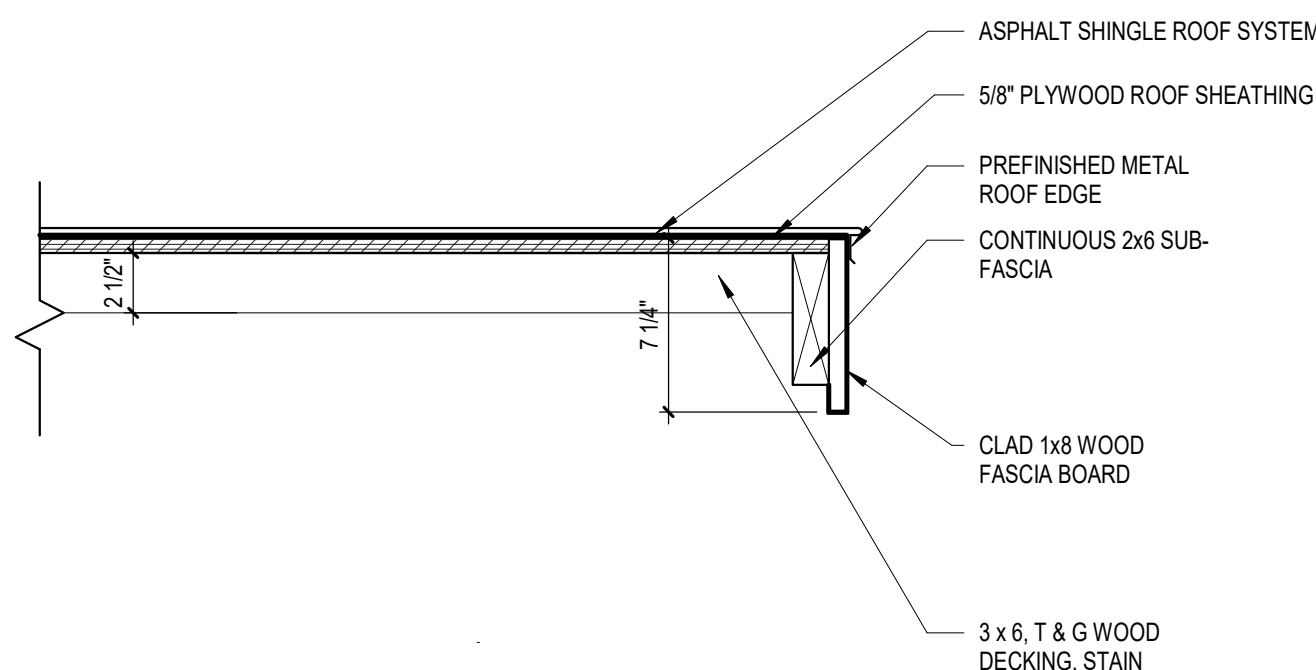
1 Open Park Shelter Floor Plan

A1.1B Scale: 1/4" = 1'-0"



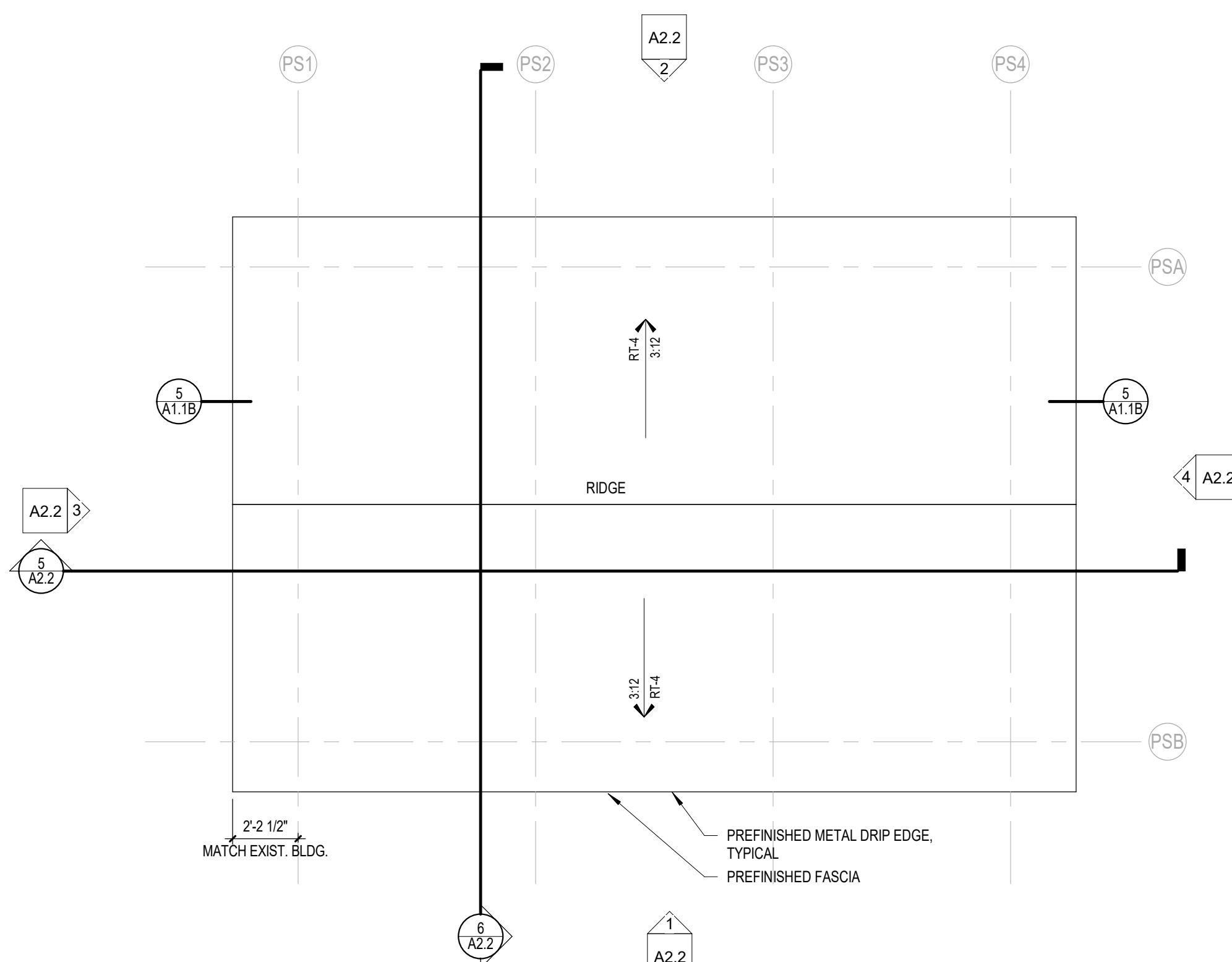
3 Reflected Ceiling Plan Open Shelter

A1.1B Scale: 1/4" = 1'-0"



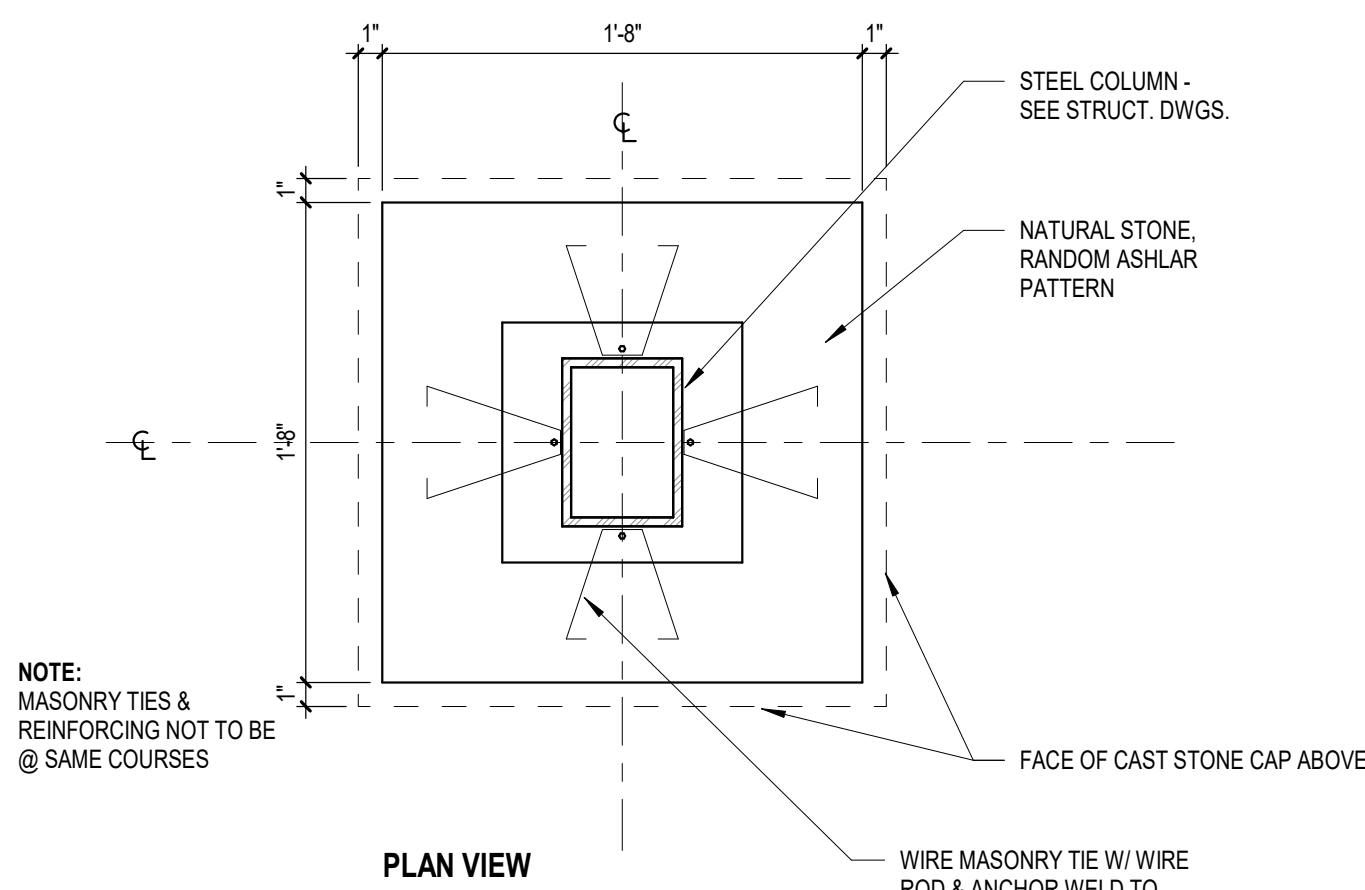
5 Gable End at Open Air Park Shelter

A1.1B Scale: 1 1/2" = 1'-0"



2 Open Shelter Roof Plan

A1.1B Scale: 1/4" = 1'-0"



4 Stone Pier Detail

A1.1B Scale: 1 1/2" = 1'-0"

ROOF PLAN LEGEND & NOTES

- ROOF TYPE 1 (RT-1):
- ASPHALT SHINGLES
 - SYNTHETIC UNDERLAYMENT
 - 5/8" PLYWOOD SHEATHING
- ROOF TYPE 2 (RT-2):
- ASPHALT SHINGLES
 - SYNTHETIC UNDERLAYMENT
 - EXISTING PLYWOOD SHEATHING
- ROOF TYPE 3 (RT-3):
- ASPHALT SHINGLES
 - SYNTHETIC UNDERLAYMENT
 - 5/8" PLYWOOD SHEATHING
 - 2X6 T&G WOOD DECKING
 - 4:12 SLOPE
- ROOF TYPE 4 (RT-4):
- ASPHALT SHINGLES
 - SYNTHETIC UNDERLAYMENT
 - 5/8" PLYWOOD SHEATHING
 - 2X6 T&G WOOD DECKING
 - 3:12 SLOPE
1. NOT ALL ROOF PENETRATIONS ARE SHOWN, ROOFING CONTRACTOR TO VERIFY PENETRATIONS WITH ALL BUILDING TRADERS.
2. SEE PLUMBING AND HVAC DRAWINGS FOR SIZES, QUANTITIES, LOCATIONS AND TYPES OF ROOF PENETRATIONS.

GENERAL NOTES

1. DO NOT SCALE FROM DRAWINGS.
2. EXISTING CONDITIONS: EXISTING CONDITIONS SHOWN ON DRAWINGS REPRESENT CURRENT BUILDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR REVIEW. WORK DONE WITHOUT RESOLUTION OF DISCREPANCIES MUST BE REDONE AT THE REQUEST OF THE ARCHITECT AT NO ADDITIONAL COST TO THE CONTRACT.
3. REFER TO SHEET G0.2 FOR WALL TYPES.
4. REFER TO SHEET G0.2 FOR TYPICAL MOUNTING HEIGHTS. REFER TO INTERIOR ELEVATION SHEET FOR ROOM SPECIFIC FIXTURE MOUNTING HEIGHTS.
5. REFER TO SHEET A9.0 FOR FLOOR TRANSITION DETAILS.
6. REFER TO SHEET A9.0 FOR TYPICAL FLOOR/BASE CONDITIONS.
7. CMU WALLS ARE DIMENSIONED TO FACE OF WALL.
8. HOUSEKEEPING PADS BY GENERAL CONTRACTOR. SEE PLUMBING DRAWINGS FOR LOCATIONS.
9. PITCH ALL CONCRETE STOOPS AND APRONS 1/4" PER FOOT AWAY FROM BUILDING.
10. SLOPE ALL INTERIOR FLOOR SLABS TO DRAINS, MINIMUM 1/4" PER FOOT.



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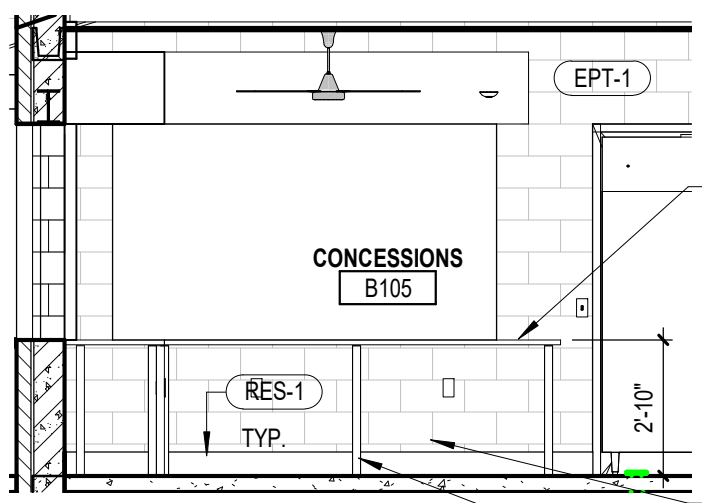
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Open Shelter Plans and Details

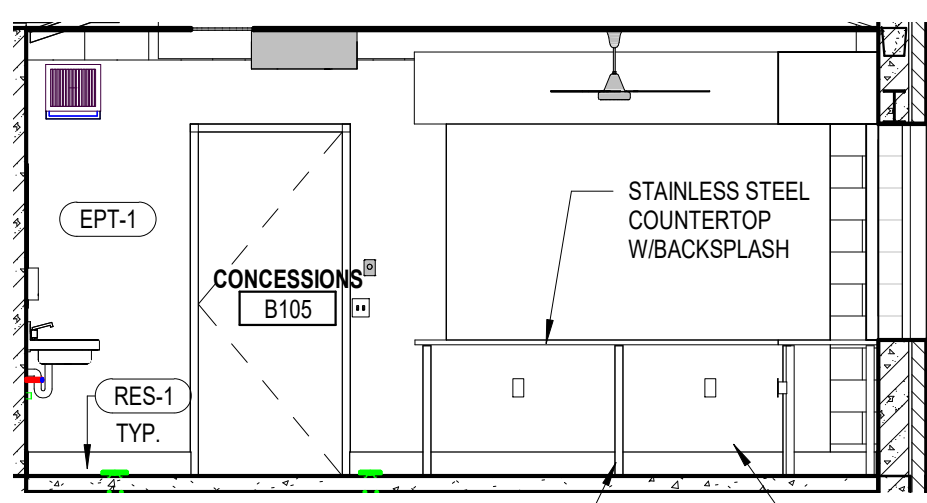
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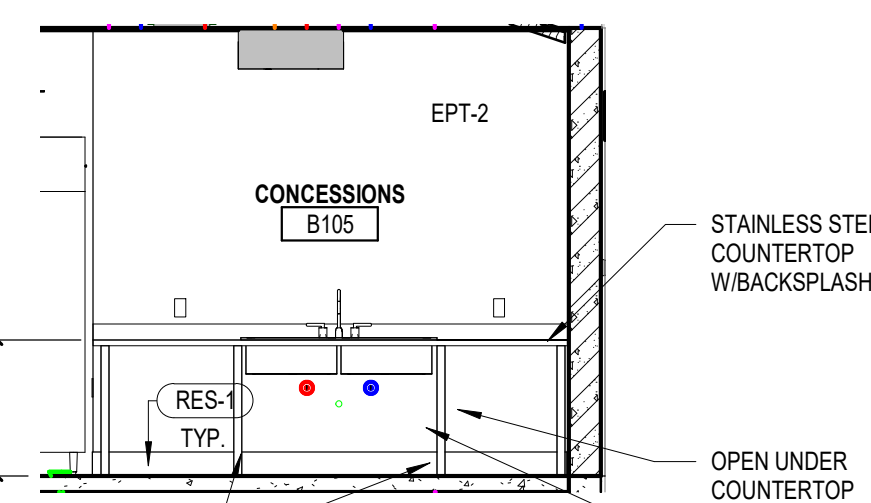
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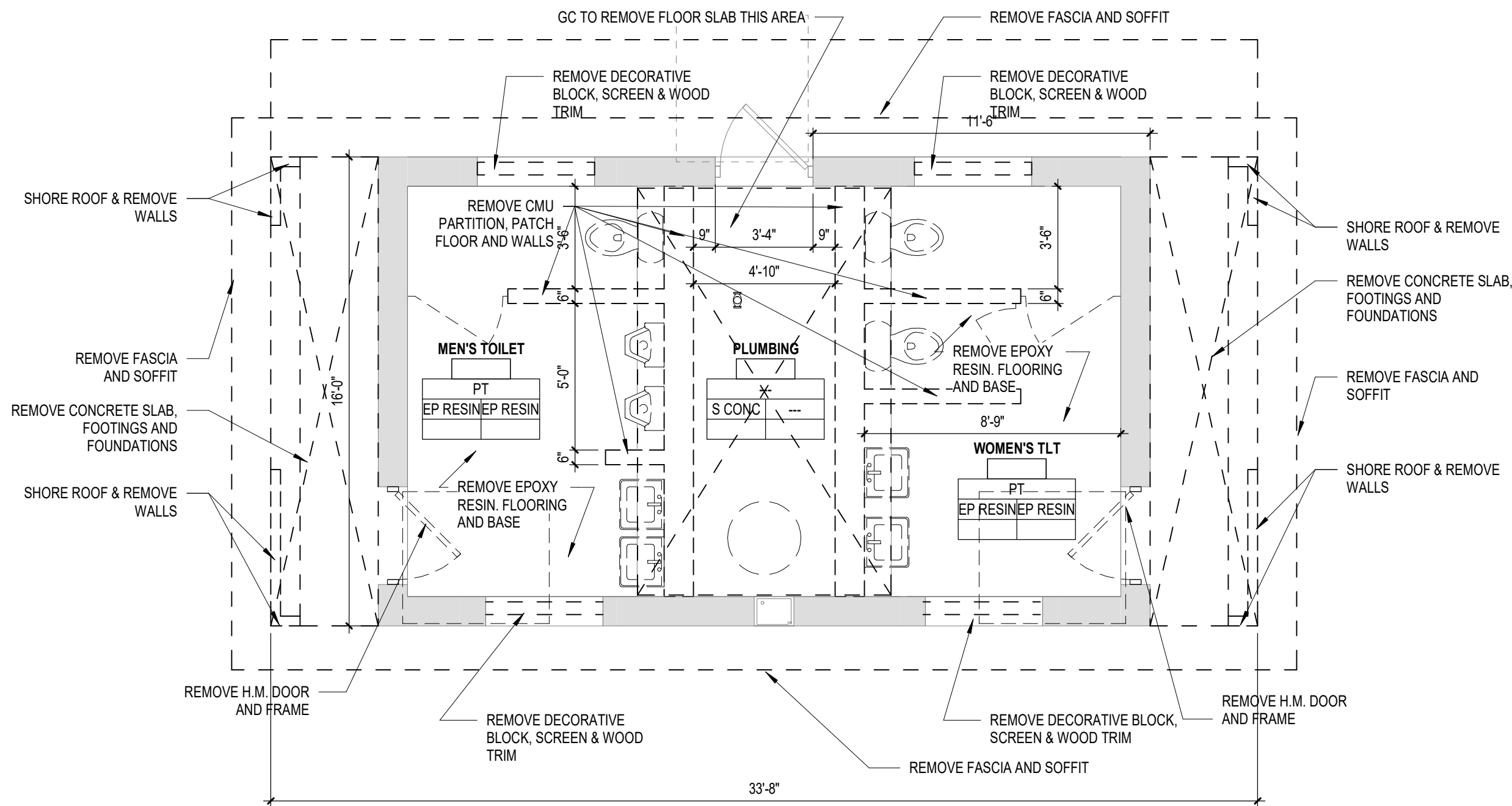
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A1.1C Scale: 1/4" = 1'-0"



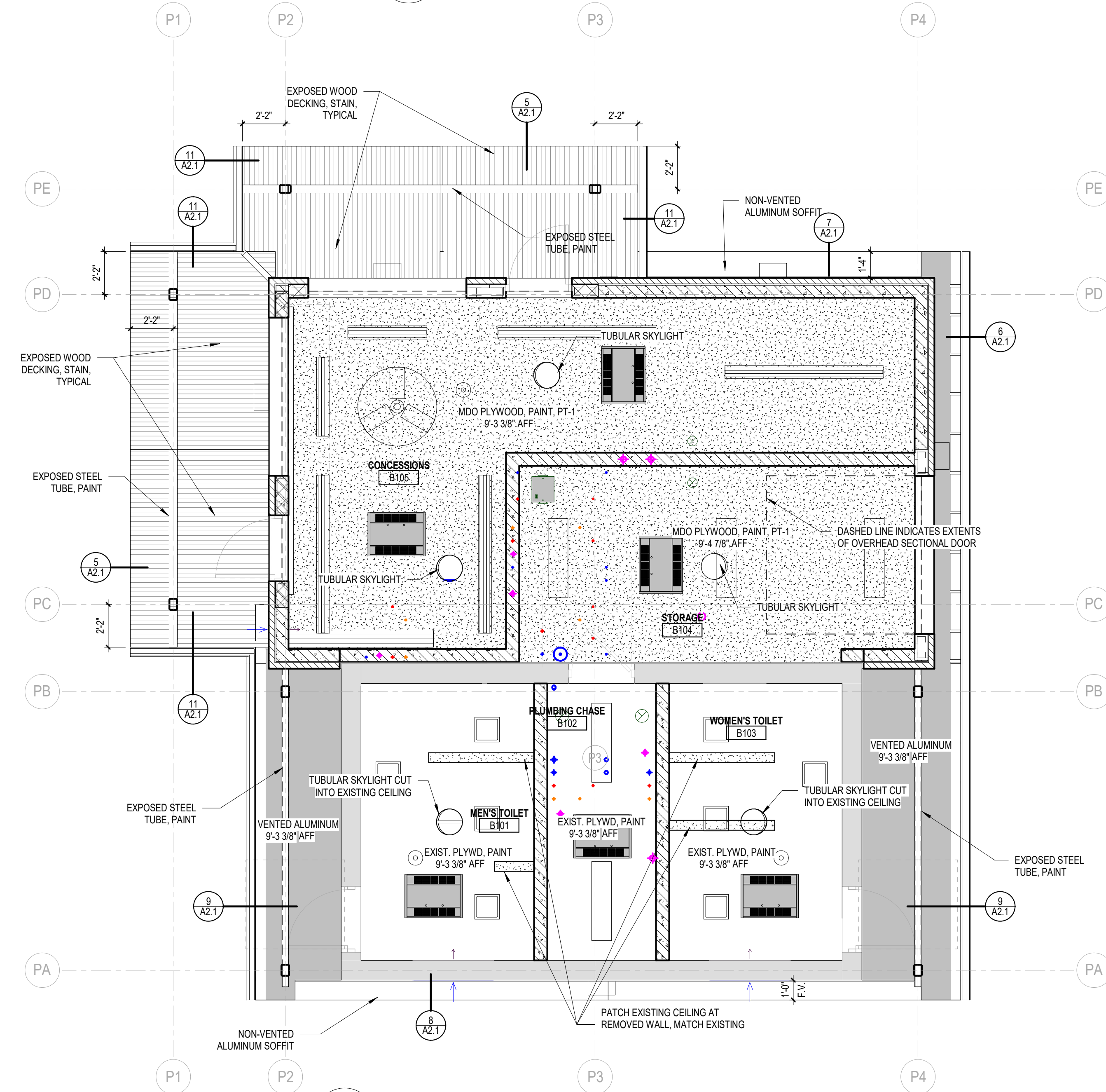
6 B105 - Concessions B
A1.1C Scale: 1/4" = 1'-0"



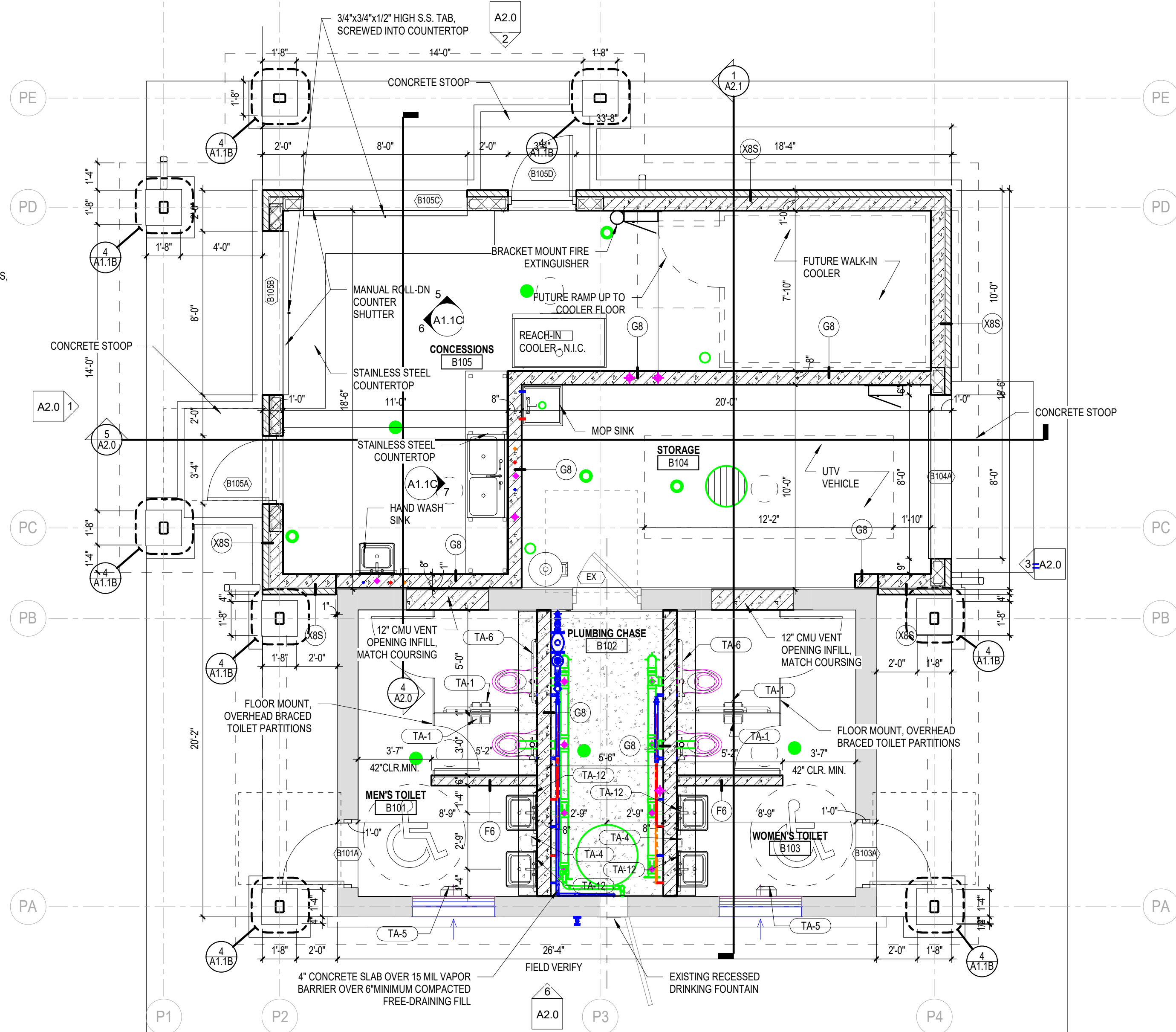
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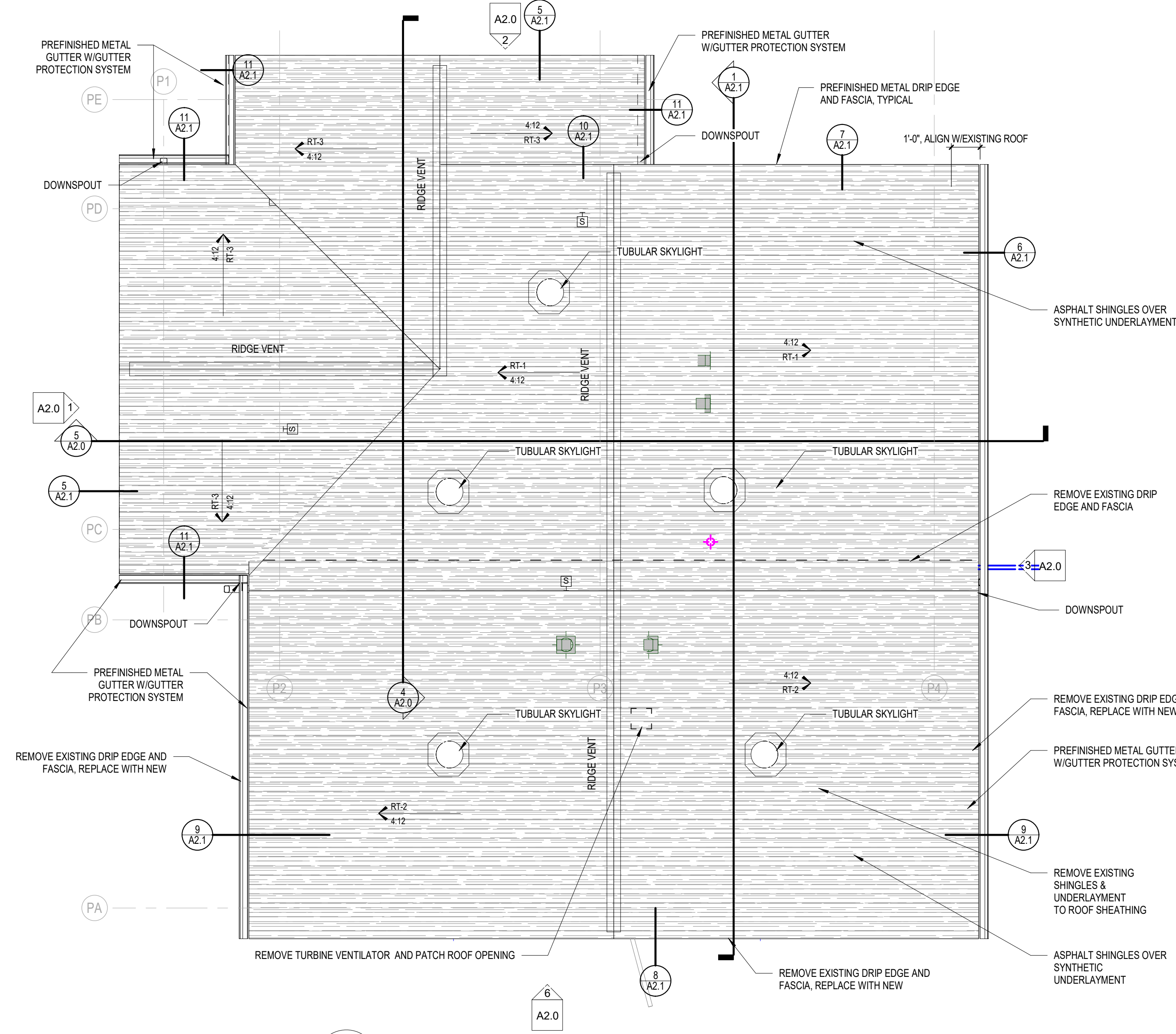
1 Pavilion Addition Demolition Plan
A1.1C Scale: 1/4" = 1'-0"



3 Reflected Ceiling Plan Pavilion Addition
A1.1C Scale: 1/4" = 1'-0"



2 Pavilion Addition Floor Plan
A1.1C Scale: 1/4" = 1'-0"



4 Pavilion Addition Roof Plan
A1.1C Scale: 1/4" = 1'-0"

GENERAL DEMOLITION NOTES

EXISTING ROOM TAG LEGEND:

EXISTING ROOM NAME	EXISTING WALL FINISHES	EXISTING WALL BASE TYPE	EXISTING CEILING HEIGHT
EX. RM #			

- OWNER IS RESPONSIBLE FOR REMOVAL OF ALL LOOSE FURNISHINGS PRIOR TO GENERAL DEMOLITION. ALL ITEMS INCLUDING DOORS, DOOR HARDWARE, CEILING TILES CONSIDERED SALVAGEABLE SHALL ALSO BE REMOVED BY THE OWNER PRIOR TO GENERAL DEMOLITION.
- REMOVE ALL APPLIED FINISHES AND PREPARE SUBSTRATE FOR NEW FINISHES. SEE ROOM FINISH SCHEDULE FOR FINISHES.
- EXISTING CONDITIONS: EXISTING CONDITIONS SHOWN ON DRAWINGS REPRESENT CURRENT BUILDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR REVIEW. WORK DONE WITHOUT RESOLUTION OF DISCREPANCIES MUST BE REDONE AT THE REQUEST OF THE ARCHITECT AT NO ADDITIONAL COST TO THE CONTRACT.
- UNLESS NOTED OTHERWISE, PATCH ALL FLOORS, BASE, WALLS AND CEILINGS AT EXPOSED AREAS AFFECTED BY DEMOLITION REGARDLESS OF TRADE DOING THE DEMOLITION WORK. PATCH TO MATCH ADJACENT EXISTING CONSTRUCTION WHERE SPECIFIC INFORMATION IS NOT NOTED OR SCHEDULED. REFER TO ROOM FINISH SCHEDULE.
- DISPOSE OF ALL BUILDING MATERIAL IN LAWFUL MANNER.
- SEE FLOOR PLANS, ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL DEMOLITION INFORMATION WHICH MAY NOT BE INDICATED ON DEMOLITION PLANS AND TO COORDINATE EXTENT OF DEMOLITION REQUIRED.
- SEE PROJECT MANUAL AND PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR ANY REQUIRED DEMOLITION OF PLUMBING, HVAC AND ELECTRICAL EQUIPMENT/MATERIALS PERFORMED BY THOSE TRADES.

KEYNOTE LEGEND

EPT-1	EPoxy PAINT
RES-1	RESINOUS FLOOR
TA-1	TOILET PAPER DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-4	LIQUID SOAP DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-5	ELECTRIC HAND DRYER - FURNISHED BY ELEC. CONTRACTOR, INSTALLED BY ELEC. CONTRACTOR
TA-6	42" 36" 18V GRAB BAR SET - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-12	MIRROR - SEE INTERIOR ELEVATION FOR SIZE - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR

GENERAL CEILING PLAN NOTES

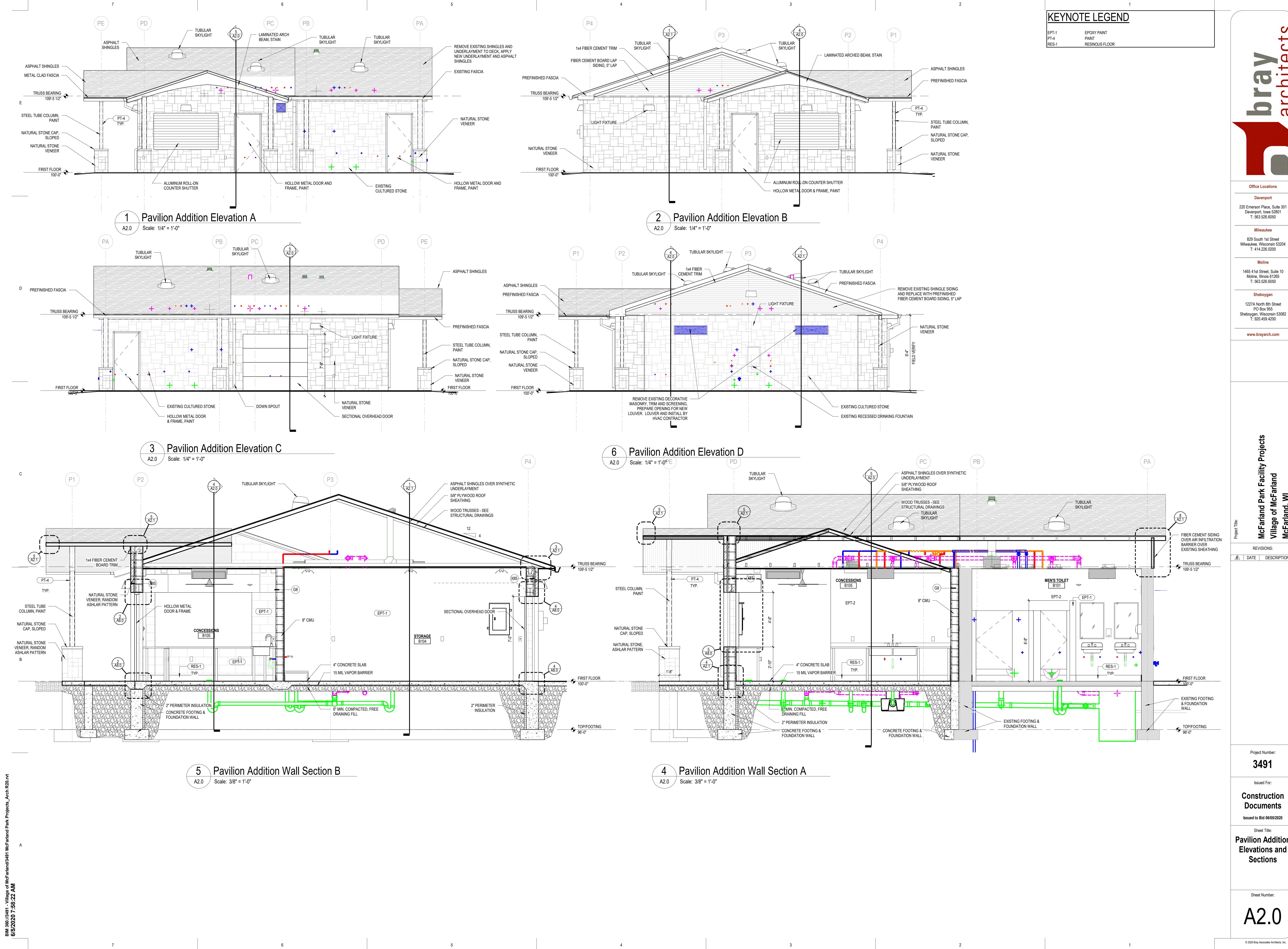
MDO PLW WOOD CEILING	EXISTING GYP. BOARD CEILING
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- ALL CEILINGS AND SOFFITS TO BE PAINTED PT-1 UNLESS NOTED OTHERWISE. WHERE A PAINT COLOR IS INDICATED, PAINT THE BOTTOM AND FACE OF THE SOFFIT THE COLOR INDICATED.
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- SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR CEILING MOUNTED DEVICE SYMBOL LEGEND.

ROOF PLAN LEGEND & NOTES

ROOF TYPE 1 (RT-1):	• ASPHALT SHINGLES • SYNTHETIC UNDERLAYMENT • 5/8" PLYWOOD SHEATHING
ROOF TYPE 2 (RT-2):	• ASPHALT SHINGLES • SYNTHETIC UNDERLAYMENT • EXISTING PLYWOOD SHEATHING
ROOF TYPE 3 (RT-3):	• ASPHALT SHINGLES • SYNTHETIC UNDERLAYMENT • 5/8" PLYWOOD SHEATHING • 2X6 T&G WOOD DECKING • 4:12 SLOPE
ROOF TYPE 4 (RT-4):	• ASPHALT SHINGLES • SYNTHETIC UNDERLAYMENT • 5/8" PLYWOOD SHEATHING • 2X6 T&G WOOD DECKING • 3:12 SLOPE

- NOT ALL ROOF PENETRATIONS ARE SHOWN. ROOFING CONTRACTOR TO VERIFY PENETRATIONS WITH ALL BUILDING TRADES.
- SEE PLUMBING AND HVAC DRAWINGS FOR SIZES, QUANTITIES, LOCATIONS AND TYPES OF ROOF PENETRATIONS.



KEYNOTE LEGEND	
EPT-1	EPOXY PAINT
PT-4	PAINT
RES-1	RESINOUS FLOOR



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Village of McFarland
McFarland, WI

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Sheet Title:

Pavilion Addition Elevations and Sections

Sheet Number:

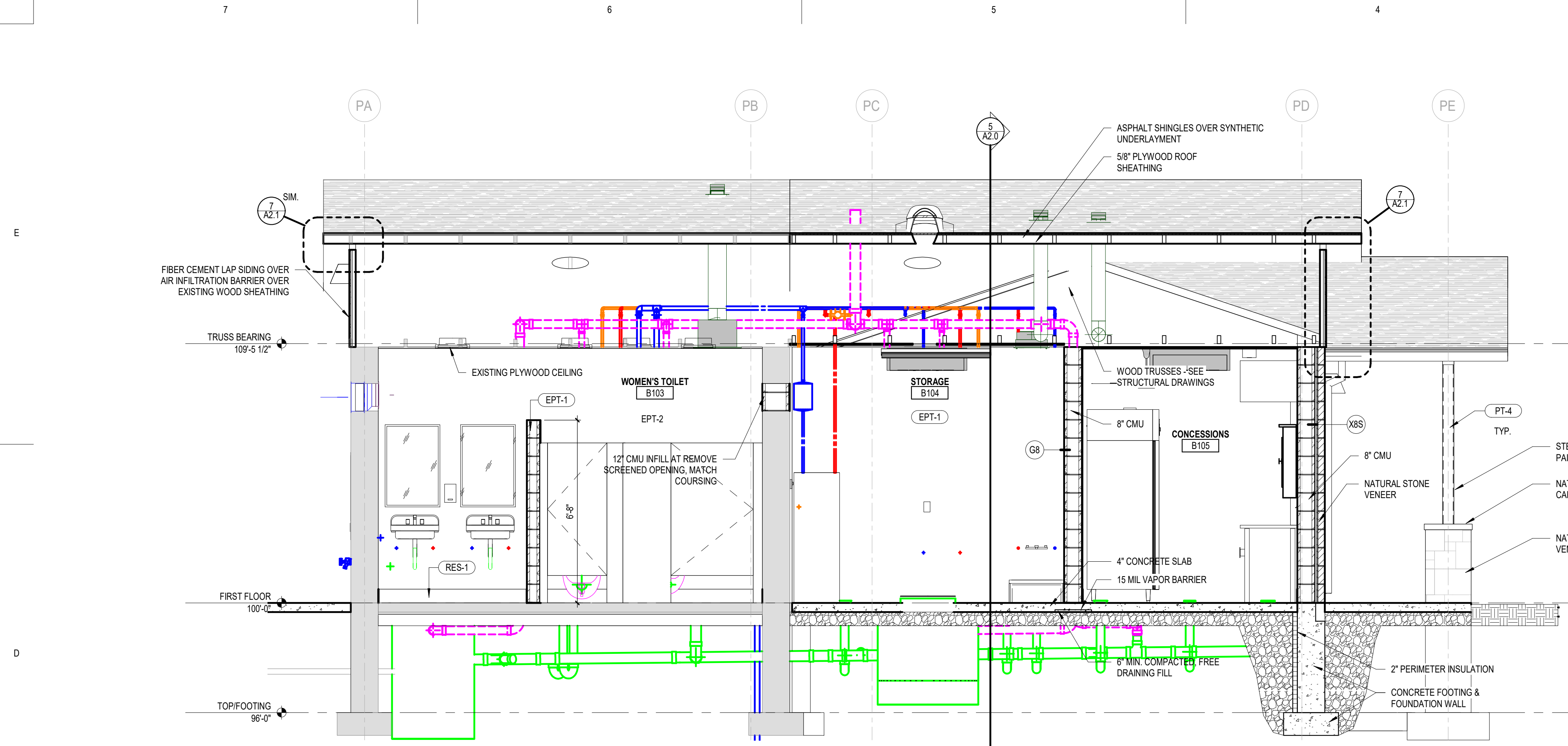
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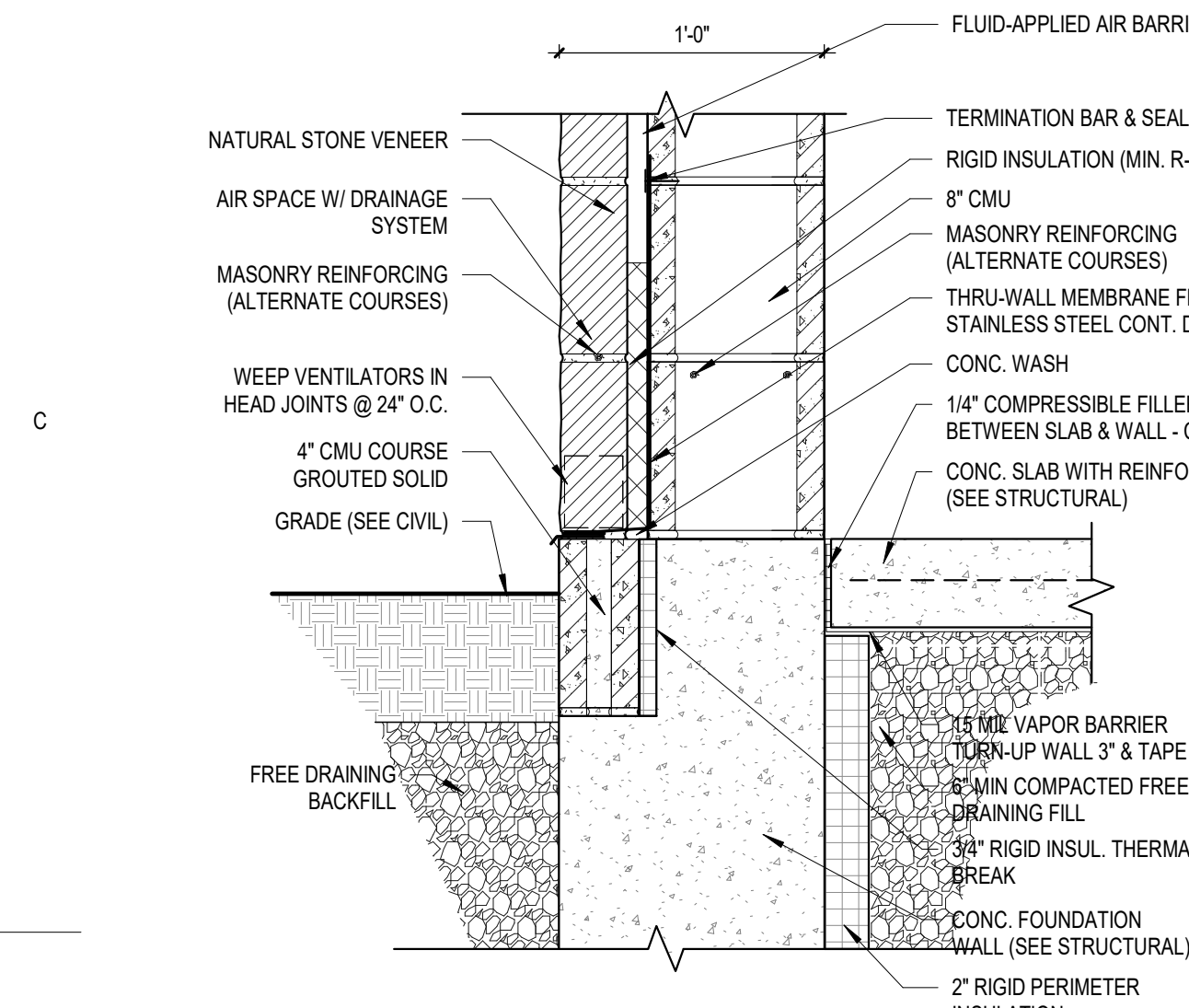
Page 31 of 63

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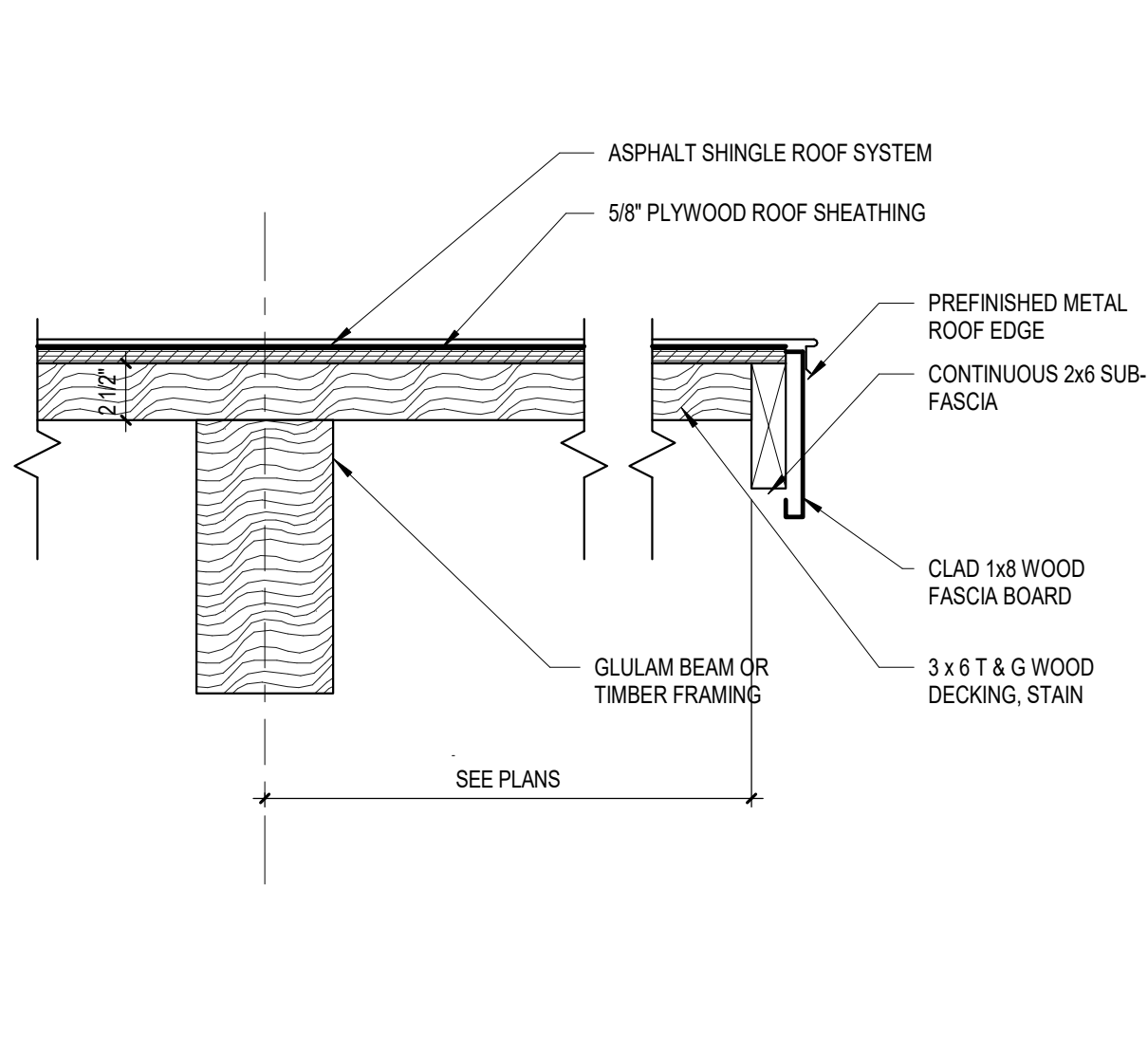
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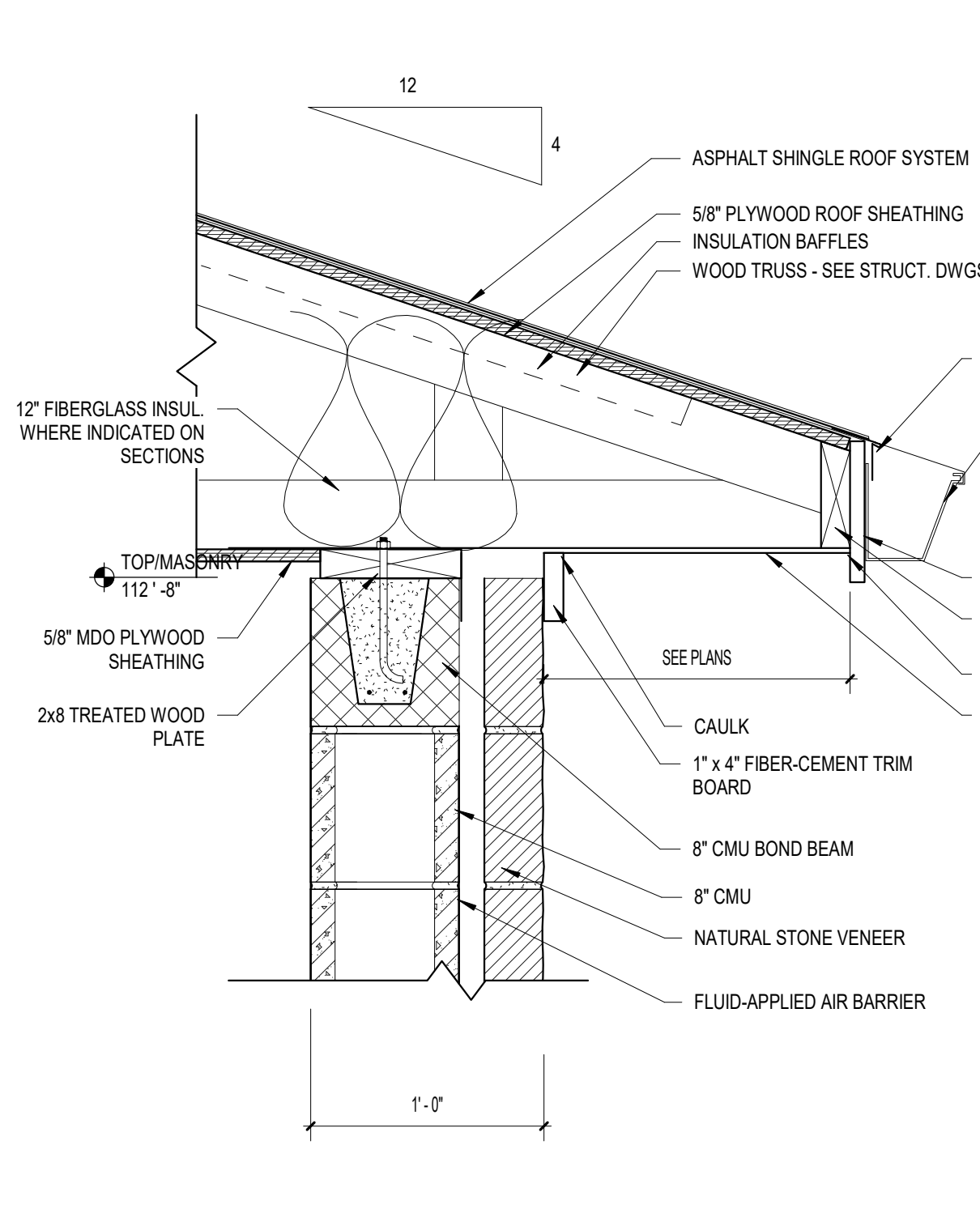
1 Pavilion Addition Wall Section C
A2.1 Scale: 3/8" = 1'-0"



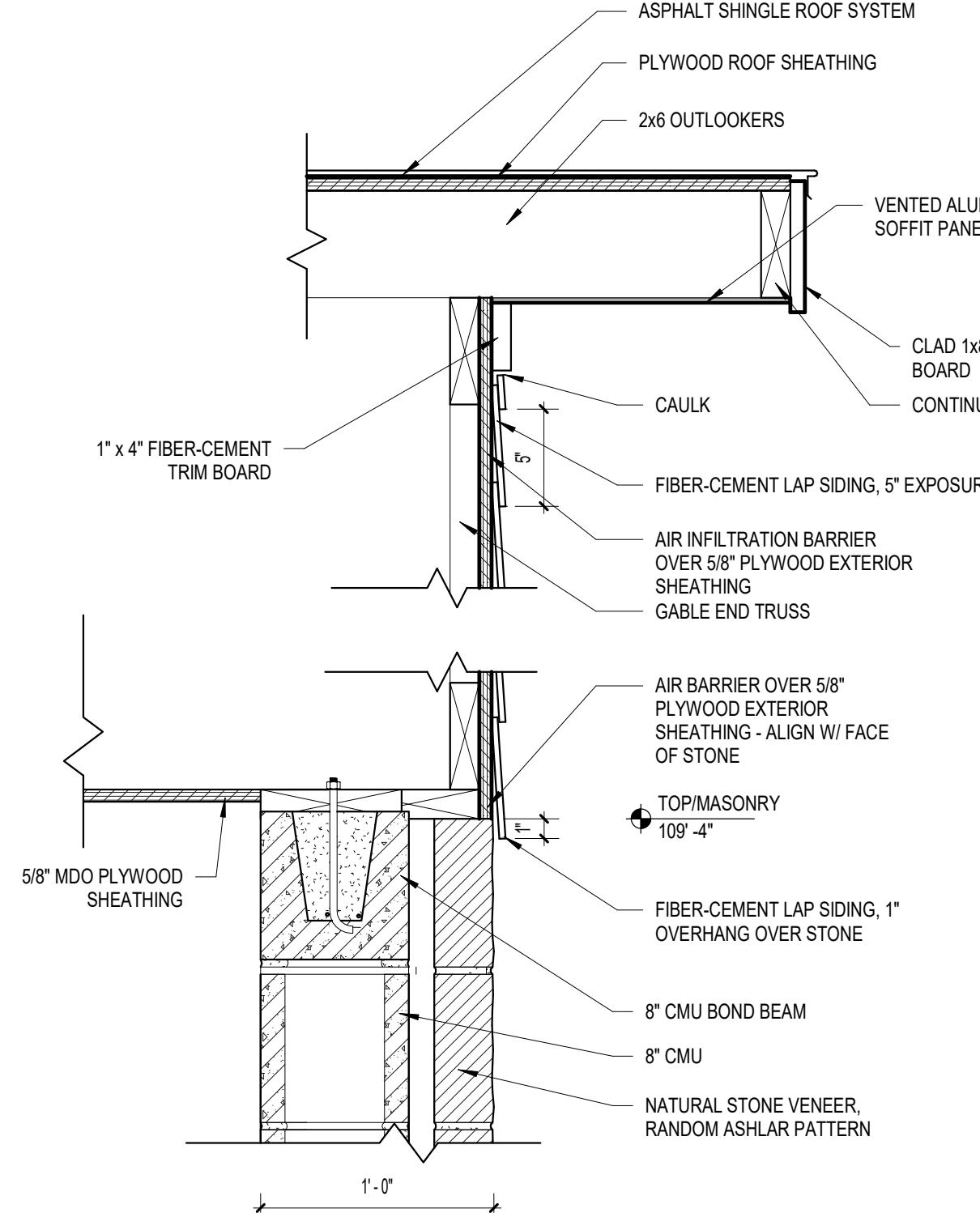
4 Floor to Exterior Wall
A2.1 Scale: 1 1/2" = 1'-0"



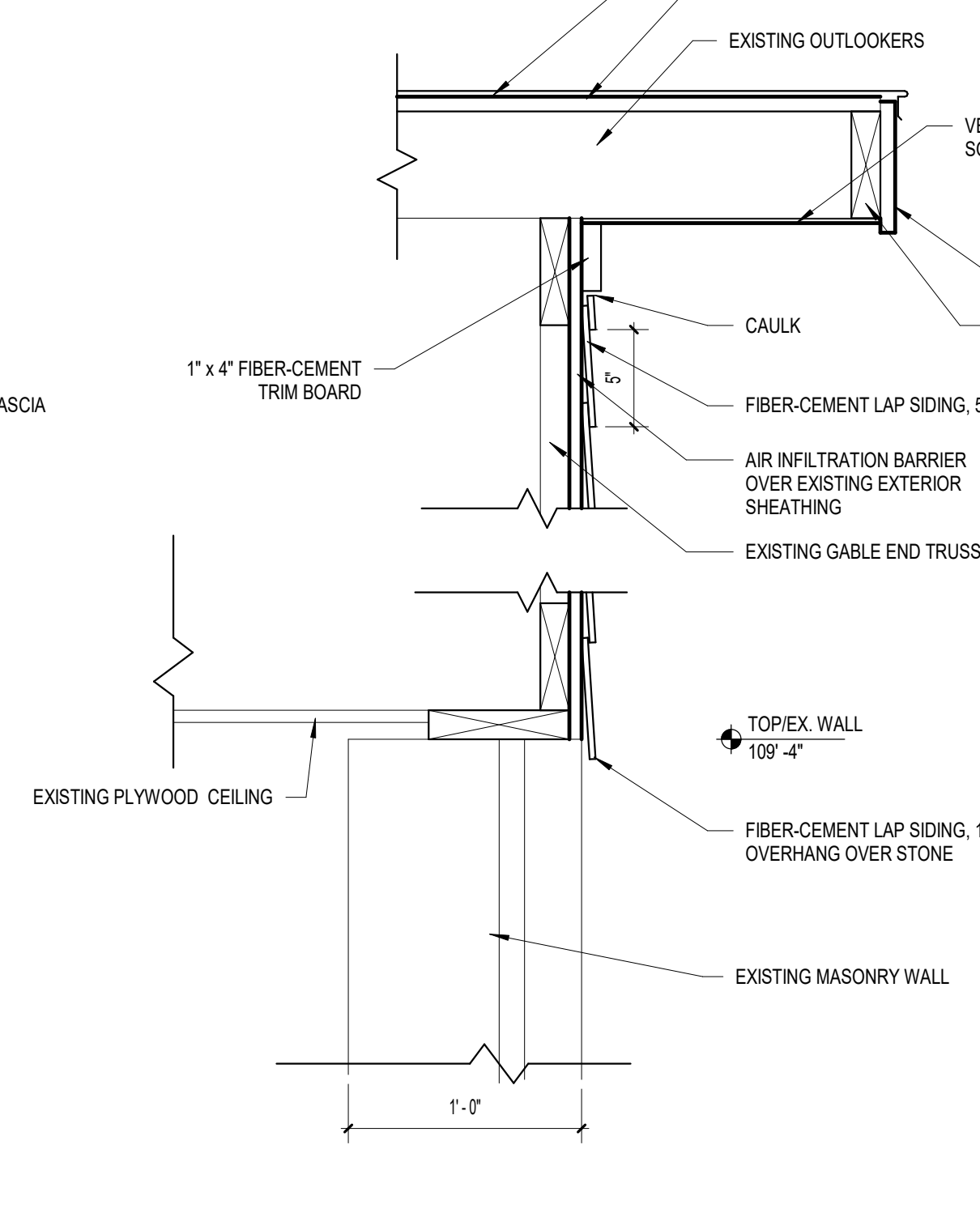
5 Gable End at Exposed Deck
A2.1 Scale: 1 1/2" = 1'-0"



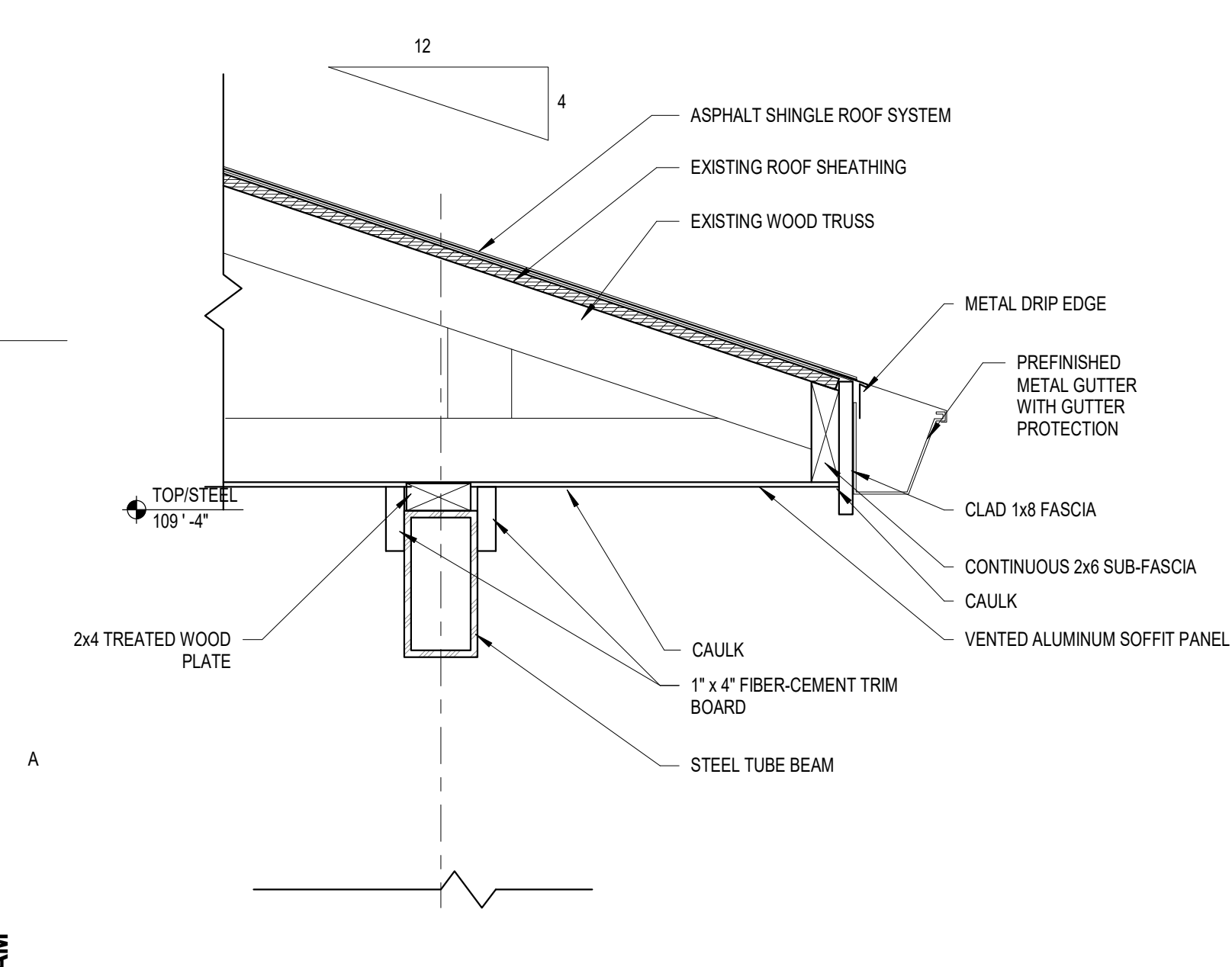
6 Soffit Overhang @ CMU/Stone
A2.1 Scale: 1 1/2" = 1'-0"



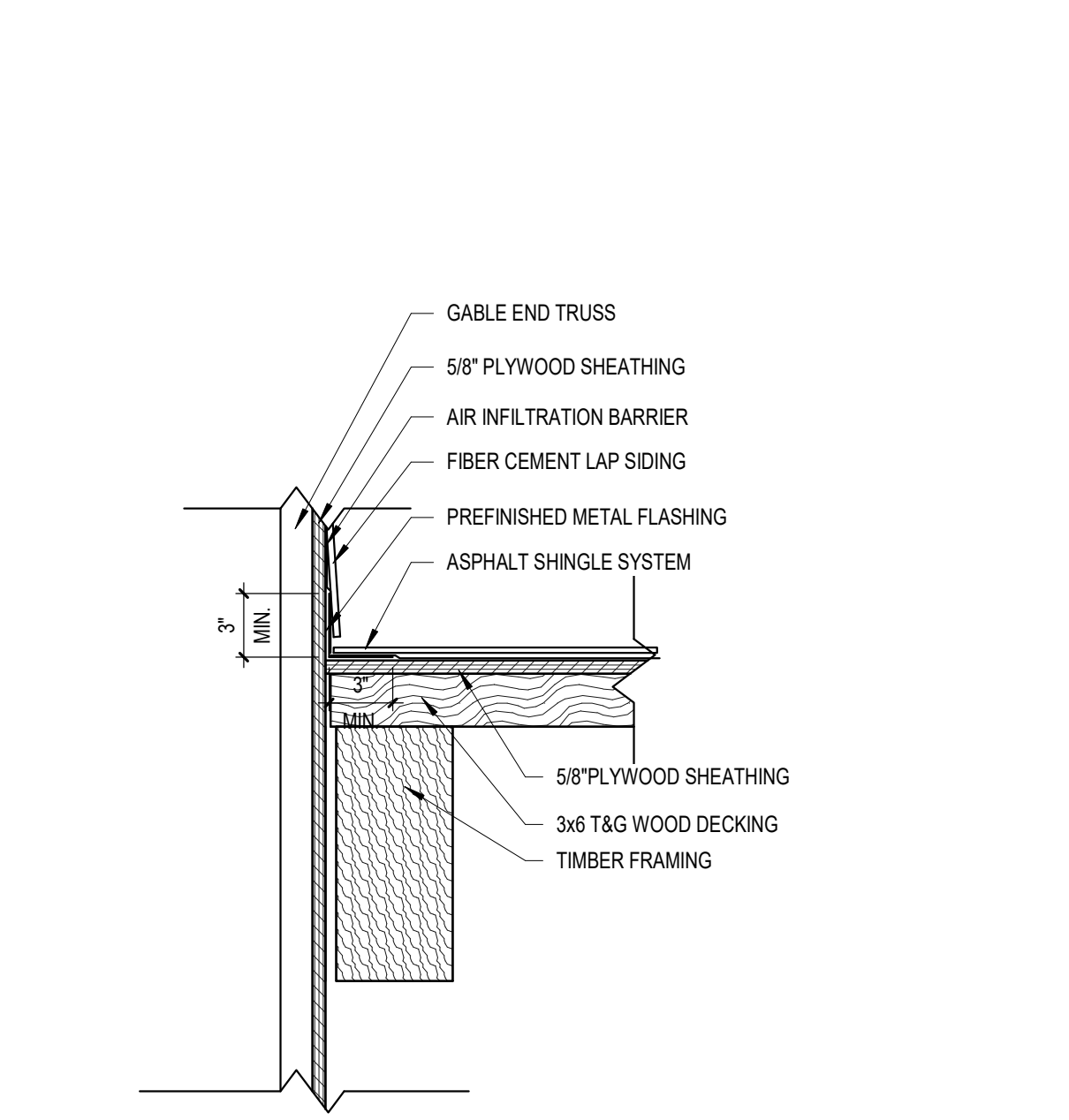
7 Gable End Overhang @ CMU/Stone
A2.1 Scale: 1 1/2" = 1'-0"



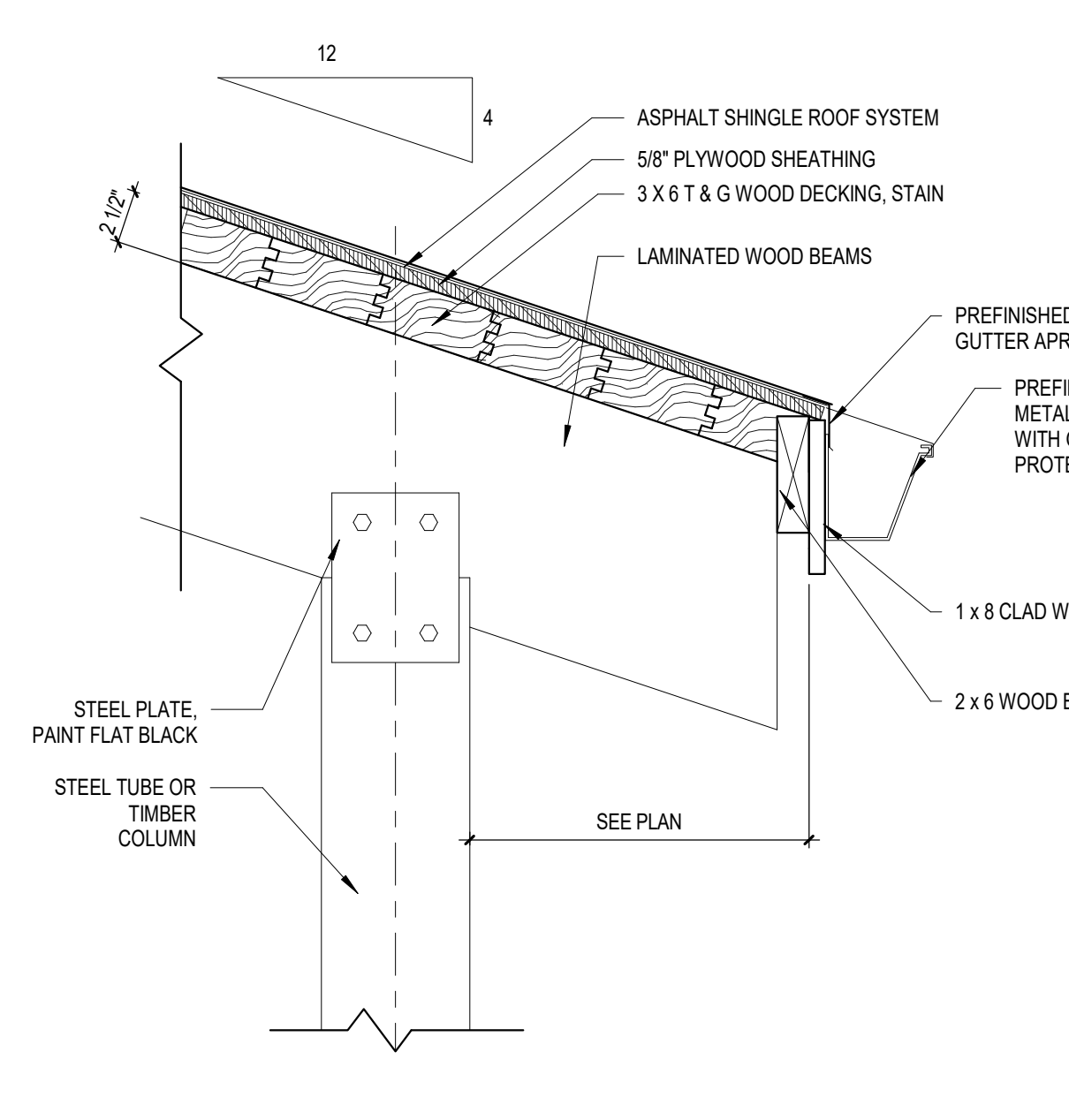
8 Gable End Overhang @ Existing Wall
A2.1 Scale: 1 1/2" = 1'-0"



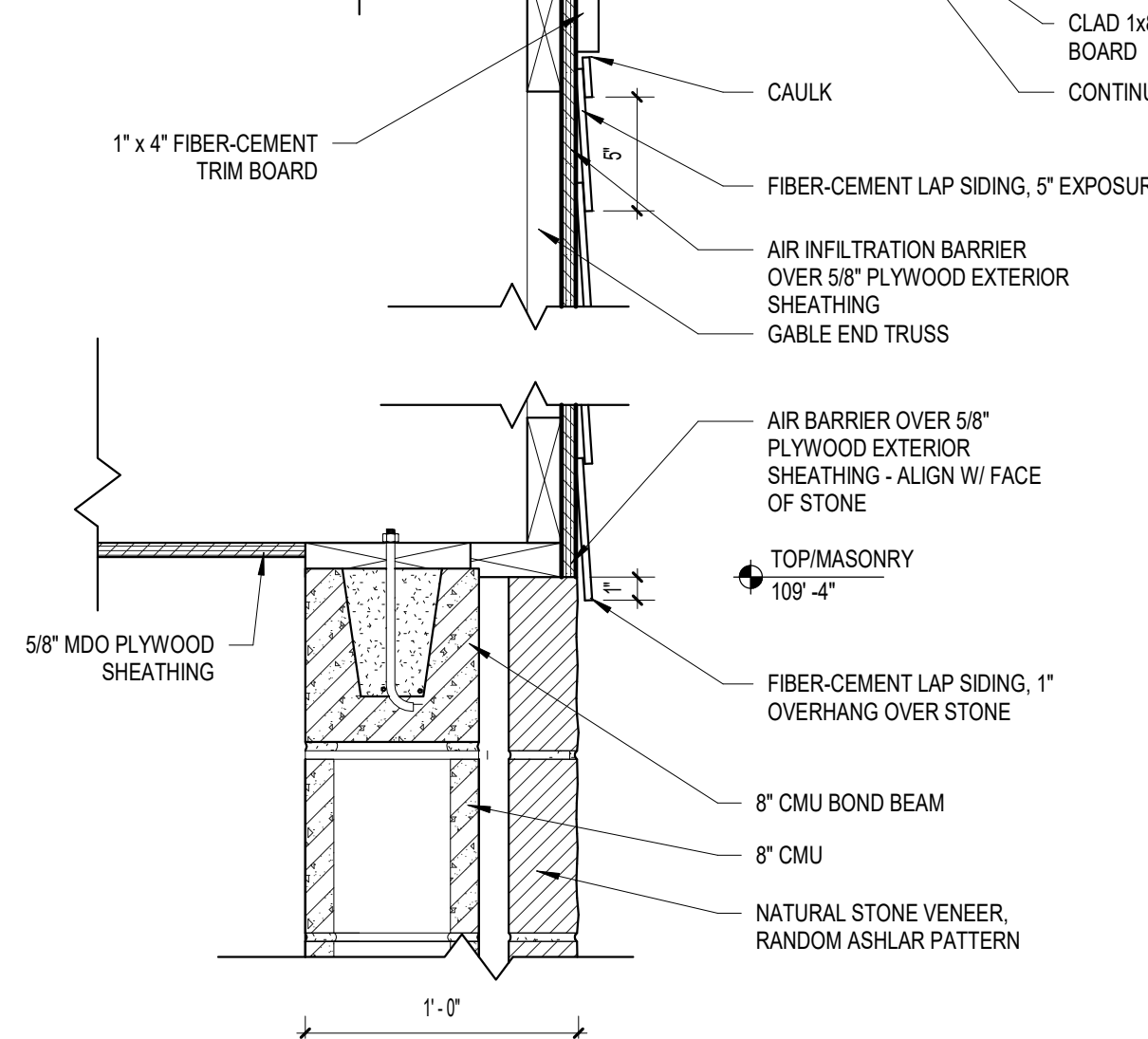
9 Soffit Overhang @ Existing Wall
A2.1 Scale: 1 1/2" = 1'-0"



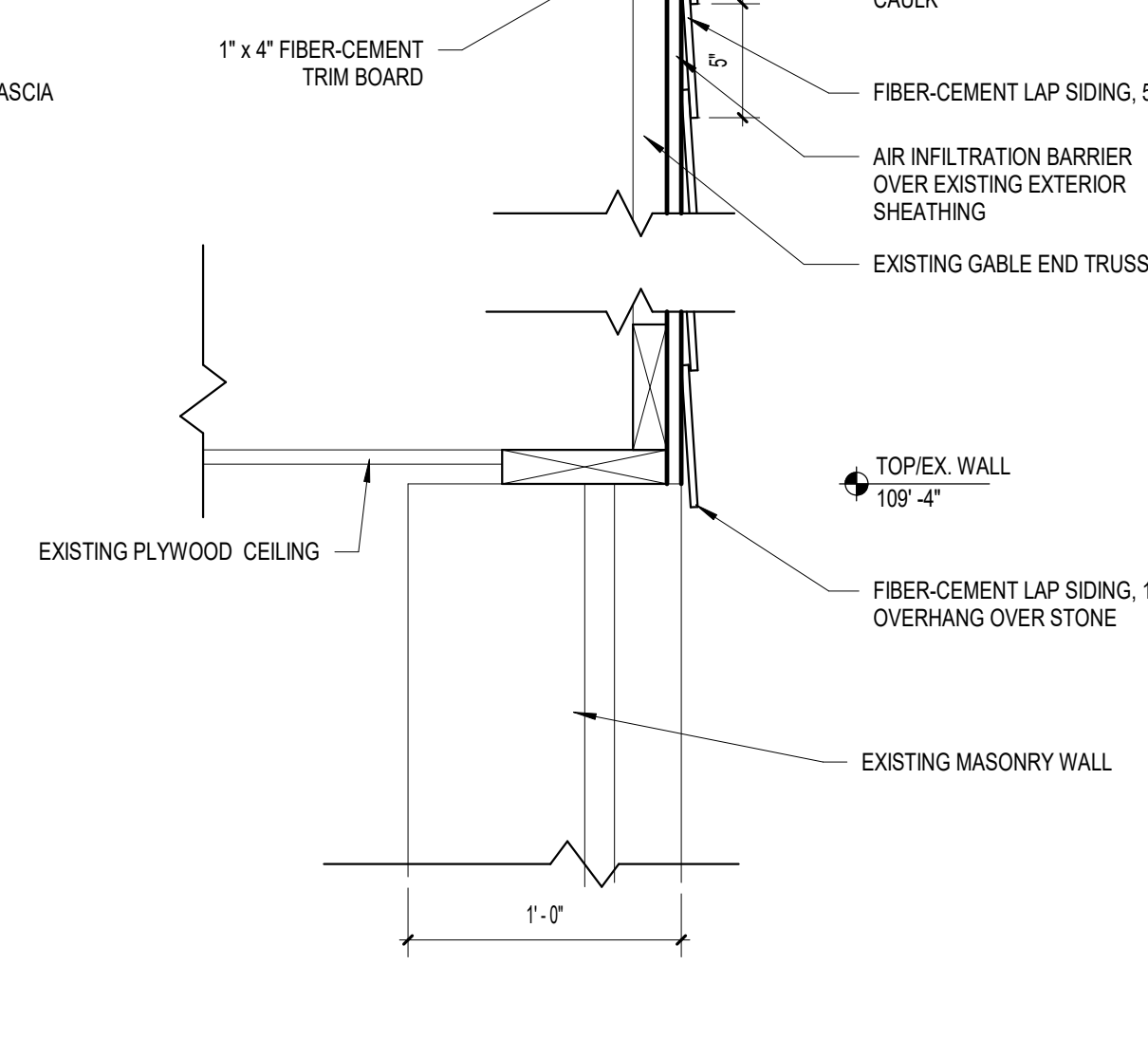
10 Roof to Wall Details
A2.1 Scale: 1 1/2" = 1'-0"



11 Exposed Roof Decking Overhang Detail
A2.1 Scale: 1 1/2" = 1'-0"



7 Gable End Overhang @ CMU/Stone
A2.1 Scale: 1 1/2" = 1'-0"



8 Gable End Overhang @ Existing Wall
A2.1 Scale: 1 1/2" = 1'-0"



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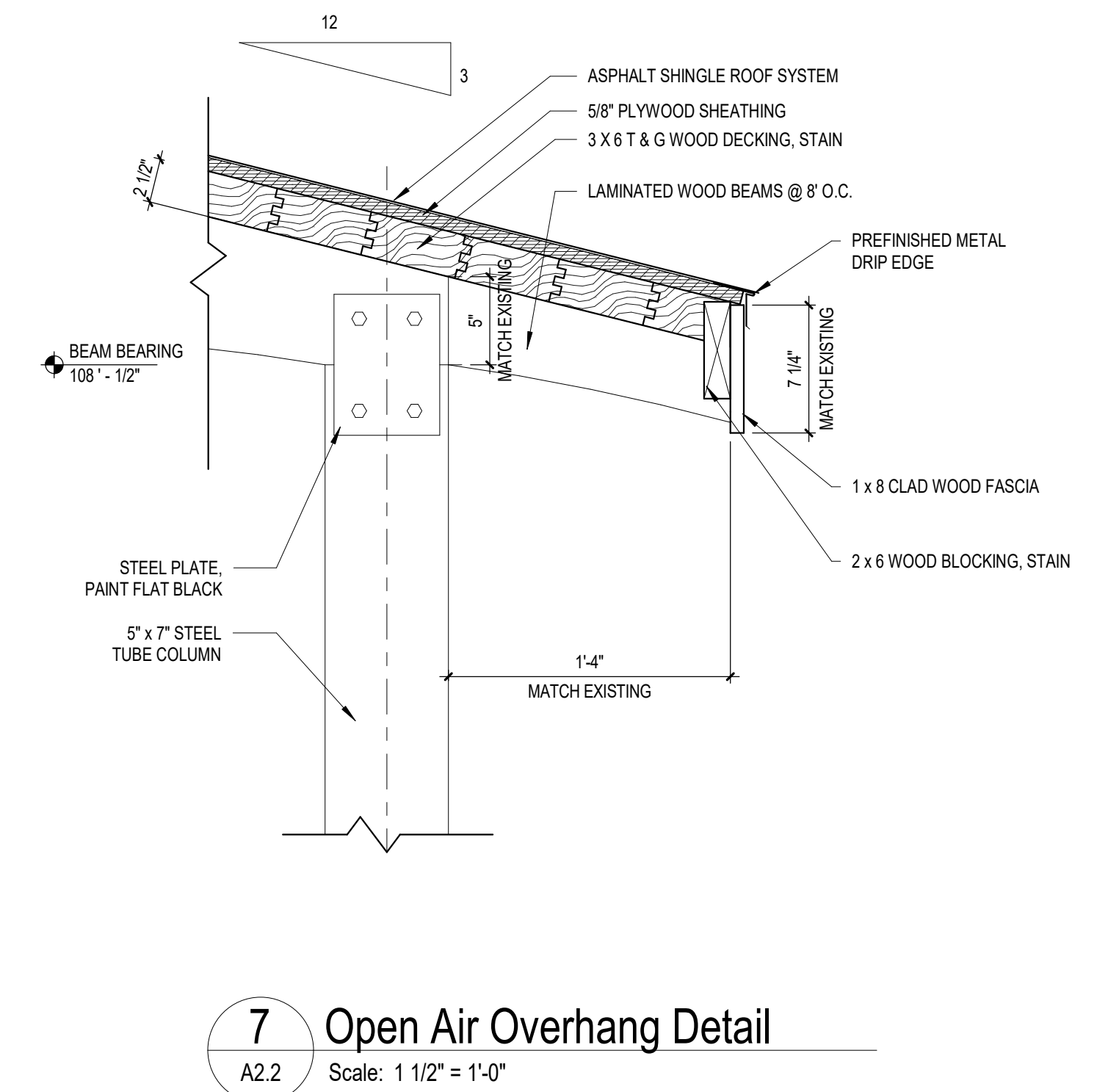
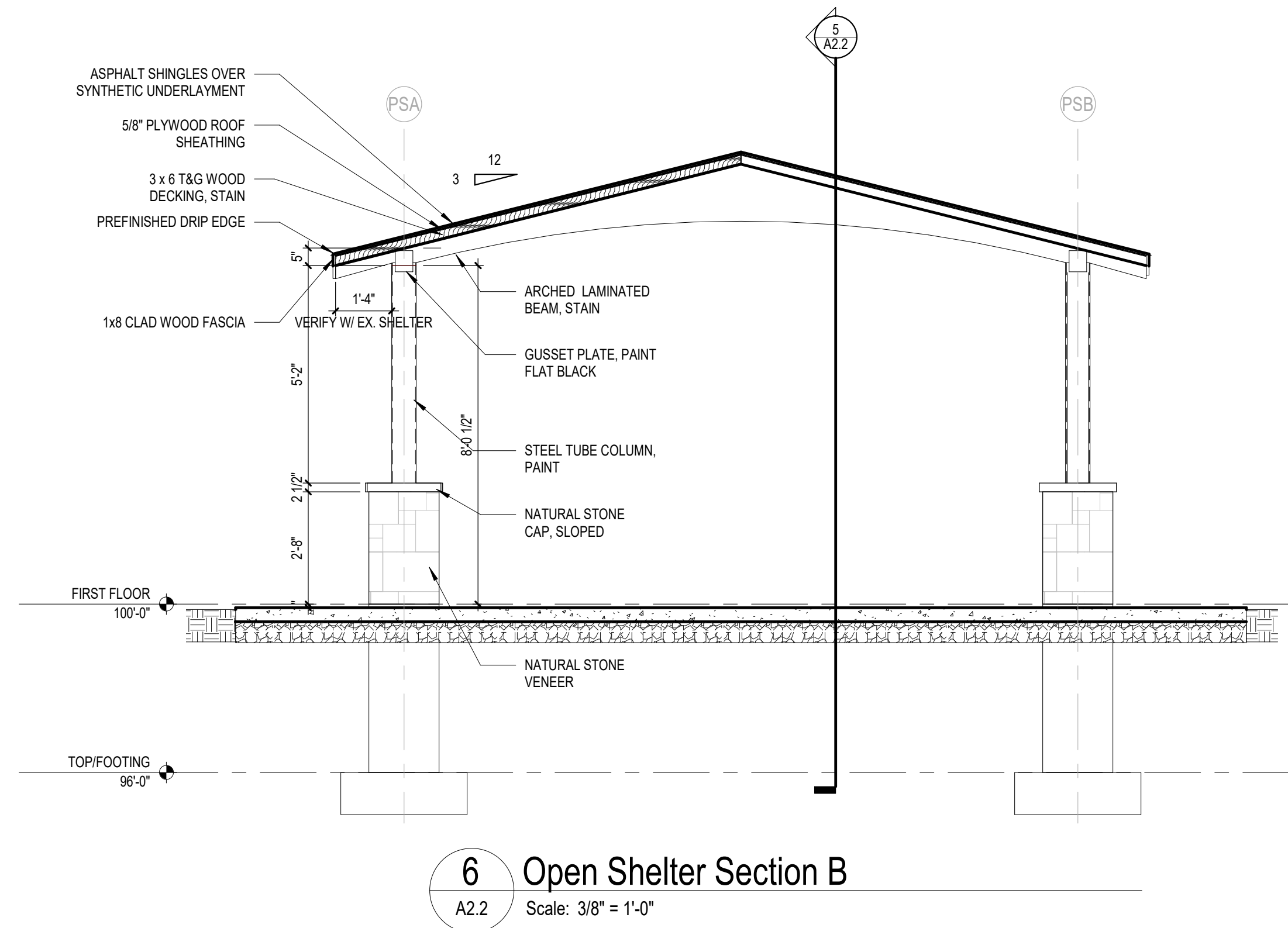
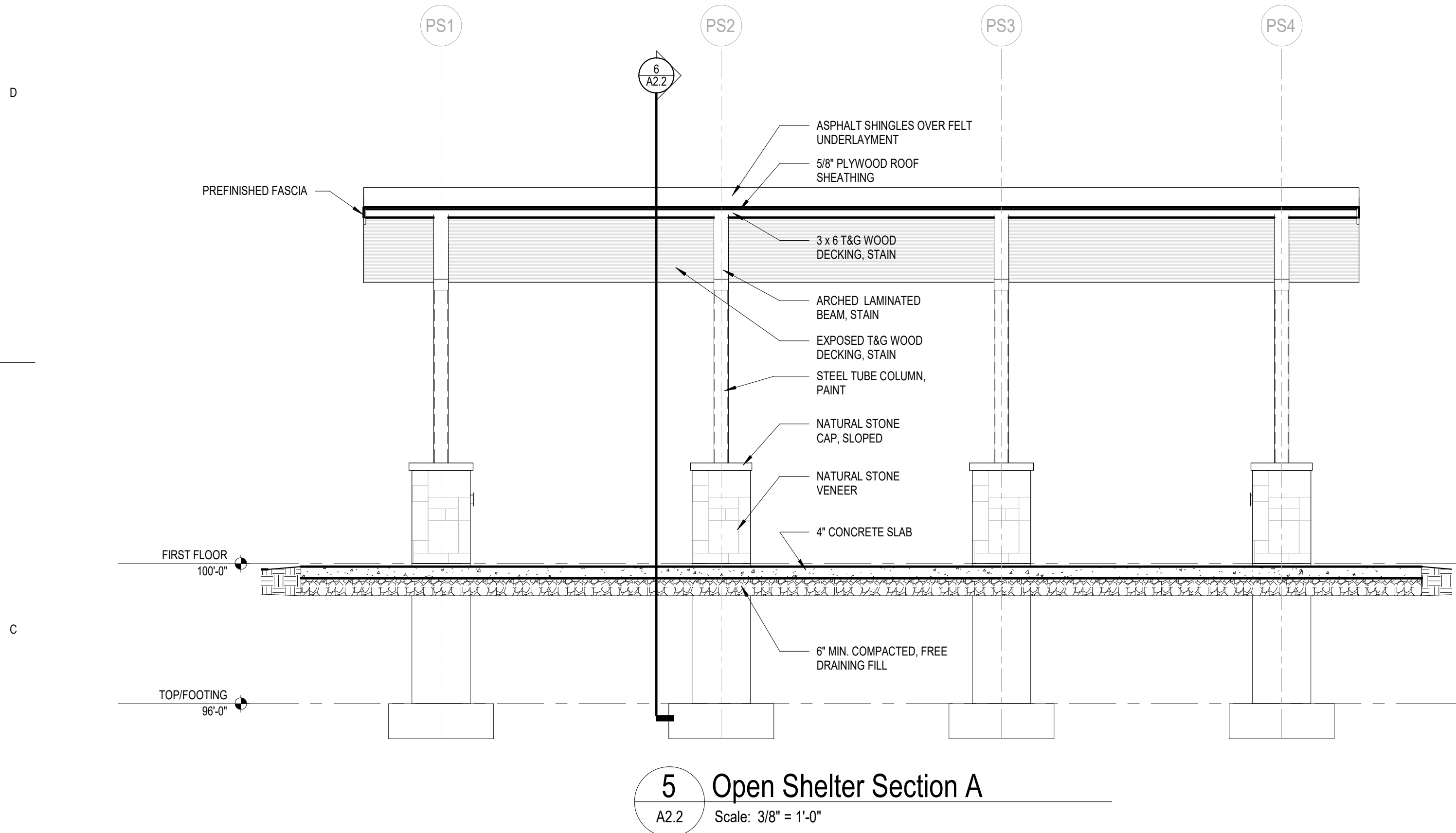
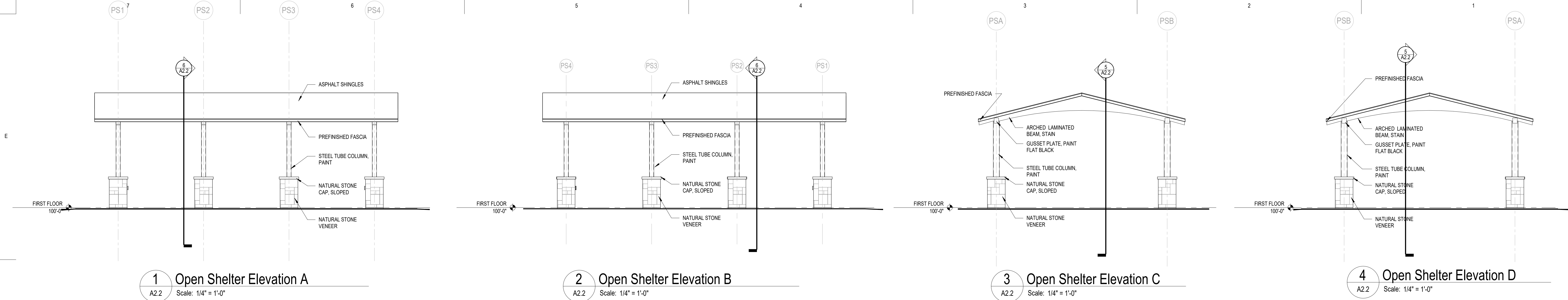
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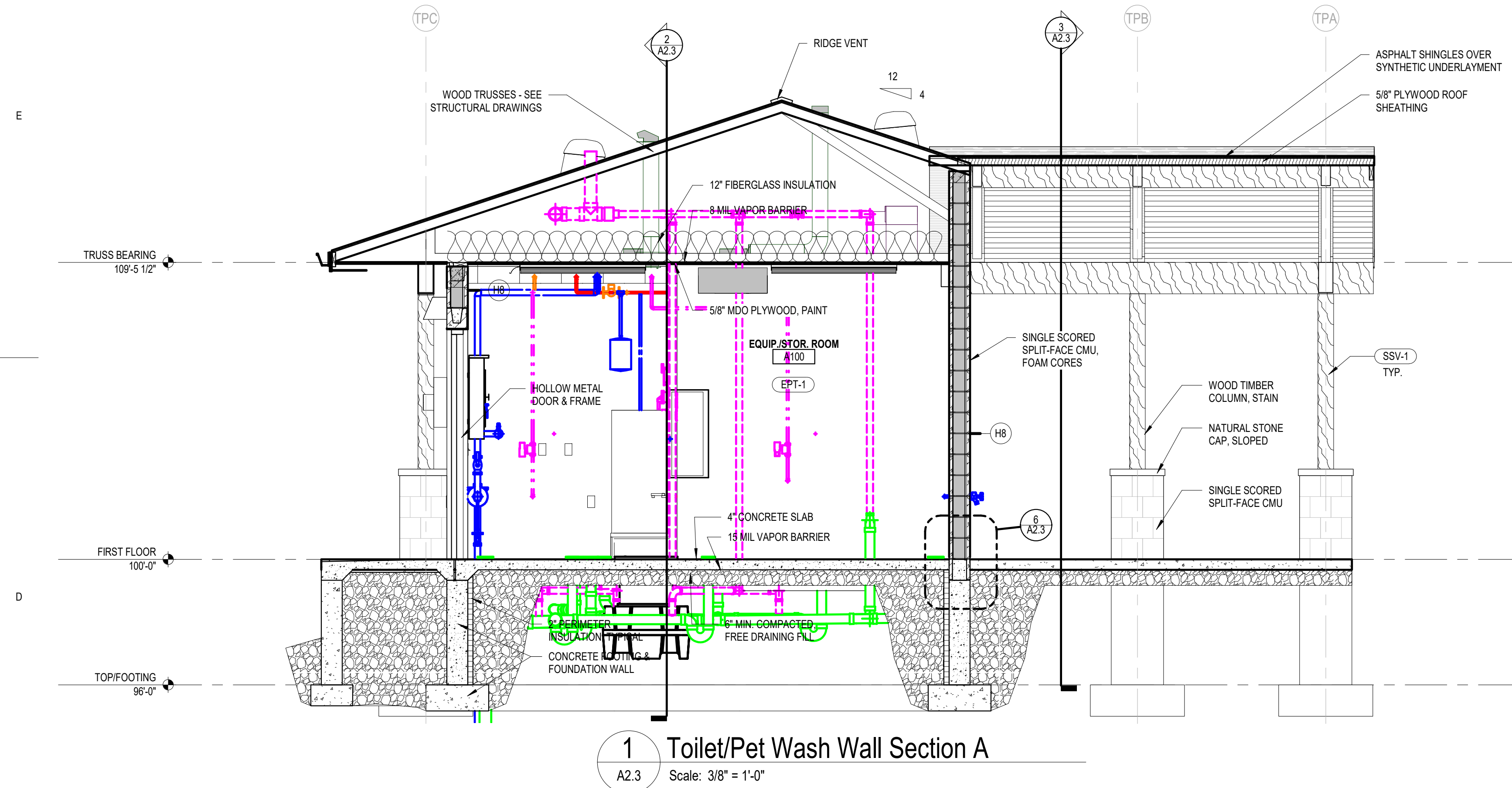
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Pavilion Wall Sections & Details

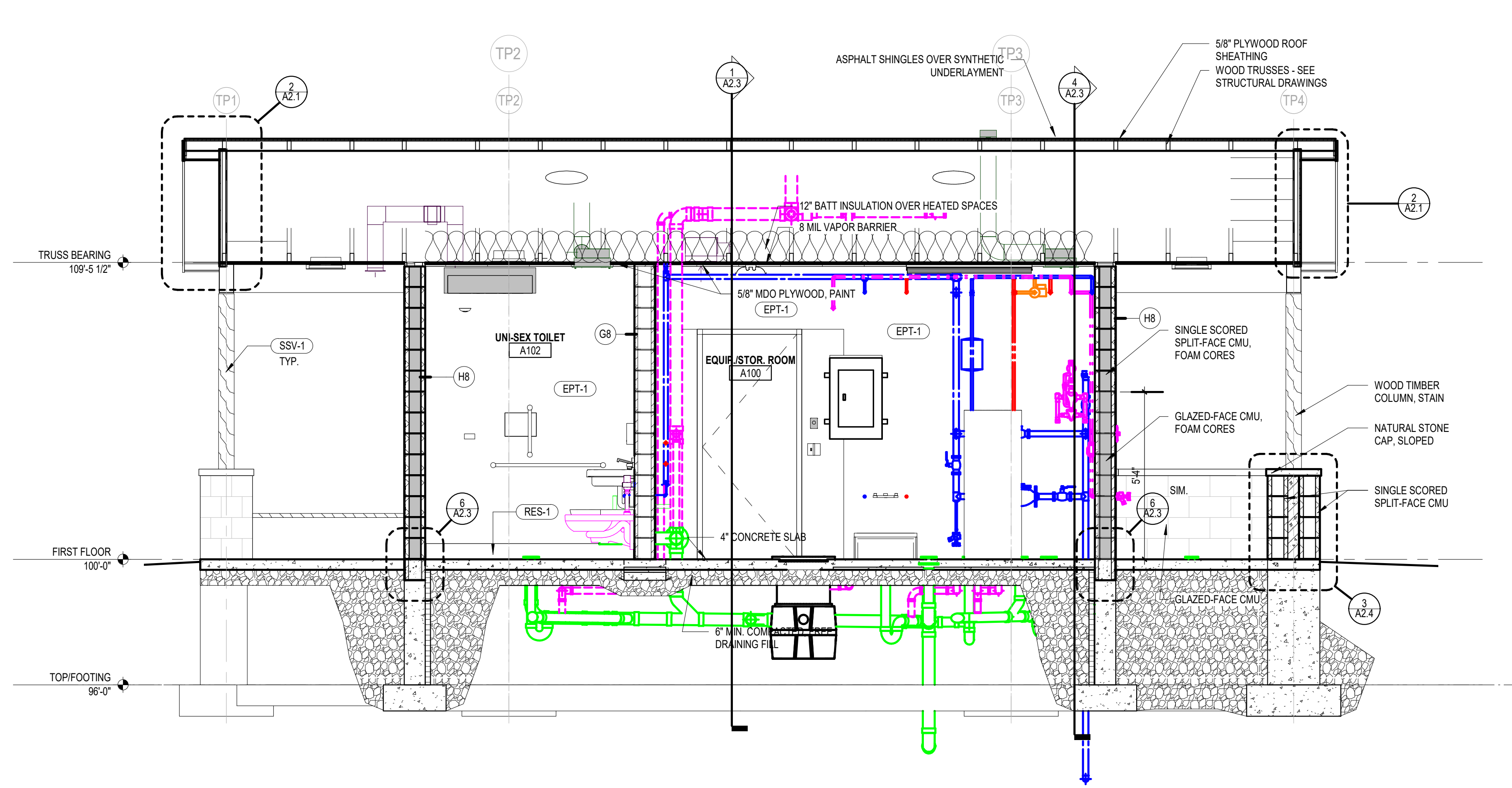
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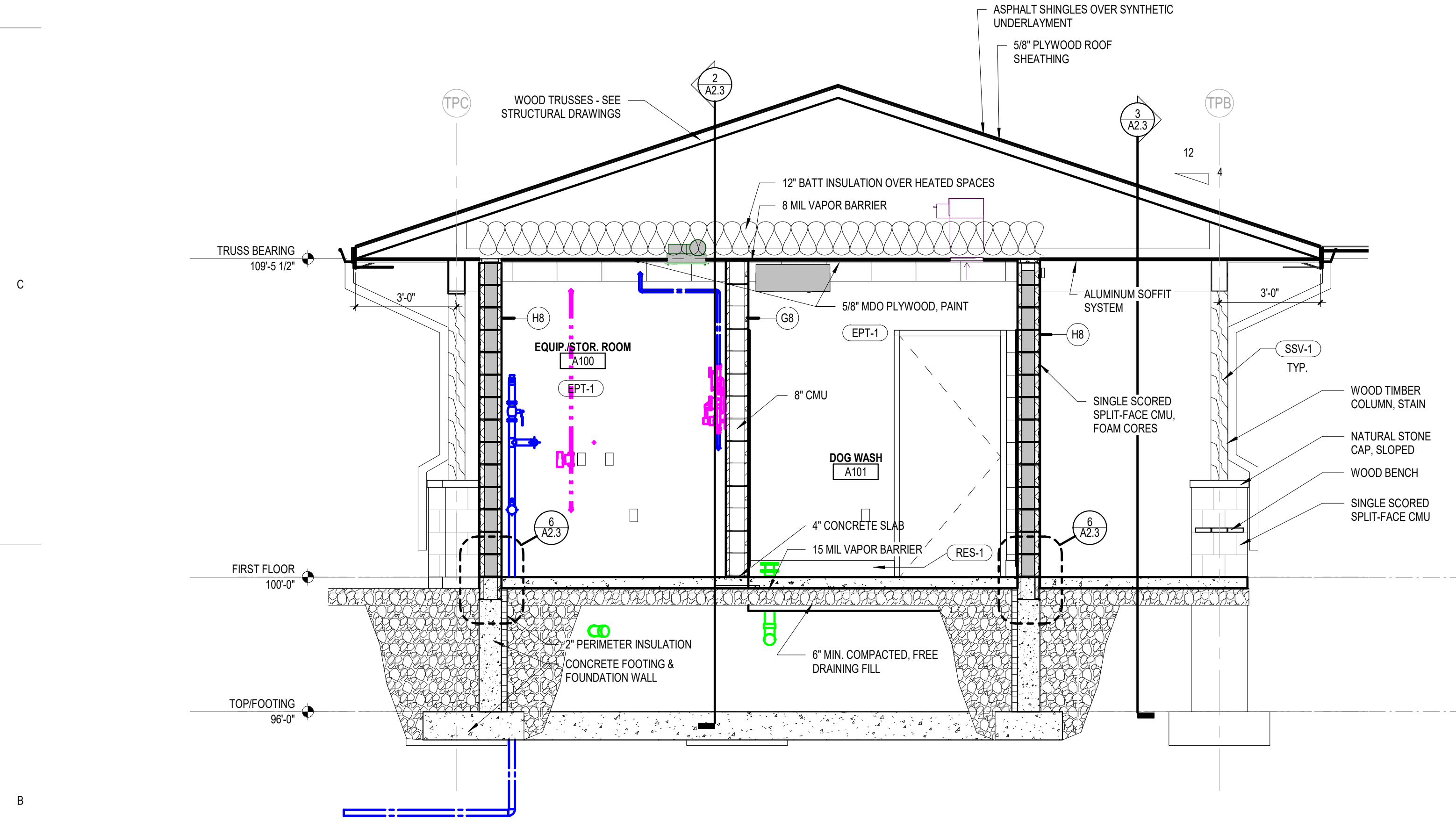




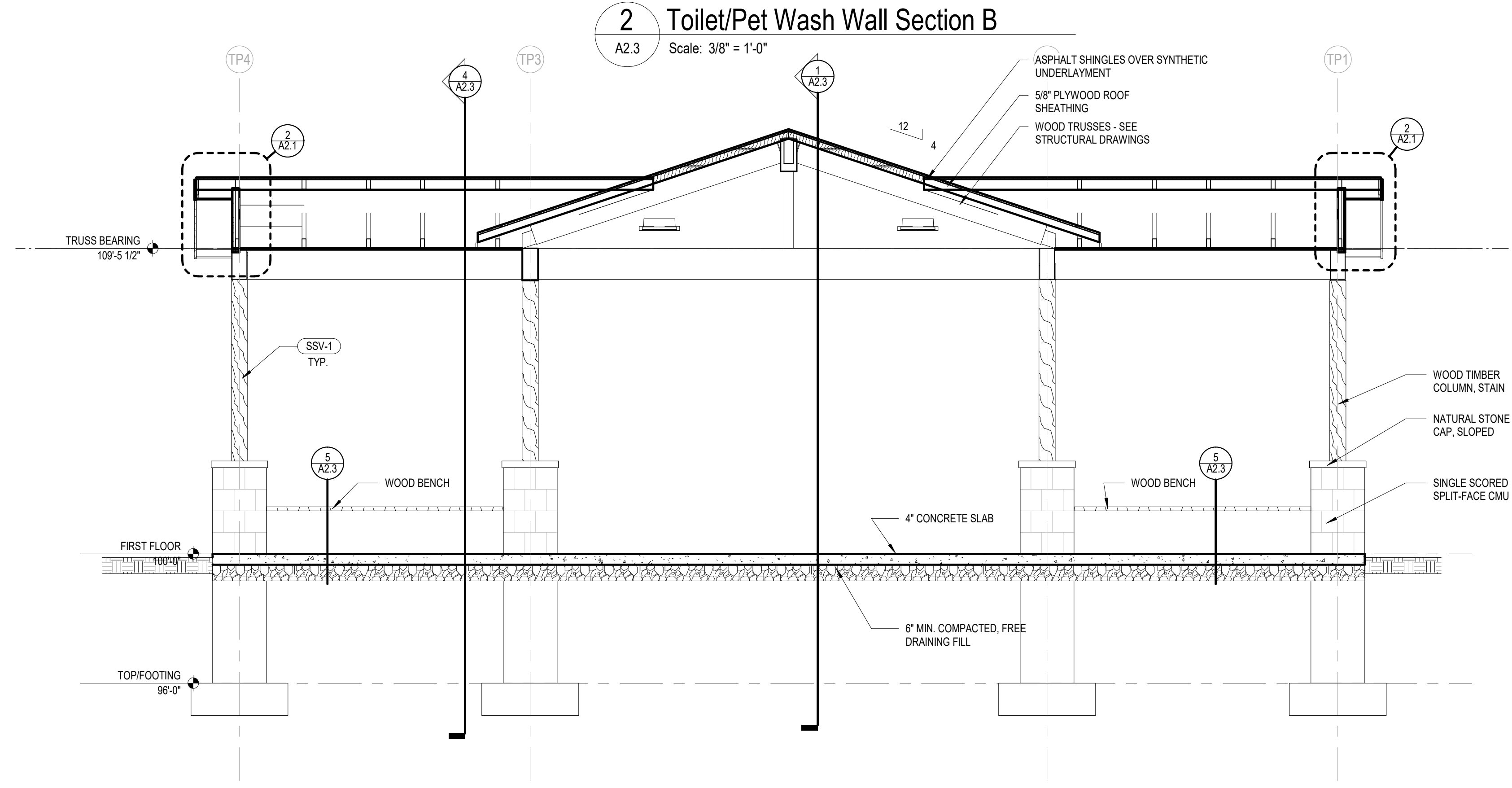
1 Toilet/Pet Wash Wall Section A
A2.3 Scale: 3/8" = 1'-0"



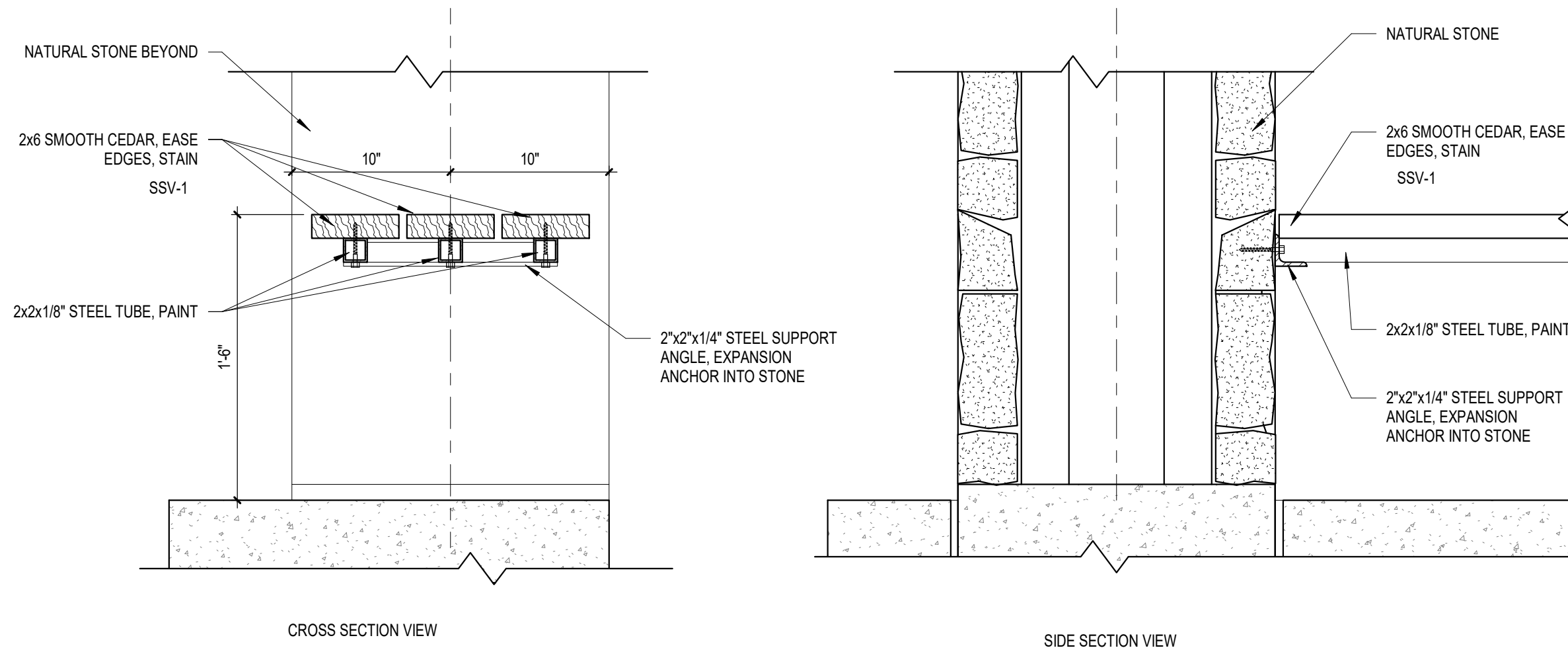
2 Toilet/Pet Wash Wall Section B
A2.3 Scale: 3/8" = 1'-0"



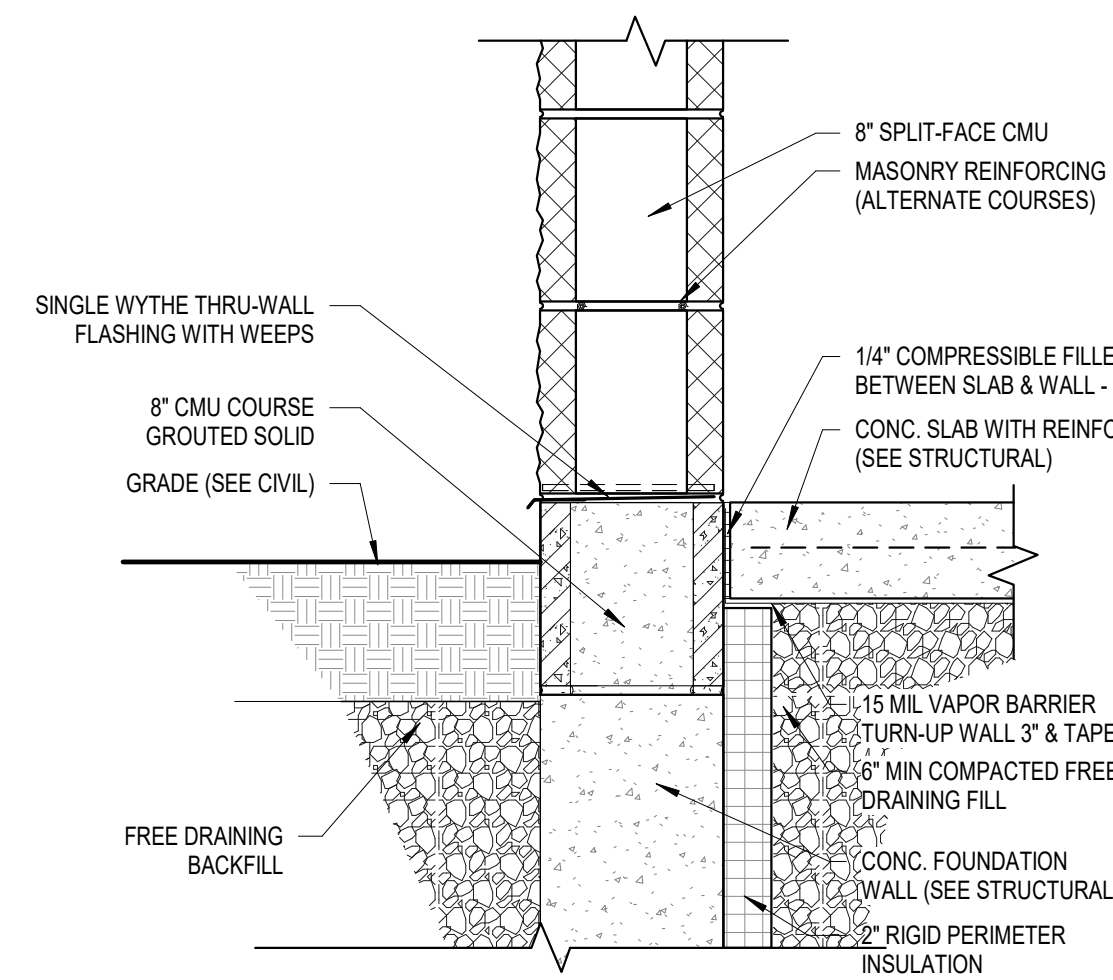
4 Toilet/Pet Wash Wall Section D
A2.3 Scale: 3/8" = 1'-0"



3 Toilet/Pet Wash Wall Section C
A2.3 Scale: 3/8" = 1'-0"



5 Bench Detail
A2.3 Scale: 1 1/2" = 1'-0"



6 Floor to Single Wythe Exterior Wall
A2.3 Scale: 1 1/2" = 1'-0"

KEYNOTE LEGEND

EPT-1 EPOXY PAINT
RES-1 RESINOUS FLOOR
SSV-1 WOOD STAIN - SEE INTERIOR FINISH LEGEND

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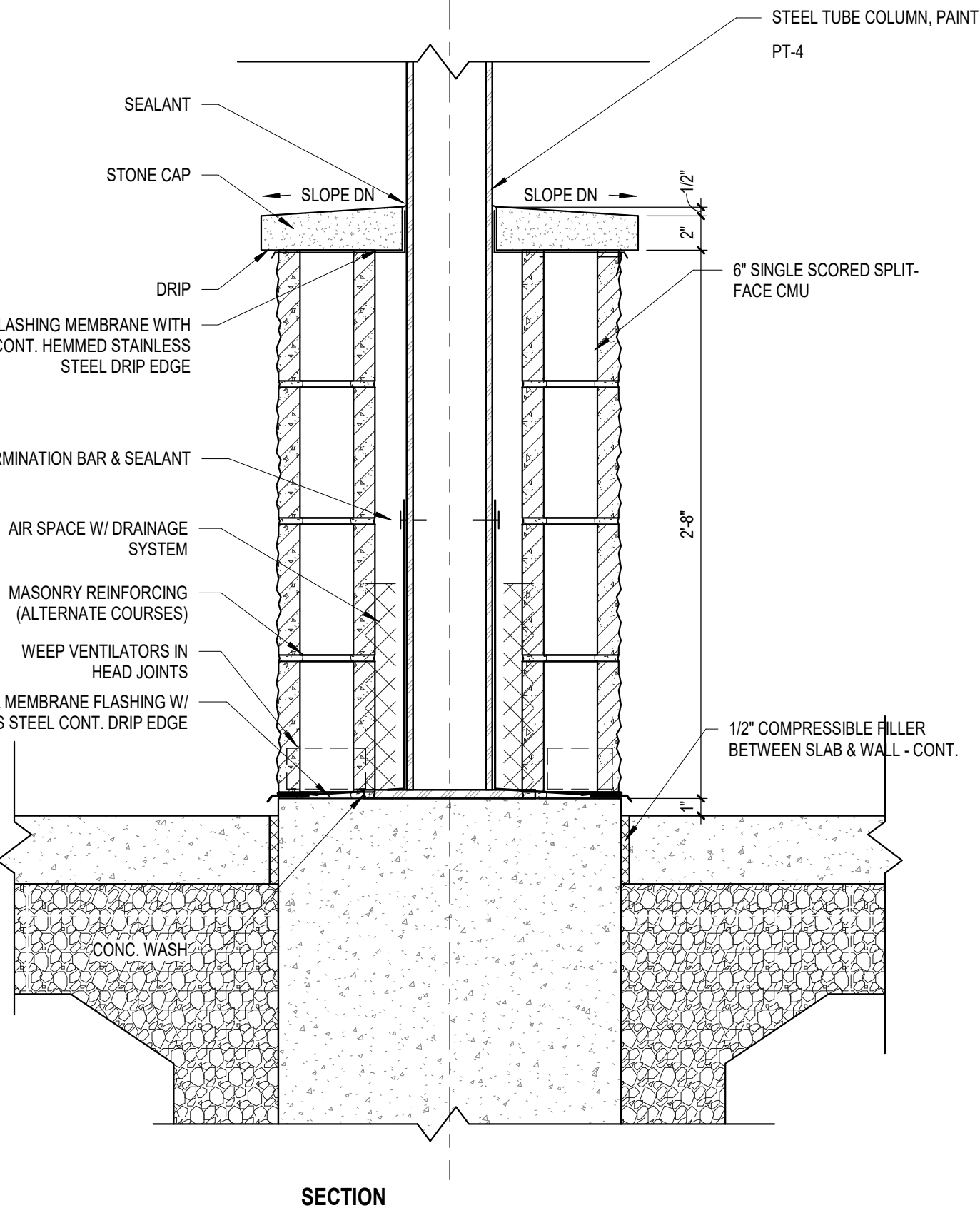
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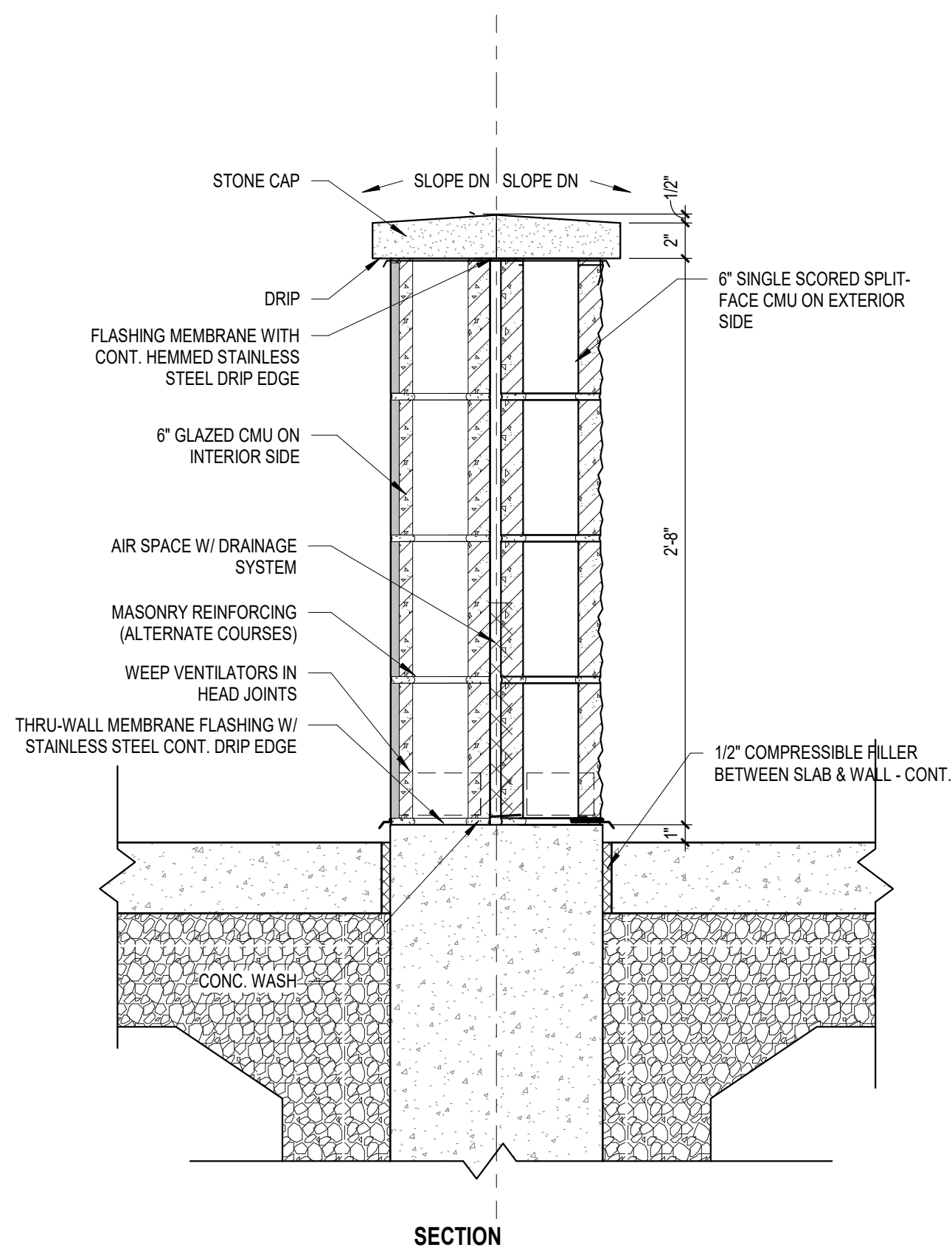
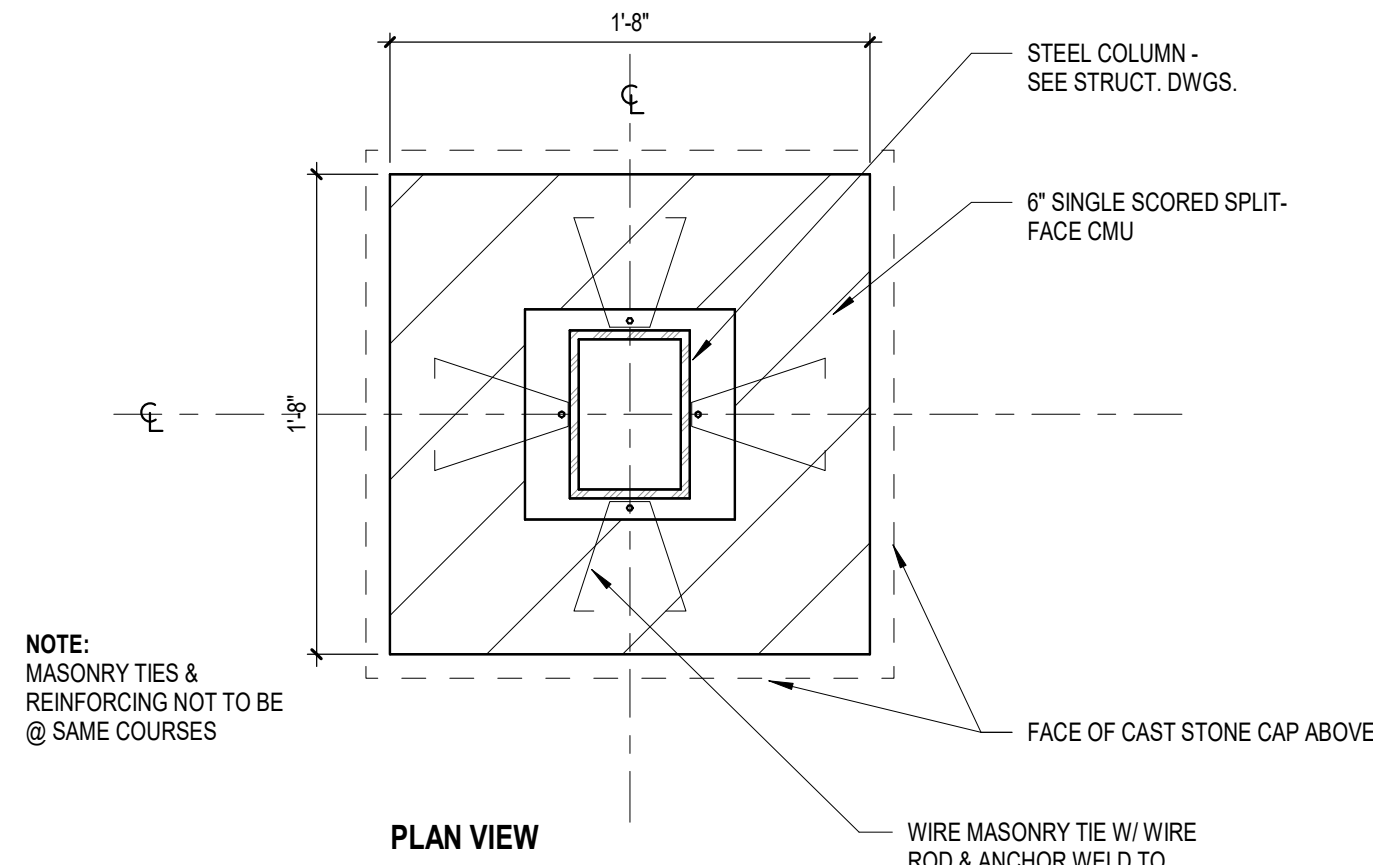
Toilet/Dog Wash
Shelter Sections &
Details

Sheet Number:

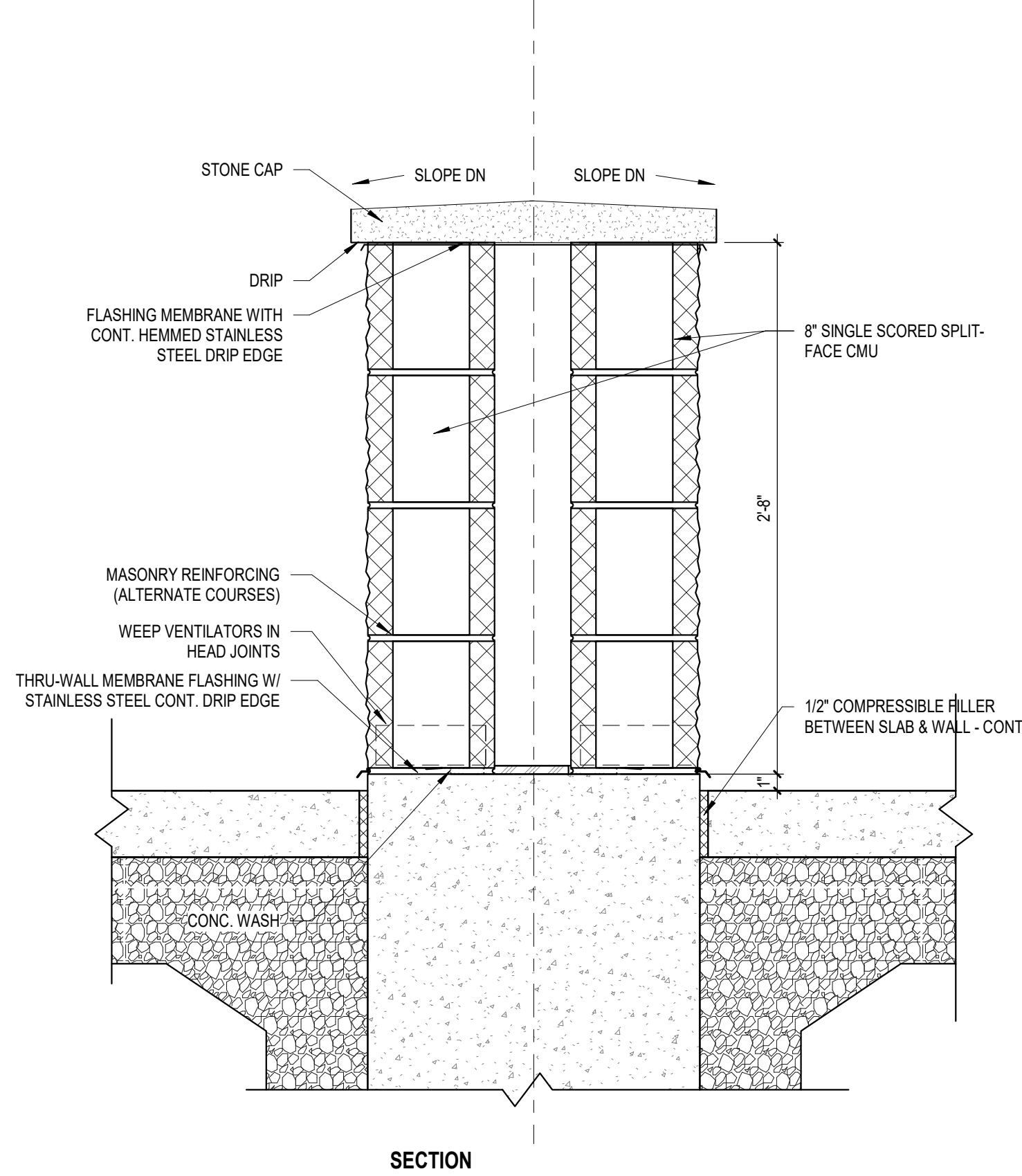
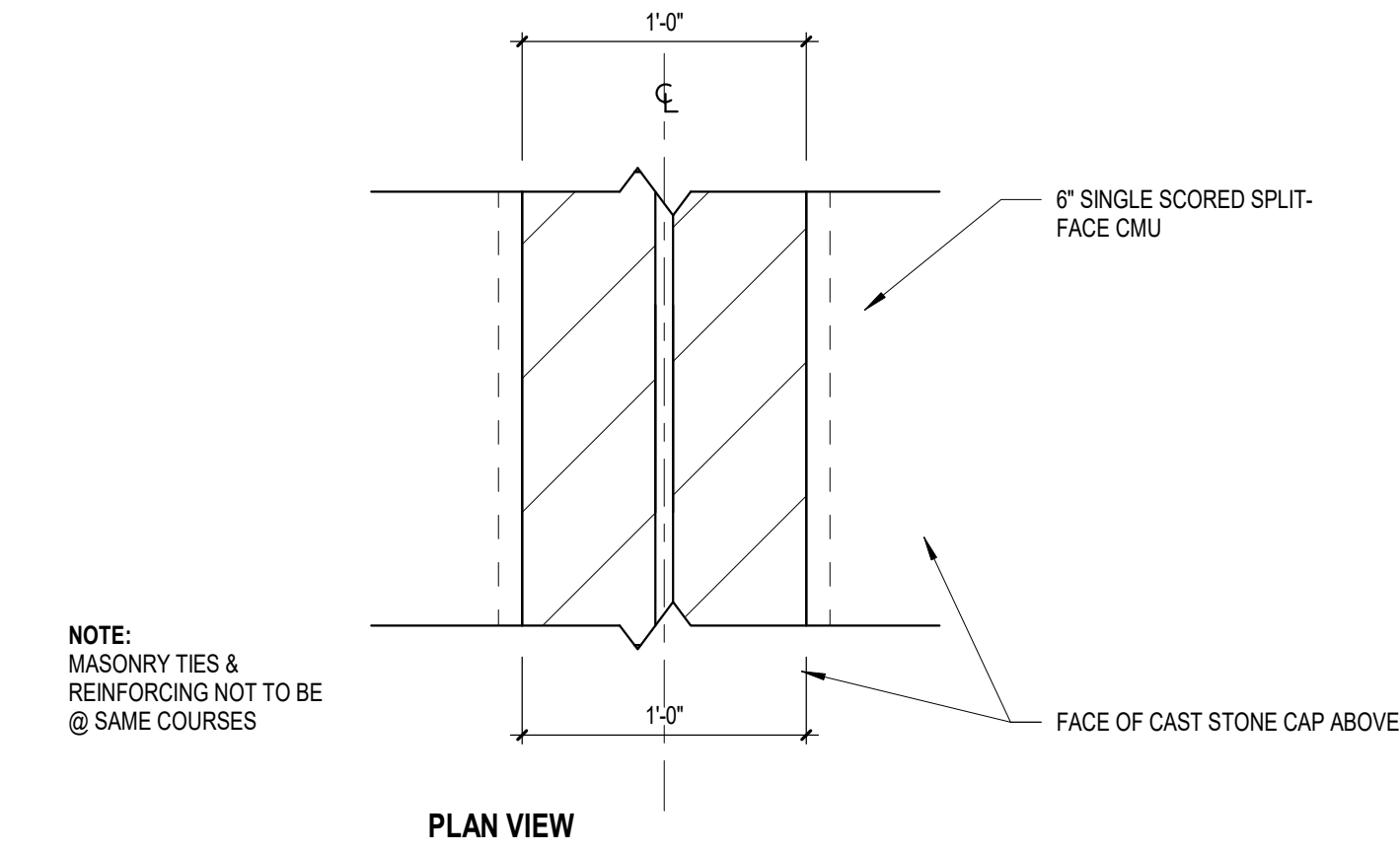
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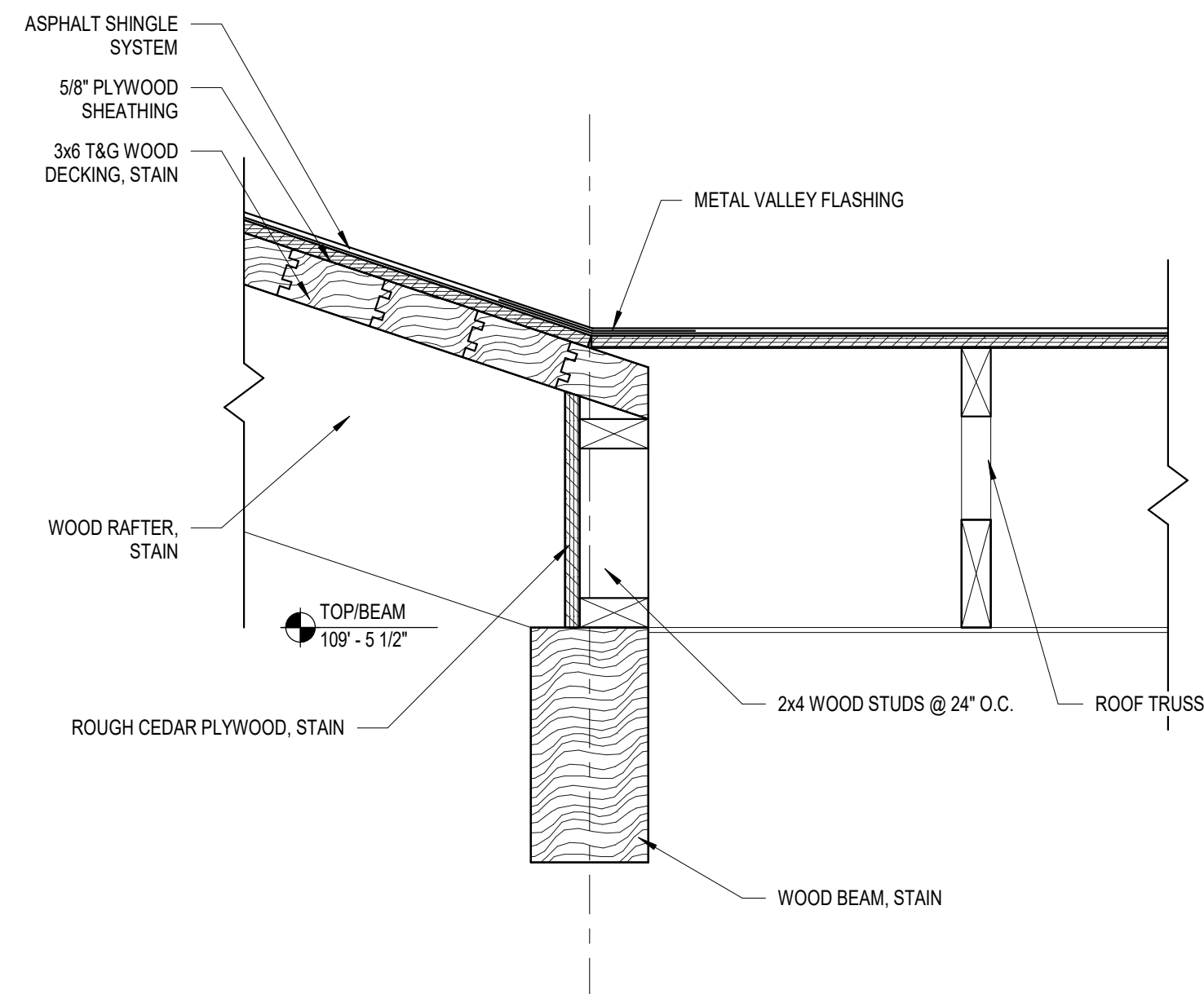
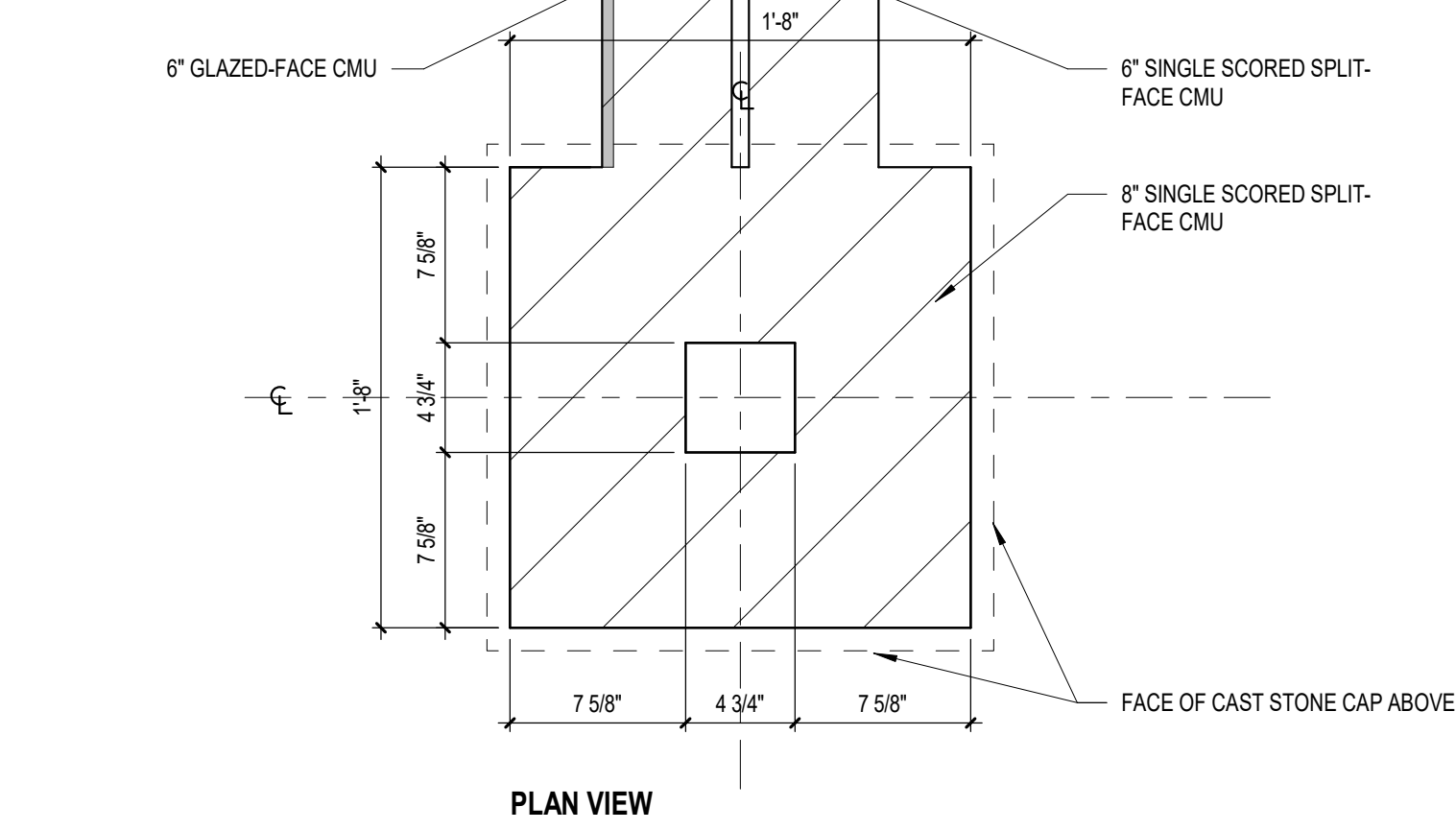
1 Rockface CMU/Column Pier Detail
A2.4 Scale: 1 1/2" = 1'-0"



2 CMU Knee Wall Detail
A2.4 Scale: 1 1/2" = 1'-0"



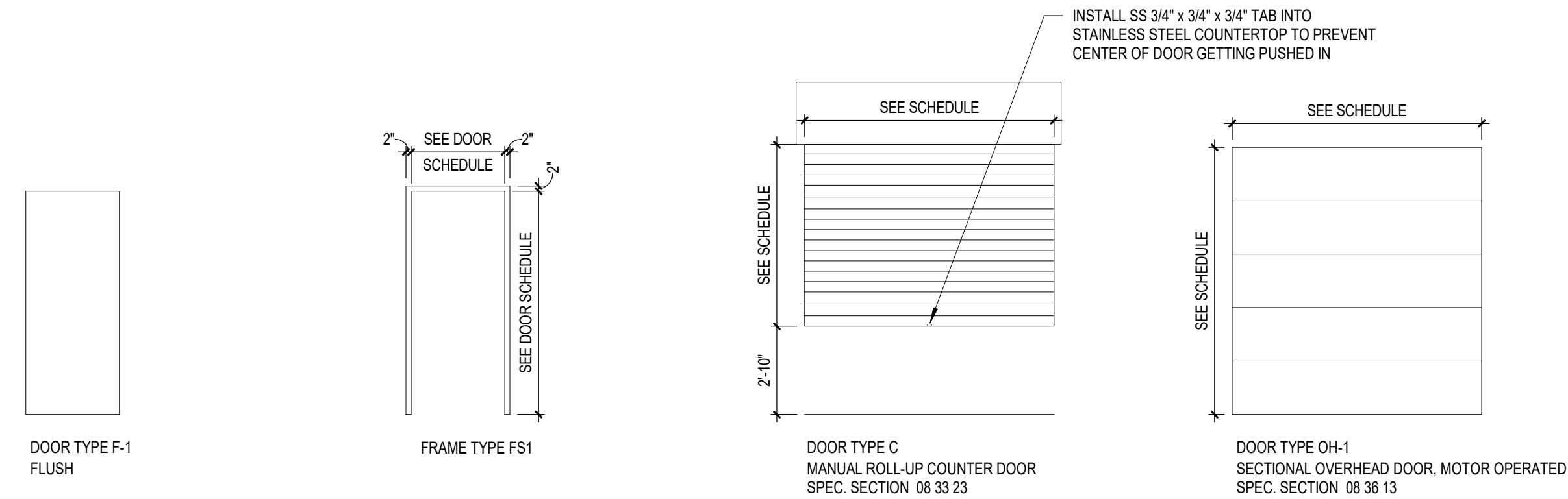
3 Rockface CMU Pier Detail
A2.4 Scale: 1 1/2" = 1'-0"



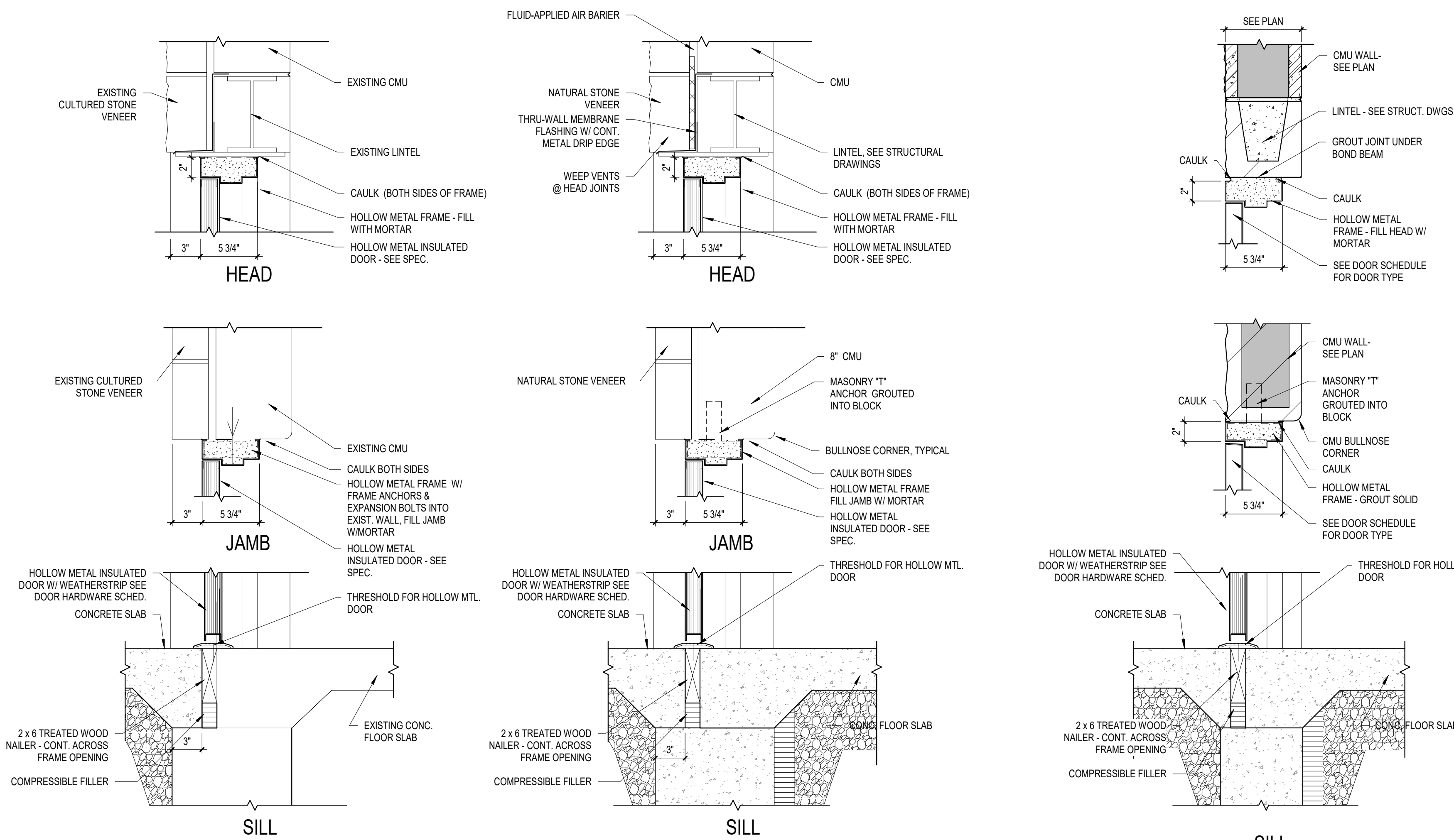
4 Sloped Roof to Soffit
A2.4 Scale: 1 1/2" = 1'-0"

Door and Frame Types

Scale: 1/4" = 1'-0"



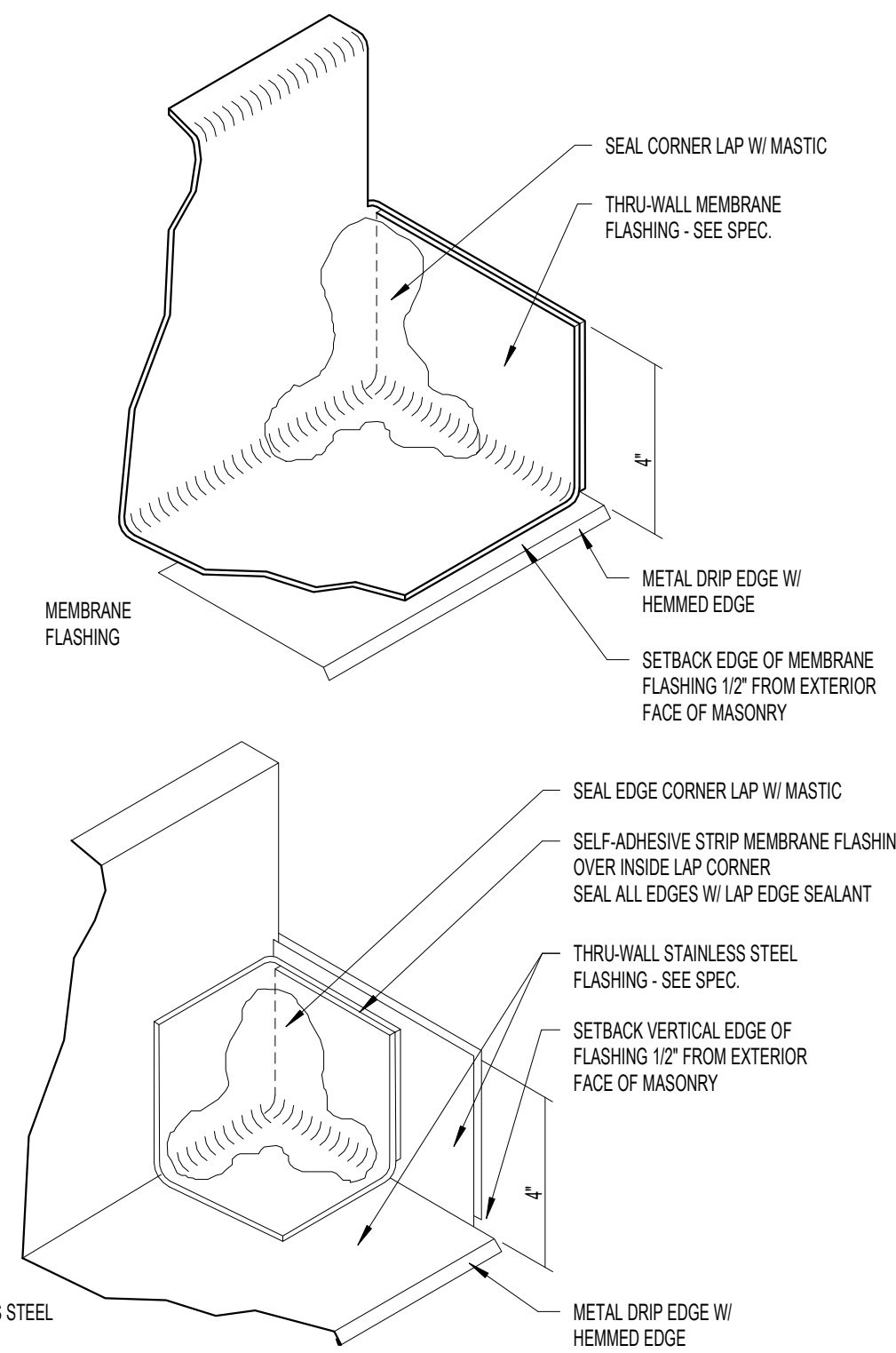
MARK	DOOR				FRAME		DETAILS			RATING	HARDWARE GROUP	COMMENTS
	WIDTH	HEIGHT	TYPE	MATERIAL	TYPE	FINISH	HEAD	JAMB	SILL			
A100A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	3/A8.0	3/A8.0	3/A8.0	---	1	ELECTRIC STRIKE, CARD READER (BY OTHERS)
A101A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	3/A8.0	3/A8.0	3/A8.0	---	2	ELECTRIC STRIKE, CARD READER (BY OTHERS)
A102A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	3/A8.0	3/A8.0	3/A8.0	---	2	ELECTRIC STRIKE
A103A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	3/A8.0	3/A8.0	3/A8.0	---	2	ELECTRIC STRIKE
B101A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	1/A8.0	1/A8.0	1/A8.0	---	2	ELECTRIC STRIKE
B103A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	1/A8.0	1/A8.0	1/A8.0	---	2	ELECTRIC STRIKE
B104A	8'-0"	7'-0"	OH-1	STEEL/PREFIN.	---	---	4/A8.0	4/A8.0	4/A8.0	---	---	MOTOR OPERATED
B105A	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	2/A8.0	2/A8.0	2/A8.0	---	1	ELECTRIC STRIKE, CARD READER (BY OTHERS)
B105B	8'-0"	4'-6"	C	ALUM	---	---	5/A8.0	6/A8.0	5/A8.0	---	---	MANUAL LIFT
B105C	8'-0"	4'-6"	C	ALUM	---	---	5/A8.0	6/A8.0	5/A8.0	---	---	MANUAL LIFT
B105D	3'-0"	7'-2"	F-1	HM/PT	FS-1	PT	2/A8.0	2/A8.0	2/A8.0	---	1	ELECTRIC STRIKE



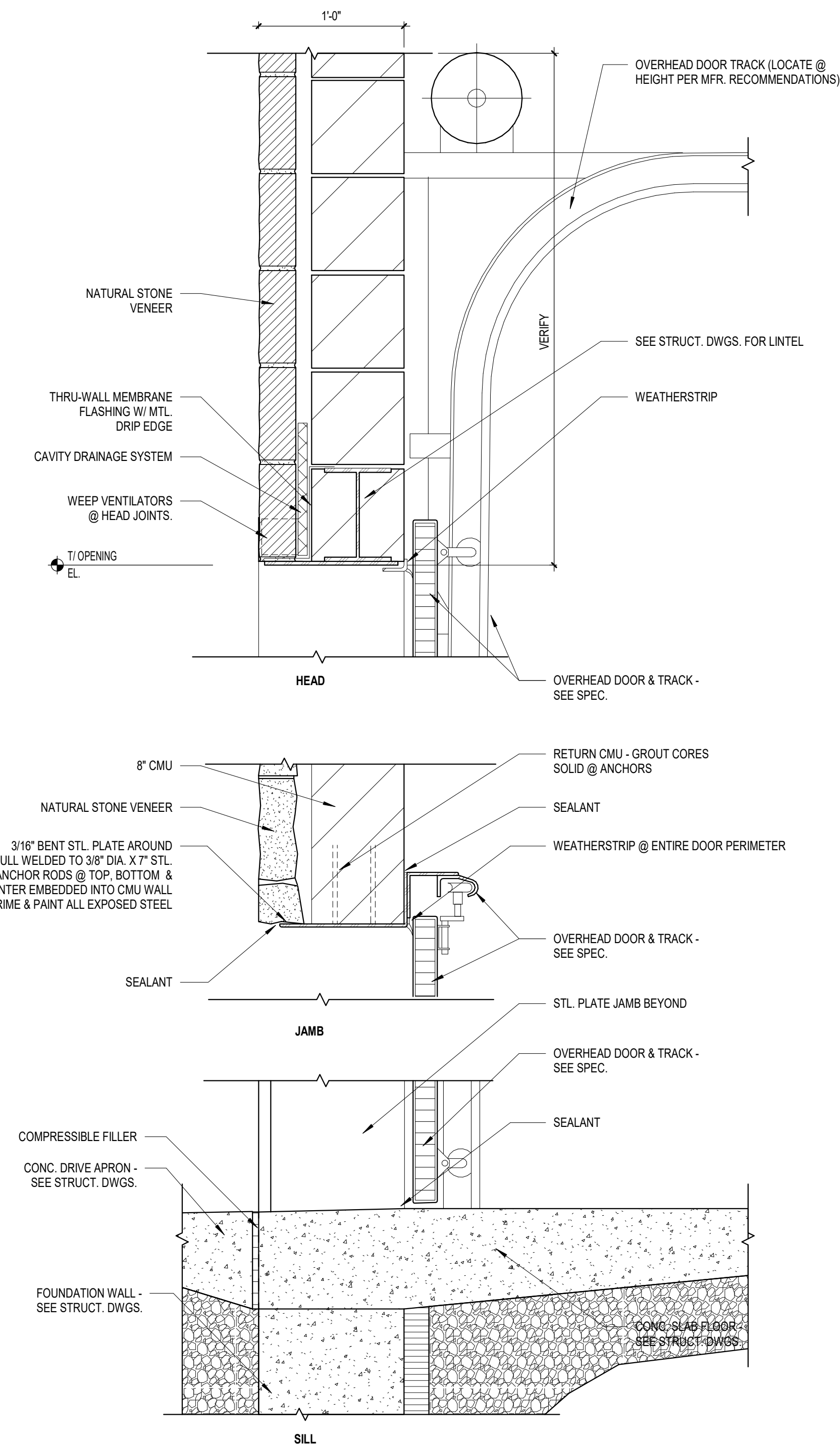
1 HM Door Head/Jamb/Sill @ Existing CMU/Stone
A8.0 Scale: 1 1/2" = 1'-0"

2 Head, Jamb & Sill @ Stone/CMU
A8.0 Scale: 1 1/2" = 1'-0"

3 Head, Jamb & Sill @ Rock-Face CMU
A8.0 Scale: 1 1/2" = 1'-0"

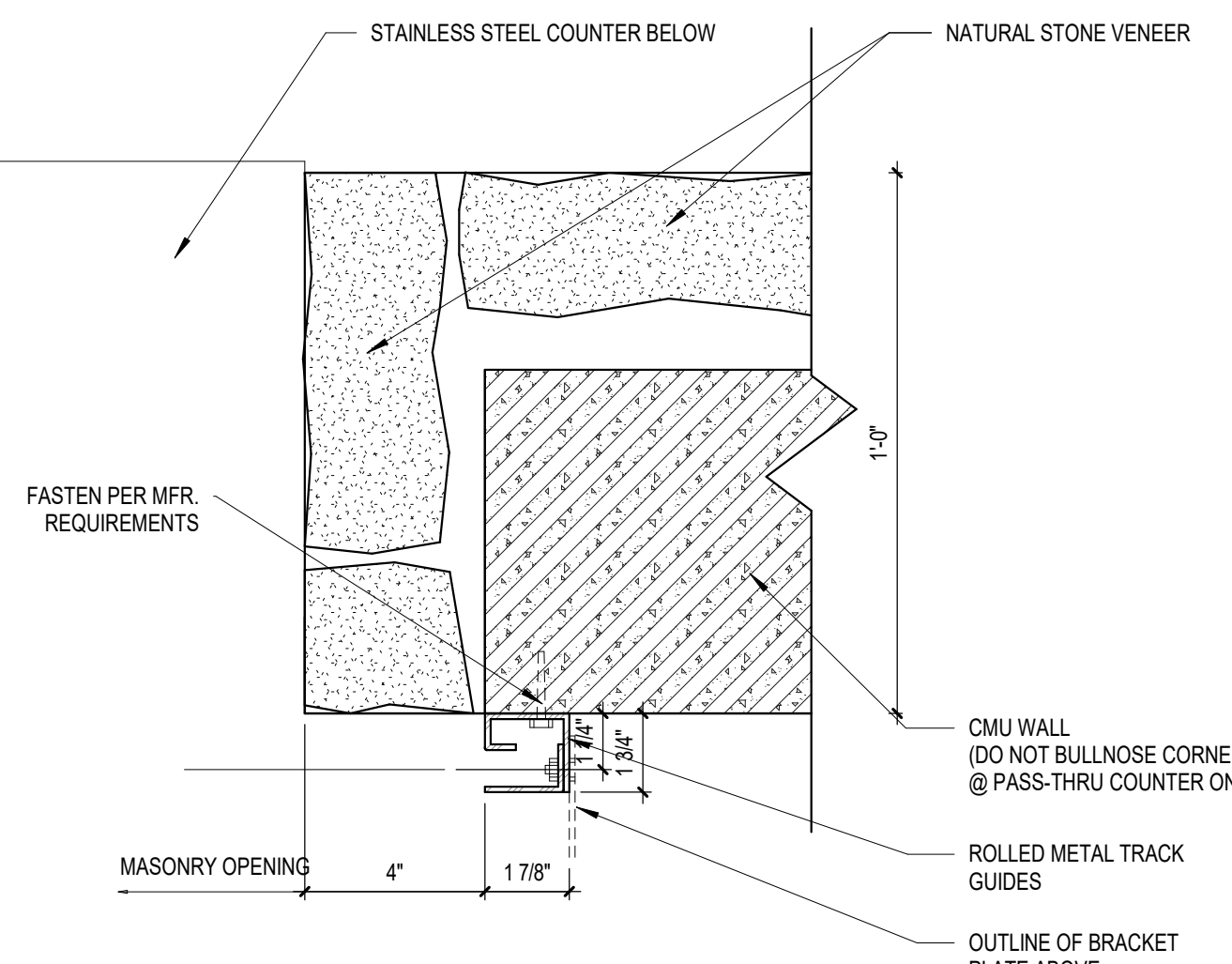


8 Thru-wall Flashing End Dam
A8.0 Scale: 3" = 1'-0"

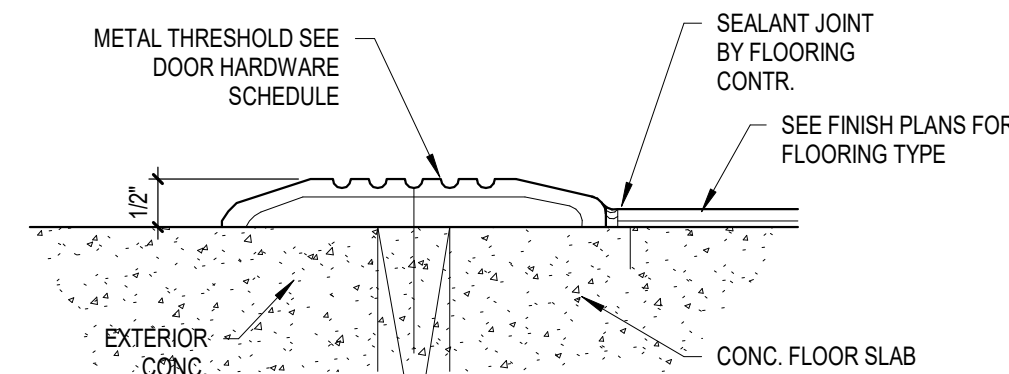


4 Overhead Door Head/Jamb/Sill
A8.0 Scale: 1 1/2" = 1'-0"

5 Roll-up Counter Door
A8.0 Scale: 1 1/2" = 1'-0"



6 Roll-up Door Track Jamb
A8.0 Scale: 3" = 1'-0"



7 Exterior Threshold Conditions
A8.0 Scale: 6" = 1'-0"

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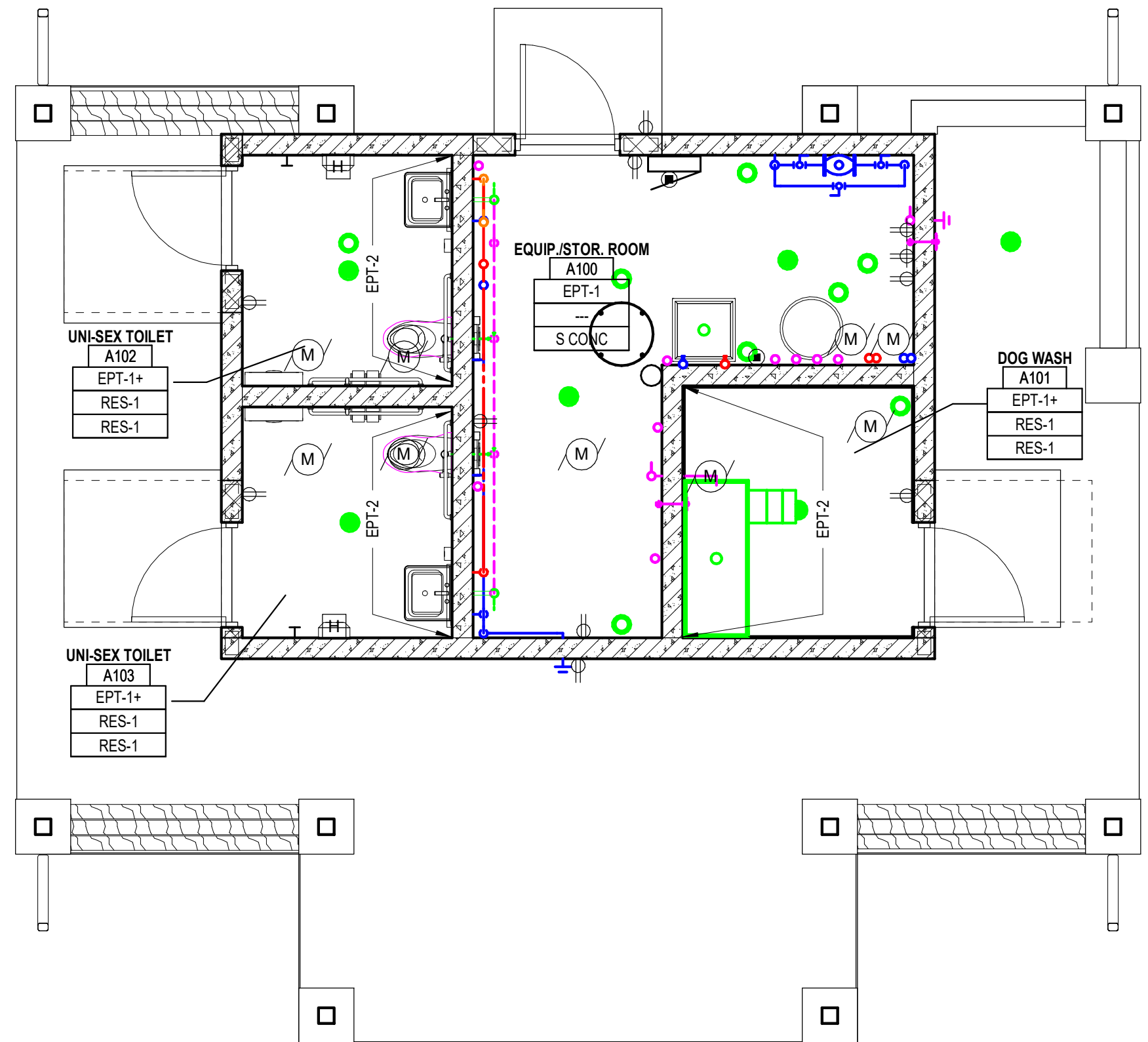
Door Schedule,
Door & Frame
Types, Details

Sheet Number:

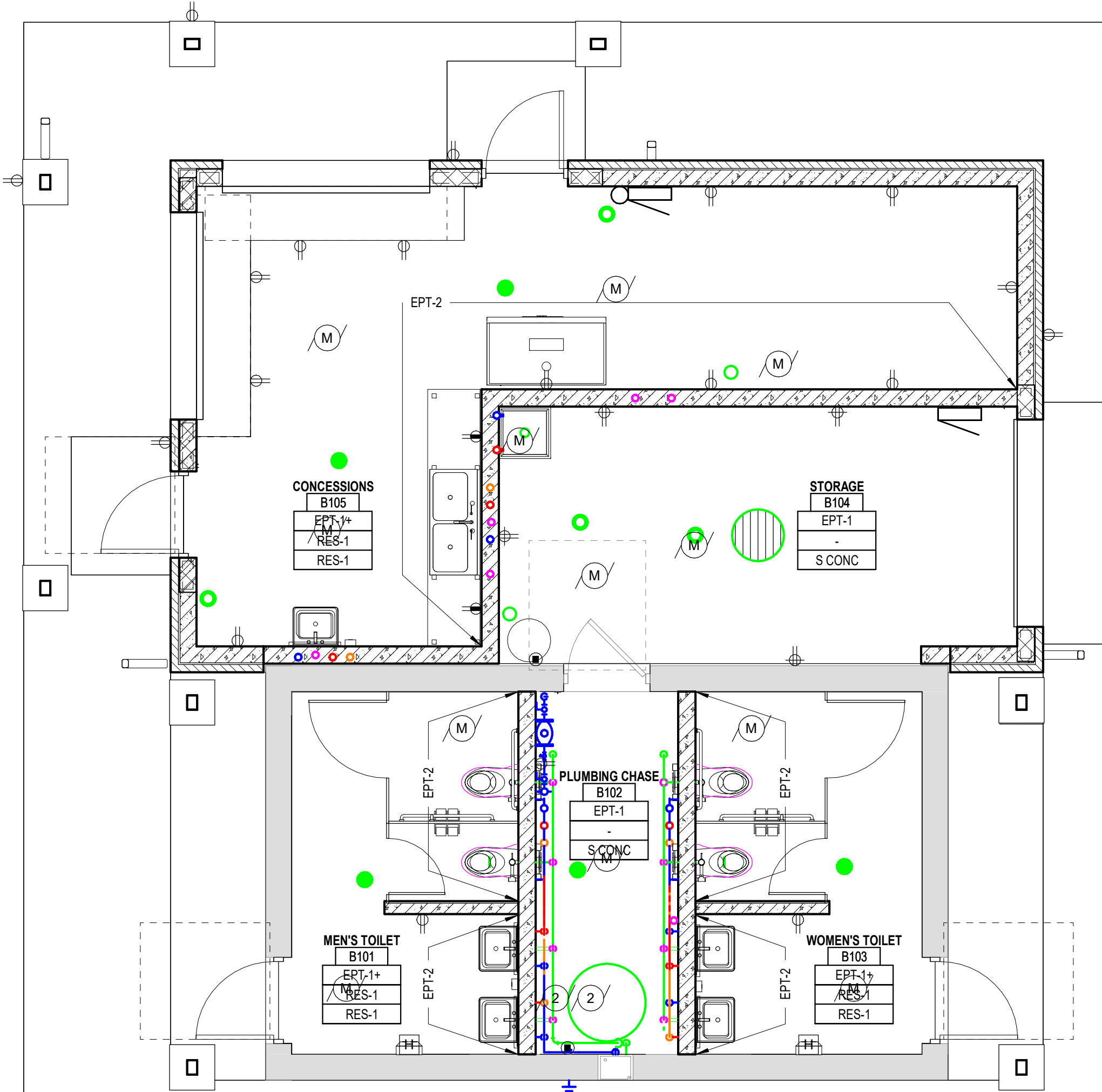
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INTERIOR FINISH LEGEND					
TAG	MATERIAL (GENERIC TYPE)	MATERIAL MANUFACTURER	MATERIAL SPECIFICATION	MATERIAL SIZE	MATERIAL NOTES
EPT-1	EPOXY PAINT		TO MATCH PT-1; SHERWIN WILLIAMS SW7050 USEFUL GRAY		
EPT-2	EPOXY PAINT		TO MATCH PT-3; SHERWIN WILLIAMS SW 9135 WHIRLPOOL		
PT-1	PAINT (FIELD)	SHERWIN WILLIAMS	SW7050 USEFUL GRAY		
PT-2	PAINT (DOOR FRAMES)	SHERWIN WILLIAMS	SW6223 STILL WATER		
PT-3	PAINT (ACCENT)	SHERWIN WILLIAMS	SW9135 WHIRLPOOL		
PT-4	PAINT (EXT. METAL STRUCTURES)	SHERWIN WILLIAMS	SW2803 ROOKWOOD TERRA COTTA		
RES-1	RESINOUS FLOORING (EPOXY)	STONHARD	STONTEC - SMOKY MOUNTAINS; SMALLFLAKES		USED FOR WALLBASE. 6"H.
SC-1	SEALED CONCRETE				
SSV-1	WOOD STAIN	SHERWIN WILLIAMS	SW 3511 CEDAR BARK		
TP-1	TOILET PARTITION	ACCURATE PARTITIONS	COLOR: CHARCOAL 9237 FINISH: PEBBLE GRAINED		

PROJECT KEYNOTE LEGEND	
EPT-1	EPOXY PAINT
FRP-1	FIBER REINFORCED PANEL
PT-1	PAINT
RES-1	RESINOUS FLOOR
SSV-1	WOOD STAIN - SEE INTERIOR FINISH LEGEND
TA-1	TOILET PAPER DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-4	LIQUID SOAP DISPENSER - FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
TA-5	ELECTRIC HAND DRYER - FURNISHED BY ELEC. CONTRACTOR, INSTALLED BY ELEC. CONTRACTOR
TA-6	42", 36", 18"V GRAB BAR SET - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-8	BABY CHANGING STATION - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-12	MIRROR - SEE INTERIOR ELEVATION FOR SIZE - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
TA-14	ROBE HOOK - FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR



1 Toilet/Dog Wash Shelter Finish Plan
A9.0 Scale: 1/4" = 1'-0"



2 Pavilion Addition Finish Plan
A9.0 Scale: 1/4" = 1'-0"

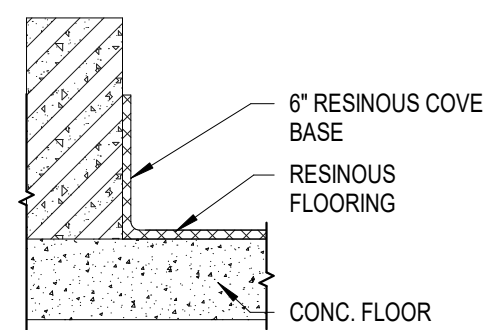
GENERAL FINISH NOTES

FINISH PLAN LEGEND

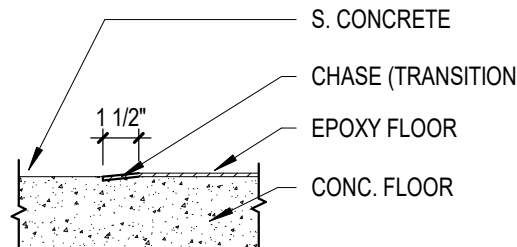
ROOM NUMBER	ROOM NAME
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WB	WB
FF	FF

FINISH PLAN GENERAL NOTES:

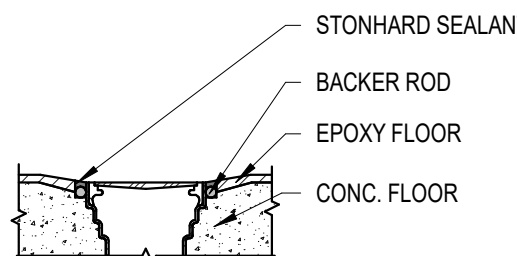
- INTERIOR FINISHES AS DEFINED BY THE 2015 INTERNATIONAL BUILDING CODE - ARE TO BE IN ACCORDANCE WITH THE CODE REQUIREMENTS SET FORTH IN CHAPTER 8 OF THE 2015 IBC AS WELL AS ALL OTHER STATE/LOCAL CODE REQUIREMENTS.
- FOLLOW MANUFACTURER'S WRITTEN INSTALLATION GUIDELINES FOR ALL FINISHES/MATERIALS.
- REFERENCE FINISH PLANS, ELEVATIONS AND REFLECTED CEILING PLAN FOR LOCATIONS OF ALL MATERIALS.
- FLOORING TRANSITIONS TO OCCUR AT CENTERLINE OF DOOR UNLESS NOTED OTHERWISE.
- PROVIDE TRANSITION STRIPS AT CHANGES IN FLOORING.
- SEE DETAILS AND INTERIOR FINISH LEGEND FOR FLOORING TRANSITION TYPES.
- MECHANICAL GRILLES AND DIFFUSERS SHALL BE PAINTED TO MATCH ADJACENT WALL SURFACE UNLESS NOTED OTHERWISE.
- FIELD PAINT IN ANY SPACE IS NOTED IN ROOM TAG. ACCENT PAINT AND ANY ADDITIONAL FINISHES ARE NOTED ON THE FINISH PLAN.
- *MULTIPLE FLOOR FINISH INDICATES MULTIPLE FLOORING MATERIALS. SEE FINISH PLANS FOR FLOORING TYPES.



3 Typical Floor to Base Condition
A9.0 Scale: 1 1/2" = 1'-0"



4 Typical Floor Transition
A9.0 Scale: 1 1/2" = 1'-0"



5 Drain Isolation Detail
A9.0 Scale: 1 1/2" = 1'-0"

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Finish Plans,
Interior Finish
Legend, General
Finish Notes and
Details

Sheet Number:

A9.0

LEGEND

NOTE: ALL SYMBOLS SHOWN MAY NOT APPEAR ON DRAWINGS.

SYM. ABBR.	IDENTIFICATION	SYM. ABBR.	IDENTIFICATION
PIPING ACCESSORIES			
	CO CLEAN OUT		UNION
	WCO WALL CLEAN OUT		THERMOMETER
	FCO FLOOR CLEAN OUT (FLUSH)		PRESSURE GAUGE
	BFP BACKFLOW PREVENTER		HB HOSE BIBB
	PRV PRESSURE REDUCING VALVE		RD / OF ROOF DRAIN / OVERFLOW DRAIN
	SHUTOFF VALVE		DSN DOWN SPOUT NOZZLE
	BALANCE VALVE		FD FLOOR DRAIN
	CHECK VALVE		HD HUB DRAIN
	WHA WATER HAMMER ARRESTOR		SD SITE DRAIN
	TEST CONNECTION	(X) FIXTURE UNIT	
	PIPING CAP		
PIPING			
	CW COLD HARD WATER PIPING		P PROCESS DRAIN PIPING
	CWS COLD SOFT WATER PIPING		LS LOW STRENGTH PROCESS DRAIN PIPING
	HW HOT WATER PIPING		HS HIGH STRENGTH PROCESS DRAIN PIPING
	HWR HOT WATER RETURN PIPING		ST STORM / CONDUCTOR PIPING
	140 HWS 140\"/>		OF STORM / CONDUCTOR PIPING - OVERFLOW
	140 HWR 140\"/>		V VENT PIPING
	HP CW + HP CW HIGH PRESSURE COLD WATER SUPPLY		AW ACID WASTE PIPING
	HP HW + HP HW HIGH PRESSURE HOT WATER SUPPLY		AV ACID VENT PIPING
	HP HWR+ HP HWR HIGH PRESSURE HOT WATER RETURN		CLW CLW CLEARWATER WASTE PIPING
	NP NP NON-POTABLE WATER PIPING		CLV CLV CLEARWATER VENT PIPING
	NP HW+ NP HW NON-POTABLE HOT WATER		G GAS PIPING - NATURAL
	NP HWR+ NP HWR NON-POTABLE HOT WATER RETURN		A AIR PIPING - COMPRESSED
	TW TW TEMPERED WATER PIPING		HS HYDRAULIC SUPPLY PIPING
	SAN SAN SANITARY DRAIN PIPING		HR HYDRAULIC RETURN PIPING
	GW GW GREASE WASTE PIPING		NT NITROGEN PIPING
	ST ST STORM DRAIN PIPING		CO2 CARBON DIOXIDE PIPING
MISCELLANEOUS			
	EL ELEVATION		C.T.E. CONNECT TO EXISTING
	SECTION NUMBER SHEET NUMBER		CALL OUT OR DETAIL NUMBER SHEET NUMBER
ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
AFG	ABOVE FINISHED GRADE	NTS	NOT TO SCALE
BFF	BELOW FINISHED FLOOR	OC	ON CENTER
EC	ELECTRICAL CONTRACTOR	RI	ROUGH IN
FPC	FIRE PROTECTION CONTRACTOR	BJ	BETWEEN JOISTS
GC	GENERAL CONTRACTOR / CONSTRUCTION MANAGER	TJ	THRU JOISTS
PC	PLUMBING CONTRACTOR	TYP	TYPICAL
MC	MECHANICAL CONTRACTOR	VTR	VENT THRU ROOF
IE	INVERT ELEVATION	WP	WEATHER PROOF
FIRE RATED WALLS			
	FIRE - 1 HOUR		FIRE - 3 HOUR
	FIRE - 2 HOUR		FIRE - 4 HOUR

DOMESTIC WATER CALCULATIONS - MCDANIEL PARK

WATER PRESSURE INFORMATION			
1	STATIC PRESSURE AT WATER MAIN	87 PSIG	
2	RESIDUAL PRESSURE AT WATER MAIN	20 PSIG	
3	RESIDUAL FLOW AT WATER MAIN	1300 GPM	
4	FIXTURE UNITS	35.25 W.S.F.U.	
5	PREDOMINATE FLUSH TYPE: TANK OR VALVE	VALVE	
6	EXISTING FLOW	0 GPM	
7	ADDITIONAL FLOW	0 GPM	
8	TOTAL DESIGN FLOW	35.25 GPM	
9	RESIDUAL PRESSURE AT DESIGN FLOW DEMAND	86.9 PSIG	
10	SAFETY FACTOR	5.00 PSIG	
11	PRESSURE AVAILABLE AT WATER MAIN AT DESIGN FLOW	81.88 PSIG	
WATER SERVICE SIZING			
12	ELEVATION OF FLOW TEST HYDRANT	98.00 FEET	
13	ELEVATION OF WATER METER	102.00 FEET	
14	ELEVATION DIFFERENCE OF FLOW TEST HYDRANT AND WATER METER	4.00 FEET	
15	WATER SERVICE MATERIAL TYPE	COPPER	
16	TOTAL DEVELOPED LENGTH FROM WATER MAIN TO WATER METER	10 FEET	
17	WATER SERVICE SIZE	2.00 INCHES	
AVAILABLE WATER PRESSURE			
18	UNIFORM PRESSURE LOSS BETWEEN WATER MAIN AND WATER METER	1.71 PSIG/100'	
19	TOTAL PRESSURE LOSS BETWEEN WATER MAIN AND WATER METER	0.17 PSIG	
20	ELEVATION PRESSURE LOSS BETWEEN WATER MAIN AND WATER METER	1.7 PSIG	
21	WATER METER SIZE	1.50 INCHES	
22	PRESSURE LOSS DUE TO WATER METER	3.80 PSIG	
23	PRESSURE LOSS DUE TO WATER TREATMENT EQUIPMENT	0.00 PSIG	
24	AVAILABLE PRESSURE AFTER WATER METER / TREATMENT EQUIPMENT	76.17 PSIG	
25	PRESSURE LOSS DUE TO PRESSURE REDUCING VALVE	7.00 PSIG	PRESSURE REDUCING VALVE IS REQUIRED
26	PRESSURE REDUCING VALVE OUTLET SETTING	65.00 PSIG	
27	PRESSURE DROP THRU PRESSURE REDUCING VALVE	7.00 PSIG	
28	PRESSURE BOOSTER PUMP OUTLET SETTING	0.00 PSIG	
29	PRESSURE INCREASE DUE TO PRESSURE BOOSTER	0.00 PSIG	
30	AVAILABLE WATER PRESSURE FOR DISTRIBUTION - START POINT	69.17 PSIG	
WATER DISTRIBUTION SIZING - COLD WATER			
A	AVAILABLE WATER PRESSURE FOR DISTRIBUTION - START POINT	69.17 PSIG	
B	CONTROLLING FIXTURE TAG	WC-1	
C	CONTROLLING FIXTURE ROOM NAME	WOMENS	
D	CONTROLLING FIXTURE ROOM NUMBER	B103	
E	CONTROLLING FIXTURE REQUIRED PRESSURE	25.00 PSIG	
F	ELEVATION DIFFERENCE OF CONTROLLING FIXTURE AND WATER METER	2.00 FEET	
G	PRESSURE LOSS DUE TO WATER TREATMENT EQUIPMENT	1.14	58.0 15.0
H	PRESSURE LOSS DUE TO THERMOSTATIC MIXING VALVE	0.00 PSIG	1 1/2 107.0 37.0
I	PRESSURE AVAILABLE FOR PIPING PRESSURE DROP	43.30 PSIG	2 260.0 136.0
J	DEVELOPED LENGTH START POINT TO CONTROLLING FIXTURE	20 FEET	2 1/2 469.0 356.0
K	EQUIVALENT LENGTH START POINT TO CONTROLLING FIXTURE	30 FEET	3 752.0 698.0
L	PRESSURE AVAILABLE FOR UNIFORM LOSS	144.35 PSIG/100'	4 1792.0 1792.0
WATER DISTRIBUTION SIZING - HOT WATER			
M	AVAILABLE WATER PRESSURE FOR DISTRIBUTION - START POINT	69.17 PSIG	
N	CONTROLLING FIXTURE TAG	S-2 CONCESSIONS	
O	CONTROLLING FIXTURE ROOM NAME	B105	
P	CONTROLLING FIXTURE ROOM NUMBER	8.00 PSIG	3/4 10.3
Q	CONTROLLING FIXTURE REQUIRED PRESSURE	0.00 FEET	1 19.4
R	ELEVATION DIFFERENCE OF CONTROLLING FIXTURE AND WATER METER	0.00 PSIG	1 1/4 36.3
S	PRESSURE LOSS DUE TO TREATMENT EQUIPMENT	0.00 PSIG	1 1/2 66.9
T	PRESSURE LOSS DUE TO THERMOSTATIC MIXING VALVE	61.17 PSIG	2 162.5
U	PRESSURE AVAILABLE FOR PIPING PRESSURE DROP	45 FEET	2 1/2 293.1
V	DEVELOPED LENGTH START POINT TO CONTROLLING FIXTURE	68 FEET	3 470.0
W	EQUIVALENT LENGTH START POINT TO CONTROLLING FIXTURE	90.63 PSIG/100'	4 1120.0
X	PRESSURE AVAILABLE FOR UNIFORM LOSS		
WATER PIPE MATERIAL			
Y	PIPE MAINS AND BRANCHES	COPPER	
Z	PIPE SUPPLY TO EACH FIXTURE	COPPER	

DOMESTIC WATER CALCULATIONS - MCFARLAND DOG PARK

WATER PRESSURE INFORMATION			
1	STATIC PRESSURE AT WATER MAIN	80 PSIG	
2	RESIDUAL PRESSURE AT WATER MAIN	20 PSIG	
3	RESIDUAL FLOW AT WATER MAIN	6000 GPM	
4	FIXTURE UNITS	24 W.S.F.U.	
5	PREDOMINATE FLUSH TYPE: TANK OR VALVE	VALVE	
6	EXISTING FLOW	0 GPM	
7	ADDITIONAL FLOW	0 GPM	
8	TOTAL DESIGN FLOW	37.0 GPM	
9	RESIDUAL PRESSURE AT DESIGN FLOW DEMAND	80.0 PSIG	
10	SAFETY FACTOR	5.00 PSIG	
11	PRESSURE AVAILABLE AT WATER MAIN AT DESIGN FLOW	75.00 PSIG	
WATER SERVICE SIZING			
12	ELEVATION OF FLOW TEST HYDRANT	863.00 FEET	
13	ELEVATION OF WATER METER	2.58 PSIG	
14	ELEVATION DIFFERENCE OF FLOW TEST HYDRANT AND WATER METER	863.00 FEET	
15	WATER SERVICE MATERIAL TYPE	0.00 FEET	
16	TOTAL DEVELOPED LENGTH FROM WATER MAIN TO WATER METER	COPPER	
17	WATER SERVICE SIZE	200 FEET	
		2.00 INCHES	
AVAILABLE WATER PRESSURE			
18	UNIFORM PRESSURE LOSS BETWEEN WATER MAIN AND WATER METER	1.29 PSIG/100'	
19	TOTAL PRESSURE LOSS BETWEEN WATER MAIN AND WATER METER	0.17 PSIG	
20	ELEVATION PRESSURE LOSS BETWEEN WATER MAIN AND WATER METER	0.0 PSIG	
21	WATER METER SIZE	1.50 INCHES	
22	PRESSURE LOSS DUE TO WATER METER	2.90 PSIG	
23	PRESSURE LOSS DUE TO WATER TREATMENT EQUIPMENT	0.00 PSIG	
24	AVAILABLE PRESSURE AFTER WATER METER / TREATMENT EQUIPMENT	69.51 PSIG	
25	PRESSURE LOSS DUE TO PRESSURE REDUCING VALVE	0.00 PSIG	
26	PRESSURE REDUCING VALVE OUTLET SETTING	0.00 PSIG	
27	PRESSURE DROP THRU PRESSURE REDUCING VALVE	0.00 PSIG	
28	PRESSURE BOOSTER PUMP OUTLET SETTING	0.00 PSIG	
29	PRESSURE INCREASE DUE TO PRESSURE BOOSTER	0.00 PSIG	
30	AVAILABLE WATER PRESSURE FOR DISTRIBUTION - START POINT	69.51 PSIG	
WATER DISTRIBUTION SIZING - COLD WATER			
A	AVAILABLE WATER PRESSURE FOR DISTRIBUTION - START POINT	69.51 PSIG	
B	CONTROLLING FIXTURE TAG	WC-1 TOILET	
C	CONTROLLING FIXTURE ROOM NAME	103	
D	CONTROLLING FIXTURE ROOM NUMBER	1/2	5.0 NP
E	CONTROLLING FIXTURE REQUIRED PRESSURE	25.00 PSIG	3/4 16.5 4.0
F	ELEVATION DIFFERENCE OF CONTROLLING FIXTURE AND WATER METER	2.00 FEET	1 31.0 6.5
G	PRESSURE LOSS DUE TO WATER TREATMENT EQUIPMENT	0.00 PSIG	1 1/4 58.0 15.0
H	PRESSURE LOSS DUE TO THERMOSTATIC MIXING VALVE	0.00 PSIG	1 1/2 107.0 37.0
I	PRESSURE AVAILABLE FOR PIPING PRESSURE DROP	43.64 PSIG	2 260.0 136.0
J	DEVELOPED LENGTH START POINT TO CONTROLLING FIXTURE	30 FEET	2 1/2 469.0 356.0
K	EQUIVALENT LENGTH START POINT TO CONTROLLING FIXTURE	45 FEET	3 752.0 698.0
L	PRESSURE AVAILABLE FOR UNIFORM LOSS	96.99 PSIG/100'	4 1792.0 1792.0
WATER DISTRIBUTION SIZING - HOT WATER			
M	AVAILABLE WATER PRESSURE FOR DISTRIBUTION - START POINT	69.51 PSIG	
N	CONTROLLING FIXTURE TAG	DW-1	
O	CONTROLLING FIXTURE ROOM NAME	DOG WASH	
P	CONTROLLING FIXTURE ROOM NUMBER	A101	
Q	CONTROLLING FIXTURE REQUIRED PRESSURE	8.00 PSIG	3/4 10.3
R	ELEVATION DIFFERENCE OF CONTROLLING FIXTURE AND WATER METER	3.00 FEET	1 19.4
S	PRESSURE LOSS DUE TO TREATMENT EQUIPMENT	0.00 PSIG	1 1/4 36.3
T	PRESSURE LOSS DUE TO THERMOSTATIC MIXING VALVE	1.00 PSIG	1 1/2 66.9
U	PRESSURE AVAILABLE FOR PIPING PRESSURE DROP	59.21 PSIG	2 162.5
V	DEVELOPED LENGTH START POINT TO CONTROLLING FIXTURE	40 FEET	2 1/2 293.1
W	EQUIVALENT LENGTH START POINT TO CONTROLLING FIXTURE	60 FEET	3 470.0
X	PRESSURE AVAILABLE FOR UNIFORM LOSS	98.68 PSIG/100'	4 1120.0
WATER PIPE MATERIAL			
Y	PIPE MAINS AND BRANCHES	COPPER	
Z	PIPE SUPPLY TO EACH FIXTURE	COPPER	

GREASE INTERCEPTOR CALCULATIONS - INTERIOR

SINK(S)	COMPARTMENT						
	NUMBER OF BOWLS	LENGTH (INCHES)	WIDTH (INCH)	DEPTH (INCHES)	VOLUME (CU. IN.)	VOLUME (GALLONS)	VOLUME x 0.75 (GPM)
TWO COMPARTMENT	2	22	16	6.5	4,576	20	15
TOTAL REQUIRED FLOW RATE (GPM)							15

SANITARY EJCTOR - 1 CALCULATIONS

SIZE INFORMATION	
NUMBER OF PUMPS	2 PUMP(S)
PUMP FLOW DISCHARGE	40.0 GPM
Basin DIAMETER	36 INCHES
INLET INFORMATION	
DRAIN FLOW	57.5 D.F.U.
WATER CLOSETS - THREE OR MORE	YES
WATER FLOW	35.25 W.S.F.U.
PREDOMINATE FLUSH TYPE: TANK OR VALVE	VALVE
ADDITIONAL FLOW	0 GPM
TOTAL FLOW	43 GPM
MINIMUM ZONE LEVEL HEIGHTS	
MINIMUM PUMP RUN TIME	20 SECONDS
MINIMUM DRAW DOWN HOLDING CAPACITY	13.3 GPM
MINIMUM SUMP HOLDING CAPACITY PER INCH	4.40 INCHES
MINIMUM ZONE LEVEL HEIGHTS	
INLET PIPE INVERT ELEVATION BELOW FINISH FLOOR	24.00 INCHES
RESERVE	3.41 INCHES
DRAW DOWN	3.03 INCHES
PERMUNARY PUMP COVER	4.00 INCHES
PERMUNARY BASIN HEIGHT	39 INCHES
STANDARD MANUFACTURED SIZE HEIGHT DIFFERENCE	9.00 INCHES
FINAL PUMP COVER	13.00 INCHES
FINAL BASIN HEIGHT	48 INCHES

DETAIL REFERENCE CODE

A =	48 INCHES
B =	36.00 INCHES
C =	13.00 INCHES
D =	3.03 INCHES
E =	3.03 INCHES
F =	1.52 INCHES
G =	3.41 INCHES
H =	24.00 INCHES

GENERAL INSTALLATION NOTES

- SEE PLUMBING SPECIFICATIONS FOR MORE INFORMATION.
- PLUMBING INSTALLATION SHALL BE INSTALLED PER WISCONSIN UNIFORM PLUMBING CODE AND PER LOCAL PLUMBING CODE FOR ITEMS NOT NOTED.
- FIELD VERIFY UNDERGROUND PIPING LOCATION, DEPTH AND SIZE AT POINT OF CONNECTION AND THAT NEW PIPE ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO INSTALLATION OF ANY UNDERGROUND PIPING. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL PIPING IS TO BE CONCEALED. IF BUILDING CONSTRUCTION DOES NOT PERMIT CONCEALING PIPING, LOCATIONS AND ROUTING ARE TO BE APPROVED BY ARCHITECT/OWNER PRIOR TO INSTALLATION.
- ROUTE ALL PIPING IN COORDINATION WITH OTHER TRADES.
- FLOOR AND WALL CLEANOUT LOCATIONS NOT PERMITTED TO BE MOVED WITHOUT APPROVAL OF ARCHITECT/ENGINEER.
- SEE ARCHITECTURAL SHEETS FOR ADA RELATED INSTALLATION DETAILS.
- SEE STRUCTURAL FOOTING, TRUSS AND JOIST ELEVATIONS AND DETAILS.
- SEE MECHANICAL PLANS FOR AREAS THAT ARE USED AS A RETURN AIR PLENUM. PROVIDE PLENUM RATED PIPE OR PIPE WRAP AS PER PROJECT'S PLUMBING SPECIFICATIONS.
- SEE MECHANICAL PLANS AND HVAC CONTRACTOR FOR FINAL LOCATION OF HVAC EQUIPMENT IN MECHANICAL / BOILER ROOMS TO COORDINATE FINAL LOCATIONS OF FLOOR / HUB / SITE DRAINS PRIOR TO INSTALLATION.
- SEE PLUMBING ISOMETRICS SHEETS FOR PIPE SIZE AND LOAD INFORMATION NOT SHOWN ON FLOOR PLANS.
- SLOPE ALL SANITARY AND STORM PIPING 3" AND LARGER AT 1/8"FT UNLESS NOTED OTHERWISE.
- SLOPE ALL SANITARY AND STORM PIPING 2" AND SMALLER AT 1/4"FT UNLESS NOTED OTHERWISE.
- SLOPE ALL SANITARY GREASE WASTE PIPING AT 1/4"FT UNLESS NOTED OTHERWISE.
- INSTALL CLEANOUTS AT STACKS WHICH PENETRATE THE LOWEST FLOOR LEVEL 30" A.F.F. UNLESS NOTED OTHERWISE.
- INSTALL BALL VALVES TO ISOLATE HOT AND COLD WATER BRANCH PIPING FROM HOT AND COLD WATER MAINS FOR EACH PLUMBING FIXTURES OR ROOMS WITH MULTIPLE PLUMBING FIXTURES.
- INSTALL EXTERIOR HOSE BIBBS AT 18" A.F.F. UNLESS NOTED OTHERWISE.
- INSTALL INTERIOR HOSE BIBBS AT 36" A.F.F. UNLESS NOTED OTHERWISE.
- INSTALL DOWN SPOUT NOZZLES AT 18" A.F.F. UNLESS NOTED OTHERWISE.

GENERAL DEMOLITION NOTES

- SEE PLUMBING SPECIFICATIONS FOR MORE INFORMATION.
- ALL PIPING AND FIXTURES SHOWN HEAVY DASHED ARE TO BE DEMOLISHED.
- ALL PIPING AND FIXTURES SHOWN LIGHTER ARE EXISTING TO REMAIN.
- COORDINATE DEMOLITION OF EXISTING PIPING TO BE REMOVED WITH GENERAL CONTRACTOR.
- SOME EXISTING PLANS OF UNDERGROUND PIPING EXIST. PIPING SHOWN WITHOUT EXISTINGS PLANS ARE THE ENGINEER'S ESTIMATION OF ROUTING. FIELD VERIFY LOCATIONS OF EXISTING PIPE MAINS. REUSE ANY PIPING OF SUFFICIENT SIZE IN GOOD CONDITION. REROUTE AS REQUIRED PER FIELD CONDITIONS.
- FIELD VERIFY LOCATIONS OF EXISTING PIPE MAINS. REUSE ANY PIPING OF SUFFICIENT SIZE IN GOOD CONDITION. REROUTE AS REQUIRED PER FIELD CONDITIONS.
- WHERE EXISTING PIPING IS SHOWN TO BE REMOVED, CAP BRANCH PIPE IF NOT BEING USED FOR NEW CONSTRUCTION.

DESIGN PROFESSIONAL

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SHEET INDEX - PLUMBING	
SHEET NUMBER	SHEET NAME
P0.0	LEGEND AND GENERAL NOTES
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P2.0A	TOILET / DOG WASH SHELTER ISOMETRIC - SANITARY DWV
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P2.1A	TOILET / DOG WASH SHELTER ISOMETRIC - DOMESTIC WATER
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P3.0	DETAILS
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Project Title:

McFarland Park Facility Projects
Village of McFarland
McFarland, WI

REVISIONS:

NO.	DATE	DESCRIPTION
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Project Number:

3491

Issued For:

Construction Documents

Issued to Bid 06/05/2020

Sheet Title:

LEGEND AND GENERAL NOTES

Sheet Number:

P0.0

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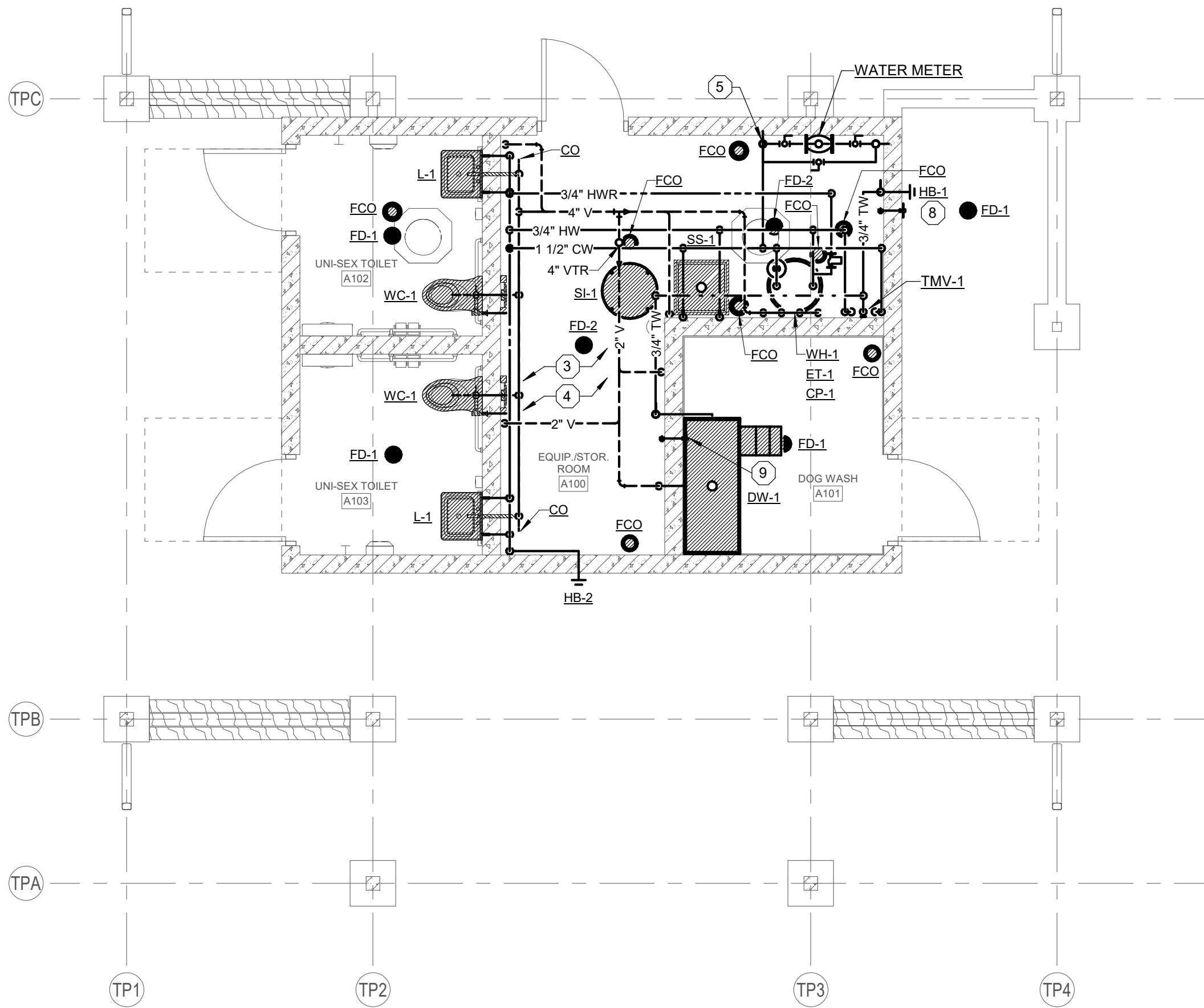
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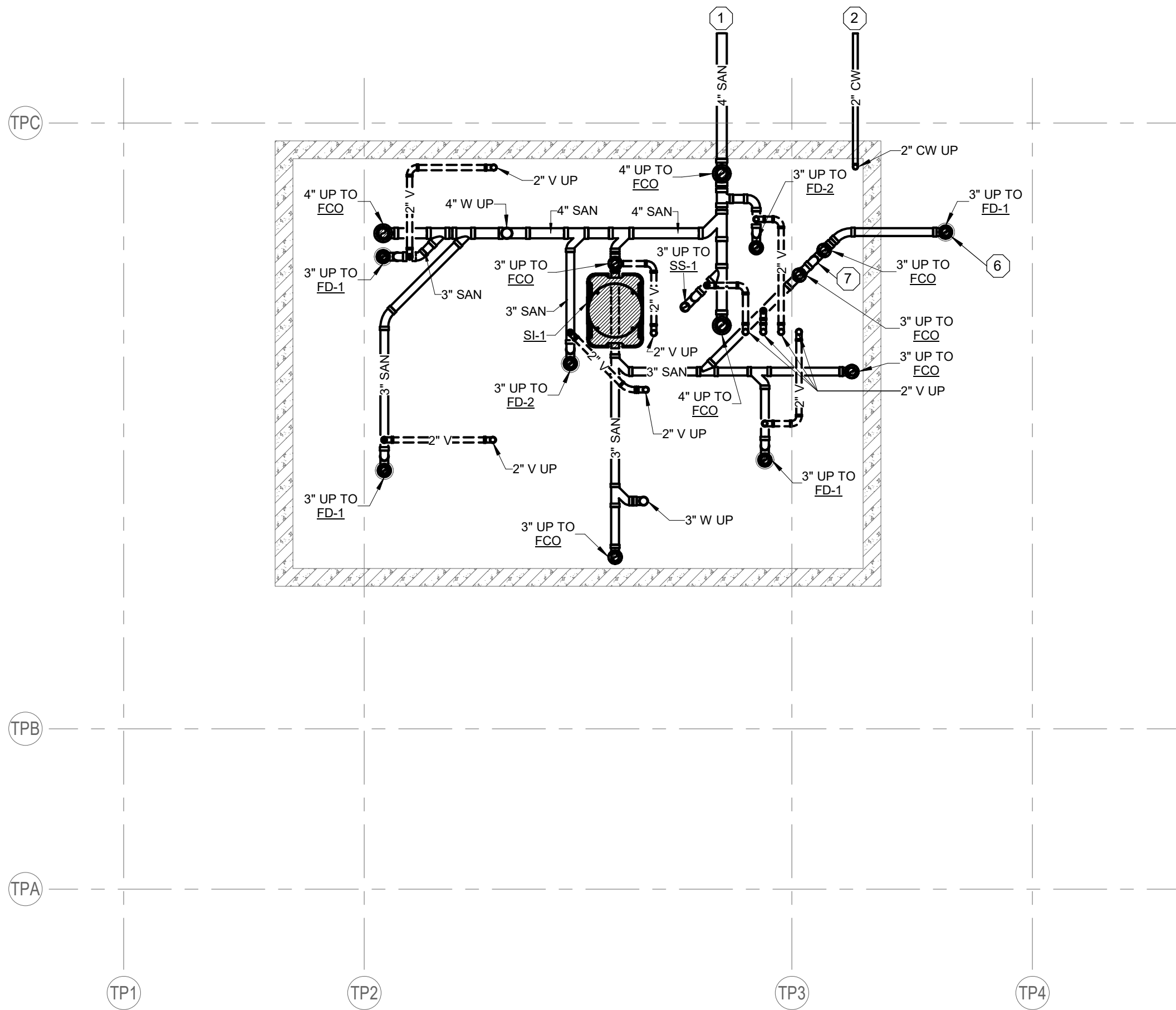
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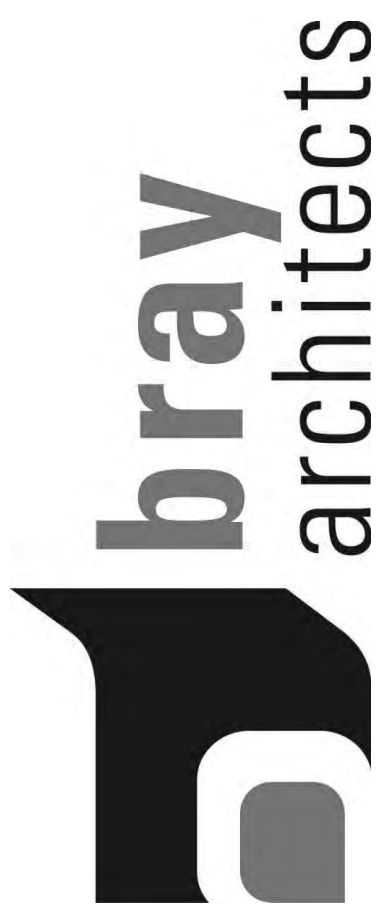


1
P1.1A
TOILET / PET WASH SHELTER FLOOR PLAN
Scale: 1/4" = 1'-0"



2
P1.1A
TOILET / PET WASH SHELTER FOUNDATION PLAN
Scale: 1/4" = 1'-0"

- ### INSTALLATION NOTES
- NOT ALL KEYNOTES APPEAR ON THIS SHEET
1. TERMINATE SANITARY DRAIN PIPING 5 FEET OUTSIDE OF BUILDING FOR EXTENSION TO SANITARY SEWER BY SITE UTILITY CONTRACTOR. FIELD VERIFY INVERT ELEVATIONS OF UNDERGROUND DRAIN PIPING WITH SEWER PIPING PRIOR TO ANY INSTALLATION. PROVIDE A MINIMUM OF 5.5 FEET OF GROUND COVER OVER SANITARY DRAIN PIPING. SEE CIVIL SHEETS FOR MORE INFORMATION.
 2. TERMINATE WATER SERVICE PIPING 5 FEET OUTSIDE OF BUILDING FOR EXTENSION TO WATER SERVICE LATERAL BY SITE UTILITY CONTRACTOR. FIELD VERIFY INVERT ELEVATIONS TO ANY INSTALLATION. PROVIDE A MINIMUM OF 6.5 FEET OF GROUND COVER OVER WATER SERVICE PIPING. SEE CIVIL SHEETS FOR MORE INFORMATION.
 3. ROUTE WATER PIPING EXPOSED TIGHT TO INTERIOR SIDE OF THE WALL. PROVIDE U-STRUT CHANNEL AS REQUIRED.
 4. ROUTE WATER PIPING EXPOSED TIGHT TO INTERIOR SIDE OF THE CEILING. PROVIDE U-STRUT CHANNEL AS REQUIRED.
 5. PROVIDE DRAIN DOWN VALVE AT THE LOWEST POINT OF THE WATER PIPING. ALL WATER PIPING SHALL BE INSTALLED WITH 1/8" SLOPE TO ALLOW FOR WINTERIZATION DRAINING TO THE LOWEST POINT OF THE SYSTEM.
 6. OUTDOOR FLOOR DRAIN SHALL HAVE TRAP LOCATED INSIDE BUILDING FOR FREEZE PROTECTION.
 7. LOCATION OF INDOOR TRAP WITH FLOOR CLEANOUTS. SEE ISOMETRIC DRAWING FOR MORE DETAIL.
 8. OUTDOOR PET WASH STATION TO HAVE 42" HEIGHT WALL MOUNTED PUSH BUTTON TO CONTROL INDOOR SOLENOID VALVE LOCATED IN TEMPERED WATER LINE BEHIND WALL IN SPACE A100. CONNECT HOSE AND WASHING WAND TO HOSE BIBB AND COIL HOSE/WAND ON WALL MOUNTED HOOK. ADJUST VALVE CONTROLLER TO TIME LIMIT DESIRED BY OWNER. SET HOSE BIBB TO OPEN POSITION SUCH THAT WATER FLOW IS CONTROLLED BY PUSH BUTTON FOR SOLENOID VALVE.
 9. INDOOR DOG WASH STATION WITH PRE-MANUFACTURED STAINLESS STEEL TUB PER SCHEDULE. MOUNT PUSH BUTTON ON TUB NEAR UPPER RIGHT CORNER TO CONTROL SOLENOID VALVE LOCATED IN TEMPERED WATER LINE BEHIND WALL IN SPACE A100. CONNECT HOSE AND SPRAYER HEAD TO PROVIDED SPOUT MOUNTED ON RIGHT SIDE OF TUB, AND CONNECT SINGLE TEMPERED WATER CONNECTION TO PLUMBING CONNECTION. CAP OFF OPEN PLUMBING CONNECTION ON FIXTURE AND FIX SUPPLY VALVES IN OPEN POSITION SUCH THAT WATER FLOW IS CONTROLLED BY PUSH BUTTON FOR SOLENOID VALVE.



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Project Title:
McFarland Park Facility Projects
Village of McFarland
McFarland, WI

REVISIONS:

DATE	DESCRIPTION
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Project Number:
3491

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Sheet Title:
TOILET / DOG WASH SHELTER PLANS

Sheet Number:
P1.1A

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B

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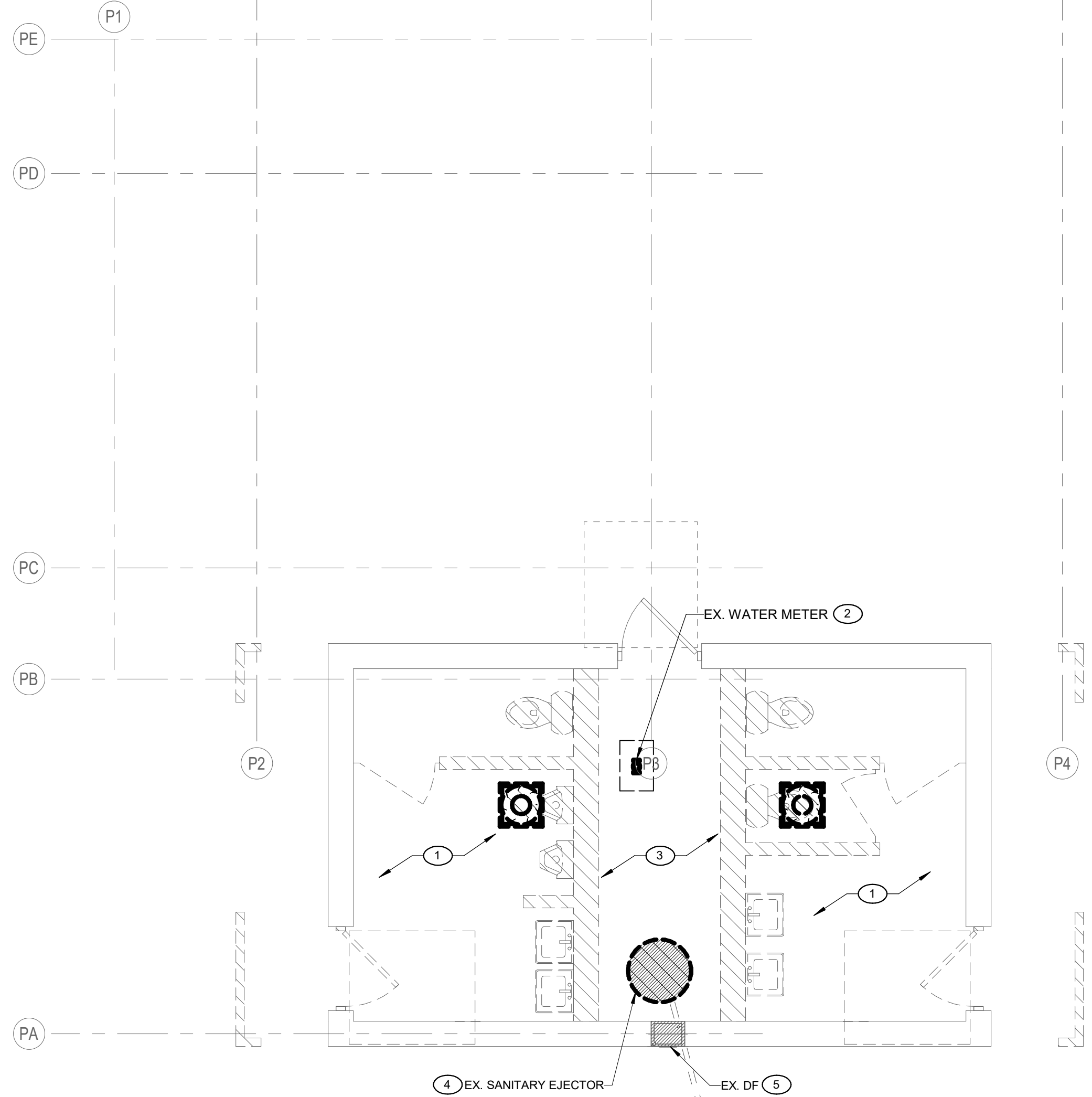
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2

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3 PAVILION ADDITION DEMOLITION PLAN
P1.1C Scale: 1/4" = 1'-0"

DEMOLITION NOTES

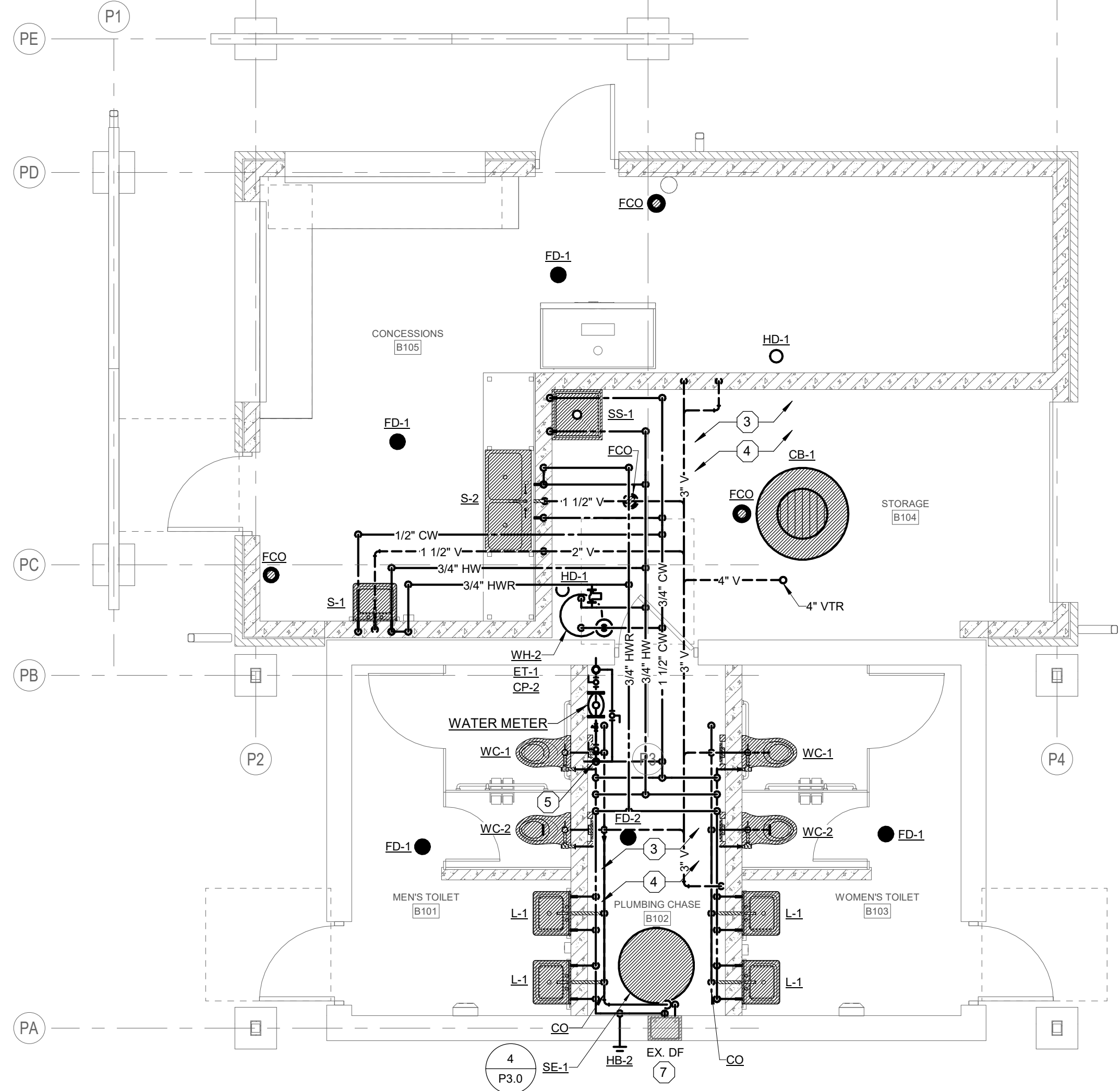
NOT ALL KEYNOTES APPEAR ON THIS SHEET

1. REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES/EQUIPMENT. REMOVE ALL EXISTING PIPING TO MINIMUM 36" BELOW FINISHED FLOOR AND PLUGCAP REMAINING PIPE. COORDINATE WITH ARCHITECT AND GENERAL CONTRACTOR TO PATCH SURFACES TO ALLOW PROPER FINISH TO NEW BATHROOM SURFACES.
2. EXISTING WATER METER AND 1-1/2" CW SERVICE INSIDE A PIT TO BE REMOVED BACK TO WATER MAIN TO ALLOW FOR INSTALLATION OF NEW 2" SERVICE. COORDINATE WITH GENERAL CONTRACTOR AND SITE CIVIL FOR NEW CONNECTION OF 2" SERVICE.
3. REMOVE AND DISPOSE OF ALL EXISTING PLUMBING FIXTURES/EQUIPMENT/PIPING LOCATED IN THIS SPACE TO A MINIMUM OF 36" BELOW FINISHED FLOOR AND PLUGCAP REMAINING PIPE.
4. REMOVE AND DISPOSE OF EXISTING SANITARY EJECTOR PUMP AND PIT. EXISTING 2" PUMP DISCHARGE PIPE TO REMAIN AND BE REUSED. TEMPORARILY CAP AND ALLOW FOR RECONNECTION OF REMAINING PIPE. BACK FILL WITH GRAVEL AS REQUIRED TO INSTALL NEW SEWAGE EJECTOR PIT PER NEW PLANS. COORDINATE WITH GENERAL CONTRACTOR FOR SAW CUTTING OF FLOOR TO ALLOW FOR COMPLETE REMOVAL OF ALL REMOVED EQUIPMENT AND PIPING.
5. EXISTING DRINKING FOUNTAIN TO REMAIN.

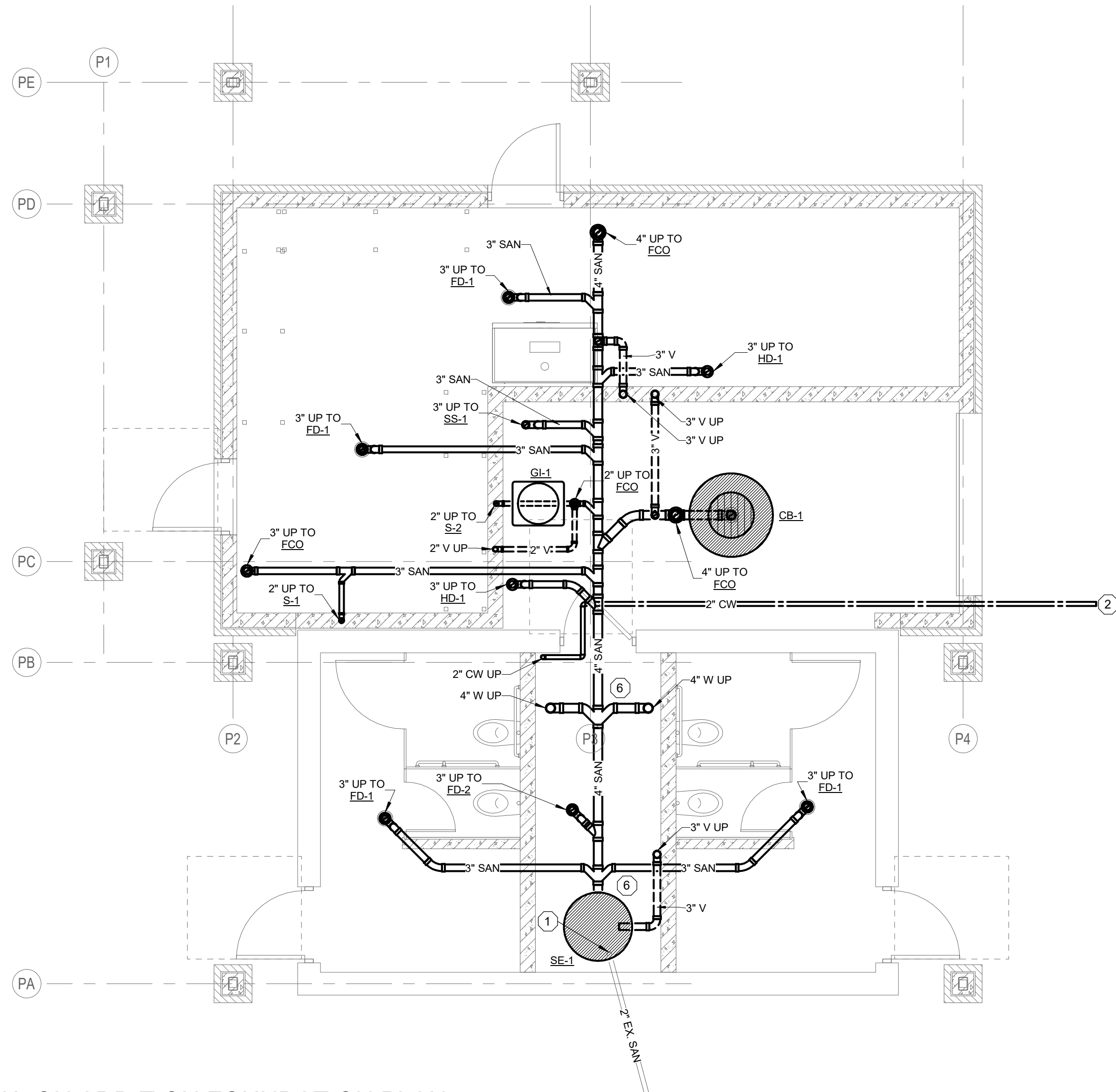
INSTALLATION NOTES

NOT ALL KEYNOTES APPEAR ON THIS SHEET

1. EXISTING 2" PRESSURIZED SANITARY SEWER. FIELD VERIFY INVERT ELEVATIONS OF UNDERGROUND DRAIN PIPING WITH SEWER PIPING PRIOR TO ANY INSTALLATION. PROVIDE CAMERA INSPECTION AND CLEANING OF EXISTING DRAIN. NOTIFY ENGINEER OF ANY IRREGULARITIES THAT WILL PREVENT THE NORMAL OPERATIONS OF THE SYSTEM. SEE CIVIL SHEETS FOR MORE INFORMATION.
2. TERMINATE NEW 2" WATER SERVICE PIPING TO 5 FEET OUTSIDE OF BUILDING FOR EXTENSION TO WATER SERVICE LATERAL BY SITE UTILITY CONTRACTOR. FIELD VERIFY INVERT ELEVATIONS TO ANY INSTALLATION. PROVIDE A MINIMUM OF 6.5 FEET OF GROUND COVER OVER WATER SERVICE PIPING. COORDINATE CONNECTION TO NEW SERVICE WITH SITE UTILITY CONTRACTOR TO ALLOW FOR WINTERIZATION OF BUILDING. SEE CIVIL SHEETS FOR MORE INFORMATION.
3. ROUTE WATER PIPING EXPOSED TIGHT TO INTERIOR SIDE OF THE WALL. PROVIDE U-STRUT CHANNEL AS REQUIRED.
4. ROUTE WATER PIPING EXPOSED TIGHT TO INTERIOR SIDE OF THE CEILING. PROVIDE U-STRUT CHANNEL AS REQUIRED.
5. PROVIDE DRAIN DOWN VALVE AT THE LOWEST POINT OF THE WATER PIPING. ALL WATER PIPING SHALL BE INSTALLED WITH 1/8" SLOPE TO ALLOW FOR WINTERIZATION DRAINING TO THE LOWEST POINT OF THE SYSTEM.
6. PROVIDE COMBINATION DRAIN AND VENT INSTALLATION PER SPS 382.31(17)(b). PROVIDE FLOOR CLEANOUTS AS REQUIRED FOR PROPER INSTALLATION.
7. PROVIDE NEW DOMESTIC COLD WATER PIPING AND SANITARY DRAIN, WASTE AND VENT PIPING TO EXISTING PLUMBING FIXTURE. MOUNT NEW PIPING TIGHT TO WALL OF ROOM B102.



1 PAVILION ADDITION FLOOR PLAN
P1.1C Scale: 1/4" = 1'-0"



2 PAVILION ADDITION FOUNDATION PLAN
P1.1C Scale: 1/4" = 1'-0"

Project Title:

**McFarland Park Facility Projects
Village of McFarland
McFarland, WI**

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Sheet Title:
**PAVILION
ADDITION PLANS**

Sheet Number:

P1.1C

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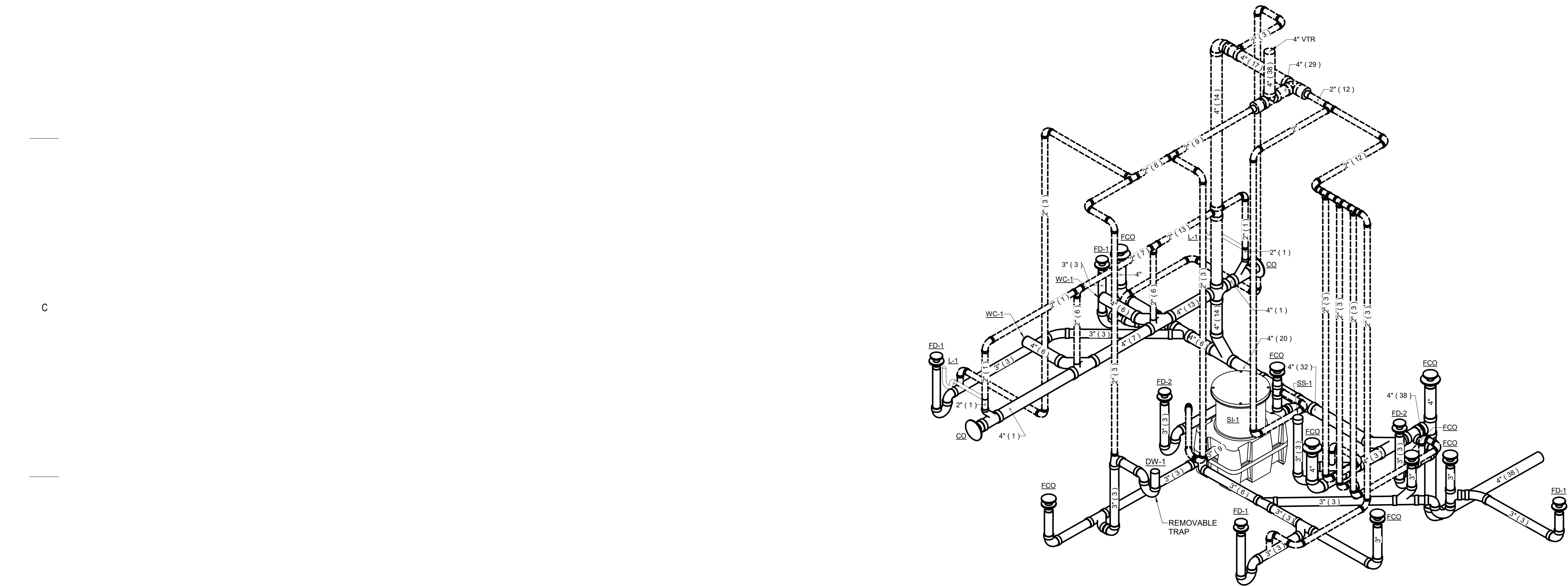
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TOILET / PET WASH SHELTER SANITARY DWV ISOMETRICS
NTS

SANITARY ISOMETRIC NOTES

SEE FOUNDATION / FLOOR PLANS AND PLUMBING FIXTURE UNIT
TABLE ON SHEET P20.0 FOR DRAIN WASTE BRANCH PIPE SIZE TO
FIXTURE.

ALL VENT PIPING SERVING INDIVIDUAL WATER CLOSETS WITH
CARRIERS SHALL BE 2" UNLESS OTHERWISE NOTED.

ALL VENT PIPING SERVING INDIVIDUAL FIXTURES, OTHER THAN
WATER CLOSETS WITH CARRIERS, SHALL BE 1 1/2" UNLESS
OTHERWISE NOTED.



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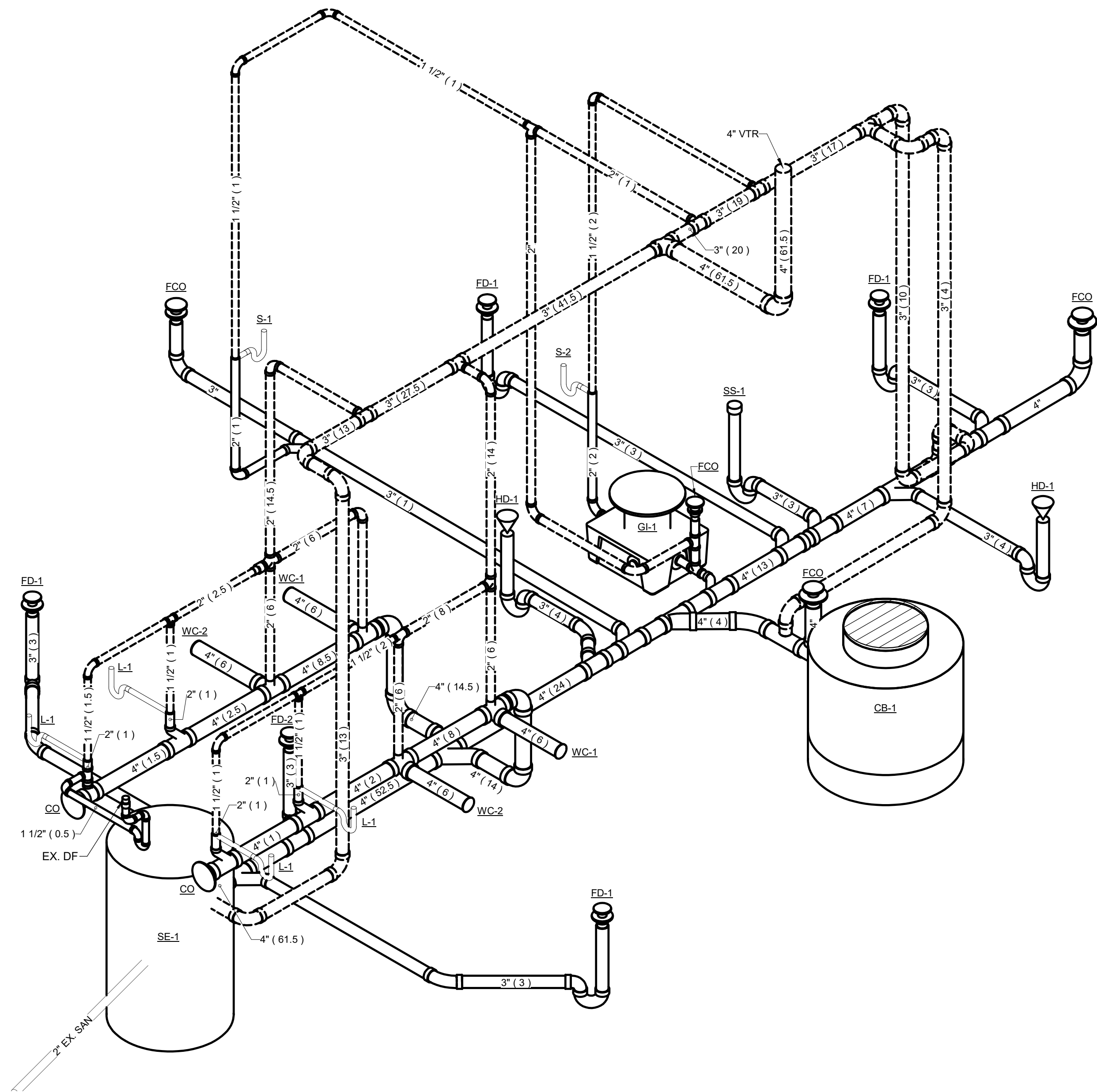
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Sheet Title:

**TOILET / DOG
WASH SHELTER
ISOMETRIC -
SANITARY DWV**

Sheet Number:

P2.0A

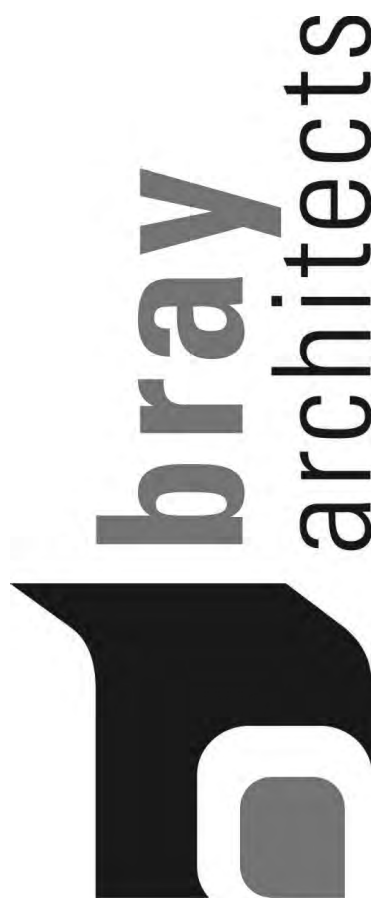


PAVILION ADDITION SANITARY DWV ISOMETRICS
NTS

SANITARY ISOMETRIC NOTES
SEE FOUNDATION / FLOOR PLANS AND PLUMBING FIXTURE UNIT
TABLE ON SHEET P20.0 FOR DRAIN/WASTE BRANCH PIPE SIZE TO
FIXTURE.

ALL VENT PIPING SERVING INDIVIDUAL WATER CLOSETS WITH
CARRIERS SHALL BE 2" UNLESS OTHERWISE NOTED.

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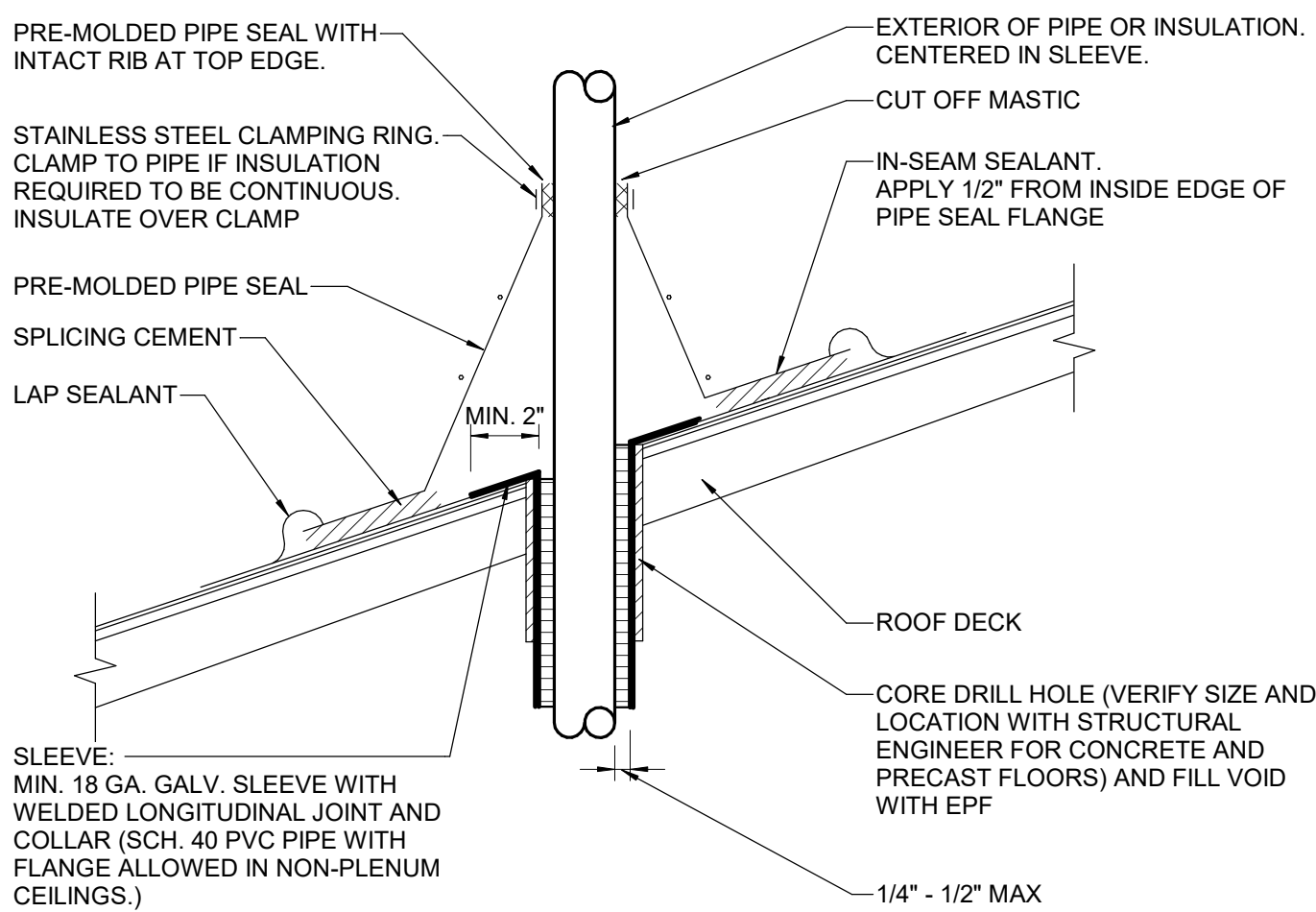
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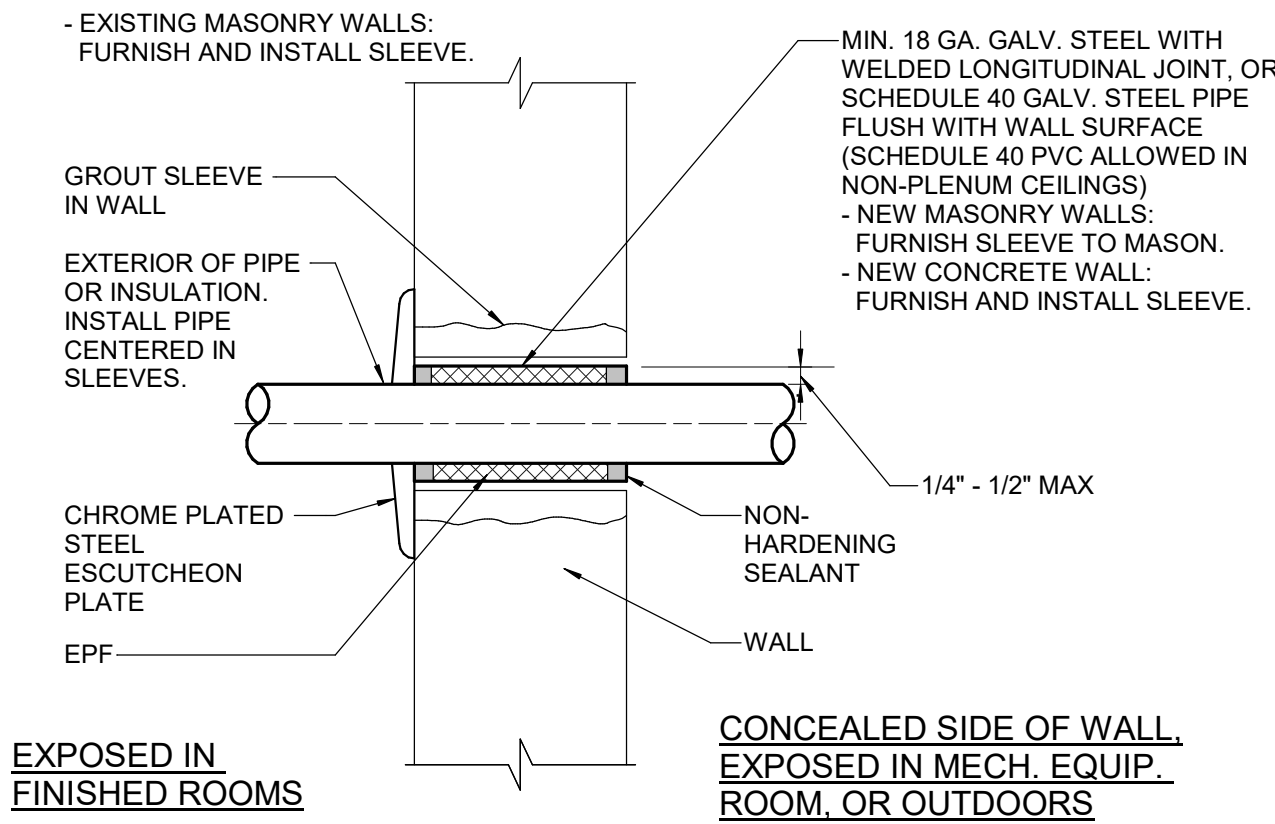
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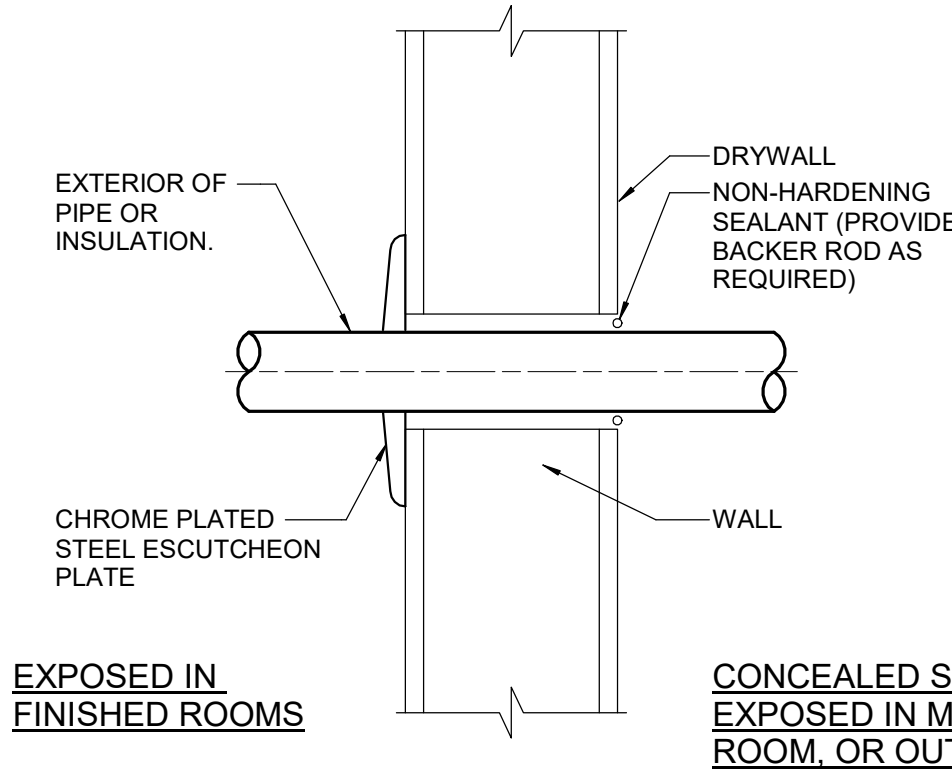
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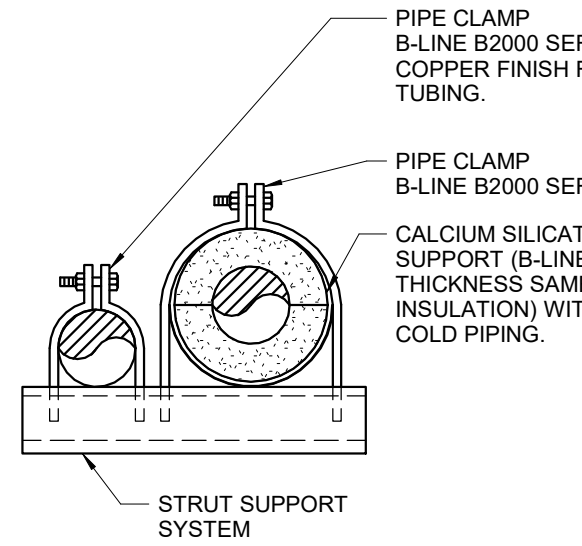
APPLICATIONS
- ROOF PIPE BOOT PENETRATION DETAIL



APPLICATIONS
- PIPE PENETRATION THRU MASONRY OR CONCRETE WALL



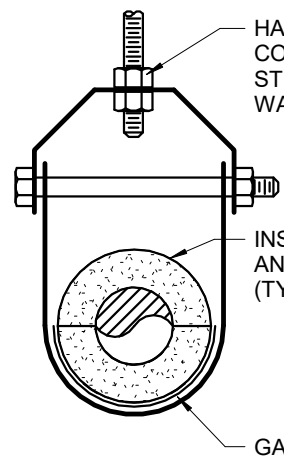
APPLICATIONS
- PIPE PENETRATION THRU STUD WALL



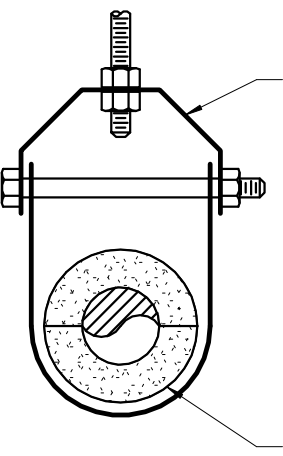
APPLICATIONS
- UNINSULATED PIPING

MAX. SPACING BETWEEN PIPE SUPPORTS AND MIN. HANGER ROD SIZES											
PIPE SIZE	STEEL			COPPER			PVC			CAST IRON	
	WATER	GAS	MIN. ROD	WATER	GAS	MIN. ROD	CPVC	PEX	CAST	IRON	MIN. ROD
1/4\"/>											

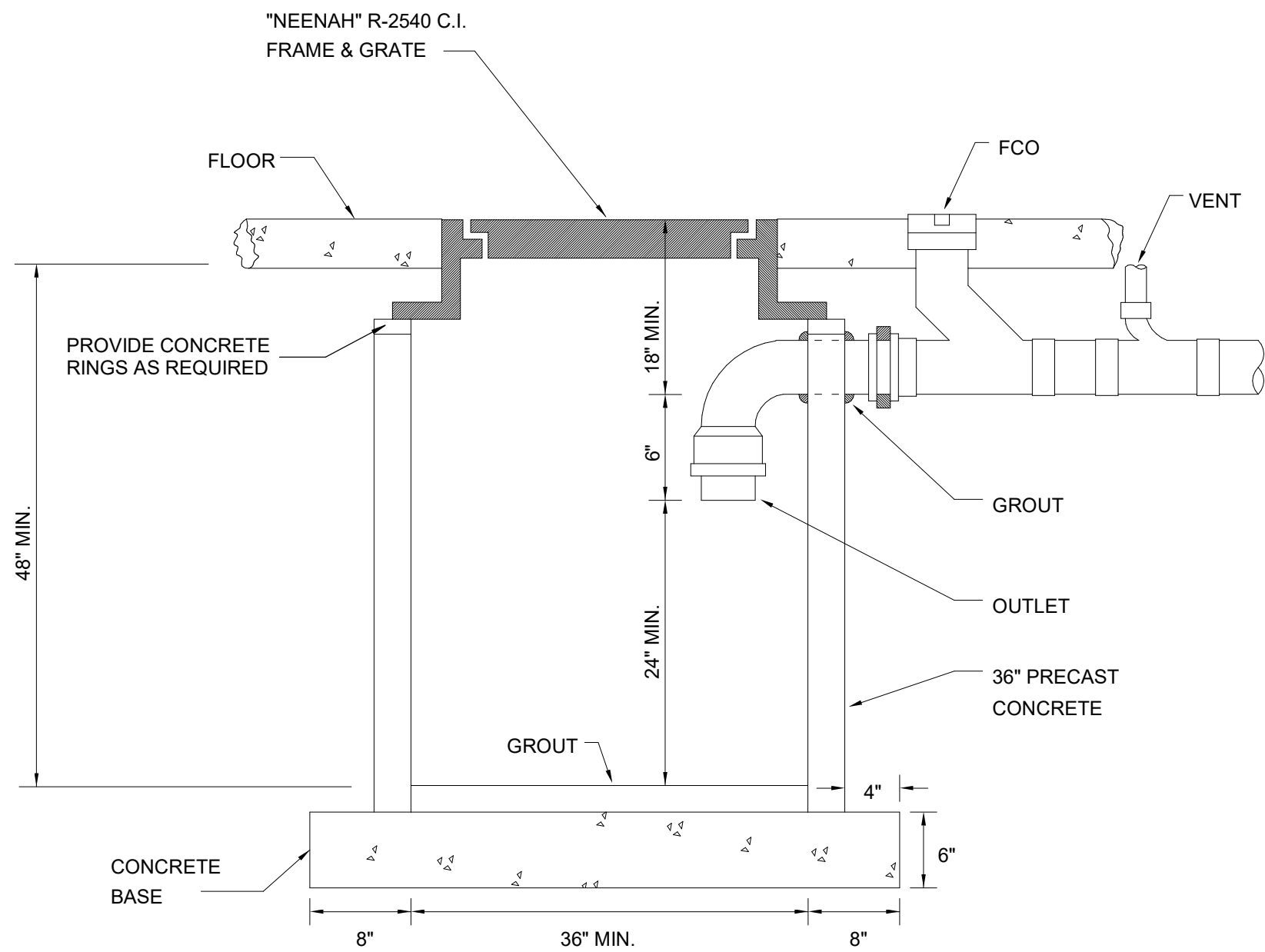
(1) SUPPORT AT MINIMUM EVERY FLOOR LEVEL OR SPACING LISTED.
(2) SPACING MAY BE INCREASED TO 10' FOR 10' PIPE LENGTHS.
MSS = MANUFACTURER'S STANDARDIZATION SOCIETY
- INSTALL ADDITIONAL HANGERS WITHIN 12" OF ELBOWS AND TEES AND AT CONCENTRATED LOADS, INCLUDING VALVES, FLANGES AND STRAINERS 2 1/2" AND LARGER.



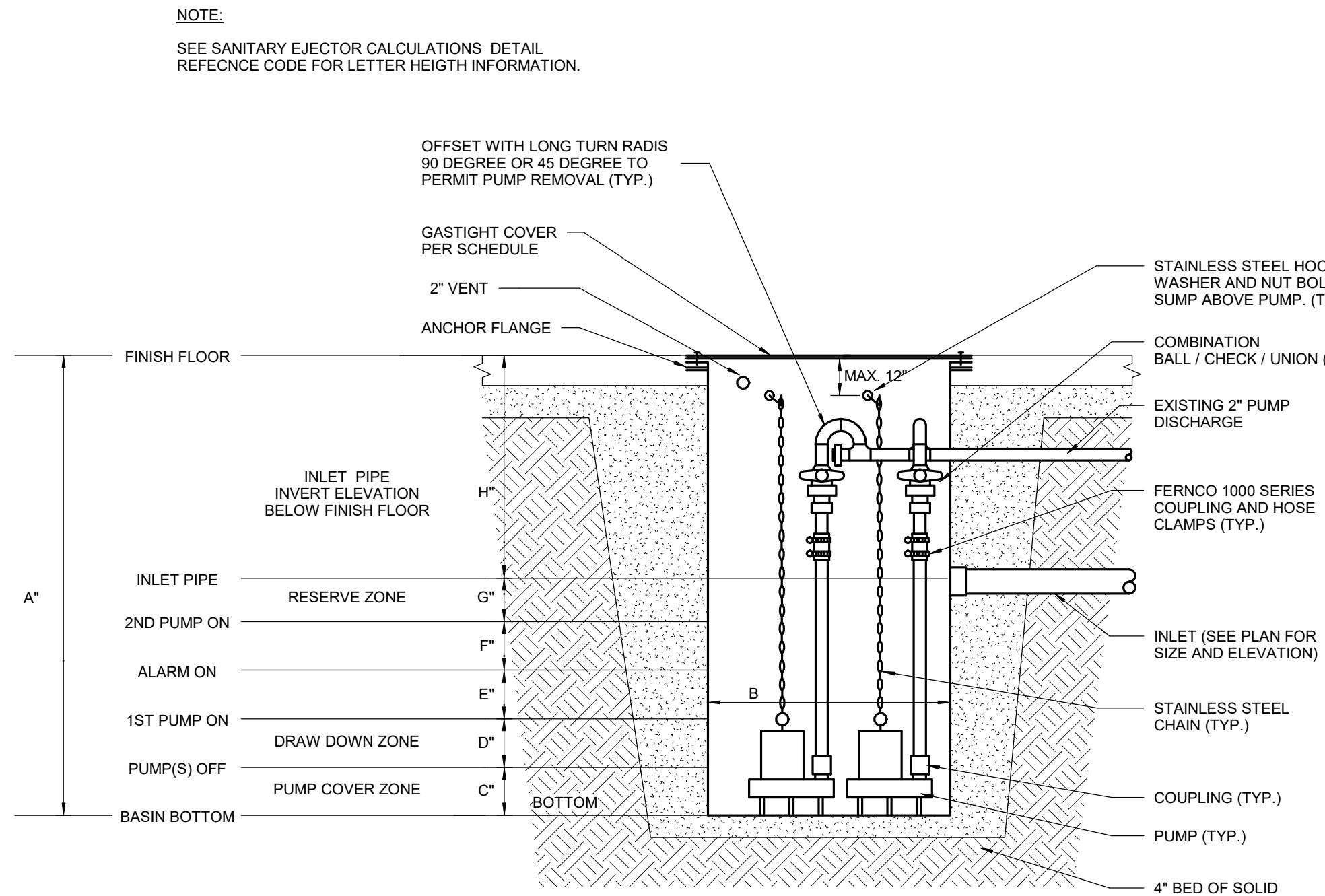
APPLICATIONS
- HOT AND COLD WATER PIPING



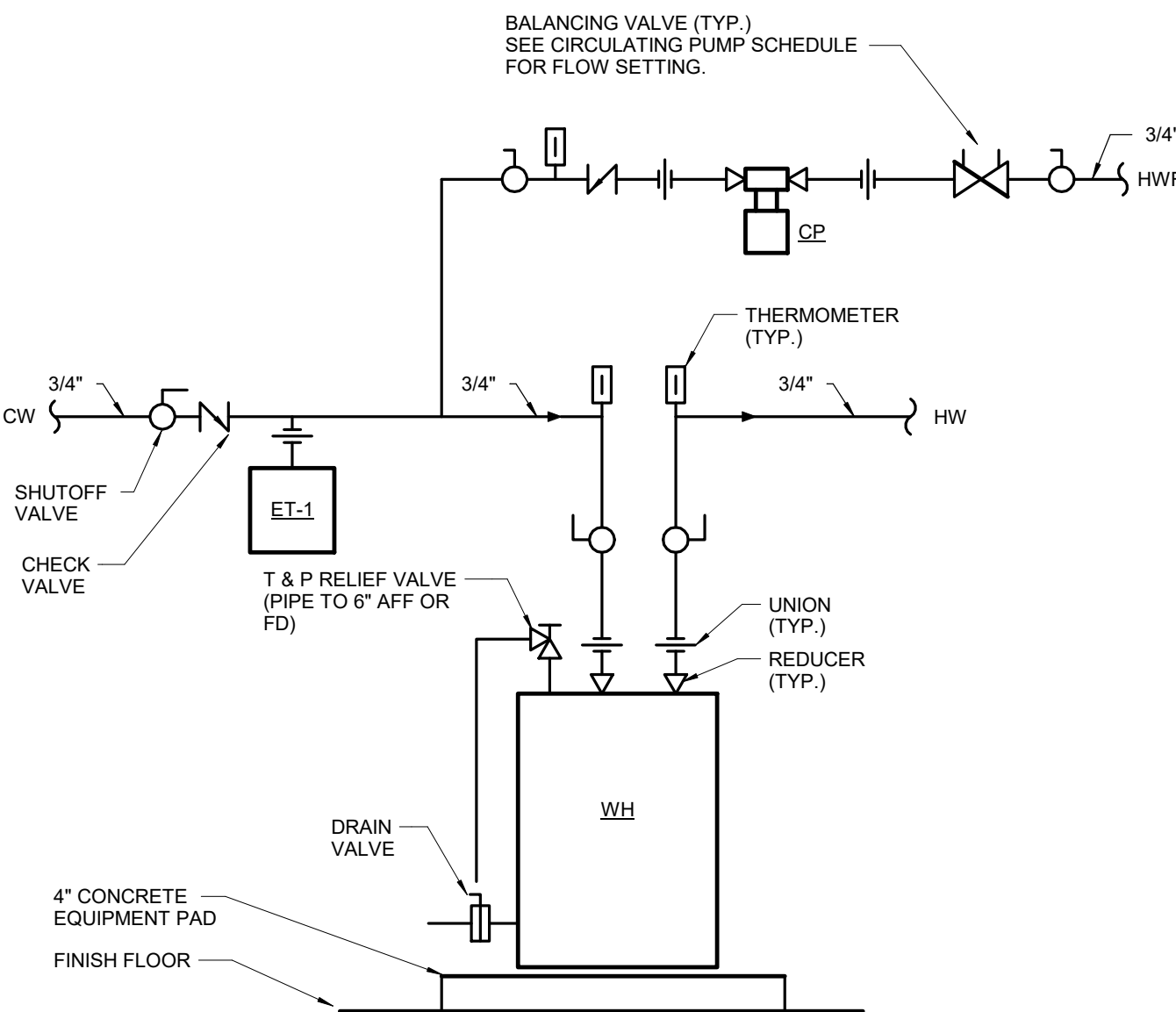
APPLICATIONS
- HOT AND COLD WATER PIPING



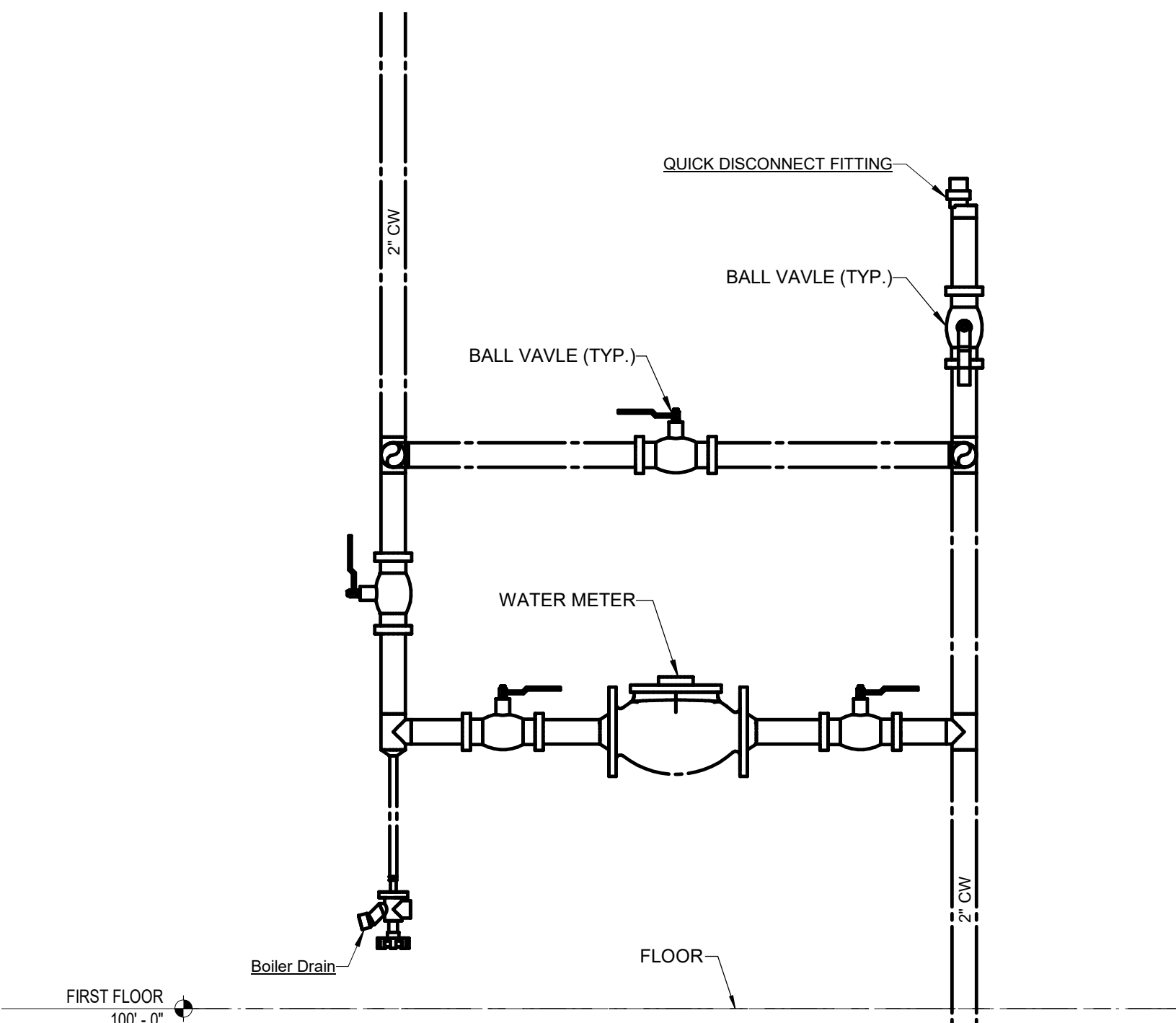
5
P3.0 GARAGE CATCH BASIN
SCALE: NTS



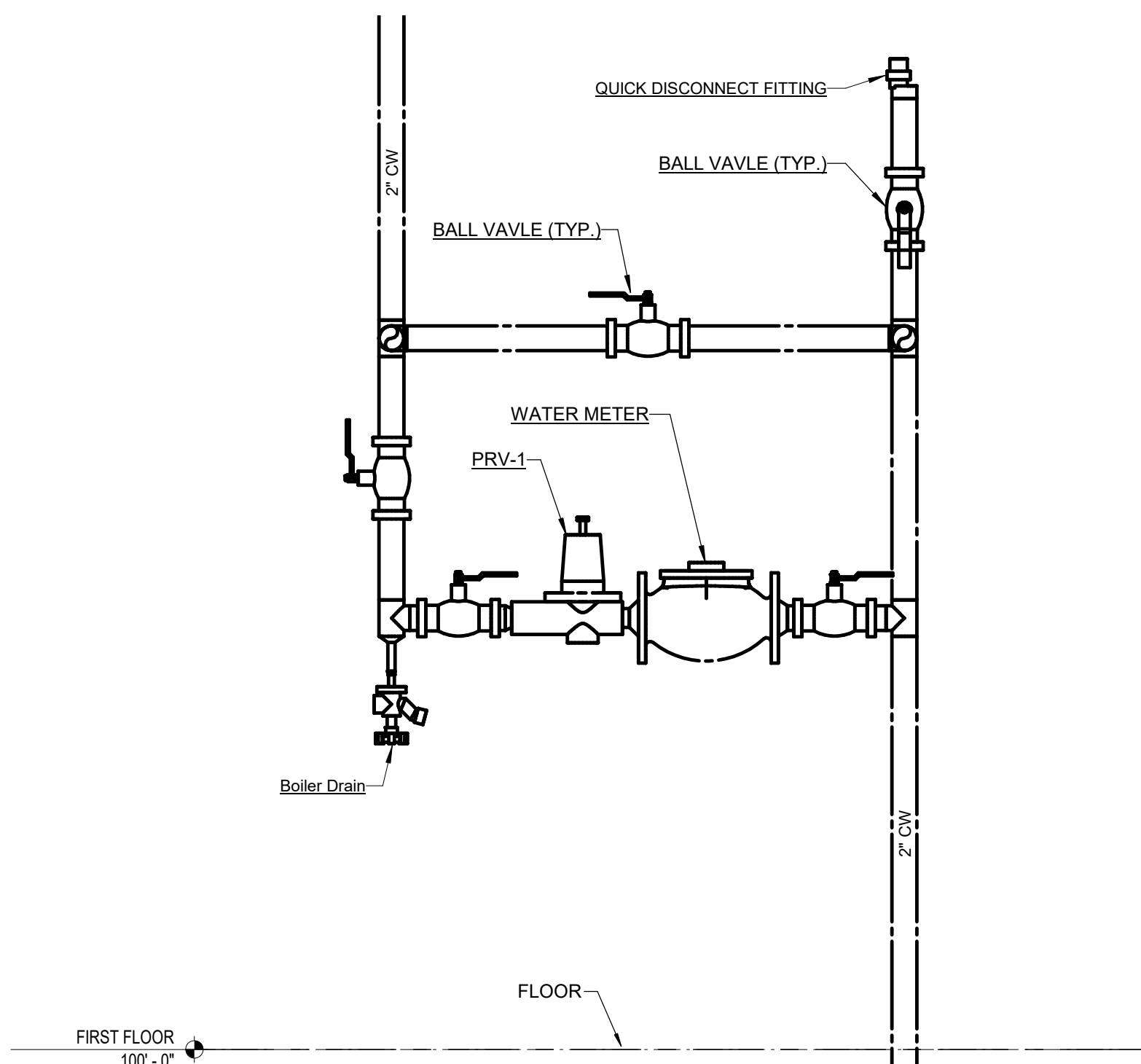
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P3.0 SANITARY EJECTOR PUMP DETAIL - INTERIOR
SCALE: NTS



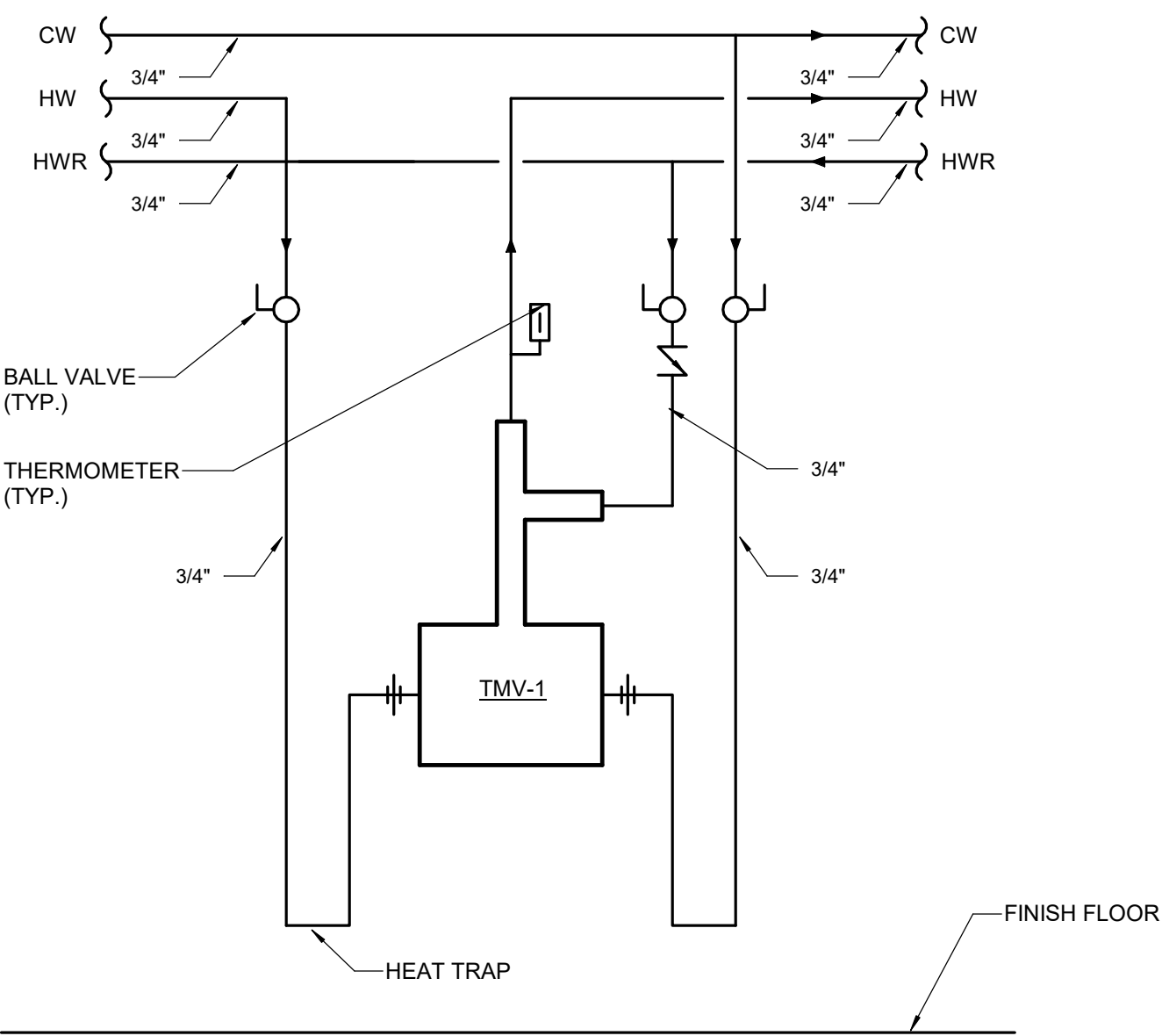
3
P3.0 WATER HEATER PIPING DETAIL
SCALE: NTS



8
P3.0 WATER METER DETAIL - TOILET / PET WASH SHELTER
SCALE: NTS



7
P3.0 WATER METER DETAIL - PAVILION ADDITION
SCALE: NTS



6
P3.0 THERMOSTATIC MIXING VALVE PIPING DETAIL
SCALE: NTS



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DETAILS

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CIRCULATING PUMP SCHEDULE (CP)													
TAG	MANUFACTURER	MODEL	LOCATION	APPLICATION	FLUID TEMP F	GPM	HEAD (FT)	RPM	MOTOR H.P.	VOLTS / PHASE	FULL AMPS.	TYPE	NOTES
1	B&G	NBF-25	A100	DOMESTIC HOT WATER	125	3	10	2950	125 WATT	115/1	1.10	IN-LINE	(1)(2)
2	B&G	NBF-25	B104	DOMESTIC HOT WATER	125	3	10	2950	125 WATT	115/1	1.10	IN-LINE	(1)(2)

- ACCEPTABLE MANUFACTURERS: B & G, GRUNDFOS, ARMSTRONG, TACO.
- SEE MOTOR SPECIFICATIONS FOR MOTOR REQUIREMENTS.
- LEAD FREE BRONZE BODY.
(1) PROVIDE INLINE AQUASTAT TO SHUT OFF PUMP AT A 10 DELTA T TEMPURTURE DROP OF SUPPLY OUTLET TEMPURTURE.
(2) PROVIDE BALANCING VALVE UP STREAM OF PUMP TO CONTROL PUMP FLOW.

CLEANOUT SCHEDULE										
TAG	MANUFACTURER	MODEL	TYPE	APPLICATION	OUTLET SIZES	BODY MATERIAL	ACCESS COVER SIZE	ACCESS COVER MATERIAL	NOTES	
CO	-	-	-	ABV. CLGS & EXPOSED PIPE	2" - 6"	PVC	-	-	(1)	
FCO	ZURN	Z14008	FLOOR	PEDESTRIAN TRAFFIC AREAS	2" - 6"	CAST IRON	7" DIA	NICKLE BRONZE	(1)	

- ACCEPTABLE MANUFACTURERS: J.R. SMITH, WATTS, ZURN.
- RECESSED TAPER THREAD PLUG WITH SLOTTED RECESS.
(1) PROVIDE THREADED FEMALE ADAPTER WITH INTERNAL PLUG. ADAPTER MATERIAL SHALL MATCH PIPE MATERIAL TO WHICH CO IS BEING CONNECTED.

DOG WASH TUB SCHEDULE (DW)											
TAG	ADA	MANUFACTURER	MODEL	SIZE L x W x D	DRAIN TYPE	ENTRY SYSTEM	CONSTRUCTION	TRIM	TRAY	FINISH	NOTES
1	-	ELITE PET WASH STA.	PW7301	60" x 24.5" x 58"	GRID	SS NON-SLIP STAIR	(1)	(2)	SS	GRAY	(3)

(1) FULLY WELDED 18 GAGE STAINLESS STEEL TUB, TRI-LOCK RESTRAINT SYSTEM
(2) PROVIDE INCLUDED PLUMBING KIT INCLUDING SPRAY HEAD W/ HOLD DOWN LEVER, HEAVY DUTY COILED HOSE, DRAIN/HAIR TRAP, SS SPRAY HEAD HOLDER, RAISED HDPE FLOOR GRATE.
(3) PROVIDE BRADLEY TOUCHTIME ELECTRONIC CONTROL (SHOWER APPLICATION), PIEZO SWITCH (TTPB), SOLENOID VALVE (SLOW CLOSING ANTI-HAMMER), AND POWER ADAPTER.

TAG	MANUFACTURER	MODEL	TYPE	APPLICATION	OUTLET SIZES	BODY MATERIAL	STRAINER TOP SIZE	STRAINER TOP MATERIAL	RIM HGT. A.F.F.	NOTES
FD-1	ZURN	Z415-B	FLOOR	PEDESTRIAN TRAFFIC AREAS	2" - 4"	CAST IRON	7" DIA	NICKLE BRONZE	-1/2"	(1)(2)
FD-2	ZURN	Z507	FLOOR	MECH. RM. JANITOR CLT.	2" - 4"	CAST IRON	7" DIA	CAST IRON	-1/2"	(1)(2)
HD-1	ZURN	Z328	RECEPTOR	INDIRECT WASTE	2" - 4"	CAST IRON	4" DIA	NICKLE BRONZE	3 3/4"	-
CB-1	NEENAH	R-2540	FLOOR	VEHICLE TRAFFIC AREAS	4" - 12"	CAST IRON	24"	CAST IRON	1"	(3)

- ACCEPTABLE MANUFACTURERS: J.R. SMITH, WATTS, ZURN.
(1) PROVIDE FLASHING CLAMP FOR FLOORS WITH BUILDING STRUCTURE BELOW. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
(2) PROVIDE TRAPSEAL - RECTORSEAL SURE SEAL.
(3) SEE DETAIL FOR MORE INFORMATION TO DETERMINE SIZE, MATERIAL AND OTHER BASIN REQUIREMENTS.

TAG	MANUFACTURER	MODEL	LOCATION	TYPE	SIZE DIA	VOLTS / PHASE	ELEMENT NO. / WATTS	REC. (1) GPH	TANK SIZE GAL.	MAX. PSIG	T&P PSIG	LINING TYPE	TANK TEMP DEG. F	NOTES
1	BRADFORD WHITE	LE140L3-3	A100	TANK	22"	240/1	2/2500	11	40	300	150	GLASS	120	(1)
2	BRADFORD WHITE	LE140L3-3	B104	TANK	22"	240/1	2/2500	11	40	300	150	GLASS	120	(1)

- ACCEPTABLE MANUFACTURERS: A.O. SMITH, BRADFORD WHITE, HTP, LOCHINVAR.
(1) ELEMENTS WIRED FOR NON-SIMULTANEOUS OPERATION.

TAG	MANUFACTURER	MODEL	MOUNTING	TANK TYPE	CONN. SIZE	TANK CAPACITY GALLONS	ACCEPT. CAPACITY GALLONS	PRECHARGE PSIG	WORKING PSIG	DIA. INCHES	HEIGHT INCHES	WEIGHT POUNDS	NOTES
1	AMTROL	ST-5C	PIPE	DIAPHRAGM	3/4"	2.1	1.0	(1)	150	10	10	14	(1)

- ACCEPTABLE MANUFACTURERS: FLEXCON, AMTROL, WESSELS.
(1) SET TO STATIC PRESSURE AT STREET OR SYSTEM IF HIGHER. SEE WATER CALCULATION FOR MORE INFORMATION.

TAG	MANUFACTURER	MODEL	LOCATION	SIZE	FLOW RATE (GPM)	GREASE CAPACITY (LBS.)	SOLIDS CAPACITY (GALLONS)	LIQUID CAPACITY (GALLONS)	INLET & OUTLET SIZE	NOTES
1	SCHIER	GB-3	B104	37" x 28" x 21"	15	272.7	19	40	4"	-

- ACCEPTABLE MANUFACTURERS: J.R. SMITH, SCHIER, WATTS, ZURN.
- FULLY RECESSED INTERCEPTORS TOPS FLUSH WITH FLOOR, PROVIDE EXTENSIONS AS REQUIRED AND ANCHOR FLANGE.
- HIGH DENSITY POLYETHYLENE BODY.

TAG	MANUFACTURER	MODEL	LOCATION	FREEZE PROOF	BACKFLOW PREVENTER	WALL FLANGE	CONTROL	WATER SUPPLY	NOTES
1	WOODFORD	67	EXTERIOR	YES	INTEGRAL ASSE 1052	YES	LOOSE KEY	TEMPERED	(1)(2)
2	WOODFORD	67	EXTERIOR	YES	INTEGRAL ASSE 1052	YES	LOOSE KEY	COLD WATER	(1)(2)

- ACCEPTABLE MANUFACTURERS: CHICAGO, WATTS, WOODFORD, ZURN.
(1) PROVIDE BRADLEY TOUCHTIME ELECTRONIC CONTROL (SHOWER APPLICATION), PIEZO SWITCH (TTPB), SOLENOID VALVE (SLOW CLOSING ANTI-HAMMER), AND POWER ADAPTER.
(2) PROVIDE PET WAND PRO PPR-252, 8FT HOSE, HOSE ADAPTER, WALL HOOK, MAKE HOSE CONNECTIONS VANDAL RESISTANT.

LAVATORY SCHEDULE (L)																				
TAG	ADA (1)	MANUFACTURER	MODEL	MOUNTING	BASIN				CARRIER	MANUFACTURER	MODEL	FAUCET		GPM FLOW RATE	OPERATION TYPE	FINISH	TEMP. DEG. F	SUPPLY STOP TYPE	NOTES	
					SIZE L X W X D	DRAIN TYPE	NO. OF HOLES	CENTER OF HOLES				SPOUT REACH	SPOUT HEIGHT							
1	YES	KOHLER	K-2005	WALL	21-1/4" x 18-1/8" x 7-1/4"	GRID	3	4"	YES	SLOAN	EAF150BATISMCPLMRIFCT	5-9/16"	6-7/8"	0.5	SENSOR	CHROME	105	KEY	(1)(2)	

- ACCEPTABLE MANUFACTURERS:
- BASIN: AMERICAN STANDARD, KOHLER, SLOAN.
- FAUCETS: CHICAGO, SLOAN, T&S BRASS.
- STOPS AND SUPPLIES: BRASSCRAFT, DEARBORN, KEENEY, MCGUIRE.
- DRAINS AND TRAPS: BRASSCRAFT, DEARBORN, KEENEY, MCGUIRE.
- CARRIERS AND SUPPORTS: ANCON, JOSAM, SMITH, WADE, ZURN.
- VITREOUS CHINA LAVS, 1-1/4" 17 GAUGE "P" TRAP WITH CLEANOUT PLUG, BUSHING ON END OF OUTLET TUBE, WALL FLANGE.
- ALL WETTED PARTS SHALL BE LEAD FREE COMPLIANT.
- WALL MOUNT LAVTORY WITH BACKSPASH.
- FAUCETS WITH VANDAL RESISTANT AERATOR.
(1) PROVIDE OFFSET GRID DRAIN WITH TRUEBRO TRAP & SUPPLY GUARD FOR ADA ACCESSIBLE LAVATORY. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
(2) BATTERY POWERED, ABOVE DECK INTERGRATED SIDE MIXING VALVE.

TAG	MANUFACTURER	MODEL	LOCATION	GPM	SIZE	VALVE PSIG LOSS	OUTLET PSIG SETTING	OPERATING TEMP.	MAX. PSIG	MAX. TEMP.	TYPE	APPLICATION	ASSE	NOTES
1	ZURN	500XL	B102	43.0	1-1/2"	7	(2)	70	140	300	DIRECT	WATER DISTRIBUTION	1003	(1)(3)(4)

- ACCEPTABLE MANUFACTURERS: APOLLO, WATTS, ZURN/WILKINS.
(1) LEAD FREE BODY.
(2) SEE PROJECT'S WATER CALCULATIONS.
(3) PROVIDE WYE STRAINER.
(4) PROVIDE PRESAGE GAUGE.

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E

SANITARY EJECTOR SCHEDULE (SE)																
TAG	LOCATION	BASIN			COVER			PUMP								NOTES
		MANUFACTURER	MATERIAL TYPE	SIZE	MANUFACTURER	MODEL	TYPE	MANUFACTURER	MODEL	MATERIAL TYPE	TYPE	QTY.	GPM EACH	TOTAL HEAD	HP EACH	
1	B102	TOPP	FIBERGLASS	(1)	TOPP	STEEL	STEEL (2)	LIBERTY	LSGX200 (230V/1PH)	CAST IRON	GRINDER	2	39	50	2	(3)(4)(5)

- ACCEPTABLE MANUFACTURERS:
-BASIN: TOPP INDUSTRIES, AK INDUSTRIES, WEIL.
-COVER: TOPP INDUSTRIES, AK INDUSTRIES, WEIL.
-PUMP: LIBERTY, ZOELLER, WEIL, LITTLE GIANT.
- PROVIDE "LIBERTY" BCV SERIES COMBINATION BALL/CHECK VALVE FOR PUMP DISCHARGE.
(1) SEE DETAIL FOR BASIN SIZE AND CONTROL LEVEL DIMENSIONS.
(2) PROVIDE DUPLEX COVER WITH INSPECTION PLATE, COVER PLATE, DISCHARGE/VENT FLANGES AND CORD GROMMETS.
(3) PROVIDE DUPLEX CONTROLLER, CONTROL FLOAT SWITCHES, ALARM LIGHT
(4) PROVIDE PUMP SLIDE RAILS.
(5) SEE DETAIL FOR BASIN SIZE AND CONTROL LEVEL DIMENSIONS AND SPECIFICATION FOR MORE INFORMATION.

SERVICE SINK SCHEDULE (SS)												
TAG	MOUNTING	MANUFACTURER	MODEL	BASIN		SHAPE	RIM GUARD	FAUCET				NOTES
				MATERIAL TYPE	SIZE L x W x D			MODEL	BACKFLOW PREVENTER	GPM		
1	FLOOR	MUSTEE	63M	DURASTONE	24" x 24" x 10"	SQUARE	(1)	CHICAGO	305-RCP	(2)	5	(3)

- ACCEPTABLE MANUFACTURERS:
-BASIN: FIAT, MUSTEE, STERN WILLIAMS.
-FAUCET: CHICAGO, T&S BRASS, ZURN.
(1) BUMPER GUARDS ON EXPOSED RIMS.
(2) VACUUM BREAKERS SHALL COMPLY WITH ASSE 1011.
(3) PROVIDE STAINLESS STEEL 3 MOP HOLDER HANGER, HEAVY DUTY 5/8" DIAMETER REINFORCED RUBBER HOSE, AND STAINLESS STEEL HOSE BRACKET.

SINK SCHEDULE (S)																		
TAG	ADA (1)	MANUFACTURER	MODEL	NO. OF COMP.	BASIN			DRAIN TYPE	MANUFACTURER	MODEL	FAUCET				HANDLE	FINISH	SUPPLY STOP TYPE	NOTES
					MOUNTING	SIZE L x W x D					FAUCET QTY.	SPOUT REACH	SPOUT HEIGHT	GPM				
1	YES	JUST	A-544-912	1	WALL-MOUNT	16" x 15" x 6"		BASKET	CHICAGO	631-ABCP	1	3-1/2"	5-7/8"	2.2	WRIST BL.	CHROME	KEY	(1)
2	YES	JUST	DL-ADA-2249-A-GR	2	TOP-MOUNT	49" x 22" x 6-1/2"		BASKET	CHICAGO	1100-GN8AE35-317AB	1	8"	8"	1.5	WRIST BL.	CHROME	KEY	(1)

- ACCEPTABLE MANUFACTURERS:
-BASIN: ADVANCE TABCO, JUST, ELKAY.
-FAUCETS: CHICAGO, T&S BRASS, ZURN.
-STOPS AND SUPPLIES: BRASSCRAFT, DEARBORN, KEENEY, MCGUIRE.
-DRAINS AND TRAPS: BRASSCRAFT, DEARBORN, KEENEY, MCGUIRE.
- MATERIAL: 18 GAUGE 304 STAINLESS STEEL SINK, ANGLE SUPPLIES WITH STOPS WITH BRASS STEMS.
- PROVIDE EACH COMPARTMENT WITH STAINLESS STEEL BASKET TYPE STRAINER, STAINLESS STEEL TAILPIECE, AND 1-1/2" 17 GAUGE "P" TRAP W/ CLEANOUT.
- VERIFY SINK CUTOUT SIZE WILL FIT IN COUNTERTOP WITH CABINET SHOP DRAWINGS PRIOR TO ORDERING.
(1) PROVIDE OFFSET GRID DRAIN WITH TRUEBRO TRAP & SUPPLY GUARD FOR ADA ACCESSIBLE SINK. SEE ARCHITECTURAL PLANS FOR LOCATIONS.

SOLID INTERCEPTOR SCHEDULE (SI)										
TAG	MANUFACTURER	MODEL	LOCATION	TYPE	SIZE	GPM	SOLIDS CAPACITY (GALS)	LIQUID CAPACITY (GALS)	INLET & OUTLET SIZE	NOTES
1	STRIEM	AA-M	A100		33" x 25" x 25"	50	6	7-Feb	3"	(1)

- ACCEPTABLE MANUFACTURERS: STRIEM, SPEARS, ZURN.
- HIGH DENSITY POLYETHYLENE BODY.
(1) HIGH DENSITY POLYETHYLENE BODY WITH 304 STAINLESS STEEL SCREEN REMOVABLE SEDIMENT BUCKET.

THERMOSTATIC MIXING VALVE SCHEDULE (TMV)												
TAG	MANUFACTURER	MODEL	APPLICATION	INLETS	OUTLET	MAX. FLOW GPM	MAX LOSS PSIG	MIN. FLOW GPM	MIN. LOSS PSIG	TEMP. RANGE DEG. F	TEMP. SETTING DEG. F	NOTE
1	LEONARD	TM-2020B-LF-DT	MASTER	2"	2"	226	50	1	5	120-150	110	(1)

- ACCEPTABLE MANUFACTURERS: ZURN, SYMMONS, WATTS, LEONARD.
- LEAD FREE BODY, REMOVABLE CARTRIDGE WITH STRAINER, STAINLESS STEEL SPRING, EPDM O-RINGS AND SOLID WAX THERMOSTAT ASSEMBLY.
- P.C. SHALL FIELD ADJUST TMV TO TEMPERATURE SETTING INDICATED IN SCHEDULE.
(1) HOT WATER DISTRIBUTION SYSTEM THERMOSTATIC MIXING VALVE SHALL COMPLY WITH ASSE 1017, 1069 AND 1070.

WATER CLOSET SCHEDULE (WC)																	
TAG	ADA (1)	BOWL				TANK			FLUSH VALVE				MIN. PRESS. PSIG	SEAT		NOTES	
		MANUFACTURER	MODEL	MOUNTING	RIM HT. A.F.F.	CARRIER	TYPE	GAL. PER FLUSH	SUPPLY STOP TYPE	MANUFACTURER	MODEL	GAL. PER FLUSH		OPERATION TYPE	MANUFACTURER		MODEL
1	YES	KOHLER	K-4325	WALL	17"	YES	-	-	-	SLOAN	G2-8111	1.6	SENSOR	25	BEMIS	165SSCT	(2)
2	-	KOHLER	K-4325	WALL	15"	YES	-	-	-	SLOAN	G2-8111	1.6	SENSOR	25	BEMIS	165SSCT	(2)

- ACCEPTABLE MANUFACTURERS:
-BOWL: AMERICAN STANDARD, KOHLER, SLOAN.
-FLUSH VALVE: DELANY, KOHLER, SLOAN, ZURN.
-SEAT: BEMIS, CHURCH.
-CARRIER AND SUPPORT: J.R. SMITH, WADE, ZURN.
- VITEROUS CHINA, WATER SAVING, MINIMUM 2 - 1/8" GLAZED TRAPWAY, SIPHON JET ELONGATED BOWL WITH WHITE SOLID PLASTIC OPEN FRONT SEAT WITH SELF-SUSTAINING CHECK HINGE.
- CONTROLS FOR ADA ACCESSIBLE FIXTURES SHALL BE ON THE OPEN SIDE.
(1) SEE ARCHITECTURAL PLANS FOR LOCATIONS.
(2) BATTERY POWERED.

Project Title:

McFarland Park Facility Projects
Village of McFarland
McFarland, WI

REVISIONS:

DATE DESCRIPTION

Project Number:

3491

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Sheet Title:

SCHEDULES

Sheet Number:

P4.1

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A

B

C

D

E

WEATHERPROOF LOUVERS						
UNIT NO.	SERVICE	NOM. WIDTH (IN.)	NOM. HEIGHT (IN.)	CFM	MAX FREE AREA VELOCITY (FPM)	MANUF. MODEL
L-1	CE-1	12	12	100	1,000	RUSKIN ELF6375DX
L-2	CE-3	48	12	250	1,000	RUSKIN ELF6375DX
L-3	CE-4	48	12	250	1,000	RUSKIN ELF6375DX

DESTRATIFICATION FANS						
UNIT NO.	SERVICE	CFM OF STD. AIR	FAN DIA	MOTOR WATTS	SOLID STATE SPEED CONTROLLER	BLADE HEIGHT A.F.F.
DS-1	CONCESSIONS B105	21,000	4' - 0"	86 W	YES	8' - 0"

MANUF. MODEL						
LEADING EDGE 4820-1						

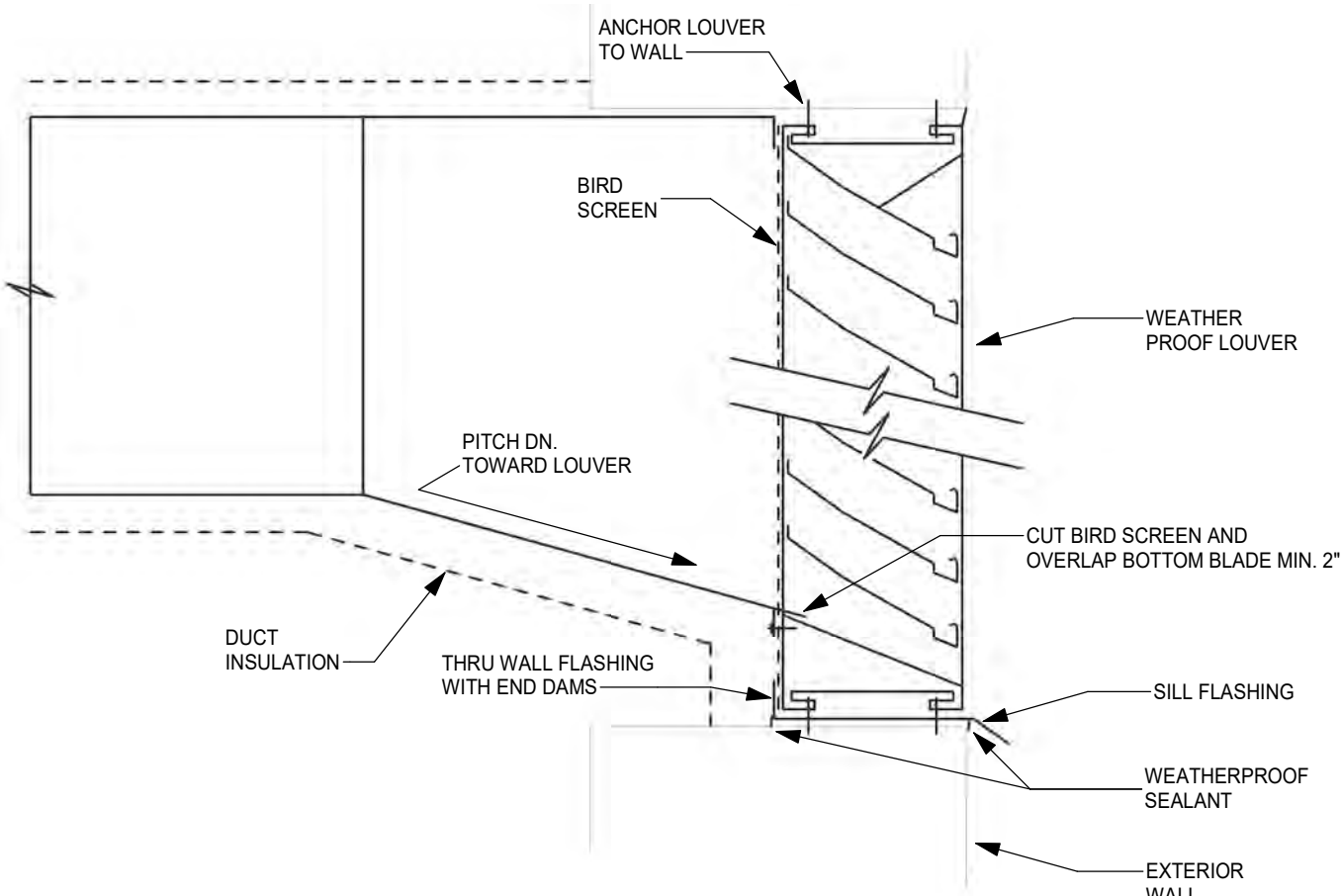
GRILLES AND DIFFUSERS							
UNIT NO.	SERVICE	NECK SIZE	ROUND CONN. SIZE	VOLUME DAMPER LOCATION	TRANSFER DUCT SIZE	AIR PATTERN	MANUF. MODEL
TG-1	SIDEWALL TRANSFER GRILLE	12x6	-	-	-	45°	PRICE 530
TG-2	SIDEWALL TRANSFER GRILLE	12x10	-	-	-	45°	PRICE 530
TG-3	SIDEWALL TRANSFER GRILLE	48x10	-	-	-	45°	PRICE 530

ELECTRIC CABINET HEATERS									
UNIT NO.	SERVICE	TYPE	CAP. KW		CFM		AMPS	RECESS	MANUF. MODEL
			HI	LOW	HI	LOW			
ECH-1	CONCESSIONS B105	C	5 W	3 W	250	200	22 A	0' - 0"	QMARK CU935
ECH-2	CONCESSIONS B105	C	5 W	3 W	250	200	22 A	0' - 0"	QMARK CU935
ECH-3	STORAGE B104	C	3 W	2 W	250	200	13 A	0' - 0"	QMARK CU935
ECH-4	PLUMBING CHASE B102	C	3 W	2 W	250	200	13 A	0' - 0"	QMARK CU935
ECH-5	MEN'S TOILET B101	C	7 W	5 W	250	200	30 A	0' - 0"	QMARK CU935
ECH-6	WOMEN'S TOILET B103	C	7 W	5 W	250	200	30 A	0' - 0"	QMARK CU935
ECH-7	UNI-SEX TOILET A103	C	7 W	5 W	250	200	30 A	0' - 0"	QMARK CU935
ECH-8	UNI-SEX TOILET A102	C	7 W	5 W	250	200	30 A	0' - 0"	QMARK CU935
ECH-9	STORAGE A100	C	7 W	5 W	250	200	30 A	0' - 0"	QMARK CU935
ECH-10	PET WASH A101	C	7 W	5 W	250	200	30 A	0' - 0"	QMARK CU935

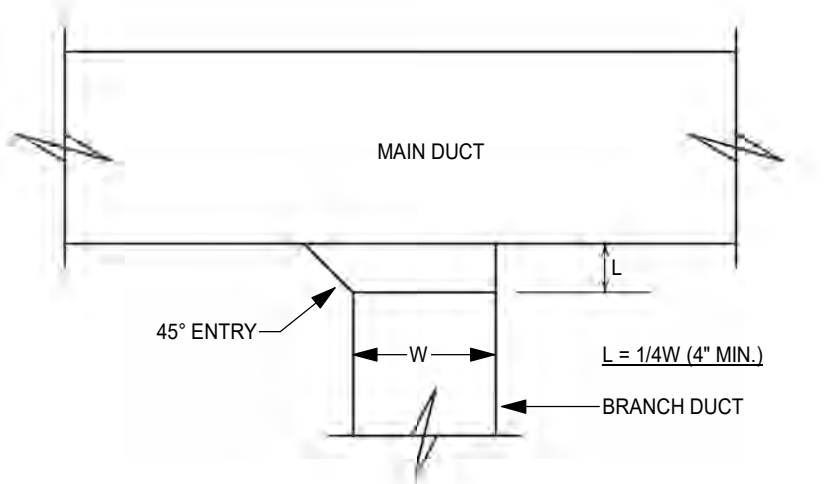
CEILING EXHAUST FANS									
UNIT NO.	SERVICE	CFM OF STD. AIR	TYPE	MAX. SONES	EXT. S.P. IN IN. WATER	MOTOR WATTS	MOTOR RPM	SOLID STATE SPEED CONTROLLER	MANUF. MODEL
CE-1	CONCESSIONS B105	100	CLG.	4	0.5	60 W	1100	YES	COOK GC-186
CE-2	STORAGE B104	100	CLG.	4	0.5	60 W	1100	YES	COOK GC-186
CE-3	MEN'S TOILET B101	250	CLG.	4	0.5	95 W	1600	YES	COOK GC-520
CE-4	WOMEN'S TOILET B103	250	CLG.	4	0.5	95 W	1600	YES	COOK GC-520
CE-5	UNI-SEX TOILET A103	150	CLG.	4	0.33	70 W	1100	YES	COOK GC-186
CE-6	UNI-SEX TOILET A102	150	CLG.	4	0.33	70 W	1100	YES	COOK GC-186
CE-7	STORAGE A100	150	CLG.	4	0.33	70 W	1100	YES	COOK GC-186
CE-8	PET WASH A101	150	CLG.	4	0.33	70 W	1100	YES	COOK GC-186

MOTOR STARTERS												
DESCRIPTI ON	MCA	MOCP	MOTOR HP	VOLTAGE	PHASE	KW	STARTER FURNISHED BY	STARTER INSTALLED BY	STARTER LOCATION	STARTER TYPE	REMARKS	
CE-1				120	1	0.06	HVAC	EC	NEAR UNIT	SP. SW.		
CE-2				120	1	0.06	HVAC	EC	NEAR UNIT	SP. SW.		
CE-3				120	1	0.1	HVAC	EC	NEAR UNIT	SP. SW.		
CE-4				120	1	0.1	HVAC	EC	NEAR UNIT	SP. SW.		
CE-5				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.		
CE-6				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.		
CE-7				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.		
CE-8				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.		
DS-1				120	1	0.09	HVAC	EC	NEAR UNIT	SP. SW.		
ECH-1				240	1	5	HVAC	HVAC	PRE-WIRED	-		
ECH-2				240	1	5	HVAC	HVAC	PRE-WIRED	-		
ECH-3				240	1	3	HVAC	HVAC	PRE-WIRED	-		
ECH-4				240	1	3	HVAC	HVAC	PRE-WIRED	-		
ECH-5				240	1	7	HVAC	HVAC	PRE-WIRED	-		
ECH-6				240	1	7	HVAC	HVAC	PRE-WIRED	-		
ECH-7				240	1	7	HVAC	HVAC	PRE-WIRED	-		
ECH-8				240	1	7	HVAC	HVAC	PRE-WIRED	-		
ECH-9				240	1	7	HVAC	HVAC	PRE-WIRED	-		
ECH-10				240	1	7	HVAC	HVAC	PRE-WIRED	-		

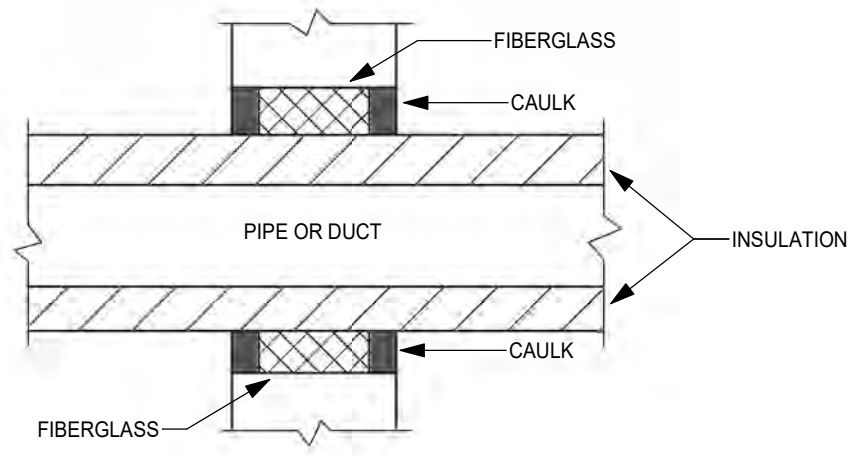
WEATHERPROOF LOUVER



TYPICAL BRANCH CONN.

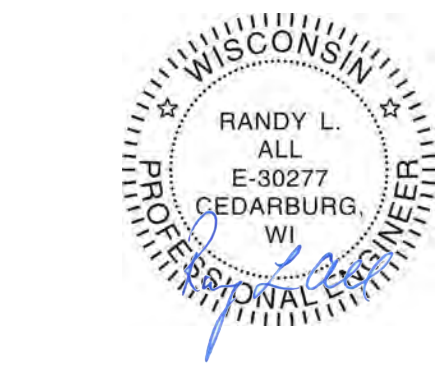


PACK AND CAULK (NON-RATED WALLS)

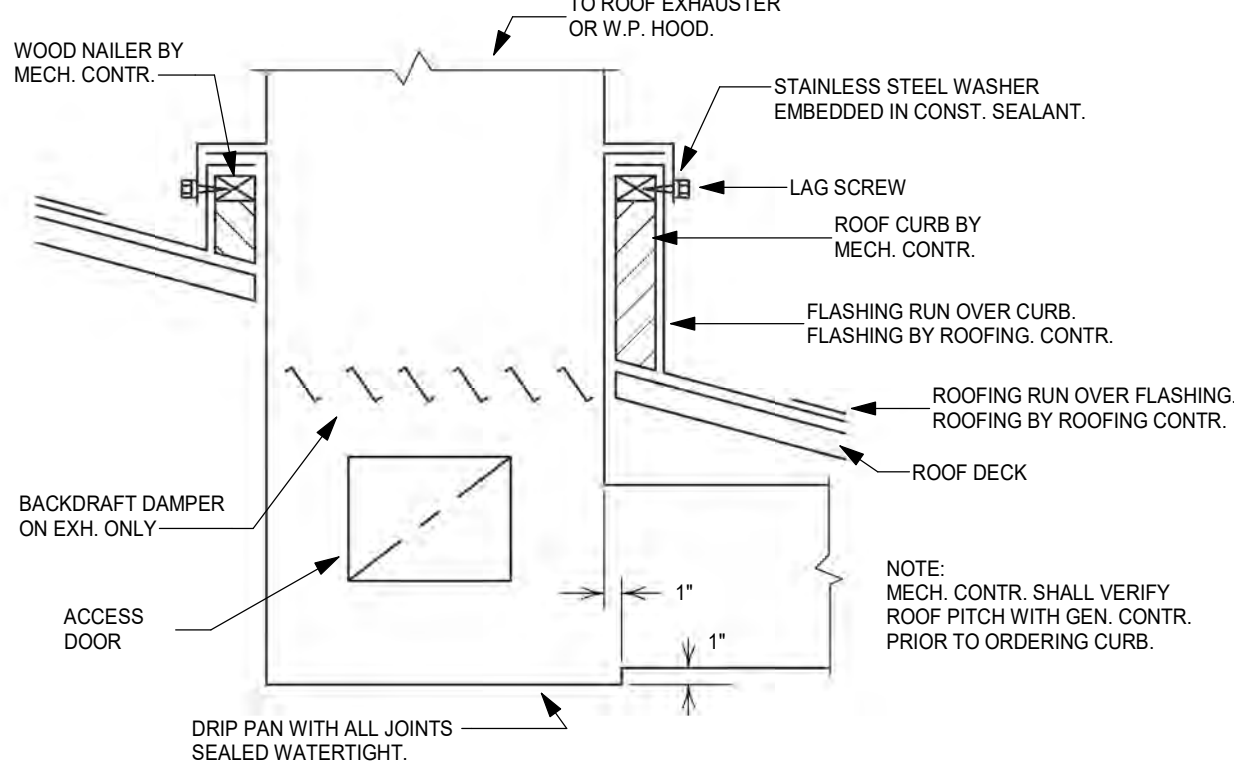


SYMBOLS

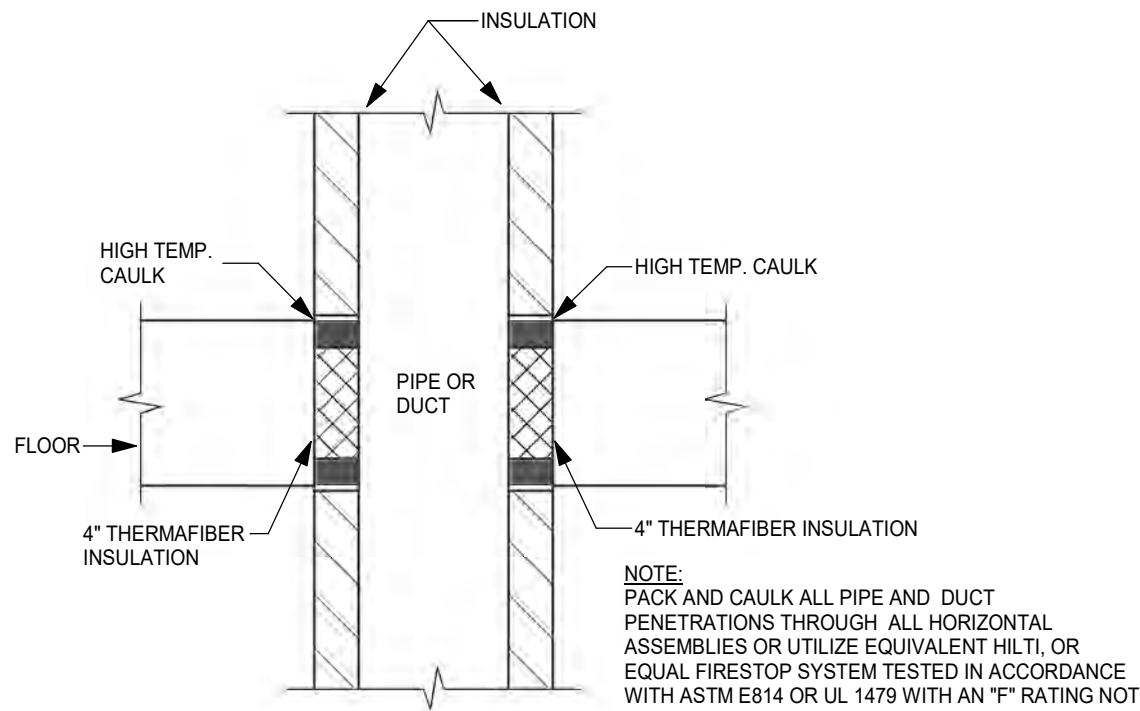
	FLEXIBLE DUCT
	MANUAL VOLUME DAMPER
	AUTOMATIC DAMPER WITH ACCESSIBLE DUCT ACCESS DOOR
	ACOUSTICAL INSULATION LINING ON INSIDE OF DUCT. LISTED DIMENSION IS CLEAR INSIDE DIMENSION.
	TURNING VANES
	BRANCH TAKE-OFF
	LOW PRESSURE FLEX. DUCT FITTING WITH MANUAL VOLUME DAMPER
	REMOTE MOUNTED SWITCH



CONDENSATE DRIP PAN



PACK AND CAULK IN HORIZONTAL ASSEMBLY



- GENERAL NOTES:**
- THE MECHANICAL CONTRACTOR IS REQUIRED TO VISIT THE PREMISES AND TAKE NOTE OF ALL EXISTING CONDITIONS WHICH MAY AFFECT HIS WORK AND HE SHALL BE RESPONSIBLE FOR KNOWLEDGE OF SAME IN THE PREPARATION OF HIS BID. LACK OF INFORMATION ON EXISTING CONDITIONS SHALL NOT BE ALLOWED AS A VALID CAUSE FOR ADDITIONAL COMPENSATION.
 - ROUTE ALL NEW PIPING AND DUCTWORK AS REQUIRED TO AVOID CONFLICTS WITH EXISTING PIPING, CONDUIT, STRUCTURE, LIGHTING, ETC. PROVIDE ALL OFFSETS, ELBOWS, ETC. AS REQUIRED TO CONNECT BETWEEN POINTS INDICATED.
 - MECHANICAL CONTRACTOR SHALL VERIFY EXISTING CURRENT CHARACTERISTICS AT JOB SITE PRIOR TO ORDERING EQUIPMENT.
 - MECHANICAL CONTRACTOR SHALL COORDINATE EXACT OUTLET AND GRILLE LOCATIONS WITH THE FINAL LIGHTING LAYOUT.
 - ELECTRICAL, STRUCTURAL, PLUMBING, ETC. REQUIREMENTS FOR THE EQUIPMENT MANUFACTURER LISTED ON THE SCHEDULE IS REFLECTED ON THE DOCUMENTS OF OTHER TRADES. ANY MODIFICATIONS NECESSARY TO ACCOMMODATE A MANUFACTURER OTHER THAN THAT LISTED IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
 - THE MECHANICAL CONTRACTOR SHALL COORDINATE CONSTRUCTION PHASING WITH THE GENERAL CONTRACTOR AND OWNER. PROVIDE ALL TEMPORARY PIPING, DUCTWORK, VENTILATION, CONTROLS, ETC. AS REQUIRED TO ACCOMMODATE CONSTRUCTION PHASES.
 - THE WORK SHOWN ON THESE CONSTRUCTION DRAWINGS IS TO BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS INCLUDED IN DIVISIONS 23 AND 25 OF THE COMPLETE CONTRACT DOCUMENTS.

SHEET INDEX		
	FEL JOB No. 20-018	
H1.1	SCHEDULES AND DETAILS	
H2.1	HVAC FLOOR PLANS	

Sheet Number:

H1.1

Sheet Title:
SCHEDULES AND DETAILS

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**McFarland Park Facility Projects
Village of McFarland
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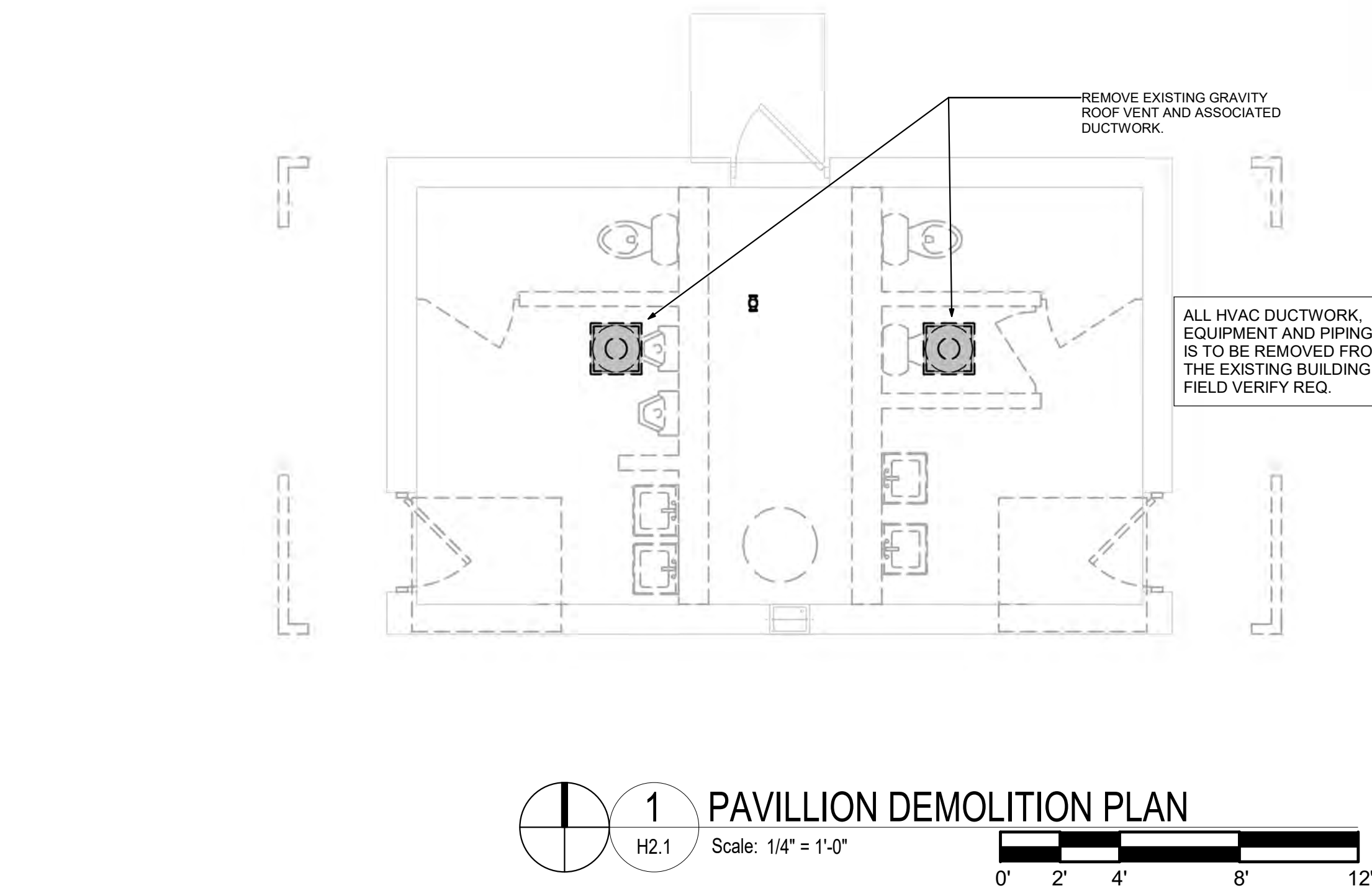
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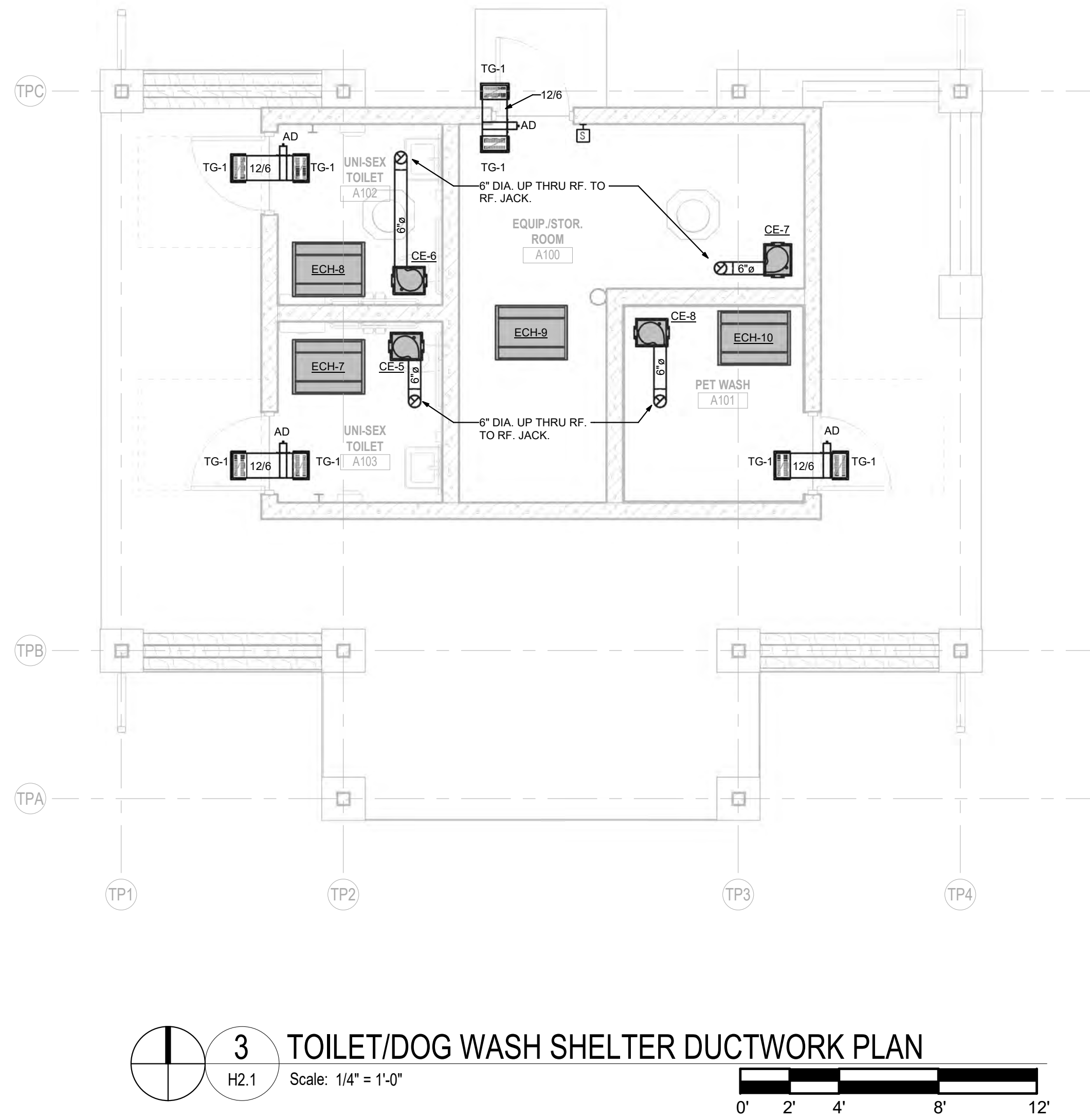
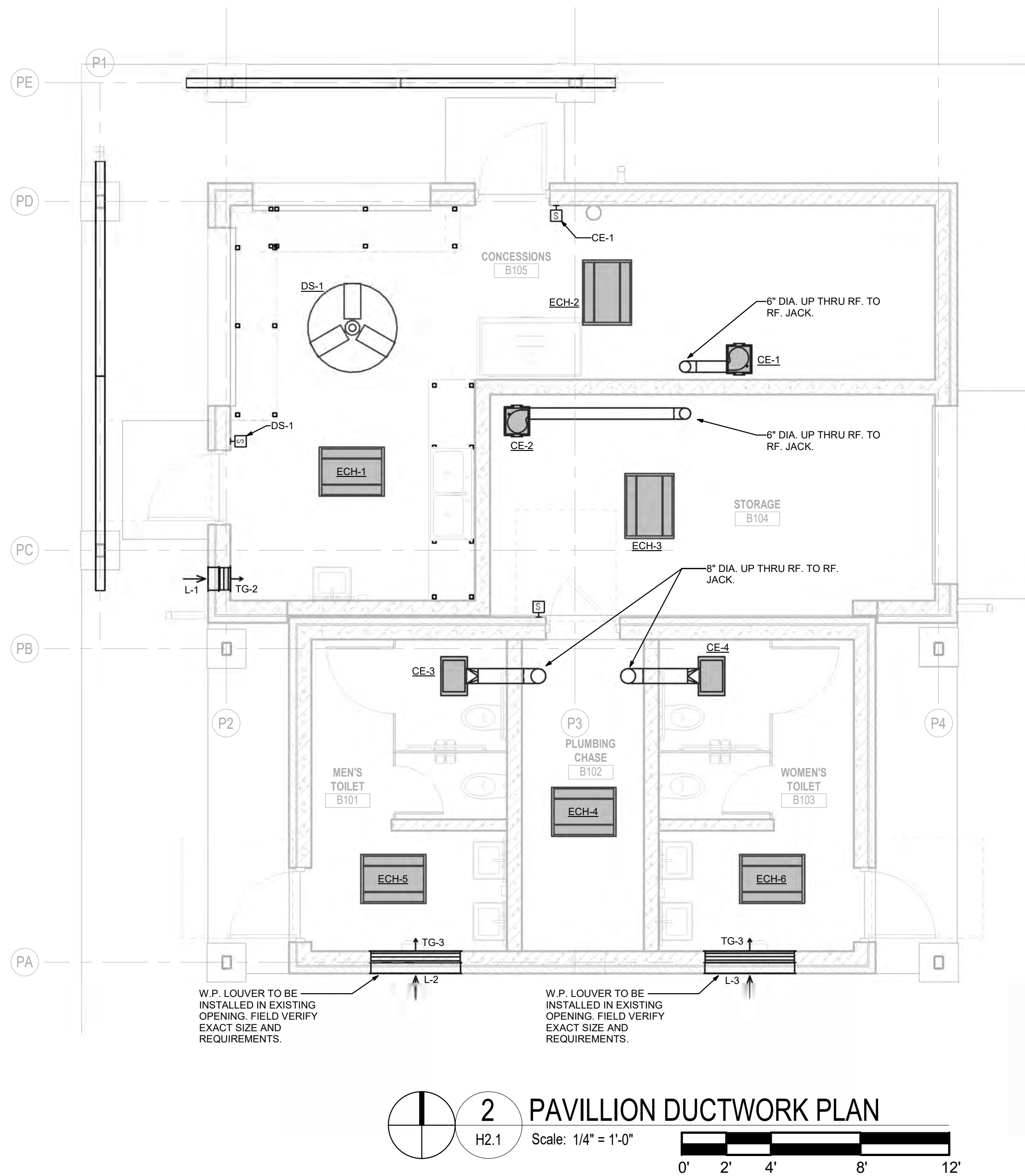
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DEMOLITION SYMBOL	DESCRIPTION
	EXISTING PIPING, EQUIPMENT OR DUCTWORK TO REMAIN.
	EXISTING PIPING, EQUIPMENT OR DUCTWORK TO BE REMOVED.



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McFarland, WI**

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HVAC FLOOR PLANS

Sheet Number:

H2.1

GENERAL NOTES:

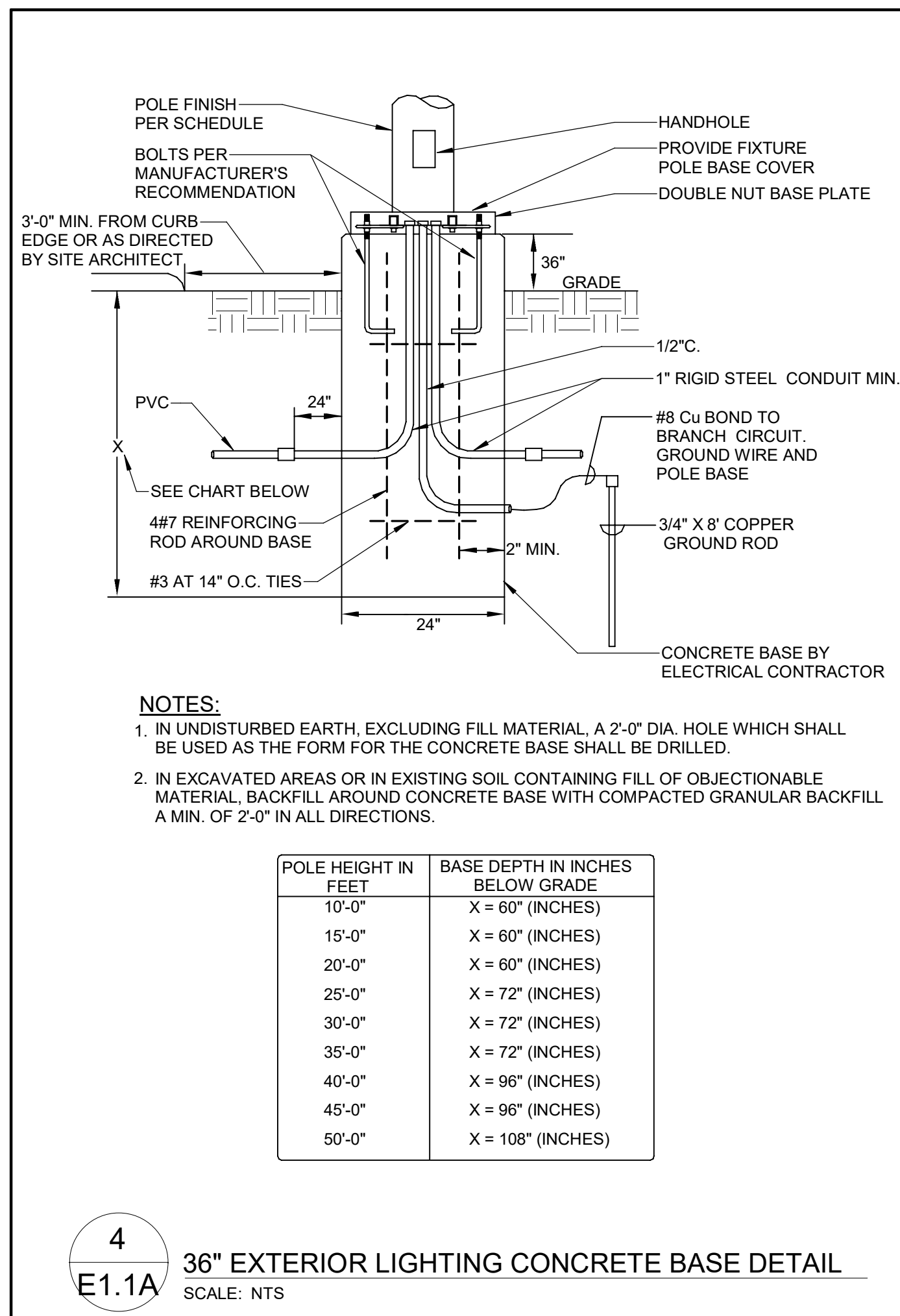
1. INSTALL PULL CORD IN ALL EMPTY CONDUITS.
2. PROVIDE CONCRETE BASE ROUGH-IN FOR LP1 POLES PER DETAIL E1.1A.
3. UNLESS SHOWN OTHERWISE, ALL CONDUITS BURIED 2'-6" BELOW FINISHED GRADE.
4. E.C. IS RESPONSIBLE FOR ALL WORK REQUIRED TO BRING SITE EXCAVATION AND TOPPING BACK TO ORIGINAL CONDITION IF TRENCHING IS DONE ON COMPACTED SURFACES.
5. E.C. TO INDICATE EXACT ROUTING OF ALL UNDERGROUND CONDUITS ON RECORD DRAWING.
6. VISIT THE PREMISES AND TAKE NOTE OF ALL EXISTING CONDITIONS WHICH MAY AFFECT WORK AND BE RESPONSIBLE FOR KNOWLEDGE OF SAME IN PREPARATION OF BID. LACK OF INFORMATION ON EXISTING CONDITIONS WILL NOT BE ALLOWED AS A VALID CAUSE FOR ADDITIONAL COMPENSATION.
7. (---) INDICATES APPROXIMATE UNDERGROUND ROUTING OF CONDUITS AND FEEDERS.
8. ALL LIGHTING FIXTURES IN MECHANICAL ROOMS SHALL BE LAID OUT ON SITE AND DETERMINED BY THE MECHANICAL EQUIPMENT IN ROOM.
9. IN ROOMS WITH OCCUPANCY SENSOR, GENERAL ILLUMINATION IN ROOM SHALL BE CONTROLLED BY SENSOR. CONTRACTOR TO DETERMINE BEST LOCATION FOR SENSOR IN FIELD WITH MANUFACTURER. SEE DETAIL E1.1B.
10. PROVIDE EXTERIOR RECEPTACLES PER DETAIL E1.1B.
11. ALL CONDUITS STUBBED OUT OF BUILDING SHALL BE DONE PER DETAIL E1.1B.
12. ALL RECEPTACLES MOUNTED WITHIN 6 FEET OF SINKS SHALL BE GFI TYPE.
13. ALL KEYLESS ENTRY EQUIPMENT AND WIRING FURNISHED AND INSTALLED BY OTHERS. E.C. TO PROVIDE ALL REQUIRED RACEWAYS, BOXES, AND 120V WIRING. COORDINATE WORK WITH SYSTEM VENDOR AND OWNER. SEE DETAIL E1.1C.
14. ALL VIDEO SURVEILLANCE EQUIPMENT FURNISHED AND INSTALLED BY OTHERS. E.C. TO PROVIDE ALL REQUIRED RACEWAYS AND 120V WIRING. COORDINATE WORK WITH SYSTEM VENDOR AND OWNER. SEE DETAIL E1.1C.

PLAN NOTES: (X)

1. CONTROL EXTERIOR LIGHTING BUILDING THROUGH PHOTOCELL. MOUNT PHOTOCELL TO FLUSH WEATHERPROOF BOX IN SOFFIT WITH STAINLESS STEEL WEATHERPROOF PLATE. AIM PHOTOCELL NORTH.
2. CONCEAL ALL CONDUIT ABOVE CANOPY CEILING.
3. WIRE CIRCULATION PUMP THROUGH IN-LINE AQUASTAT.
4. RECEPTACLE BOX TO BE FLUSH MOUNTED IN MASONRY. COORDINATE INSTALLATION WITH MASON TO ALLOW FLIP COVER TO OPERATE PROPERLY.
5. STUB 1-1/2" PVC CONDUIT FROM PANEL TO BELOW GRADE BEYOND BUILDING FOR FUTURE SOLAR PV.
6. REMOVE EXISTING WOOD POLE, STREET LIGHT FIXTURE, AND WIRING.
7. PROVIDE EMPTY 3/4" CONDUIT STUB FROM INSIDE POLE BADE TO BELOW GRADE AND UP INTO EQUIPMENT STORAGE ROOM FOR INTERNET ANTENNA. COORDINATE INSTALLATION WITH OWNER.
8. PROVIDE EMPTY 2" CONDUIT FROM EQUIPMENT STORAGE ROOM TO BELOW GRADE FOR TELECOMMUNICATIONS SERVICE ENTRANCE BY OTHERS.
9. ALL CONDUIT AND BOXES THIS ROOM TO BE CONCEALED INSIDE WALLS AND ABOVE FINISHED CEILING.

PANEL SCHEDULE: "P"				VOLTAGE: 120/240V 1P, 3W
TYPE: SQUARE D NO		MOUNT: SURFACE		BUS AMPACITY: 200A
ISOLATED GROUND BUS: NO		GROUND BUS: YES		MAIN CIRCUIT BKR: 200A
WITH THE FOLLOWING BREAKERS:				SUB-FEED LUGS: NO
QUANTITY	POLE	AMPS	LOAD SERVED	AMPS AIC: 22 KAIC
4	2	40	ECH-7, ECH-8, ECH-9, ECH-10	
2	2	20	SITE LIGHTING, WH-1	
1	1	20 GFI	DOG WASH	
14	1	20	GENERAL USE & SPARES	
2	1	15	CP-1, CAMERA & KEYLESS ENTRY PANEL	
13	1	-	SPACE	

NOTE: 42 CKT PANEL.



MCFARLAND PARKS FIXTURE SCHEDULE						
TYPE	DESCRIPTION	LAMP TYPE	VOLT	WATTS	MANUFACTURER	CATALOG NUMBER
G1	1'X1' LED RECESSED FLANGED TROFFER - 3000 LUMENS - VANDAL RESISTANT - WET LOCATION - WHITE STAINLESS STEEL HOUSING	4000K LED	120	30	KURTZON	VL-F-3-1X1-MED-840-UNV-6/2-WHT-AH
G2	1'X1' LED RECESSED FLANGED TROFFER - 4400 LUMENS - VANDAL RESISTANT - WET LOCATION - WHITE STAINLESS STEEL HOUSING	4000K LED	120	45	KURTZON	VL-F-3-1X1-HI-840-UNV-6/2-WHT-AH
G3	1'X4' LED RECESSED FLANGED TROFFER - 6400 LUMENS - VANDAL RESISTANT - WET LOCATION - WHITE STAINLESS STEEL HOUSING	4000K LED	120	68	KURTZON	VL-R-3-1X4-840-UNV-2/6-WHT-AH
H1	SIZE 2 LED WEDGE WALL PACK - WIDE THROW - 3000 LUMENS	4000K LED	120	23	LITHONIA	WDGE2LED-P3-40K-80CRI-VW-MVOLT-SRM
M1	4' LOW PROFILE LED WRAPAROUND - 4000 LUMENS	4000K LED	120	35	LITHONIA	BLWP4-40L-SDSM-GZ10-LP840-PAF
M2	8' LOW PROFILE LED WRAPAROUND - 8000 LUMENS	4000K LED	120	63	LITHONIA	BLWP8-80L-SDSM-GZ10-LP840-PAF
O1	10' SQUARE SURFACE LED CANOPY - 3500 LUMENS	4000K LED	120	27	LITHONIA	CMYLED-P0-40K-MVOLT
S1	4' LED LENSED STRIP - 3000 LUMENS	4000K LED	120	20.3	LITHONIA	CLX-L48-3000LM-SEF-FDL-MVOLT-GZ10-40K-80CRI-WH
Y3	LED AREA FIXTURE - TYPE 3 WIDE - 11,000 LUMENS - B-LEVEL MOTION SENSOR - INTEGRAL PHOTOCELL - EXTERNAL GLARE SHIELD	4000K LED	240	71	LITHONIA	RSX2LED-P1-40K-R3-MVOLT-SPA-PIRHH-EGS
LP1	15'-0" STRAIGHT SQUARE STEEL 4" POLE - SINGLE	-	-	-	LITHONIA	SSS-15-4C-DM19AS-IC

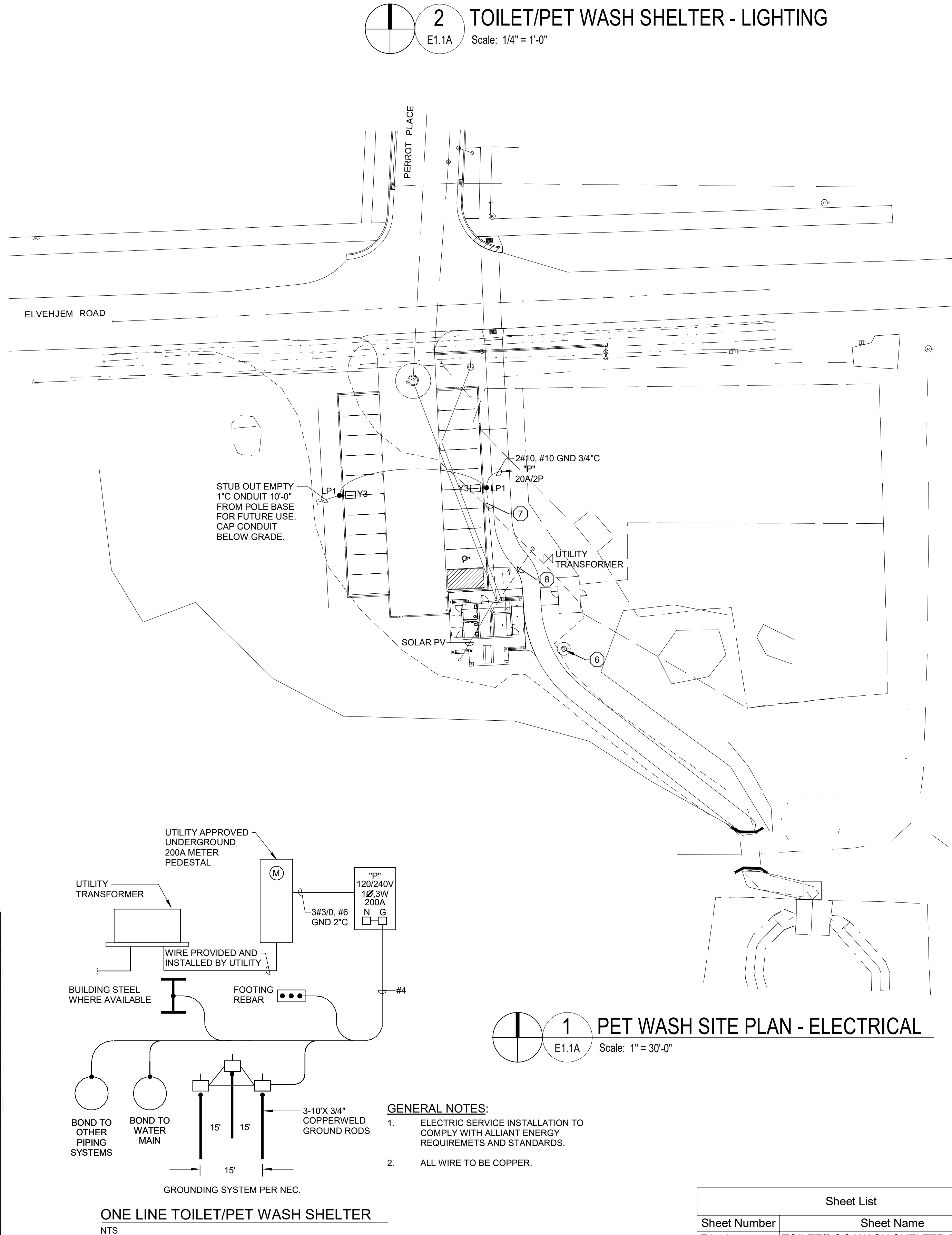
GENERAL NOTES:

1. SEE SPECIFICATIONS FOR FIXTURE REQUIREMENTS.
2. ALTERNATE FIXTURES ARE NOT ALLOWED.
3. ALL INTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 80+. ALL EXTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 70+.
4. MOUNT FIXTURES AT HEIGHT INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

PLAN NOTES:

1. ARCHITECT TO SELECT STANDARD COLOR AND FINISH.

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TOILET/DOG WASH SHELTER PLANS

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E1.1A

ELECTRICAL SYMBOLS AND ABBREVIATIONS

THIS IS A COMPREHENSIVE SYMBOL AND ABBREVIATION LIST.
NOT ALL SYMBOLS ARE APPLICABLE TO THESE DRAWINGS.

S	SINGLE POLE SWITCH, 3=3 WAY, 4=4 WAY, P=PILOT, R=RELAY, K=KEYED, I=ILLUMINATED, D=DIMMER M=MOTION SENSOR SWITCH
	DUPLEX RECEPTACLE C=CEILING MOUNTED
	DUPLEX RECEPTACLE MOUNTED AT 42° TO CENTER
	POWER RECEPTACLE 240V 30=30AMP 60=60AMP R = 50A RANGE OUTLET D = 30A DRYER OUTLET
	DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER
	DOUBLE DUPLEX RECEPTACLE (RECEPTACLES MOUNTED SIDE BY SIDE)
	BLANK OUTLET FOR FUTURE DEVICES 4" BOX, SINGLE GANG RING, BLANKPLATE, 1" C. STUBBED INTO ACCESSIBLE CEILING
	BLANK OUTLET MTD @ 42° FOR FUTURE DEVICES 4" BOX, SINGLE GANG RING, BLANKPLATE, 1" C. STUBBED INTO ACCESSIBLE CEILING
	EQUIPMENT CONNECTION
	J-BOX
	HEAVY DUTY DISCONNECT F=FUSIBLE PROOF FURNISHED BY E.C.
	NON-COMBINATION STARTER
	COMBINATION STARTER
	MANUAL STARTER
	NEW SURFACE MOUNTED PANEL. SEE PLANS.
	NEW FLUSH MOUNTED PANEL. SEE PLANS.
	EXISTING SURFACE MOUNTED PANEL. SEE PLANS.
	EXISTING FLUSH MOUNTED PANEL. SEE PLANS.
	-TYPE
	-EQUIPMENT LOCATION
	-DESIGNATION
	-REFERS TO DETAIL
	-SHEET NO. WHERE DETAIL IS LOCATED
	REFERS TO NOTE NUMBER
	DOOR CONTACT SWITCH
	ELECTRIC STRIKE.
	CARD READER.

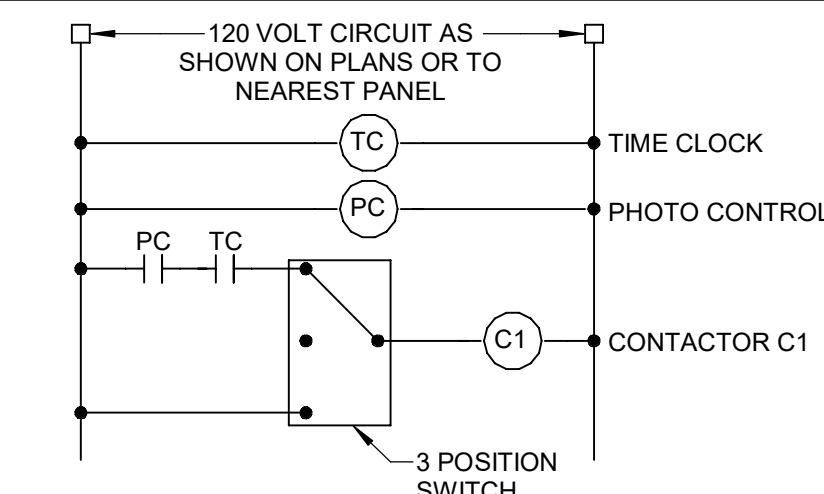
	CEILING MOUNTED FLUSH OR SURFACE
	WALL MOUNTED, FLUSH OR SURFACE
	FLUORESCENT FIXTURE
	EMERGENCY LIGHT
	RECESSED EMERGENCY LIGHT
	EXIT LIGHT - ONE FACE
	EXIT LIGHT - TWO FACE
	DUAL TECHNOLOGY OCCUPANCY SENSOR LIGHTING
	ULTRASONIC OCCUPANCY SENSOR LIGHTING
	PHOTOCELL
	MOTOR OUTLET TERMINAL, ON ROOF MOUNTED UNITS PROVIDE WEATHER PROOF DISCONNECTS: X = HORSE POWER OR MOTOR NUMBER IF SCHEDULE IS PROVIDED.
	CIRCUIT HOMERUN TO 20A/1P BREAKER UNLESS SHOWN OTHERWISE ON DRAWINGS.
	INDICATES CONNECTED TO SAME CIRCUIT BUT CONTROLLED SEPARATELY
	COND. STUB THROUGH WALL BUSHED EACH END
	ELECTRIC HAND DRYER. SEE SPECIFICATIONS
	SECURITY CAMERA

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
C	CONDUIT
CKT	CIRCUIT
CT	CURRENT TRANSFORMER
EBB	ELECTRICAL BASE BOARD
EC	ELECTRICAL CONTRACTOR
ECB	ENCLOSED CIRCUIT BREAKER
ELEV	ELEVATION
EM	EMERGENCY
EQ	EQUIPMENT
EUH	ELECTRIC UNIT HEATER
EWC	ELECTRIC WATER COOLER
EWB	ELECTRIC WALL HEATER
FBO	FURNISHED BY OTHERS
GUH	GAS UNIT HEATER
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GND	GROUND
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
IG	ISOLATED GROUND
INC	INCANDESCENT
JB	JUNCTION BOX
MTD	MOUNTED
NL	NIGHT LIGHT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OHD	OVERHEAD DOOR
OC	ON CENTER
PC	PHOTOCELL
REF	REFRIGERATOR
RTU	ROOF TOP UNIT
SPD	SURGE PROTECTED DEVICE
SS	STAINLESS STEEL
UH	UNIT HEATER
VFD	VARIABLE FREQUENCY DRIVE
WE	WALL EXHAUST
WH	WATER HEATER
WP	WEATHER PROOF

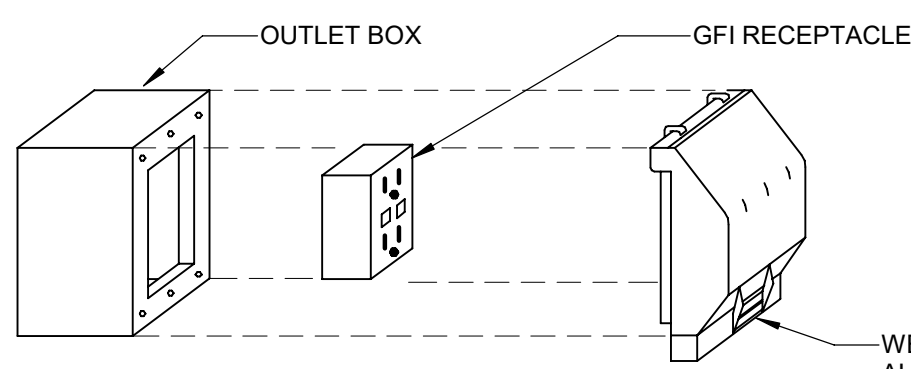
OCCUPANCY SENSOR SCHEDULE

SYMBOL	DESCRIPTION	SENSOR/SWITCH
	DUAL TECHNOLOGY OCCUPANCY SENSOR	CM-PDT-9-R-LT



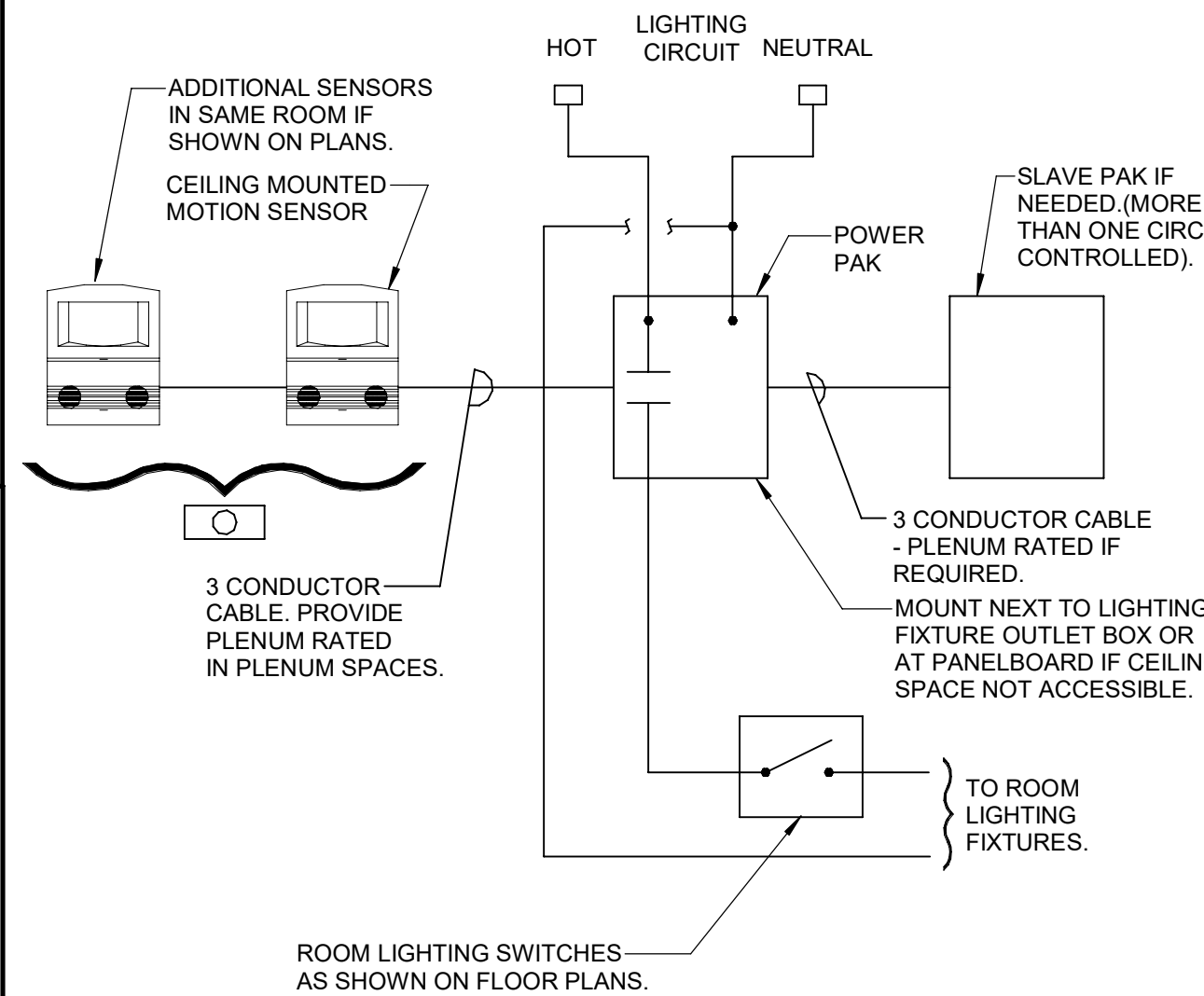
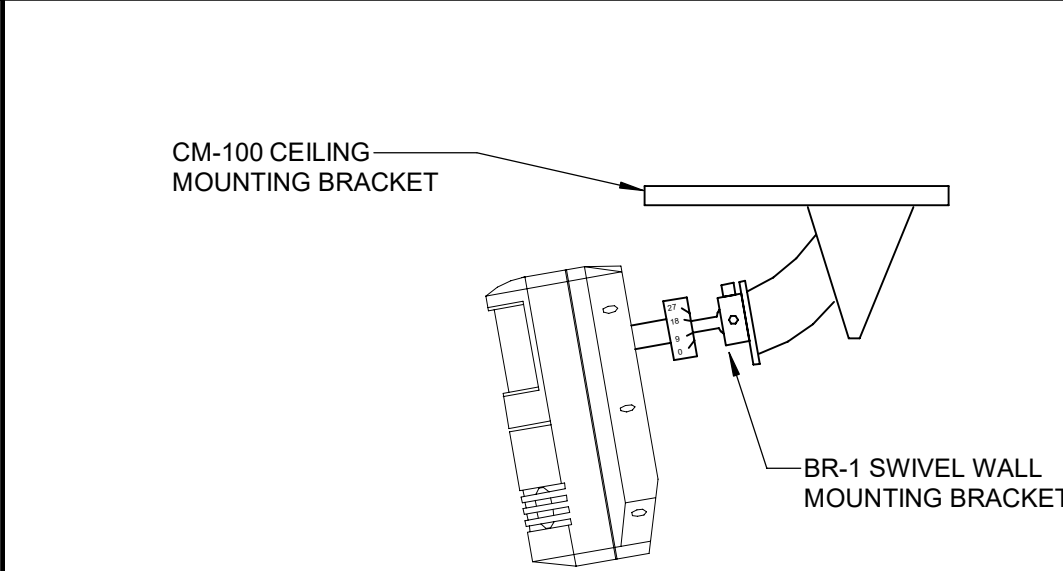
COMPONENTS:	
TIMECLOCK:	INTERMATIC ET8215C SEVEN DAY ASTRONOMIC TIMECLOCK
PHOTOCONTROL:	INTERMATIC-K4221 MOUNT WHERE SHOWN ON FLOOR PLANS, OR IF NOT SHOWN, ON NORTH SIDE OF BUILDING.
CONTACTORS:	"SQUARE D" 8803-L040-V02 MINIMUM CONFIGURATION, PROVIDE ADDITIONAL CONTACTOR POLES IF REQUIRED.
3-POSITION SWITCHES:	CENTER OFF TYPE, HEAVY DUTY TOGGLE SWITCH. PROVIDE ENGRAVED LABEL FOR EACH SWITCH "AUTO-OFF-ON". ALSO LABEL FUNCTION.

7
E1.1B
EXTERIOR LIGHTING CONTROLS
SCALE: NTS

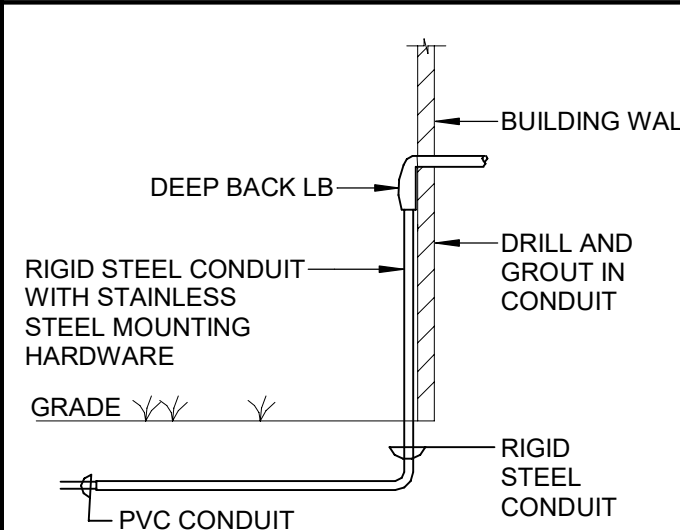


NOTE:
FOR ALL NEW CONSTRUCTION BOX IS TO BE FLUSH MOUNTED.
OUTLET BOX:
FLUSH: 3 1/2" DEEP 1-GANG MASONRY BOX SURFACE: F.S. BOX

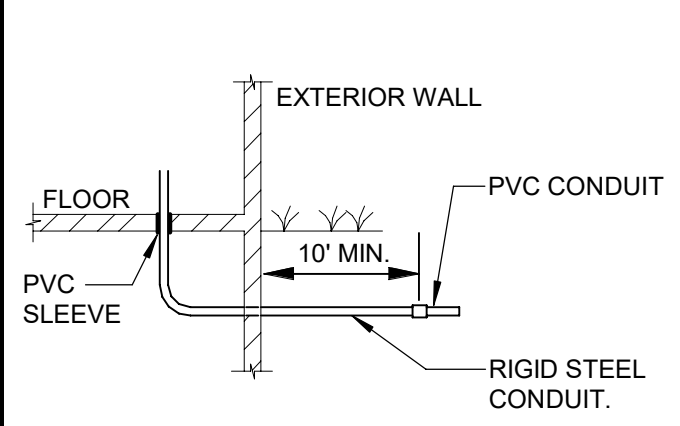
6
E1.1B
GFI/WP RECEPTACLE MOUNTING DETAIL
SCALE: NTS



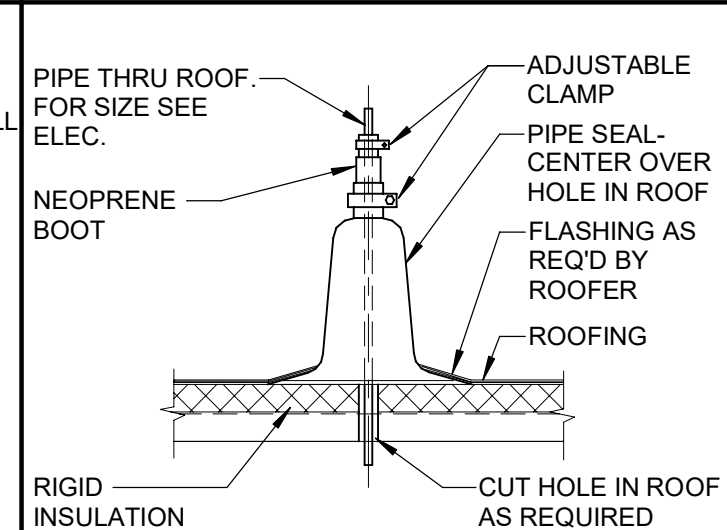
5
E1.1B
MOTION SENSOR LIGHTING CONTROL
SCALE: NTS



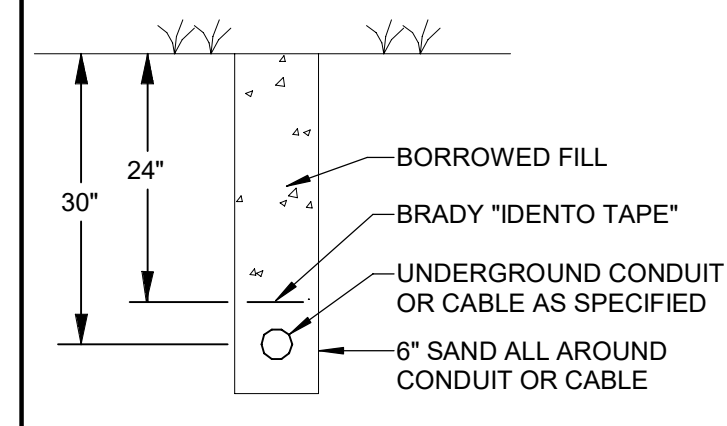
EXTERIOR CONDUIT INTO EXISTING SPACE



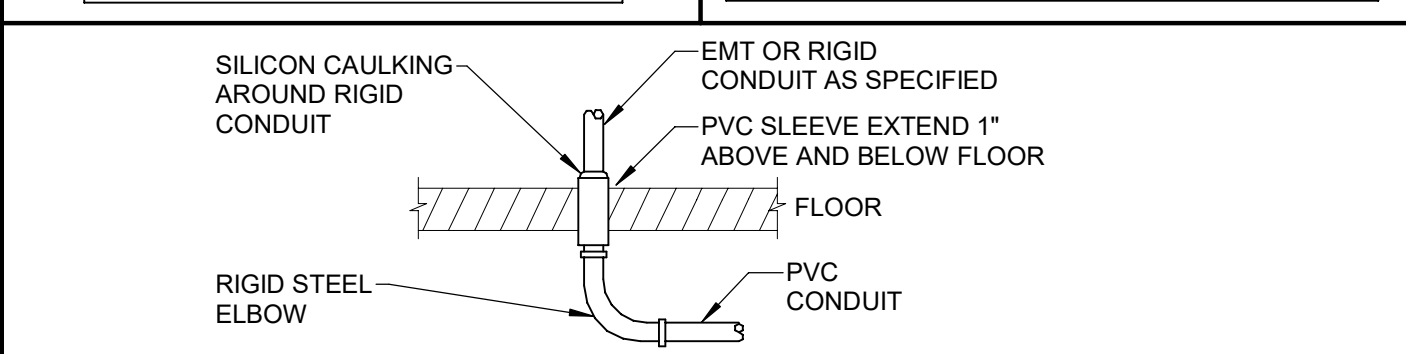
EXTERIOR CONDUIT INTO NEW SPACE



ROOF PENETRATION



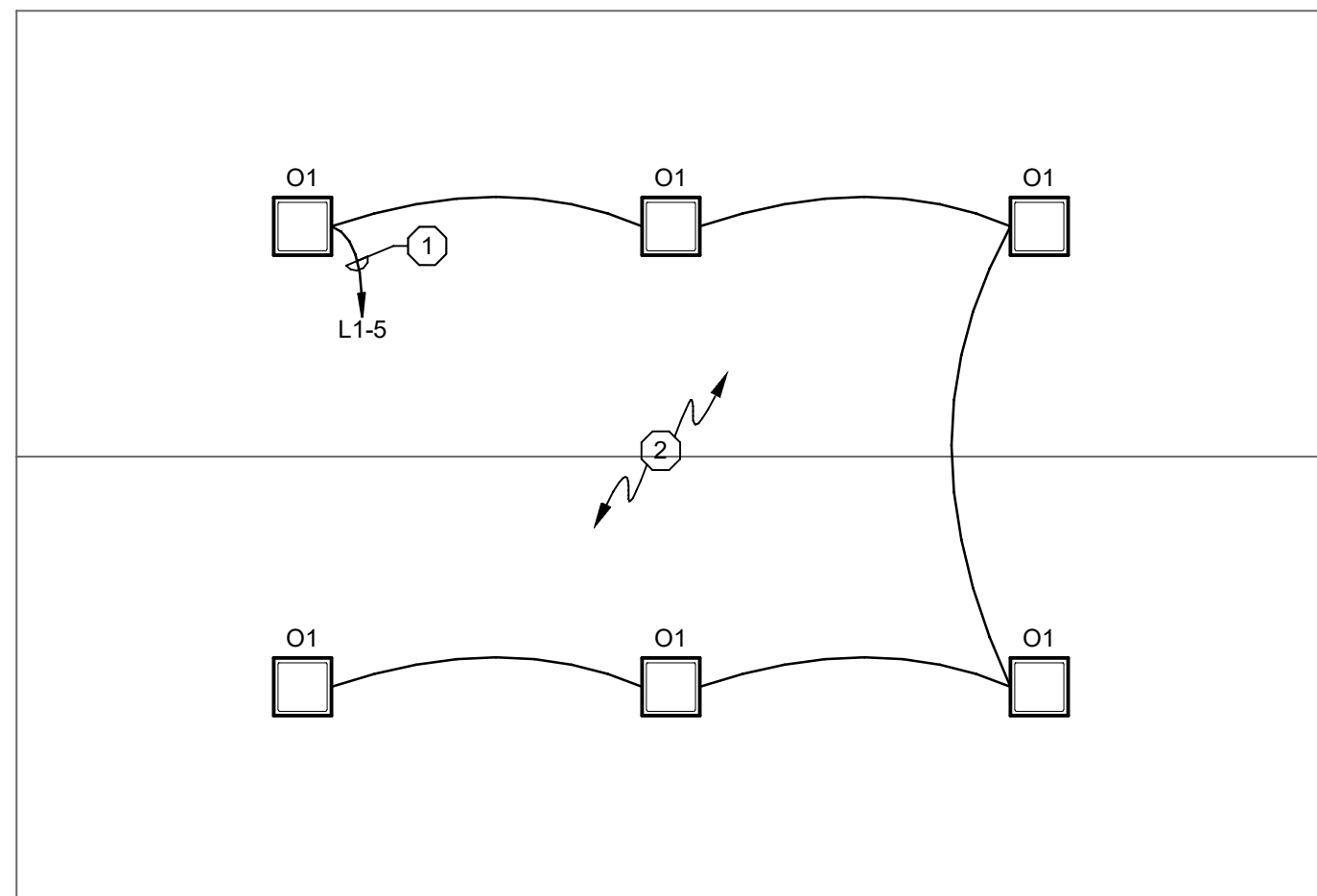
UNDERGROUND CONDUIT/CABLE INSTALLATION



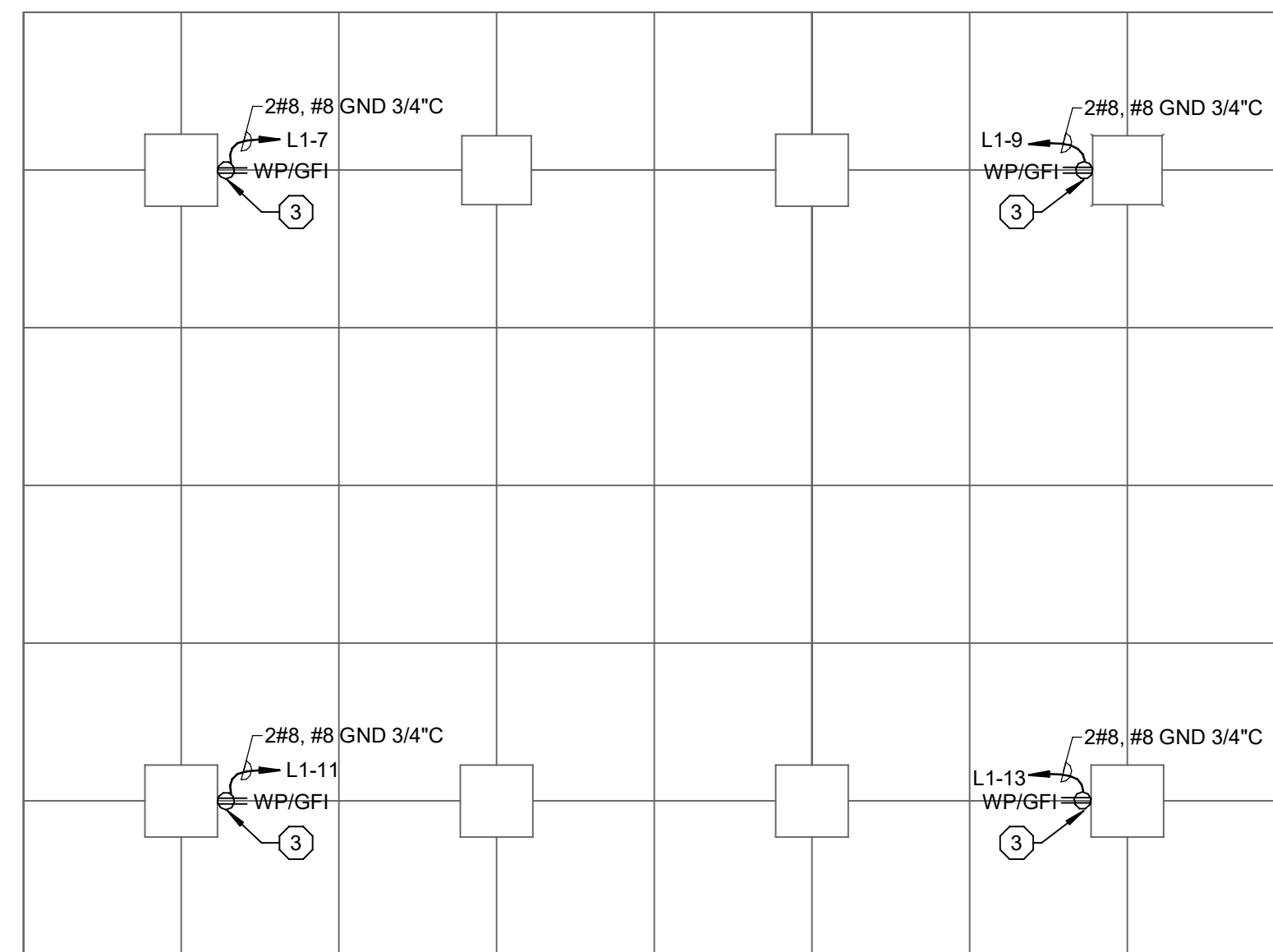
NOTES:
1. E.C. MAY USE PVC COATED RIGID STEEL CONDUIT IN LIEU OF RIGID CONDUIT AND PVC SLEEVE.
2. PVC SLEEVE TO BE AS SNUG AS POSSIBLE ON RIGID CONDUIT.

CONDUIT UNDER FLOOR PENETRATION

4
E1.1B
CONDUIT DETAILS
SCALE: NTS



1
E1.1B
PARK SHELTER - LIGHTING
Scale: 1/4" = 1'-0"



2
E1.1B
PARK SHELTER - POWER
Scale: 1/4" = 1'-0"

GENERAL NOTES:

- ALL LIGHTING FIXTURES IN MECHANICAL ROOMS SHALL BE LAID OUT ON SITE AND DETERMINED BY THE MECHANICAL EQUIPMENT IN ROOM.
- IN ROOMS WITH OCCUPANCY SENSOR, GENERAL ILLUMINATION IN ROOM SHALL BE CONTROLLED BY SENSOR. CONTRACTOR TO DETERMINE BEST LOCATION FOR SENSOR IN FIELD WITH MANUFACTURER. SEE DETAIL 5 E1.1B
- PROVIDE EXTERIOR RECEPTACLES PER DETAIL 6 E1.1B
- ALL CONDUITS STUBBED OUT OF BUILDING SHALL BE DONE PER DETAIL 4 E1.1B
- ALL RECEPTACLES MOUNTED WITHIN 6 FEET OF SINKS SHALL BE GFI TYPE.
- (---) INDICATES APPROXIMATE UNDERGROUND ROUTING OF CONDUITS AND FEEDERS.

PLAN NOTES:

- CONTROL THIS CIRCUIT THROUGH CONTACTOR C1 PHOTOCALL-ON, TIMECLOCK-OFF, SEE DETAIL 7 E1.1B
- CONCEAL ALL CONDUIT ABOVE CANOPY CEILING.
- ALL CONDUITS TO BE CONCEALED IN MASONRY COLUMN TO RECEPTACLES. CONDUIT TO BE ROUTED BELOW CONCRETE SLAB INTO BOTTOM OF MASONRY COLUMN. RECEPTACLE BOX TO BE FLUSH MOUNTED IN MASONRY. COORDINATE INSTALLATION WITH MASON TO ALLOW FLIP COVER TO OPERATE PROPERLY.
- PROVIDE EMPTY 2" CONDUIT FROM STORAGE ROOM TO BELOW GRADE FOR TELECOMMUNICATIONS SERVICE ENTRANCE BY OTHERS.

3
E1.1B
PARK SHELTER SITE PLAN - ELECTRICAL
Scale: 1" = 30'-0"

Office Locations:

Davenport
220 Emerson Place, Suite 301
Davenport, Iowa 52801

Milwaukee
829 S. 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200

Sheboygan
1227A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.459.4200

www.brayarch.com

Project Title:

McFarland Park Facility Projects
Village of McFarland
McFarland, WI

REVISIONS:

DATE	DESCRIPTION
------	-------------

Project Number:

3491

Issued For:

Construction Documents

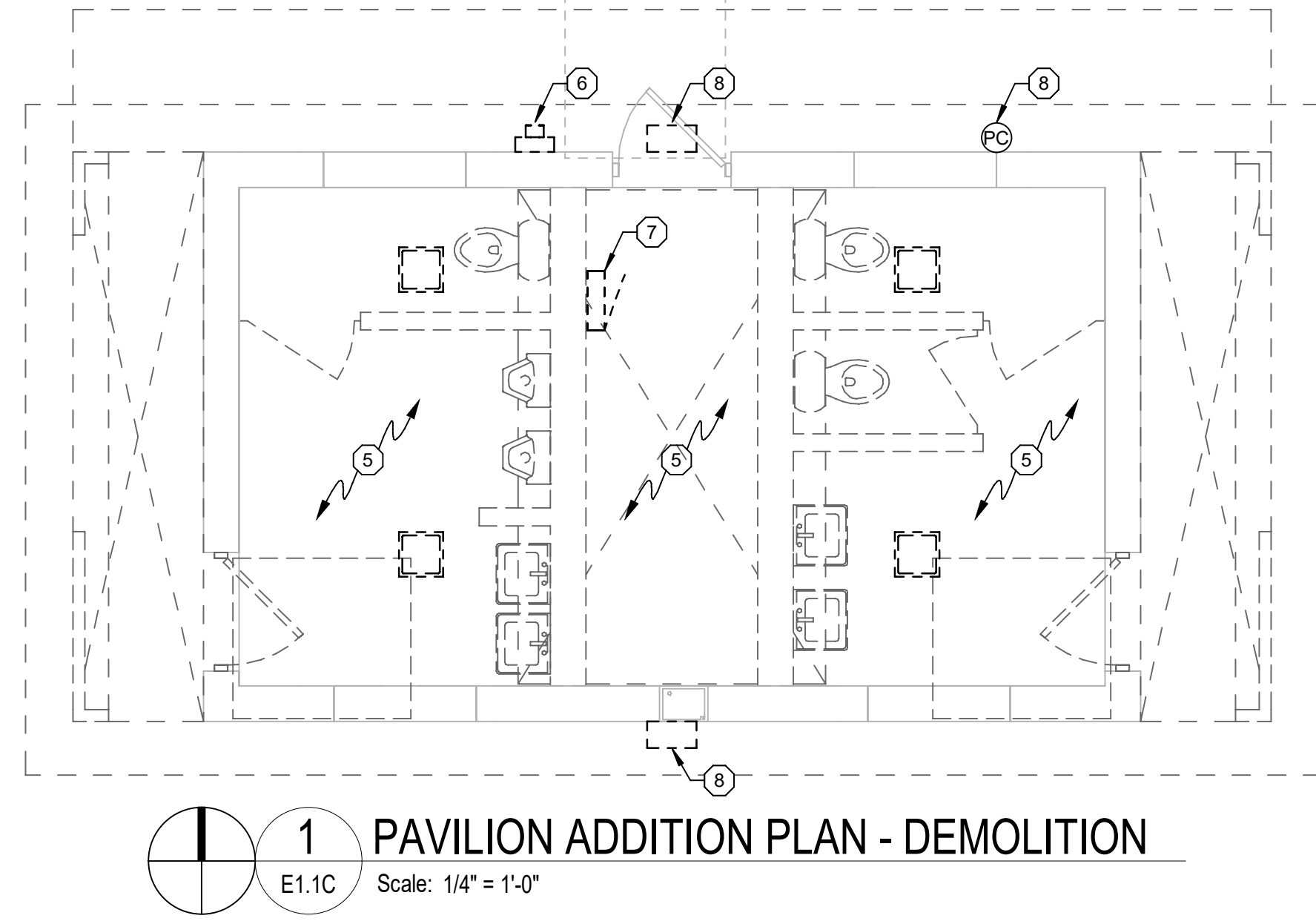
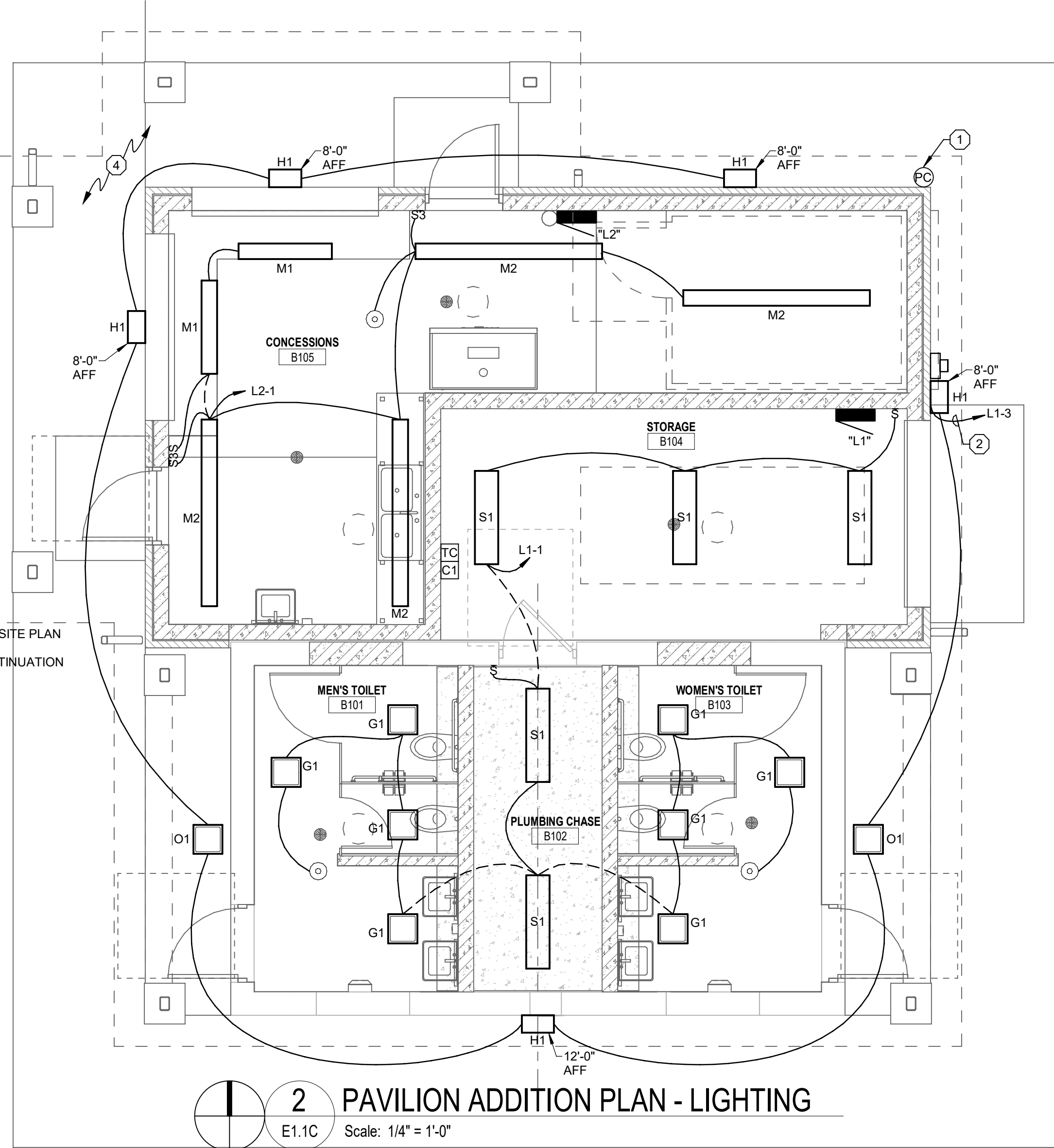
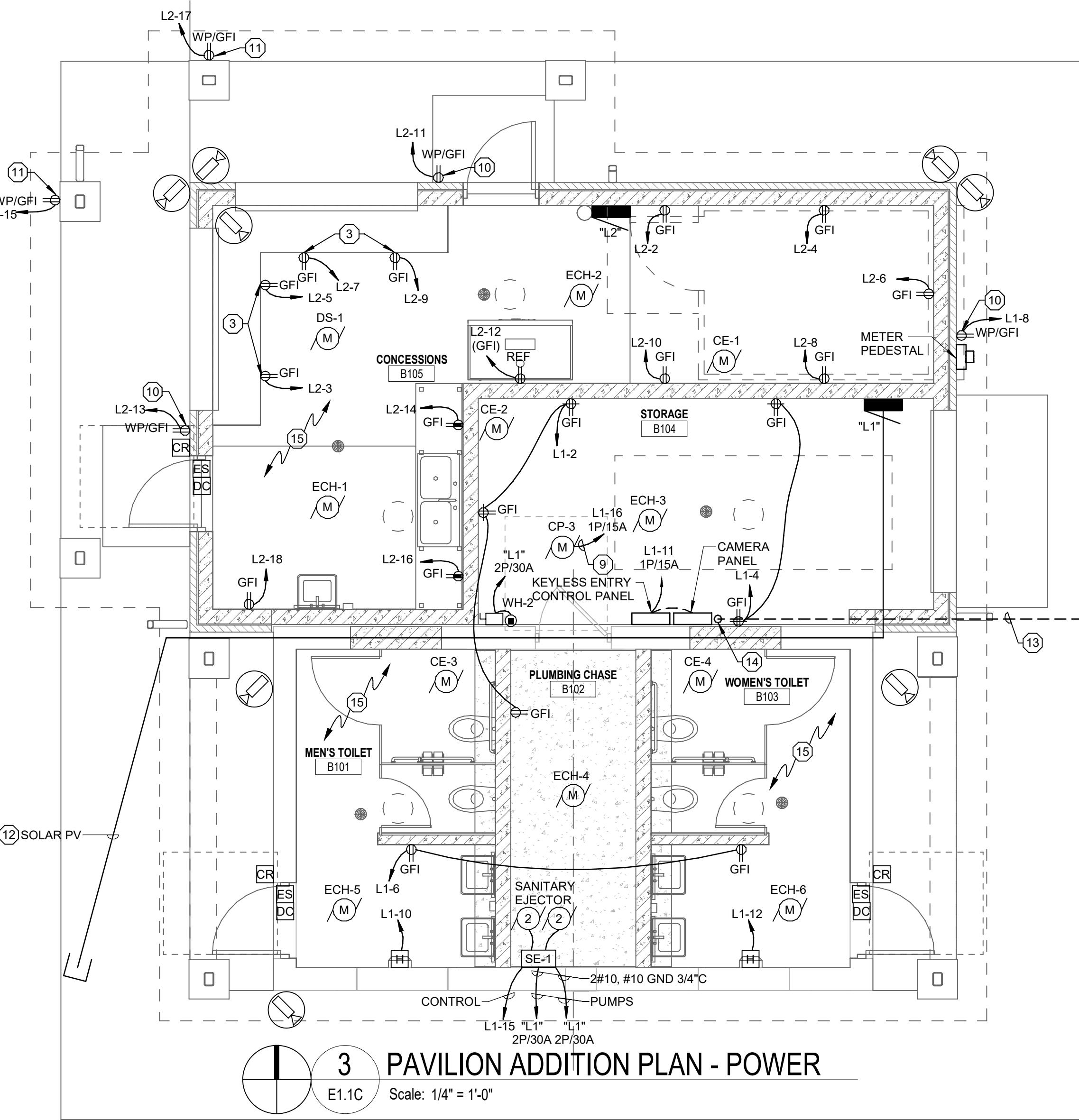
Issued to Bid 06/05/2020

Sheet Title:

OPEN SHELTER PLANS

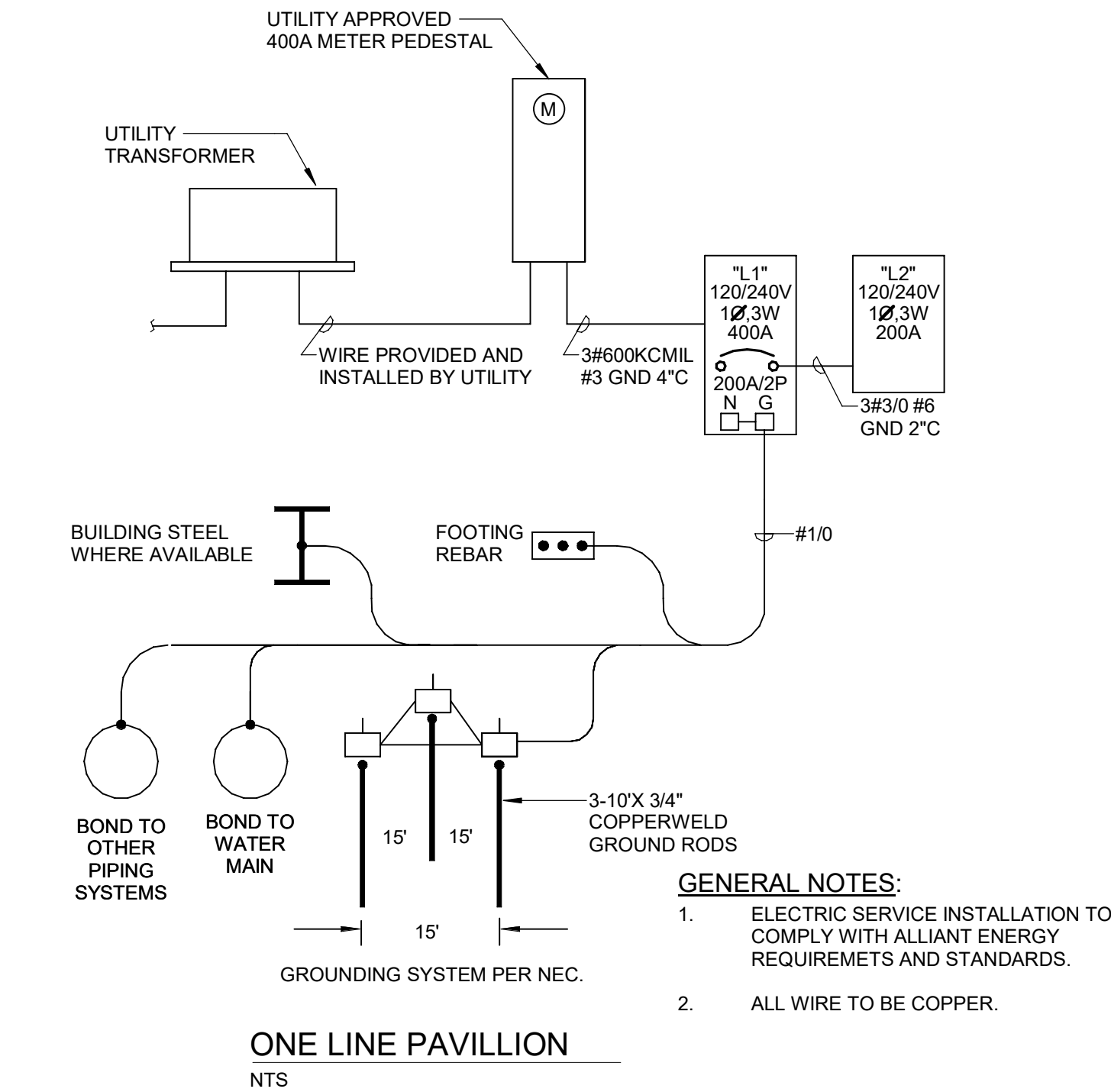
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E1.1B

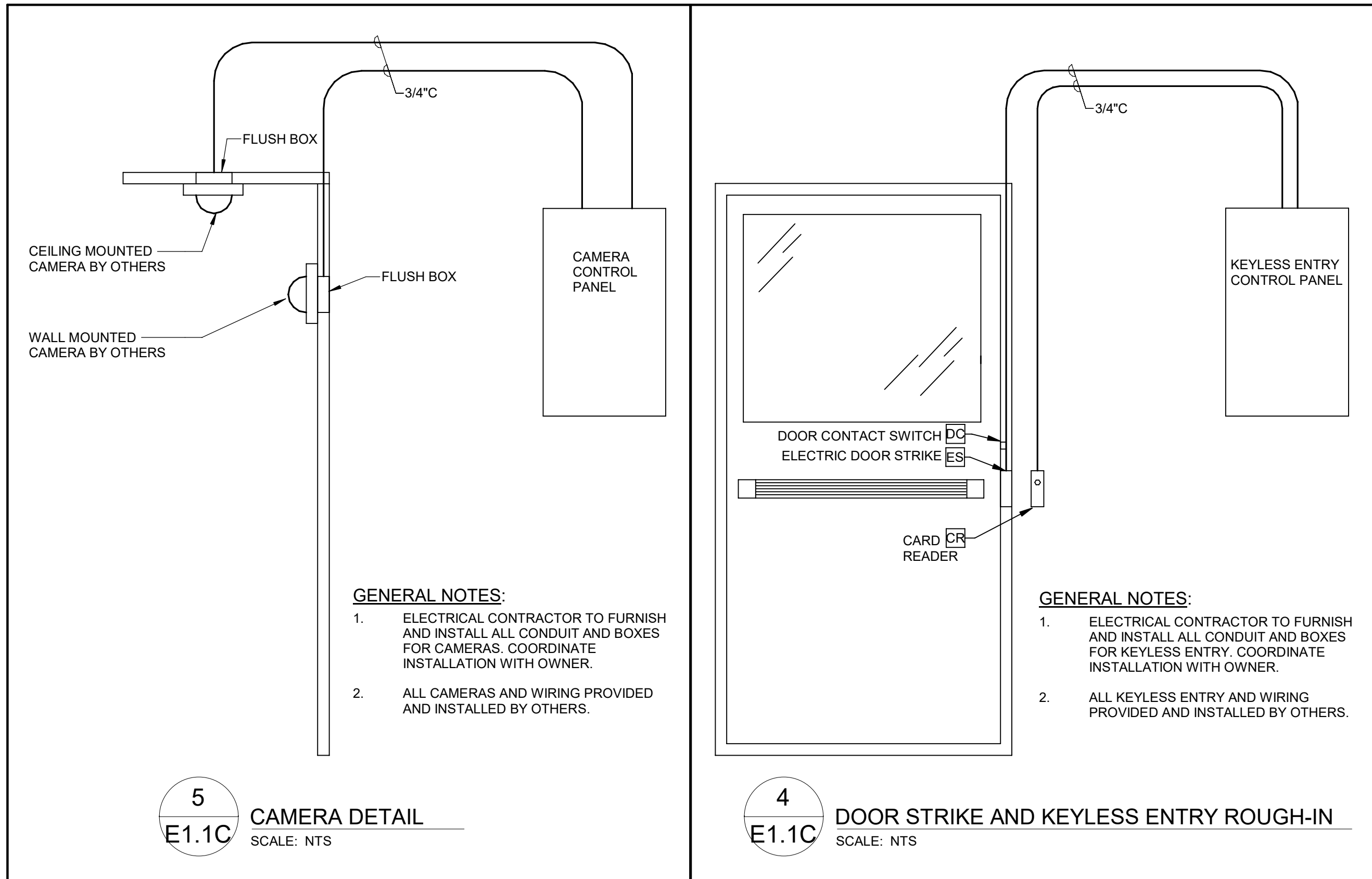


PANEL SCHEDULE: "L1"			VOLTAGE: 120/240V 1P.3W		
TYPE: <u>SQUARE D NO</u>			BUS AMPACITY: <u>400A</u>		
MOUNT: <u>SURFACE</u>			MAIN CIRCUIT BKR: <u>400A</u>		
ISOLATED GROUND BUS: <u>NO</u>			SUB-FEED LUGS: <u>NO</u>		
GROUND BUS: <u>YES</u>			AMPS AIC: <u>22 KAIC</u>		
WITH THE FOLLOWING BREAKERS:					
QUANTITY	POLE	AMPS	LOAD SERVED		
1	2	200	PANEL "L2"		
2	2	40	ECH-5, ECH-6		
2	2	30	SANITARY EJECTOR PUMPS		
3	2	20	ECH-3, ECH-4, WH-2		
22	1	20	GENERAL USE & SPARES		
2	1	15	CP-2, CAMERA & KEYLESS ENTRY PANEL		
14	1	-	SPACE		
NOTE: 54 CKT PANEL.					

PANEL SCHEDULE: "L2"				VOLTAGE: 120/240V 1P.3W			
TYPE: <u>SQUARE D NO</u>				BUS AMPACITY: 200A			
MOUNT: <u>SURFACE</u>				MAIN CIRCUIT BKR: <u>NONE</u>			
ISOLATED GROUND BUS: <u>NO</u>				SUB-FEED LUGS: <u>NO</u>			
GROUND BUS: <u>YES</u>				AMPS AIC: <u>22 KAIC</u>			
WITH THE FOLLOWING BREAKERS:							
QUANTITY	POLE	AMPS	LOAD SERVED				
2	2	30	ECH-1, ECH-2				
1	1	20 GFI	REFRIGERATOR				
22	1	20	GENERAL USE & SPARES				
15	1	-	SPACE				
NOTE: 42 CKT PANEL.							



- PLAN NOTES:**
- MOUNT PHOTOCELL TO FLUSH WEATHERPROOF BOX IN SOFFIT WITH STAINLESS STEEL WEATHERPROOF PLATE. AIM PHOTOCELL NORTH.
 - CONTROL THIS CIRCUIT THROUGH CONTACTOR C1 PHOTOCELL-ON, TIMECLOCK-OFF, SEE DETAIL.
 - MOUNT RECEPTACLES BELOW FRONT EDGE OF COUNTER TOP, PROVIDE SINGLE GANG WEATHERPROOF BOX.
 - CONCEAL ALL CONDUIT ABOVE CANOPY CEILING.
 - REMOVE AND SITE CLEAR ALL LIGHTING AND ELECTRICAL IN THIS AREA. REMOVE ALL DEVICES, FIXTURES, CONTROLS, WIRING, AND CONDUIT. REMOVE ALL ELECTRICAL ON WALLS SHOWN TO REMAIN.
 - DISCONNECT AND REMOVE EXISTING METER PEDESTAL AND ALL WIRE AND CONDUIT.
 - REMOVE EXISTING PANEL AND ALL WIRE AND CONDUIT. EXTEND EXISTING BRANCH CIRCUITS TO REMAIN TO NEW PANEL "L1".
 - REMOVE EXISTING WALL PACK AND WIRE, CONDUIT, AND PHOTOCELL CONTROLS.
 - WIRE CIRCULATION PUMP THROUGH IN-LINE AQUASTAT.
 - RECEPTACLE TO BE FLUSH MOUNTED IN MASONRY. COORDINATE INSTALLATION WITH MASON TO ALLOW FLIP COVER TO OPERATE PROPERLY.
 - ALL CONDUITS TO BE CONCEALED IN MASONRY COLUMN TO RECEPTACLES. CONDUIT TO BE ROUTED BELOW CONCRETE SLAB INTO BOTTOM OF MASONRY COLUMN. RECEPTACLE BOX TO BE FLUSH MOUNTED IN MASONRY. COORDINATE INSTALLATION WITH MASON TO ALLOW FLIP COVER TO OPERATE PROPERLY.
 - STUB 1-1/2" PVC CONDUIT FROM PANEL TO BELOW GRAD BEYOND BUILDING FOR FUTURE SOLAR PV.
 - PROVIDE EMPTY 2" CONDUIT FROM STORAGE ROOM TO BELOW GRADE FOR TELECOMMUNICATIONS SERVICE ENTRANCE BY OTHERS.
 - PROVIDE 3/4" CONDUIT STUB THROUGH ROOF WITH WEATHERHEAD FOR INTERNET ANTENNA. COORDINATE INSTALLATION WITH OWNER.
 - ALL CONDUIT AND BOXES THIS ROOM TO BE CONCEALED INSIDE WALLS AND ABOVE FINISHED CEILING.



MOTOR STARTER SCHEDULE																		
HVAC EQUIPMENT DESCRIPTION	ELECTRICAL DATA						STARTER				CIRCUIT							NOTE
	MCA	MOCP	HP	VOLTAGE	PHASE	KW	FURNISHED BY	INSTALLED BY	LOCATION	TYPE	PANEL	CKT NO.	CIRCUIT BREAKER		WIRING			
													AMPS	POLE	NO.	SIZE	GND	
CE-1				120	1	0.06	HVAC	EC	NEAR UNIT	SP. SW.	L2	20	20	1	2	#12	#12	1/2"
CE-2				120	1	0.06	HVAC	EC	NEAR UNIT	SP. SW.	L1	14	20	1	2	#12	#12	1/2"
CE-3				120	1	0.1	HVAC	EC	NEAR UNIT	SP. SW.	L1	14	20	1	2	#12	#12	1/2"
CE-4				120	1	0.1	HVAC	EC	NEAR UNIT	SP. SW.	L1	14	20	1	2	#12	#12	1/2"
CE-5				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.	P	5	20	1	2	#12	#12	1/2"
CE-6				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.	P	5	20	1	2	#12	#12	1/2"
CE-7				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.	P	5	20	1	2	#12	#12	1/2"
CE-8				120	1	0.07	HVAC	EC	NEAR UNIT	SP. SW.	P	5	20	1	2	#12	#12	1/2"
DS-1				120	1	0.09	HVAC	EC	NEAR UNIT	SP. SW.	L2	20	20	1	2	#12	#12	1/2"
ECH-1				240	1	5	HVAC	HVAC	PRE-WIRED	-	L2	-	30	2	2	#10	#10	1/2"
ECH-2				240	1	5	HVAC	HVAC	PRE-WIRED	-	L2	-	30	2	2	#10	#10	1/2"
ECH-3				240	1	3	HVAC	HVAC	PRE-WIRED	-	L1	-	20	2	2	#12	#12	1/2"
ECH-4				240	1	3	HVAC	HVAC	PRE-WIRED	-	L1	-	20	2	2	#12	#12	1/2"
ECH-5				240	1	7	HVAC	HVAC	PRE-WIRED	-	L1	-	40	2	2	#8	#10	3/4"
ECH-6				240	1	7	HVAC	HVAC	PRE-WIRED	-	L1	-	40	2	2	#8	#10	3/4"
ECH-7				240	1	7	HVAC	HVAC	PRE-WIRED	-	P	-	40	2	2	#8	#10	3/4"
ECH-8				240	1	7	HVAC	HVAC	PRE-WIRED	-	P	-	40	2	2	#8	#10	3/4"
ECH-9				240	1	7	HVAC	HVAC	PRE-WIRED	-	P	-	40	2	2	#8	#10	3/4"
ECH-10				240	1	7	HVAC	HVAC	PRE-WIRED	-	P	-	40	2	2	#8	#10	3/4"
GENERAL NOTES:																		
1. DISCONNECTS FOR HVAC EQUIPMENT FURNISHED BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO INSTALL PER MECHANICAL CONTRACTORS REQUIREMENTS.																		
2. ALL WIRE TO HVAC EQUIPMENT TO BE COPPER ONLY.																		

July 1, 2020



Mr. Matt Schuenke, Village Administrator
Village of McFarland
5915 Milwaukee Street
McFarland, WI 53558

Re: McFarland Park Facility Projects
Bray Associates Project No. 3491

Dear Matt,

The bids for these park facility projects were openings on June 26, 2020. Eight bids were received by you on that date. The low combined base bid of \$729,673.00 was less than Bray Architect's expected construction cost.

U.S. Vet General Contracting, LLC of McFarland is the apparent low bidder. The alternate bid for additional site work at the dog park is an additional \$29,066.00. Total cost of work on bid day is \$758,739 including the alternate. The bid included a bid bond for \$36,484.00. The bid is deemed responsive.

Bray Architects has not done previous work with US Vet General Contracting, LLC.

Based on all provided prequalification information submitted to the Village this contractor is considered a responsible bidder. Bray Associates recommends proceeding and award of contract to this firm. It is the Village's decision on whether to proceed with the alternate bid work.

Sincerely,

Bray Architects

Mark K. Schuchardt A.I.A.
Architect

Enclosure

Village of McFarland
McFarland Park Facility Projects
Project No. 3491

Bid Opening June 26, 2020

Index	General Contractor	Bid Bond	Add. 1	Add. 2	Add. 3	Base Bid Toilet/Dog Wash Shelter	Base Bid McDaniel Park Open Air Park Shelter	Base Bid McDaniel Park Pavilion Addition	Base Bid All Projects Combined	Alternate Bid C- 1 (Additional Site Work)
1	FCM Corporation	37,419.00	X	X	X	365,305.00	77,806.00	305,256.00	748,367.00	36,966.00
2	Harmony Construction	39,932.00	X	X	X	418,519.00	57,982.00	322,135.00	798,636.00	26,279.00
3	Sullivan Design Build	5%	X	X	X	366,000.00	98,900.00	348,000.00	812,900.00	20,600.00
4	KSW Construction	5%	X	X	X	457,649.00	84,200.00	371,077.00	895,040.00	34,749.00
5	Joe Daniels Construction	5%	X	X	X	502,756.00	117,915.00	444,078.00	1,023,417.00	29,406.00
6	Advanced Building Corporation	43,827.80	X	X	X	426,925.00	96,365.00	353,267.00	876,557.00	31,997.00
7	US Vet General Constructors	36,484.00	X	X	X	356,747.00	70,769.00	302,157.00	729,673.00	29,066.00
8	McKee Associates	5%	X	X	X	420,000.00	62,200.00	327,800.00	810,000.00	27,250.00

356,747.00 57,982.00 302,157.00 729,673.00 20,600.00

US Vet Harmony US Vet US Vet Sullivan

2020 Park Facility Projects

Project Funding

Line Items	Dog Park	Concession Stand	Open Air Shelter	Total
Base Bid	356,747	302,157	70,769	729,673
Alternatives	29,066	0	0	29,066
Network	2,277	1,832	0	4,109
Security	16,175	18,363	0	34,538
Contingency (10%)	40,426	32,235	7,077	79,739
Arch/Insp	48,500	31,500	17,500	97,500
Eng	9,300	3,500	1,500	14,300
Other	0	0	0	0
Actual	502,491	389,587	96,846	988,925
Budget	777,482	265,000	35,000	1,077,482

Variance **(274,991)** **124,587** **61,846** **(88,557)**



VILLAGE BOARD SUMMARY SHEET

MEETING DATE: Thursday, July 9, 2020

SECTION: Business

DEPARTMENT: Administration

CONTACT: Jim Hessling, Public Works Director

AGENDA ITEM: Discussion to set a schedule to tour the Community Park property.

PREVIOUS ACTION:

ISSUE SUMMARY:

Several committee members have made comments about not knowing the area of the future Community Park property on the east side of the village.

The idea of a tour of the area recently came up. Since this property is undeveloped and primarily farm land, this would be a great opportunity for a walking tour of the property.

Since the July PRNR Committee meeting was recently moved up to July 9, I would propose that we have a tour on July 23 the night of our regularly scheduled PRNR meeting.

Please note: There will be uneven ground, varying slopes, weeds, possible wet areas, woods and other types of unknown terrain. It is suggested that appropriate footwear be worn during the tour.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

ATTACHMENTS:

None



VILLAGE BOARD SUMMARY SHEET

MEETING DATE: Thursday, July 9, 2020

SECTION: Business

DEPARTMENT: Public Works

CONTACT: Sayer Larson, Parks Superintendent

AGENDA ITEM: Presentation of the Parks Superintendent monthly report.

PREVIOUS ACTION:

ISSUE SUMMARY:

Included is the monthly report for Parks from the Parks Superintendent.

Also, included is a shortened version of the CIP as it reflects on parks projects planned for the next five years. We can continue to update this from month to month as need be.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

ATTACHMENTS:

1. PARKS REPORT JULY2020
2. 2020-2024 McFarland CIP - Parks Projects 06292020 mgs

PARKS, RECREATION & NATURAL RESOURCES COMMITTEE

July 9th, 2020

Parks Superintendent Report - July 2020

The following is information concerning events and activities of the Parks Department for the previous month. This information is provided in brief to provide an overview of the highlights.

Maintenance Operations

Trimming operations have ceased until we get back to full staff. Parks maintenance has taken priority. Update - still catching up on maintenance. We tilled and installed the volley ball nets at Lewis, McDaniel and Woodland Estates parks.

Tree Removals

We had some trees come down on the NW corner of McFarland Park in a recent storm. Trees fell behind outfield fence but caused no damage. We also removed a tree along 51 as it was in poor health and caused a visual barrier.

Volunteering Parks

Currently working with local Boy Scout to renew the trail system created from Marsh Woods Park to Indian Mounds Conservation Park.

Sent a list to the volunteer committee for volunteer opportunities in the park system. Currently focusing on weeding projects such as weeding planting beds and playgrounds.

Dog Park Expansion – Woodland Clearing Project

We are looking to move on this project with summer on the horizon. As we progress into summer the area will dry out to limit damage by equipment. Update - We are staging additional soil on site for the project.

Events in parks

We have had an increase in events utilizing the large Curling Club parking lot. Events have been well attended and well run. Traffic flow has not been an issue to my knowledge.

Facility Update

In Phase 2A of Forward Dane. As of 6/30, all facilities and amenities are available for use. Additional restrictions imposed as an upswing in positives in Dane County has occurred. Will need to monitor reservations to stay within Forward Dane guidelines.

Park Bench Installations

We installed two new benches. The replacement memorial bench at Brandt and a new memorial bench at Larson.

Meetings/Trainings/Seminars

Attending virtual WPRA and other local parks meetings to stay updated on the COVID-19 pandemic as it relates to parks and facilities.

2020 Program Year

McFarland Park Projects

Project	Year	Description	400 Capital Projects	405 Parks	Total	Costs		Status	Timeline	Notes
						YTD	Variance			
Aquatics Plan/Design	2020	Contracted planning services to review options for public pool or splashpad development.	25,000	0	25,000	12,000	(13,000)	ON HOLD	December 2020	Initial concepts prepared and reviewed by Committee. Need to collect public input and finish plan.
Community Park	2020	Contracted planning services to develop new Master Plan for property.	25,000	0	25,000	1,147	(23,854)	IN PROCESS	December 2020	Initial data collection complete, preparing public input, building plan.
General Improvements	2020	Annually we set aside money within the Parks Fund to pay for playground improve, used as needed.	0	50,000	50,000	0	(50,000)	NO PROJECT IDENTIFIED	TBD	Need to determine a park in which we wish to replace equipment, presently none selected.
Larson Park	2020	Plan development for improvements to Larson Park.	15,000	0	15,000	11,724	(3,276)	ON HOLD	October 2020	Concept plan complete, need to solicit input, finalize plan.
McDaniel Park	2020	Addition of concession space, remodel bathroom, new Open Air Shelter.	150,000	150,000	300,000	41,650	(258,350)	IN PROCESS	November 2020	Project bid, need to award contract, begin construction.
McFarland Park	2020	Contracted planning services to develop new Master Plan for property.	25,000	0	25,000	1,049	(23,951)	IN PROCESS	December 2020	Initial data collection complete, preparing public input, building plan.
Park Design	2020	Contracted planning services to develop plan for special needs park.	17,000	0	17,000	0	(17,000)	IN PROCESS	December 2020	Initial data collection complete, preparing public input, building plan.
Park Equipment	2020	Smaller amenities needed within the park from year to year like a bench, specific piece of playground equipment, or other related item.	0	15,000	15,000	1,637	(13,363)	AS NEEDED	December 2020	Staff evaluates use of funds as needs arise throughout the year.
Property Acquisition	2020	Placeholder within the CIP to include annually, no property targeted.	0	0	0	0	0	NO PROJECT IDENTIFIED	TBD	Included in the annual CIP as a placeholder in case opportunities arise, presently none available.
Ridgeview Tot Lot	2020	Playground improvement to replace and enhance existing equipment.	0	25,000	25,000	0	(25,000)	ON HOLD	TBD	Need to initiate plan/design process for new equipment, has not begun.
Siggelkow Road Park	2020	Budgeted site for funding Pickleball development currently in planning phase.	15,000	0	15,000	4,964	(10,036)	IN PROCESS	December 2020	Focus is finishing the plan to allow for bidding over the winter and construction in 2021.
Urso/Schuetz Park	2020	Included 4 projects as follows:	850,000	250,000	1,100,000	255,673	(844,327)	IN PROCESS	March 2021	Everything complete with all restoration done is likely planned in the Spring next year.
Shelter	2020	Construct a new indoor/outdoor dog wash/bathroom shelter with parking lot.	527,482	250,000	777,482	41,225	(736,257)	IN PROCESS	November 2020	Project bid, need to award contract, begin construction.
Dog Park Expansion	2020	Regarding the southwestern end of dog park to expand boundaries.	38,278	0	38,278	0	(38,278)	ON HOLD	September 2020	Need to initiate process to remove fence, regrade site, and restore.
Woodland Clearing	2019	Continuation of clearing within the park to remove excess vegetation.	38,240	0	38,240	38,240	0	COMPLETE	February 2020	Project is complete.
Disc Golf	2019	Construct disc golf course within the park on west, central portions of park.	246,000	0	246,000	176,208	(69,792)	IN PROCESS	October 2020	Contracted portion complete, switching to Staff portion of project now this Summer to finish.
Totals			1,122,000	490,000	1,612,000	329,844	(1,282,156)			

2021 Program Year

McFarland Park Projects

Project	Year	Description	400	405	Total	Costs		Status	Timeline	Notes
			Capital Projects	Parks		YTD	Variance			
Brandt Park	2021	Construction of a public parking lot to support the park and adjoining trail.	100,000	100,000	200,000	0	(200,000)	FUTURE BUDGET CYCLE	June 2021	Project requires to be designed and bid over the Winter (20/21) for construction in the Spring (21).
General Improvements	2021	Annually we set aside money within the Parks Fund to pay for playground improve, used as needed.	0	50,000	50,000	0	(50,000)	NO PROJECT IDENTIFIED	TBD	Need to determine a park in which we wish to replace equipment, presently none selected. Would be a good use of funds to bring parks up to ADA compliance.
Park Equipment	2021	Smaller amenities needed within the park from year to year like a bench, specific piece of playground equipment, or other related item.	0	15,000	15,000	0	(15,000)	AS NEEDED	December 2021	Staff evaluates use of funds as needs arise throughout the year.
Property Acquisition	2020	Placeholder within the CIP to include annually, no property targeted.	0	0	0	0	0	NO PROJECT IDENTIFIED	TBD	Included in the annual CIP as a placeholder in case opportunities arise, presently none available.
Urso/Schuetz Park	2021	Presently a placeholder for work not completed in the previous year or items desired to be moved up a year.	0	0	0	0	0	FUTURE BUDGET CYCLE		No specific improvement targeted for 2021.
Totals			100,000	165,000	265,000	0	(265,000)			

*** There are likely several projects from 2020 that are either in plan and/or design stages which could be implemented in 2021 if desired. While the current plan for next year seems small, there are likely going to be considerations for a special needs park, pickleball development, improvements to Larson Park, phases from Community Park Plan, etc. are some of the options that may be desired to move forward within this program year from last program year.***

2022 Program Year

McFarland Park Projects

Project	Year	Description	400	405	Total	Costs		Status	Timeline	Notes
			Capital Projects	Parks		YTD	Variance			
Community Park	2022	Presently a financial placeholder to provide funding for the first phase of the Master Plan currently being developed in Program Year 2020.	500,000	500,000	1,000,000	0	(1,000,000)	FUTURE BUDGET CYCLE	TBD	Need to adjust within the next CIP to align with phasing plan currently under development.
General Improvements	2022	Annually we set aside money within the Parks Fund to pay for playground improve, used as needed.	0	50,000	50,000	0	(50,000)	NO PROJECT IDENTIFIED	TBD	Need to determine a park in which we wish to replace equipment, presently none selected. Would be a good use of funds to bring parks up to ADA compliance.
Park Equipment	2022	Smaller amenities needed within the park from year to year like a bench, specific piece of playground equipment, or other related item.	0	15,000	15,000	0	(15,000)	AS NEEDED	December 2022	Staff evaluates use of funds as needs arise throughout the year.
Property Acquisition	2022	Placeholder within the CIP to include annually, no property targeted.	0	0	0	0	0	NO PROJECT IDENTIFIED	TBD	Included in the annual CIP as a placeholder in case opportunities arise, presently none available.
Urso/Schuetz Park	2022	Continued work on natural restoration as identified within Master Plan. Also consider cleaning waterway through park.	350,000	0	350,000	0	(350,000)	FUTURE BUDGET CYCLE	TBD	Staff will need to evaluate remaining restoration tasks needed within the park as well as feasibility of waterway improvements.
Totals			850,000	565,000	1,415,000	0	(1,415,000)			

2023 Program Year

McFarland Park Projects

Project	Year	Description	400 Capital Projects	405 Parks	Total	Costs YTD	Variance	Status	Timeline	Notes
General Improvements	2023	Annually we set aside money within the Parks Fund to pay for playground improve, used as needed.	0	50,000	50,000	0	(50,000)	NO PROJECT IDENTIFIED	TBD	Need to determine a park in which we wish to replace equipment, presently none selected. Would be a good use of funds to bring parks up to ADA compliance.
Park Equipment	2023	Smaller amenities needed within the park from year to year like a bench, specific piece of playground equipment, or other related item.	0	15,000	15,000	0	(15,000)	AS NEEDED	December 2023	Staff evaluates use of funds as needs arise throughout the year.
Property Acquisition	2023	Placeholder within the CIP to include annually, no property targeted.	0	0	0	0	0	NO PROJECT IDENTIFIED	TBD	Included in the annual CIP as a placeholder in case opportunities arise, presently none available.
Urso/Schuetz Park	2023	Larger facility project envisioned within Master Plan that exists on the western edge of the project in line with the parking lot and disc golf.	1,250,000	0	1,250,000	0	(1,250,000)	FUTURE BUDGET CYCLE	TBD	We will need to evaluate desirability to pursue project and when in concert with other improvements including LYRT. Need to consider design funding in 2022.
Totals			1,250,000	65,000	1,315,000	0	(1,315,000)			

2024 Program Year

McFarland Park Projects

Project	Year	Description	400	405	Total	Costs		Status	Timeline	Notes
			Capital Projects	Parks		YTD	Variance			
Community Park	2022	Presently a financial placeholder to provide funding for the first phase of the Master Plan currently being developed in Program Year 2020.	500,000	500,000	1,000,000	0	(1,000,000)	FUTURE BUDGET CYCLE	TBD	Need to adjust within the next CIP to align with phasing plan currently under development.
General Improvements	2022	Annually we set aside money within the Parks Fund to pay for playground improve, used as needed.	0	50,000	50,000	0	(50,000)	NO PROJECT IDENTIFIED	TBD	Need to determine a park in which we wish to replace equipment, presently none selected. Would be a good use of funds to bring parks up to ADA compliance.
Park Equipment	2022	Smaller amenities needed within the park from year to year like a bench, specific piece of playground equipment, or other related item.	0	15,000	15,000	0	(15,000)	AS NEEDED	December 2024	Staff evaluates use of funds as needs arise throughout the year.
Property Acquisition	2022	Placeholder within the CIP to include annually, no property targeted.	0	0	0	0	0	NO PROJECT IDENTIFIED	TBD	Included in the annual CIP as a placeholder in case opportunities arise, presently none available.
Totals			500,000	565,000	1,065,000	0	(1,065,000)			