

PLAN COMMISSION

Monday, March 16, 2020

7:00 PM

McFarland Municipal Center
Community Room

AGENDA

1. CALL TO ORDER
2. PUBLIC APPEARANCES.
3. APPROVAL OF MINUTES.
 - a. Motion to approve the minutes of the February 17, 2020 Plan Commission meeting.
4. BUSINESS.
 - a. Review and possible action on a site design/review application submitted by McDonalds USA, LLC for a proposed renovation of the existing McDonalds located at 4800 Larson Beach Road, McFarland, WI
 - b. Review and possible recommendation to the Village Board regarding Seventh Amendment to Development Agreement for Juniper Ridge.
5. STAFF REPORTS
 - a. Property maintenance report
 - b. Director Report
6. SCHEDULE NEXT MEETING DATE.
 - a. April 20th, 2020 at 7:00 pm
7. ADJOURNMENT.

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related to Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the McFarland Municipal Center at (608) 838-3153 or cassandra.suettinger@mcfarland.wi.us.

Working Draft Minutes Plan Commission Meeting

February 17, 2020

Members Present: Brad Czebotar, Peter Bloechl-Anderson, Tom Rogers, Bruce Fischer, Scott Peters, Eric Green, Dan Kolk

Members Absent:

Staff Present: Andrew Bremer, Karen Knoll

1. CALL TO ORDER

Czebotar called the meeting to order at 7:00 p.m.

2. PUBLIC APPEARANCES

3. APPROVAL OF MINUTES

- a. Motion to approve the minutes of the January 23, 2020 Plan Commission meeting.

Czebotar called the minutes from the January 23, 2020 meeting approved by unanimous consent.

4. PUBLIC HEARING:

- a. Public hearing regarding Ordinance No. 2020-08 an Ordinance to amend the Municipal Code concerning Park Impact Fees, Parkland Dedication and Fees in Lieu of Parkland Dedication in the Village of McFarland.

Czebotar opened the public hearing at 7:01 p.m. with no one wishing to speak
Czebotar closed the public hearing.

5. BUSINESS

- a. Discussion and action to make a recommendation to the Village Board regarding Ordinance 2020-08, an ordinance to amend the Municipal Code concerning park impact fees, parkland dedication and fees in lieu of parkland dedication.

Bremer and Plan Commissioners reviewed the Directors report. This is information, which was covered at last month's Plan Commission meeting. The Village Board at their January 27, 2020 meeting accepted the recommendations from both the Parks, Recreation and Natural Resources Committee and the Plan Commission regarding the park impact fee study completed by Baker Tilley.

Bremer reviewed Ordinance 2020-08, which was drafted, by the Village Attorney, and the changes and amendments it would make to the Municipal Code.

Czebotar moved to recommend approval to the Village Board regarding Ordinance 2020-08, an ordinance to amend the Municipal Code concerning park impact fees, parkland dedication and fees in lieu of parkland dedication. Fischer seconded the motion. Motion carried 7-0.

- b. Discussion and action to make a recommendation to the Village Board regarding Ordinance 2020-09 an ordinance authorizing the annexation of lands from the Town of Dunn to the Village of McFarland.

Bremer indicated this is a petition for direct annexation by unanimous consent. It is approximately 14 acres in size. Skaalen owns the adjacent properties to the west; through the annexation, it is their desire to in the future develop the properties for various types of senior housing. Bremer reviewed the Directors report with Commissioners. The Ordinance will temporary rezone the property to the A-1 Exclusive Agricultural district, which is the same zoning as the adjacent land Skaalen owns, they will at some point come forward to rezone the lands. Kris Krentz, Skaalen President, indicated this would make it easier for them to facilitate development in the Village if the property was annexed into the Village.

Czebotar moved to recommend to the Village Board Ordinance 2020-09 an ordinance authorizing the annexation of lands from the Town of Dunn to the Village of McFarland. Peters seconded the motion, motion carried 7-0.

- c. Discussion and action to make a recommendation to the Village Board regarding an application to the Capital Area Regional Planning Commission to expand the Village's east side Urban Service Area Boundary.

Bremer advised the draft application includes 270 acres of land. Most of the land is undeveloped and there are currently ten existing housing units. Bremer summarized for the past months, he has been meeting with various land owners and developers who have interest in developing land in the future on McFarland's east side. An Urban Service Amendment is one of the first steps in this process. Bremer and Plan Commissioners reviewed the Directors report and maps of the proposal. Since 1998, we have been averaging sixty new home building permits a year. Bremer reviewed the possible projections for future growth and the CARPC application, along with the timeframe and process.

Kolk felt this recommendation seems a bit tight, but understands you do not want to overreach. Bremer replied you do not want to submit more than what you know is currently in process. We do know these areas are looking to move forward in the next couple of years.

Bremer advised this will be reviewed by the Public Utilities Committee this week; they are also looking at a plan for a proposed sanitary interceptor that would service this area.

Commissioners discussed the possibility of having to do another submittal in the future, handling requests to CARPC on a case-by-case basis, using phasing maps when making a request of larger than 100 acres. How this helps to design appropriate utility usage for the area, and hydric soils.

Czebotar moved to recommend to the Village Board an application to the Capital Area Regional Planning Commission to expand the Village's east side Urban Service Area Boundary. Kolk seconded the motion, Motion carried 7-0.

d. Review and discussion regarding proposed changes to the Village Sign Code.

Bremer summarized they are looking to address content neutrality and best practice. Previously it was decided to look at a model sign code and use it as a base code and modify to fit what McFarland currently has in terms of size, numbers and height. Bremer reviewed the proposed code and per request pointed out where the proposed ordinance deviates from the existing code, any significant changes, and new sections of the proposed sign code.

Commissioners discussed temporary sign timeframes, contractor's signs; number and length of time allowed, sign permit exemptions allowed for thirty days for yard type signs, then the need to apply for a permit. Commissioners also discussed rental signs on properties, and how some become permanent signs.

6. STAFF REPORTS

a. Property Maintenance – no comments

b. Director Report – no comments

7. SCHEDULE NEXT MEETING DATE

a. Next meeting March 16, 2020

8. ADJOURNMENT

Motion to adjourn by Kolk, seconded by Peters. Meeting adjourned at 8:14 p.m.



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 16, 2020

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Review and possible action on a site design/review application submitted by McDonalds USA, LLC for a proposed renovation of the existing McDonalds located at 4800 Larson Beach Road, McFarland, WI

PREVIOUS ACTION:

ISSUE SUMMARY:

McDonald's is seeking to renovate their existing building and site as part of a re-branding project. Interior renovations consist of ADA updates to restrooms and customer services areas, and new front counter layout. These interior improvements do not require Plan Commission approval. A building permit has been applied for and is pending approval after review and approval of the exterior building and site renovations by the Plan Commission.

Exterior site renovations are minimal and consist of sandblasting and restriping vehicular pavement markings, replacing and slightly moving the overhead drive through gateway canopy structure, replacing the pre-browse menu board adjacent to the overhead gateway structure, adding an order hear canopy structure and pavement embedded vehicle detector loop adjacent to the existing menu board, installing pavement embedded vehicle detector loops at the payment and pick-up windows, installing a new moveable pull forward sign and bollard at the end of the drive through lane.

Exterior facade improvements consist of removing the existing double mansard roof with a new flat wall made of EIFS with a metal fascia parapet. The front elevation would also be modified to accentuate the entry way through a brand wall made of fiber cement panels. The brand wall will project out from the building and will be raised higher than the primary height of the rest of the front and drive through elevation. The renovations also include the addition of aluminum canopies and light fixtures. No improvements are planned for the mid and lower portions of the existing walls.

Village Staff supports all proposed improvements with the exception of the proposed height of the front elevation (the non-branding wall portion) and the drive thru side elevation. The applicant is proposing to increase the height of these portions of the building from 116'-10" to 118'-0". Therefore, the height will not match the height of the other side of the building. Refer to the Exterior Elevations in the packet. Section 62-310(6)f provides that "an addition shall related to the existing building in terms of scale, materials, and color". In addition, Section 62-310(6)g provides that "structures should be designed to be compatible with the



structures that are adjacent to them." If the Plan Commission concurs, Village Staff recommends conditioning approval on maintaining a building height of 116'-10" for the front and drive thru side elevations, with the exception of the front branding wall.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

Property is identified as Highway and General Commercial in the Village's Comprehensive Plan.

ORDINANCE REFERENCE:

Sec. 62-310 Site/Design Review

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommend approval by the Plan Commission of the site/design review application conditioned on the maintaining the existing building height of 116'-10" on the front elevation and drive thru side elevation, excepting the front branding wall height of 118'-4".

ATTACHMENTS:

1. Plan Commission Application
2. Site Plan Checklist
3. McDonald's McFarland, WI (2-10-2020)
4. 48-0700 McFarland, WI - Building Elevations(adb)

**Village of McFarland
Community Development Department**

Plan Commission Application – 2020

~Application must be completed in full~

Applicant - Owner	McDonald's USA LLC	Applicant's Agent	Bishop Engineering
	Joe Coconato	Name	Joel Jackson
Address	711 Jorie Blvd, 3rd Floor, Oak Brook, IL 60523	Address	3501 104th St, Urbandale, IA 50322
Email	joe.coconato@us.mcd.com	Email	jjackson@bishopengr.com
Phone #	(630) 649-8330	Phone #	(515) 276-0467
Fax #		Fax #	(515) 276-0217

Parcel No(s). 154/0610-032-1315-1

Type of Proposal – Please check boxes below that apply

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
☐ Preliminary Plat	\$500+AF	☐ Conditional Use	\$370+F	☐ Annexation	At cost
☐ Preliminary Plat (reapplication)	\$500+BF	☐ Rezoning (map)	\$405+	☐ Dev. Agreement Including Addendums	\$400 F
☐ Certified Survey Map	\$300+FG	☐ Zoning Amendment (text)	\$405 +F	☐ Final Plat	\$500 +CF
☐ Condominium	\$300+EF	☐ Variance-Board of Zoning Appeals	\$380+F	☐ Final Plat (reapplication)	\$400 +DF
☐ Comprehensive Plan Amendment	\$500+F			☒ Site/Design Review	\$400 + F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed or/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants;
e.g., engineers, attorneys, etc.)

☐ R-E, R-3 & PD (up to 50 acres) \$5,000

☐ R-E, R-3 & PD (greater than 50 acres) \$10,000

☐ Commercial Site/Design Review (5,000 sq. ft. or more) \$2,000

☐ All Plats including condominiums \$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal. (Attach additional paper if needed)

Renovation of the existing McDonald's located at 4800 Larson Beach Rd, Lot 1 of CSM #11394

Current zoning is C-G General Commercial

What action is the applicant requesting of the Plan Commission?

The approval of the site plan and building elevations.

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

☐ YES ☒ NO (If "yes" state the nature and the date(s) of the previous application.)

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Schedule: The Village of McFarland Plan Commission conducts meetings on the third Monday of each month at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices; all potential agenda item materials -are required to be submitted per the schedule listed below. **Six (6) Copies** of all materials, **one (1) copy must be 8 ½ x 11, five (5) copies to be 11 x 17 and one (1) electronic copy** (only one copy of application, completed in full, is necessary) shall be submitted to the Community Development Department (608-838-3154), with fees paid **by *NOON of the deadline day**, according to the following schedule:

Village of McFarland Plan Commission 2020 Schedule

*Submittal Deadline Noon on:	For Scheduled 2020 Meeting date of:
December 12 (2019) -----	January Tuesday Jan. 21
January 7-----	February 17
February 11-----	March 16
March 10-----	April 20
April 7-----	May 18
May 12 -----	June 15
June 9 -----	July 20
July 7 -----	August 17
August 11-----	September 21
September 8 -----	October 19
October 6 -----	November 16
November 3 -----	December 21 (Pending)
December 8-----	(Pending) Tuesday, Jan. 19, 2021

*** Submittal deadline: No exceptions are given for above deadlines**

- **I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, will be held over until the next scheduled meeting.**
- **I understand any fees not paid for (i.e. legal notices, mailings, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.**

X _____
Signature of Applicant/Agent

2/10/2020

Date

Site and Design Plans

Check List

Date received: 2/10/2020

Subject property address: 4800 Larson Beach Rd
McFarland, WI 53558

Landowner's name: LB Loeder LLC

Landowner's address: 160 Sandy Beach Rd
Lake Mills, WI 53551

Landowner's phone/fax: _____

Landowner's email: _____

Agent's name:	<u>Joel Jackson</u>
Agent's address:	<u>3501 104th Street</u> <u>Urbandale, IA 50322</u>
Agent's phone/fax:	<u>(515) 276-0467</u>
Agent's email:	<u>jjackson@bishopengr.com</u>

- X A. Title Block that indicates name and address of the current property owner.
- X B. Name and signature of the designer.
- X C. Date of original plan and latest date of revised plan.
- X D. North arrow and graphic scale. Said scale shall not be smaller than 1 inch equals 100 ft.
- X E. Existing zoning C-G Proposed rezoning yes X no
- X F. All property lines, and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- X G. All required building setback lines.
- X H. The location of all access points and connections to public streets, off-street parking, and loading areas on the subject property including a summary of the number of parking stalls, accessible parking stalls, and labels indicating the dimension of such areas.
- X I. All existing and proposed building structures and paved areas, including walks, drives, decks, patios, balconies, fences, retaining walls, utility poles, exterior utility and mechanical equipment, and any accessory structures.
- X J. Existing and proposed site and building signage.
- X K. Color exterior façade elevations of all proposed buildings including descriptions of materials and colors.
- X L. The location of all outdoor storage areas; including proposed screening materials and colors. **Note: existing facilities not changing**
- X M. The location of existing and proposed drainage facilities including stormwater and erosion control plan. **Note: existing facilities not changing**
- X N. The location and type of any permanently protected green space areas.
- X O. The location and elevation of any wetlands or floodplains.

<u>X</u>	P. Grading Plan including existing & proposed topography shown at a contour interval of not more than two (2) ft. Note: Existing topography shown on survey, no proposed grading.
<u>X</u>	Q. In the legend, data for the subject property: (1) Lot area (2) Building area (3) Paved area (4) Total impervious area (5) Landscaping points provided and required for building foundations, gross floor area, street frontage, and paved area. Note: no proposed landscape changes (5) Building height (6) Existing zoning, proposed zoning (7) Number of parking stalls provided and required. Note: no parking revisions
<u>N/A</u>	R. Landscaping Plans including proposed species, quantity and planting size. Refer to Appendix B of the Village's Zoning Code for more information. Note: no proposed landscape changes
<u>X</u>	S. Hydrant locations and Fire Department Connection. Note: no proposed changes
<u>N/A</u>	T. Lighting Plans including photometrics and description of fixture types, heights and orientation. Note: no proposed changes
<u>X</u>	U. Utility plans, including the location of existing and proposed overhead or underground site utilities, including piping and meter sizes and associate appurtenances. Note: existing utilities shown on survey, no proposed changes
<u>X</u>	V. Existing or proposed easements.
<u>X</u>	W. A legal description of the subject property.

General Comments: McDonald's is proposing to remodel the existing restaurant located at 4800 Larson Beach Rd, which includes an exterior elevation modification for re-branding. The only proposed site work is
minor re-striping of the drive-thru and replacing existing drive-thru elements to match current McDonald's
branding.

Note: In addition to Site and Design Permit approval, a building permit from the Village Building Inspector is required prior to the start of construction of any building, fence, or sign.

MCDONALD'S - MCFARLAND, WI

SITE PLAN

SHEET INDEX:

C0.1	COVER SHEET
1 OF 1	SITE SURVEY
C1.1	DEMO PLAN
C2.1	LAYOUT PLAN
C2.2 - C2.6	DRIVE-THRU PLANS

PROPERTY DESCRIPTION:

MCDONALD'S PARCELS:

(WARRANTY DEED VOLUME 69, PAGE 119)
LOT 1 OF CERTIFIED SURVEY MAP NO. 11394 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY, WISCONSIN, IN VOLUME 69 OF CERTIFIED SURVEY MAPS, PAGES 119-124, AS DOCUMENT NO. 4050510, LOCATED IN THE VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN.

ADDRESS:

4800 LARSON BEACH ROAD
MCFARLAND, WI 53558

OWNER:

LB LOEDER LLC
160 SANDY BEACH RD
LAKE MILLS, WI 53551

PREPARED FOR:

MCDONALD'S USA, LLC
ATTN: JOE COCONATO
711 JORIE BLVD, 3RD FLOOR
OAK BROOK, IL 60523

ZONING:

C-G GENERAL COMMERCIAL

BUILDING SETBACKS:

FRONT = 25 FEET
REAR = 20 FEET
SIDE = 20 FEET BOTH SIDES COMB.

PARKING COUNT:

PARKING PROVIDED = 48 STALLS (INCL. 2 HC STALLS)

IMPERVIOUS SURFACE:

TOTAL SITE AREA = 86,689 SF
BUILDING AREA = 5,284 SF
PAVED AREA = 41,280 SF
EXISTING IMPERVIOUS SURFACE = 46,564 SF (53.7%)
PROPOSED IMPERVIOUS SURFACE = 46,564 SF (53.7%)
NET CHANGE = 0 SF

BENCHMARK:

TNH - TOP NUT HYDRANT
LOCATED ON THE WEST SIDE OF LARSON BEACH ROAD JUST EAST OF EXISTING BUILDING
ELEVATION = 866.57

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH MCFARLAND STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF MCFARLAND MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF MCFARLAND.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND WISCONSIN DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

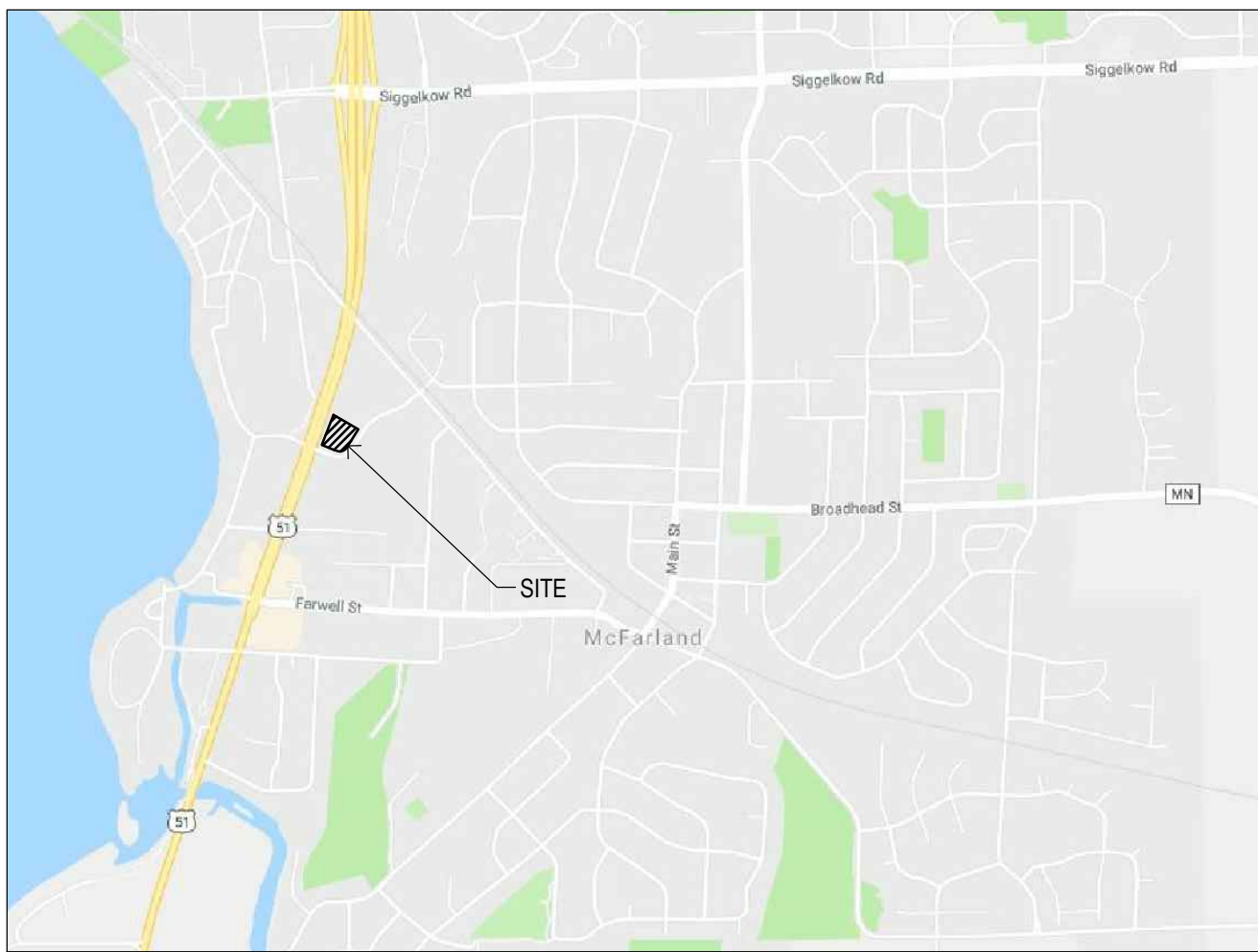
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AND EXISTING UTILITY AND PROPOSED CONSTRUCTION

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY TROSEN LAND SURVYEYING ON 1/24/2020. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



VICINITY MAP
SCALE = 1:1000

LEGEND:

— SAN —	SANITARY SEWER	⌘	ELECTRIC VAULT
— ST —	STORM SEWER	⌘	POWER POLE
— W —	WATER LINE	⌘	TRANSFORMER POLE
— G —	GAS LINE	☆	LIGHT POLE
— U/E —	UNDERGROUND ELECTRIC	⌘	ELECTRIC JUNCTION BOX
— O/E —	OVERHEAD ELECTRIC	⌘	ELECTRIC PANEL
— TELE —	TELEPHONE LINE	⌘	TRANSFORMER
— F/O —	FIBER OPTIC	⌘	GROUND LIGHT
— CATV —	CABLE TV	⌘	GUY WIRE
⌘	STORM MANHOLE	⌘	ELECTRIC HANDHOLE
⌘	CURB INTAKE	⌘	GAS METER
⌘	SURFACE INTAKE	⌘	GAS VALVE
⌘	FLARED END SECTION	⌘	AIR CONDITIONING UNIT
⌘	SANITARY MANHOLE	⌘	TELEPHONE RISER
⌘	CLEANOUT	⌘	TELEPHONE VAULT
⌘	FIRE HYDRANT	⌘	TELEPHONE MANHOLE
⌘	SPRINKLER	⌘	TRAFFIC SIGNAL MANHOLE
⌘	IRRIGATION CONTROL VALVE	⌘	FIBER OPTIC RISER
⌘	WATER MANHOLE	⌘	FIBER OPTIC FAULT
⌘	WELL	⌘	CABLE TV RISER
⌘	WATER VALVE	⌘	SIGN
⌘	WATER SHUT OFF	⌘	DENOTES NUMBER OF PARKING STALLS
⌘	YARD HYDRANT	●	PROPERTY CORNER - FOUND AS NOTED
⌘	ELECTRIC MANHOLE	●	SECTION CORNER - FOUND AS NOTED
⌘	ELECTRIC METER		
⌘	ELECTRIC RISER		

ABBREVIATIONS:

AC	ACRES
ASPH	ASPHALT
BK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF THE CITY OF MCFARLAND RELATING TO STRUCTURES AND BUILDINGS.

MY LICENSE RENEWAL DATE IS: JULY 31, 2020

JOEL E. JACKSON WI REG# E-42545 DATE

PAGES OR SHEET COVERED BY THIS SEAL: C0.1, C1.1 - C2.6



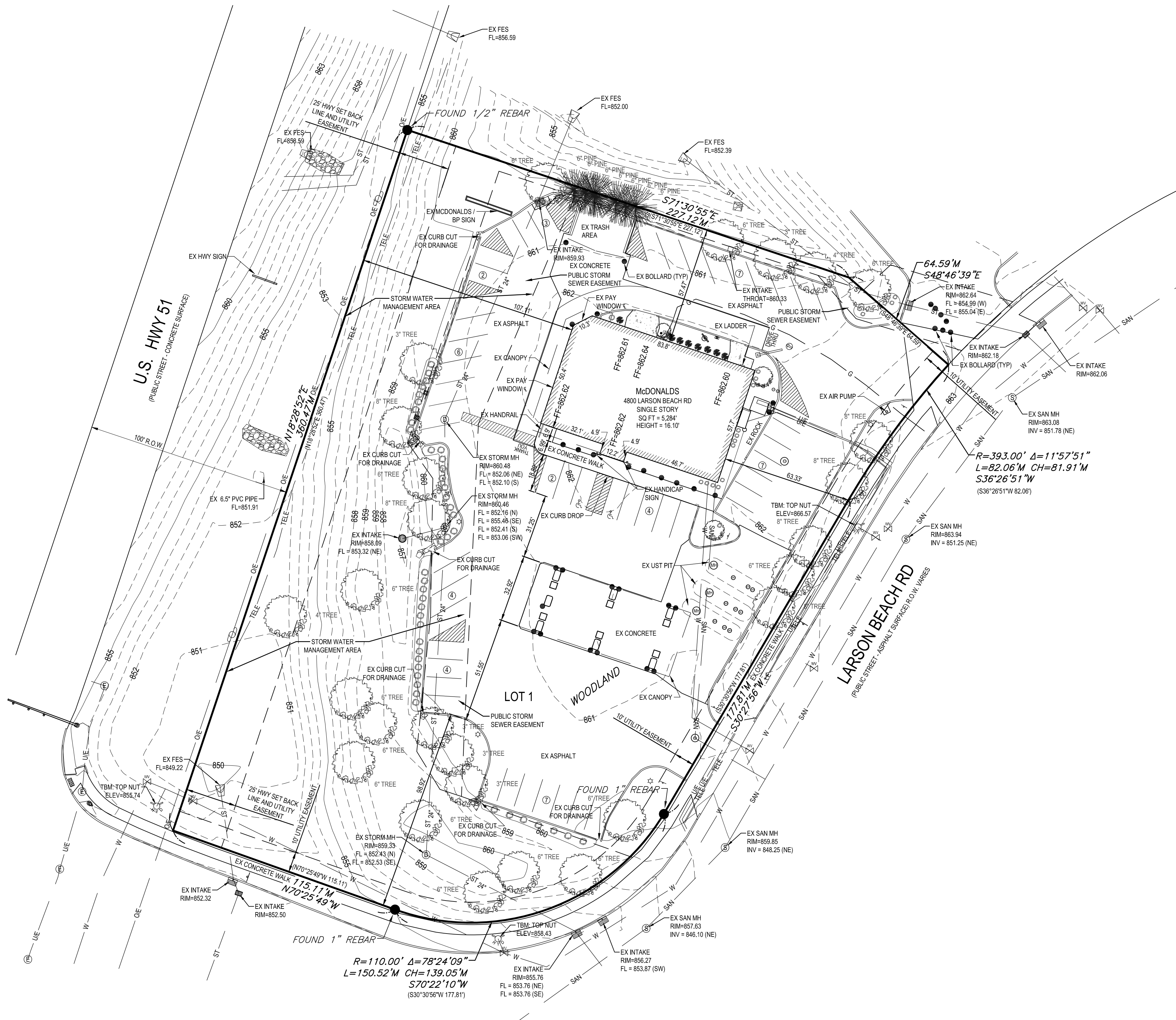
UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

COPYRIGHT 2019 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED MAY NOT BE REPRODUCED OR EXCEPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING. UNAUTHORIZED COPYING OR DISCLOSURE OF CONSTRUCTION USE ARE PROHIBITED BY COPYRIGHT LAW.

SHEET NO.	TITLE		DRAWN BY	PREPARED FOR:		PREPARED BY	
C0.1	MCFARLAND, WI		JMR	© 2020 McDonald's USA, LLC			
	SITE PLAN		STD ISSUE DATE				
	DESCRIPTION		1/24/20				
	COVER SHEET		REVIEWED BY	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in reliance upon the information provided in this drawing and are not suitable for use on a different site or at a later time. Use of this drawing for any other project without the express written consent of the engineer is prohibited. The engineer shall not be responsible for the reproduction of the contract documents for reuse on another project is not authorized.			
			DATE ISSUED				
			1/24/20				
SITE ID	SITE ADDRESS						
480700	4800 LARSON BEACH RD, MCFARLAND, WI 53558						
	REV	DATE	BY				
	1	1/24/2020	CONSTRUCTION SITE PLAN				
			JMR				

McDONALD'S: McFARLAND, WI
SITE SURVEY

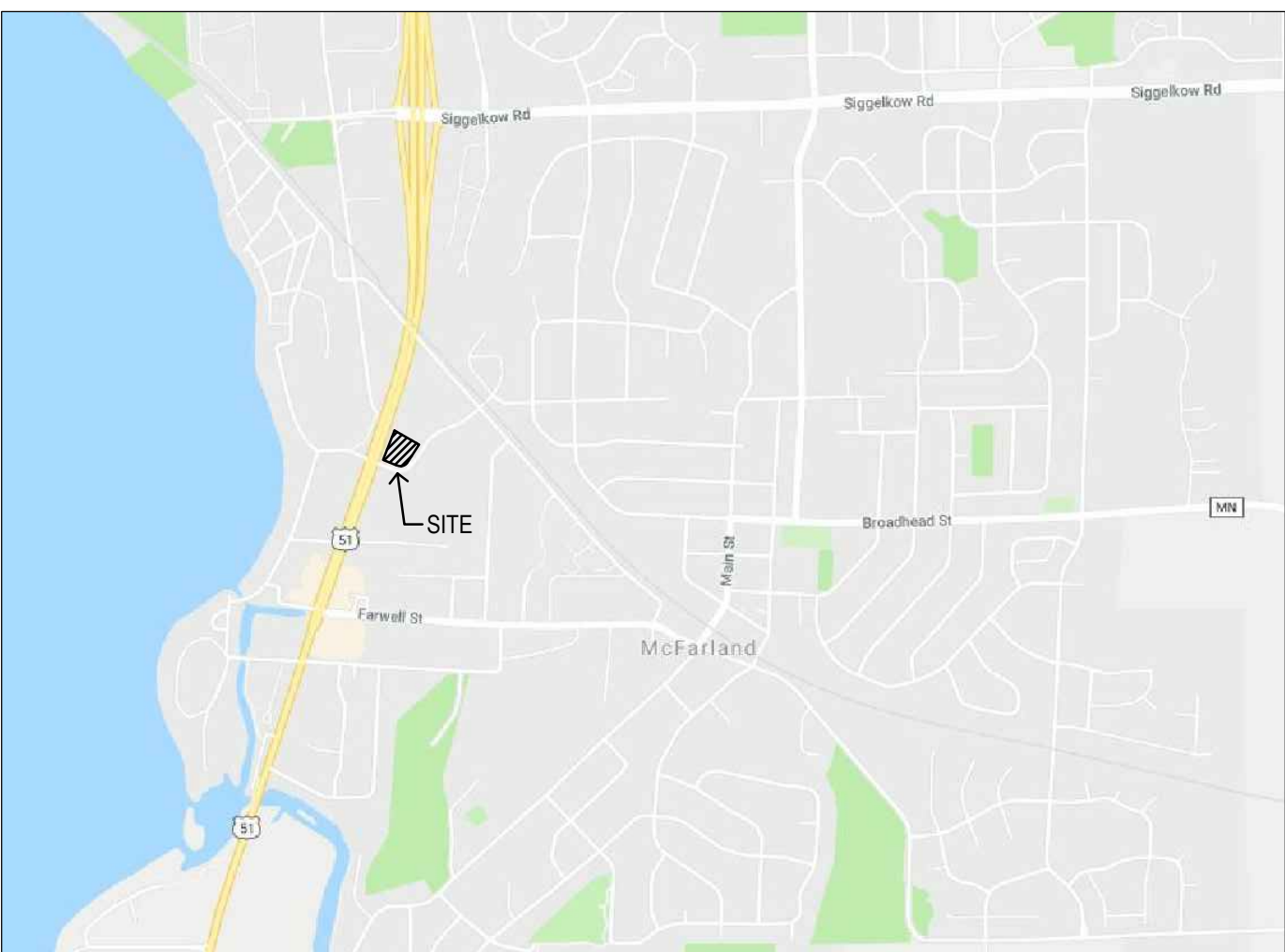


BENCHMARK:
TNH - TOP NUT HYDRANT
LOCATED ON THE WEST SIDE OF LARSON BEACH ROAD JUST EAST OF
EXISTING BUILDING
ELEVATION = 866.57

PARKING COUNT:
46 STANDARD STALLS
+2 HANDICAP STALLS
48 TOTAL PARKING STALLS

UTILITY NOTE:
THE UTILITIES SERVING THIS PROPERTY HAVE BEEN LOCATED TO THE BEST OF
THE SURVEYOR'S ABILITY USING THE SERVICES OF WISCONSIN DIGGERS
HOTLINE - TICKET NOS. 20190301066 AND AVAILABLE MAPS. THE SURVEYOR
DOES NOT GUARANTEE, IN WRITING OR ASSUMED, THAT UTILITIES AS SHOWN
ARE IN THE EXACT LOCATION. NO EXCAVATION WAS PERFORMED TO LOCATE
THE UNDERGROUND UTILITIES.

COPYRIGHT 2020 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED MAY NOT BE
REPRODUCED OR EXCERPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING.
UNAUTHORIZED COPYING OR DISCLOSURE OF CONSTRUCTION USE ARE PROHIBITED BY COPYRIGHT LAW.



VICINITY MAP
SCALE: 1" = 1,000'

PROPERTY DESCRIPTION:

McDONALD'S PARCELS:
(WARRANTY DEED VOLUME 69, PAGE 119)
LOT 1 OF CERTIFIED SURVEY MAP NO. 11394 RECORDED IN
THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY,
WISCONSIN, IN VOLUME 69 OF CERTIFIED SURVEY MAPS,
PAGES 119-124, AS DOCUMENT NO. 4050510, LOCATED IN THE
VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN.

ADDRESS:
4800 LARSON BEACH ROAD
McFARLAND, WI 53558

OWNER:
LB LOEDER LLC
PREPARED FOR:
McDONALD'S USA, LLC
CHICAGO FIELD OFFICE:
ATTN: JOE COCONATO
711 JORIE BLVD, 3rd FLOOR
OAK BROOK, IL 60523-4425

ZONING:
C-G GENERAL COMMERCIAL

ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- U/E — UNDERGROUND ELECTRIC
- O/E — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV
- ① STORM MANHOLE
- ② CURB INTAKE
- ③ SURFACE INTAKE
- ④ FLARED END SECTION
- ⑤ SANITARY MANHOLE
- ⑥ CLEANOUT
- ⑦ FIRE HYDRANT
- ⑧ SPRINKLER
- ⑨ IRRIGATION CONTROL VALVE
- ⑩ WATER MANHOLE
- ⑪ WELL
- ⑫ WATER VALVE
- ⑬ WATER SHUT OFF
- ⑭ YARD HYDRANT
- ⑮ ELECTRIC MANHOLE
- ⑯ ELECTRIC METER
- ⑰ ELECTRIC RISER
- ⑱ ELECTRIC VAULT
- ⑲ POWER POLE
- ⑳ TRANSFORMER POLE
- ㉑ LIGHT POLE
- ㉒ ELECTRIC JUNCTION BOX
- ㉓ ELECTRIC PANEL
- ㉔ TRANSFORMER
- ㉕ GROUND LIGHT
- ㉖ GUY WIRE
- ㉗ ELECTRIC HANDHOLE
- ㉘ GAS METER
- ㉙ GAS VALVE
- ㉚ AIR CONDITIONING UNIT
- ㉛ TELEPHONE RISER
- ㉜ TELEPHONE VAULT
- ㉝ TELEPHONE MANHOLE
- ㉞ TRAFFIC SIGNAL MANHOLE
- ㉟ FIBER OPTIC RISER
- ㊱ FIBER OPTIC FAULT
- ㊲ CABLE TV RISER
- ㊳ SIGN
- ㊴ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- ⬤ SECTION CORNER - FOUND AS NOTED
- ▲ SITE CONTROL POINT - MONUMENT AS NOTED

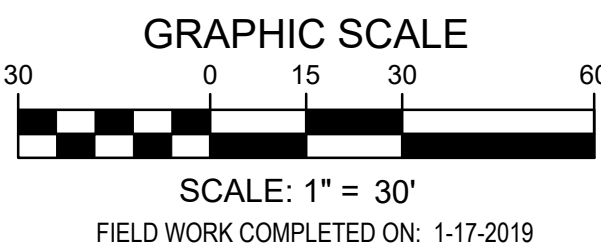
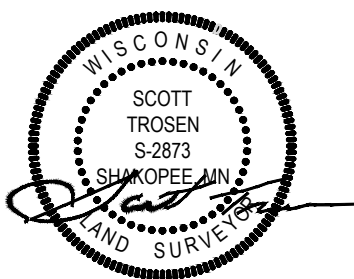
CERTIFICATION

Signed this 24 day of JANUARY, 2020

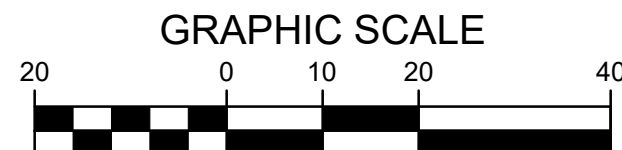
Name: Scott Trosten

Surveyor's license No. L.S. S-2873

Trosen Land Surveying Phone: 612-990-1182
236 Lewis Street South
Shakopee, MN 55379



SHEET NO.		DRAWN BY		PREPARED FOR:		PREPARED BY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
-----------	--	----------	--	---------------	--	-------------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



1. NEW OR REPLACED DIRECTIONAL SIGNS ARE NOT APPROVED BY THE JURISDICTION AS PART OF THIS PLAN SET.
2. CONTRACTOR SHALL COORDINATE WITH OWNER/OPERATOR AND MCDONALD'S CONSTRUCTION MANAGER FOR DIRECTIONAL SIGN TYPE.
3. IF EXISTING BOLT PATTERN ON EXISTING SIGN BASE WORKS WITH THE NEW SIGN AND THE BOLTS ARE LONG ENOUGH, THE CONTRACTOR MAY INSTALL NEW SIGNS USING EXISTING BASES.
4. IF THE BOLT PATTERN ON THE EXISTING SIGN BASE DOES NOT MATCH OR IF THE BOLTS ARE NOT LONG ENOUGH FOR THE BOLTS TO BE DOUBLE NUTTED, THE CONTRACTOR SHALL REMOVE THE EXISTING BASE AND INSTALL A NEW BASE PER THE DETAIL SHOWN ON SHEET C2.4. NO RETROFIT BASES WILL BE ALLOWED.

[illegible]

COD CONSTRUCTION NOTES:

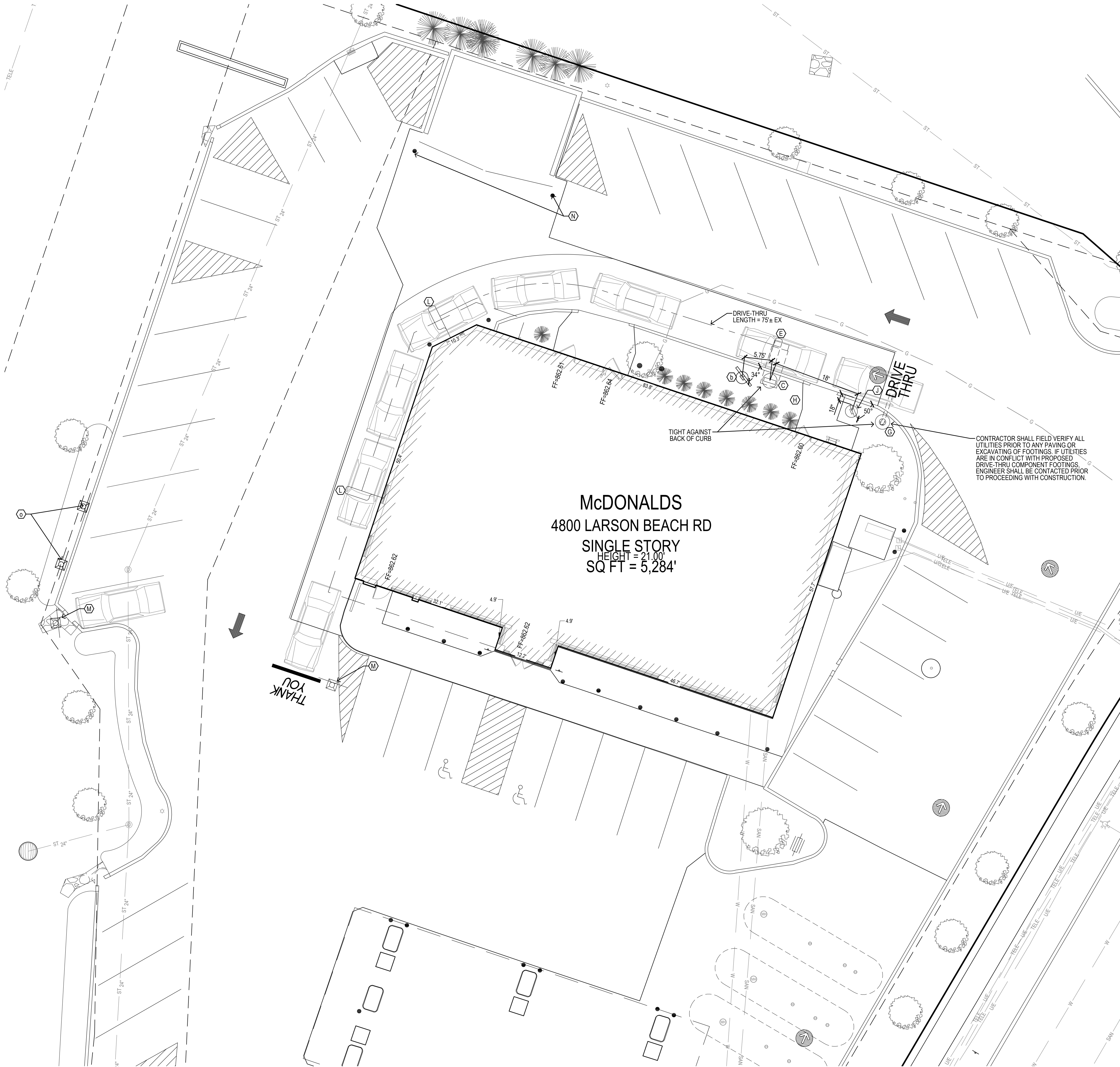
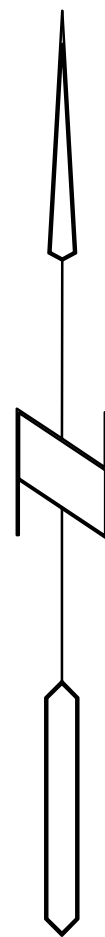
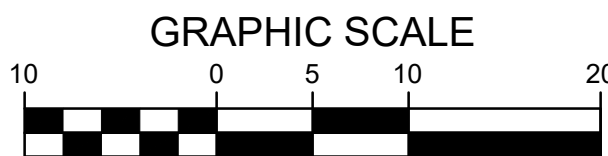
- (A) RESERVED
- (B) EXISTING MENUBOARD PROTECT IN PLACE.
- (C) PRIMARY LANE ORDER HERE CANOPY. LOCATE 75± FROM ¼ OF CANOPY TO ¼ OF CASH WINDOW MEASURED ALONG ¼ OF TRAVEL PATH AND FOOTING TIGHT AGAINST THE BACK OF CURB. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (D) RESERVED
- (E) INSTALL PRIMARY LANE DETECTOR LOOP. SEE DETAIL SHEET C2.4.
- (F) RESERVED
- (G) SINGLE ARM GATEWAY SIGN. EDGE OF THE FOOTING OF THE GATEWAY SIGN SHALL BE TIGHT AGAINST THE BACK OF CURB. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- (H) LANDSCAPED AREA.
- (I) RESERVED
- (J) PRIMARY LANE PRE-BROWSE BOARD. SEE SHEET C2.3 FOR FOUNDATION DETAIL, C2.5 FOR SCHEMATIC DETAIL, AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS. BOARD SHALL BE LOCATED 15' FROM THE ¼ OF THE PRIMARY CANOPY TO THE ¼ OF THE PRE-BROWSE BOARD MEASURED ALONG THE FACE OF CURB. THE EDGE OF THE PRE-BROWSE BOARD SHALL BE TARGETED AT 18" TO THE FACE OF CURB AND INSTALLED 12" MINIMUM BASED ON SITE CONDITIONS. IF 12" CANNOT BE MAINTAINED, CONTRACTOR SHALL COORDINATE WITH ECM AND O/O FOR POSSIBLE INSTALLATION OF A PROTECTIVE BOLLARD AT O/O'S EXPENSE. THE ANGLE OF THE MENUBOARD TO THE CURB SHALL BE TARGETED AT 50°.
- (K) RESERVED
- (L) INSTALL DETECTOR LOOPS AT CASH AND PRESENT WINDOWS. SEE DETAIL 1 SHEET C2.4.
- (M) INSTALL MOVEABLE PULL FORWARD SIGN & BOLLARD. SEE DETAIL 3 SHEET C2.5
- (N) INSTALL COVER ON EXISTING & PROPOSED BOLLARDS TO MATCH BUILDING BASE. FOR COVER CONTACT:
PUGLESEA COMPANY
ATTN: BRAD ERICKSON
1253 CONNELLY AVE
ARDEN HILLS, MN 55112
PH: (651) 636-6442
- (O) EXISTING MOBILE ORDER SIGN. PROTECT IN PLACE.

GENERAL NOTES:

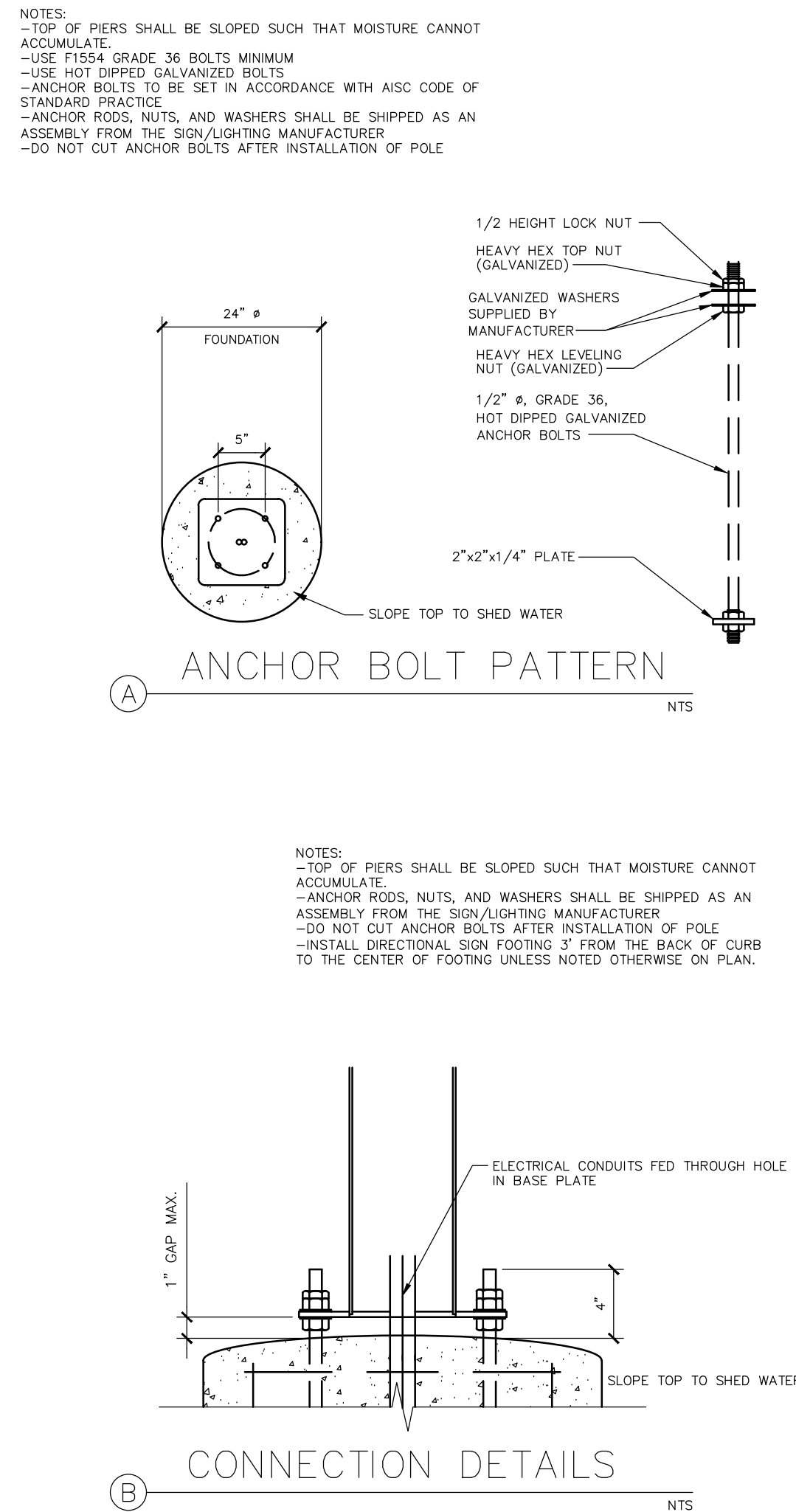
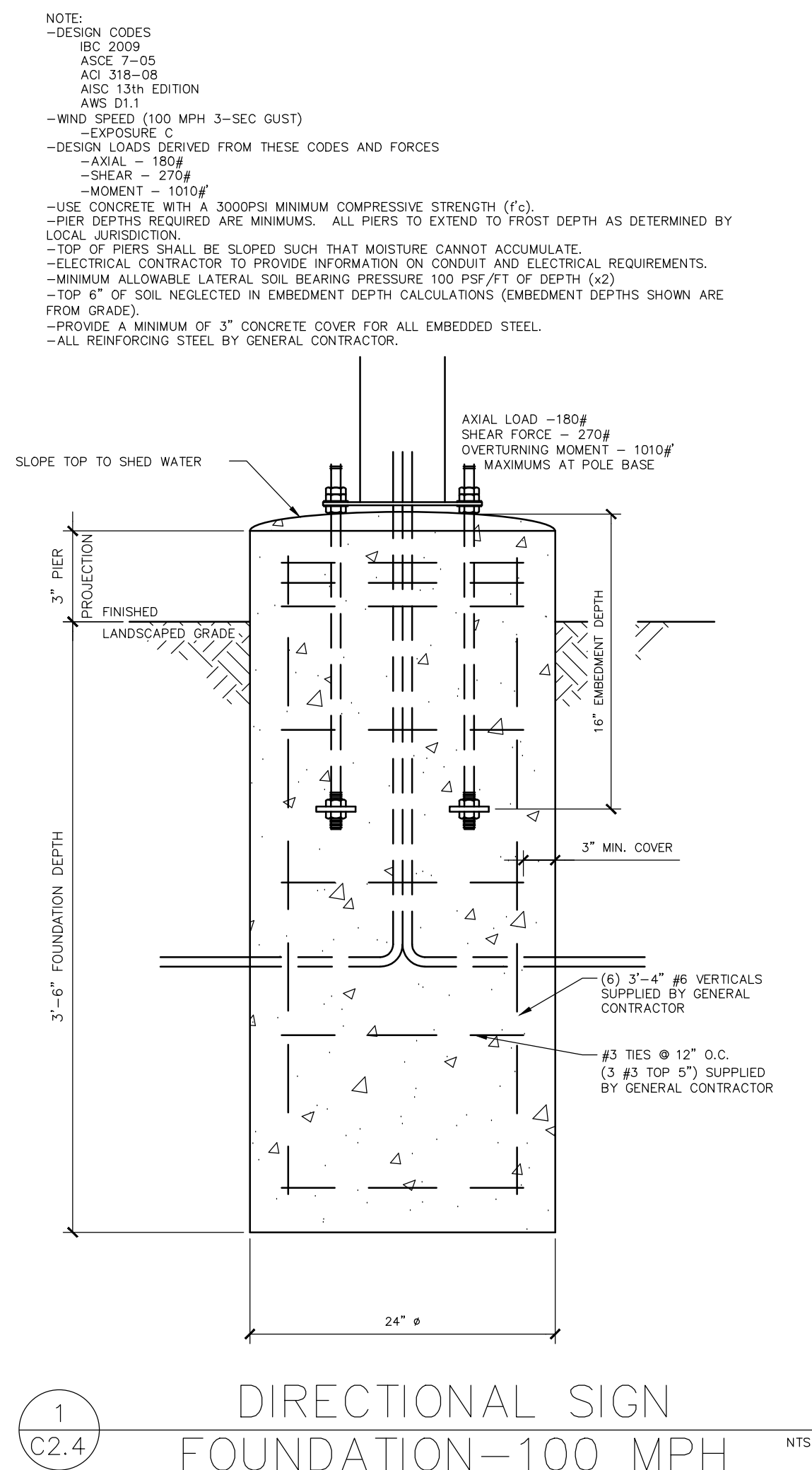
1. SIGNAGE & DRIVE-THRU ELEMENTS:
COD, DRIVE-THRU PYLON/CLEARANCE POLE, BOLLARD SIGN, AND FREESTANDING MERCHANDIZER SHALL BE CONSISTENT WITH THE 2013 STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, MCDONALD'S PROJECT MANAGER, AND SIGNAGE SUPPLIER TO DETERMINE THE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
3. CONTACT MCDONALD'S PROJECT MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE SHEET C2.5 AND ELECTRICAL SHEETS FOR DRIVE-THRU WIRING INFORMATION.
5. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
6. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. GENERAL CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.

COD LAYOUT NOTES:

1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.
2. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
3. SEE SHEET C2.1 FOR ALL SITE DIMENSIONS.
4. SEE SHEET C2.6 FOR STRIPING.



SHEET NO.	TITLE	DRAWN BY		PREPARED FOR:		© 2020 McDonald's USA, LLC		PREPARED BY:		<			
-----------	-------	----------	--	---------------	--	----------------------------	--	--------------	--	---	--	--	--



GEN. NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
 - IBC 2009
 - ASCE 7-05
 - ACI 318-08
 - AISC 13th EDITION
 - AWS D1.1
- WIND SPEED (100 MPH 3-SEC GUST)
 - EXPOSURE C
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
 - AXIAL = 180#
 - SHEAR = 270#
 - MOMENT = 1010#'

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/(-2)
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED FILL BEING COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.

ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL AGENCIES.

TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.

MINIMUM CONCRETE STRENGTH (F) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.

MINIMUM CONCRETE STRENGTH (F) SHOULD BE 4,000 PSI FOR CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.

AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.13-A AND 2.13-B.

WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.13-A.

FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.14.

MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.

REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.

PERFORMED BY GENERAL CONTRACTOR.

AND TO BE IN COMPLIANCE WITH AISC CODE OF STANDARD PRACTICE.

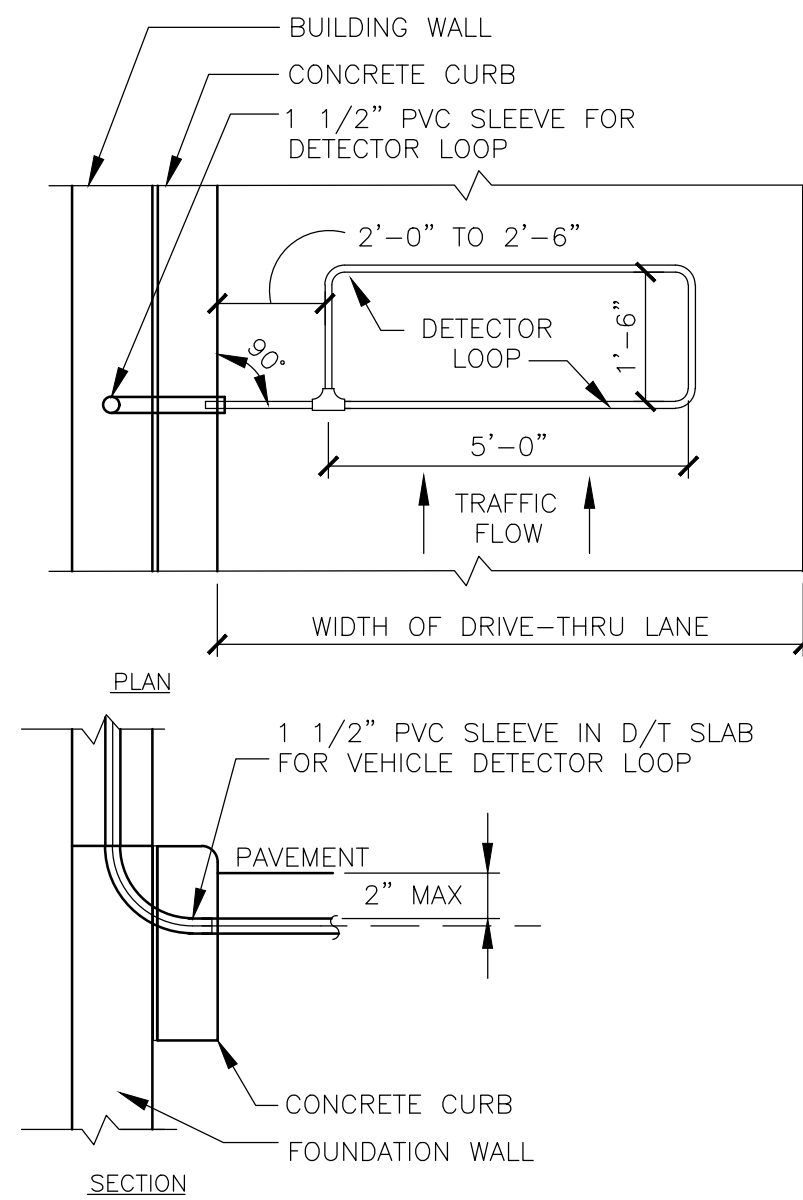
ALL REINFORCING POLES ON CONTRARY TO CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 3.11-E.

STEEL.

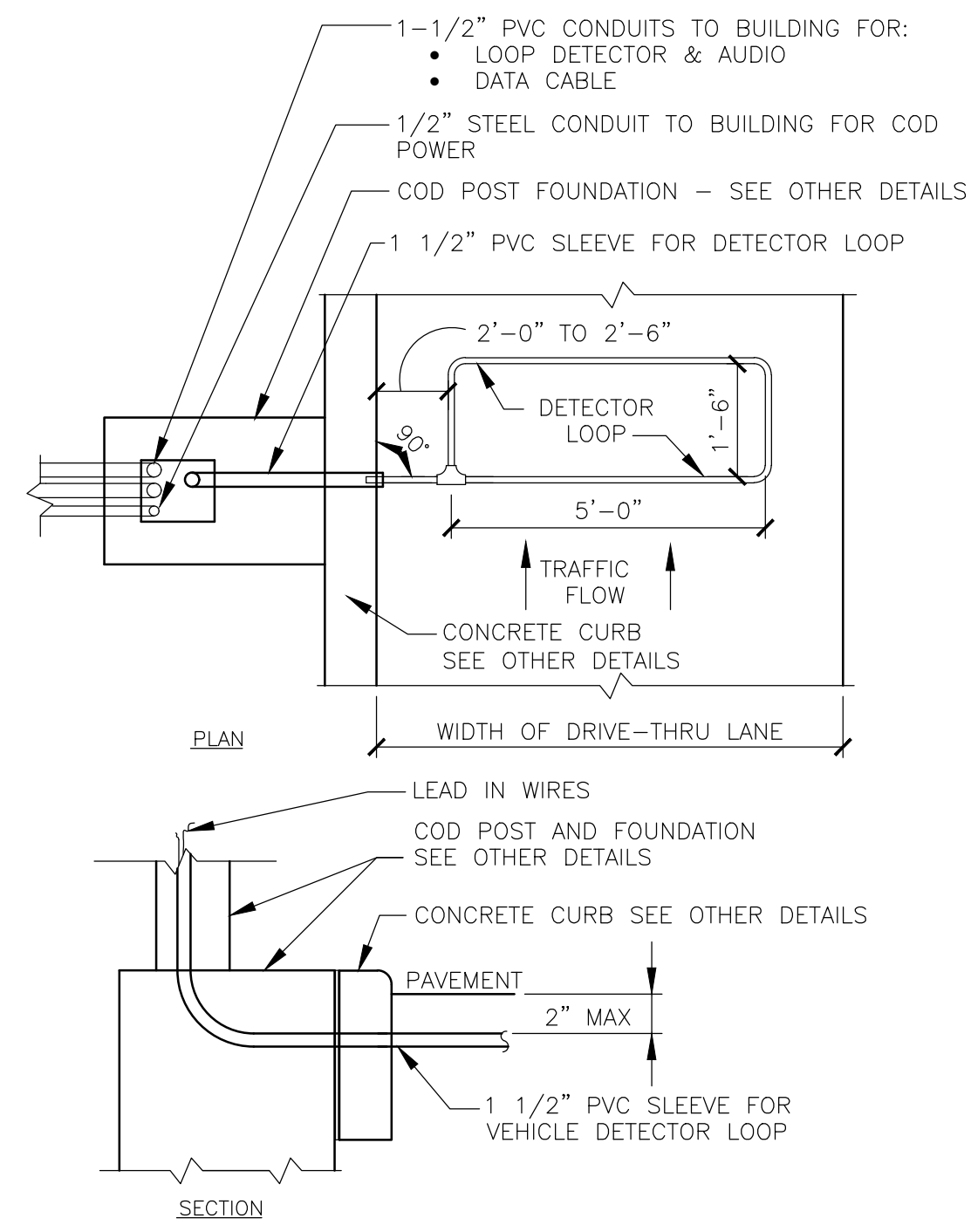
- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
- HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 42ksi)
- CONNECTION BOLTS: A325
- WELDING: ALL STRUCTURAL SHAPES AND PLATES: ASTM A56
- REINFORCEMENT: GRADE 60 BY GENERAL CONTRACTOR
- NUTS: A5630H OR A194-2H
- WASHERS: A5630H
- USE FINE RIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- ALL FIELD AND END BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- AFTER THE POLE IS INSTALLED, THE POLE SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD OR BEND SHALL BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

ACCRUENT UPLOAD DATE: 11/2/2012



B - DT WINDOW DETECTOR LOOP



A - C.O.D. DETECTOR LOOP

NOTES

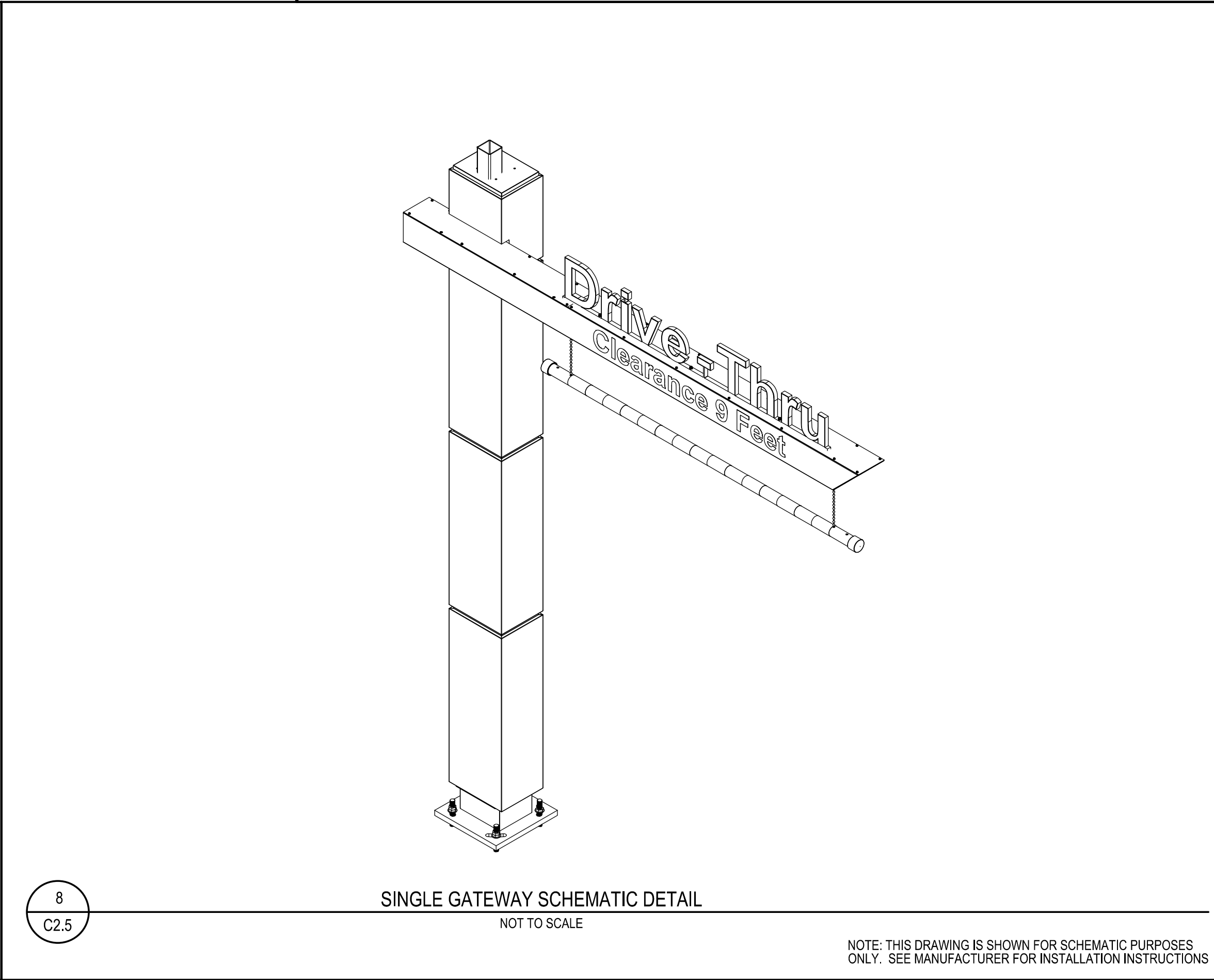
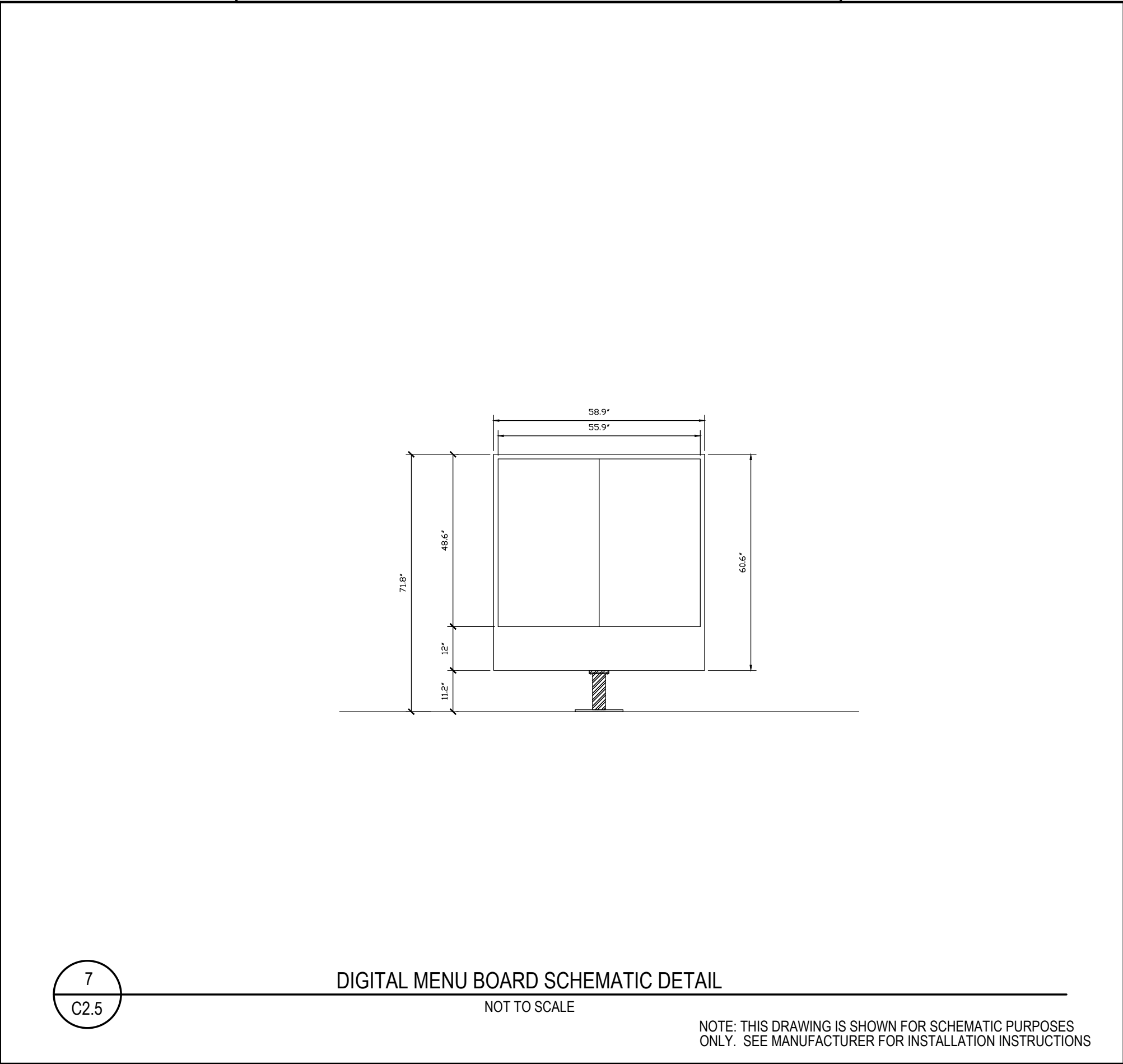
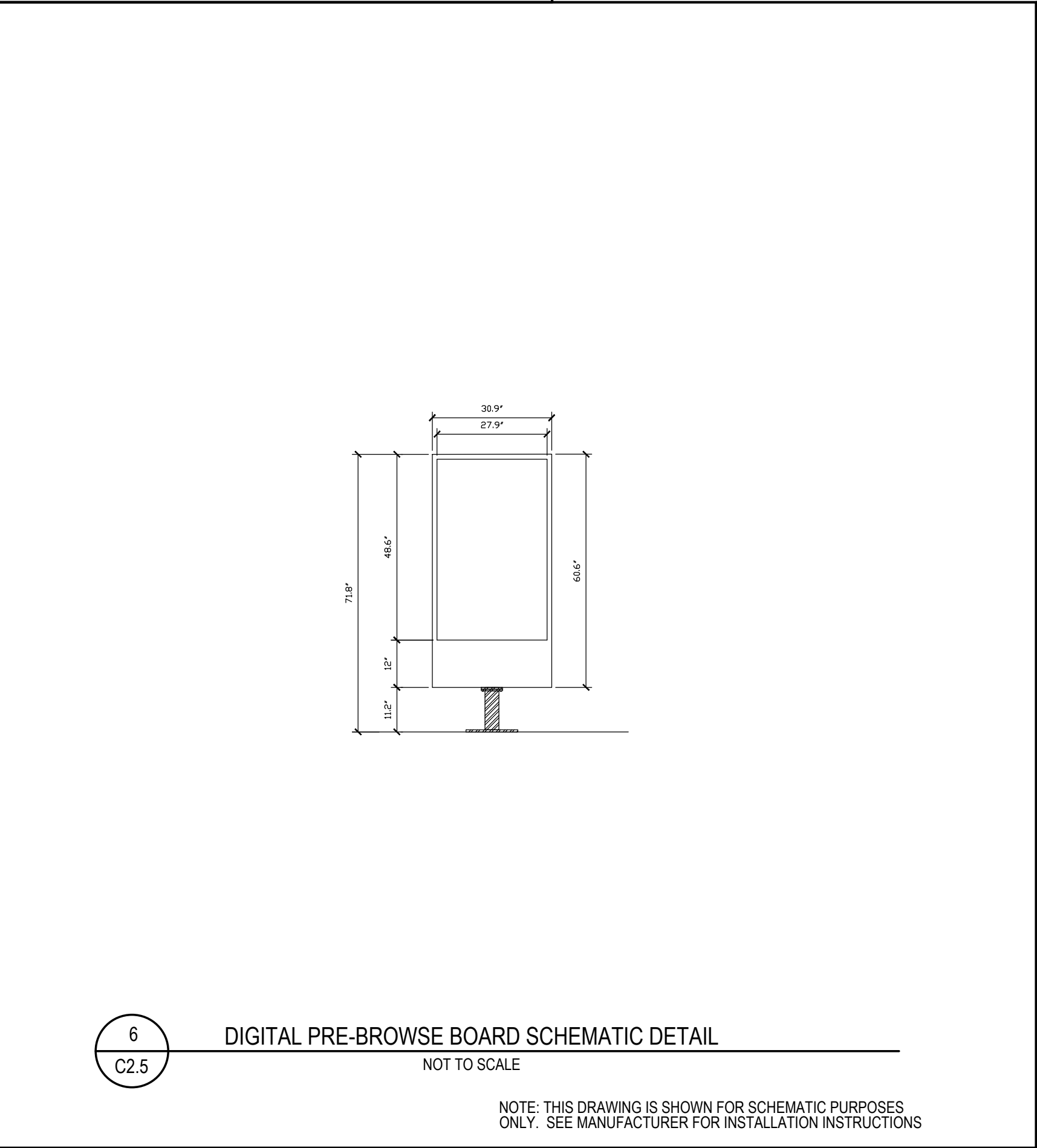
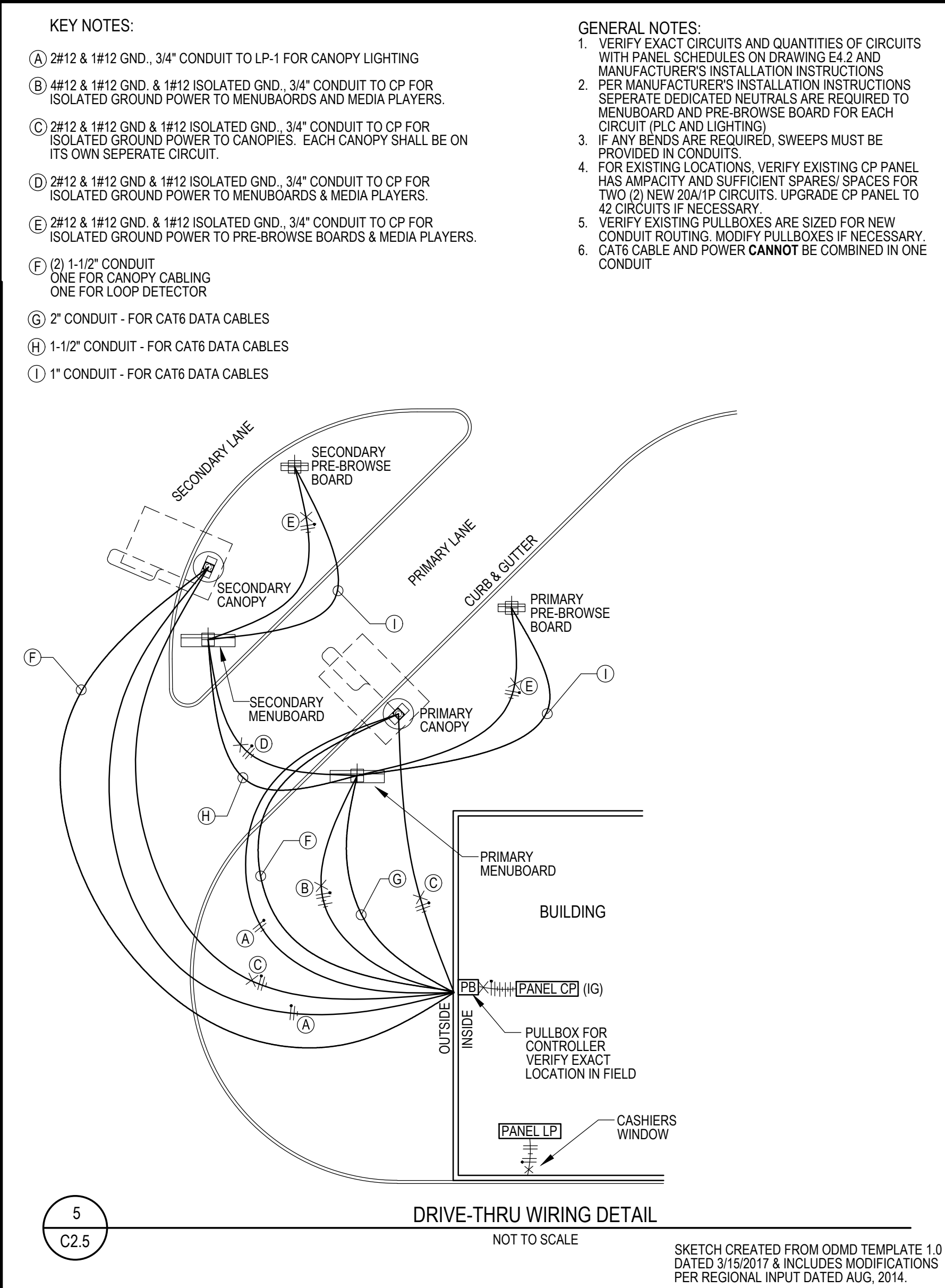
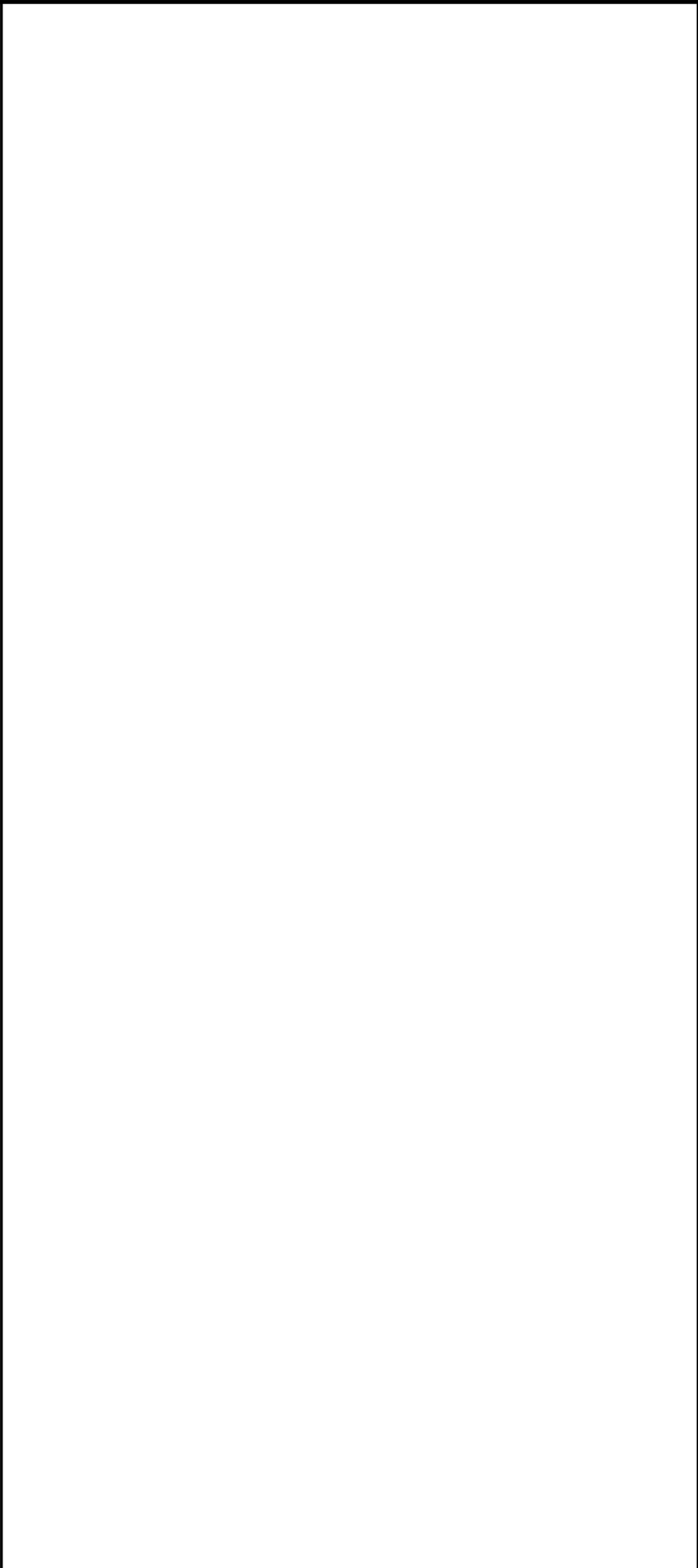
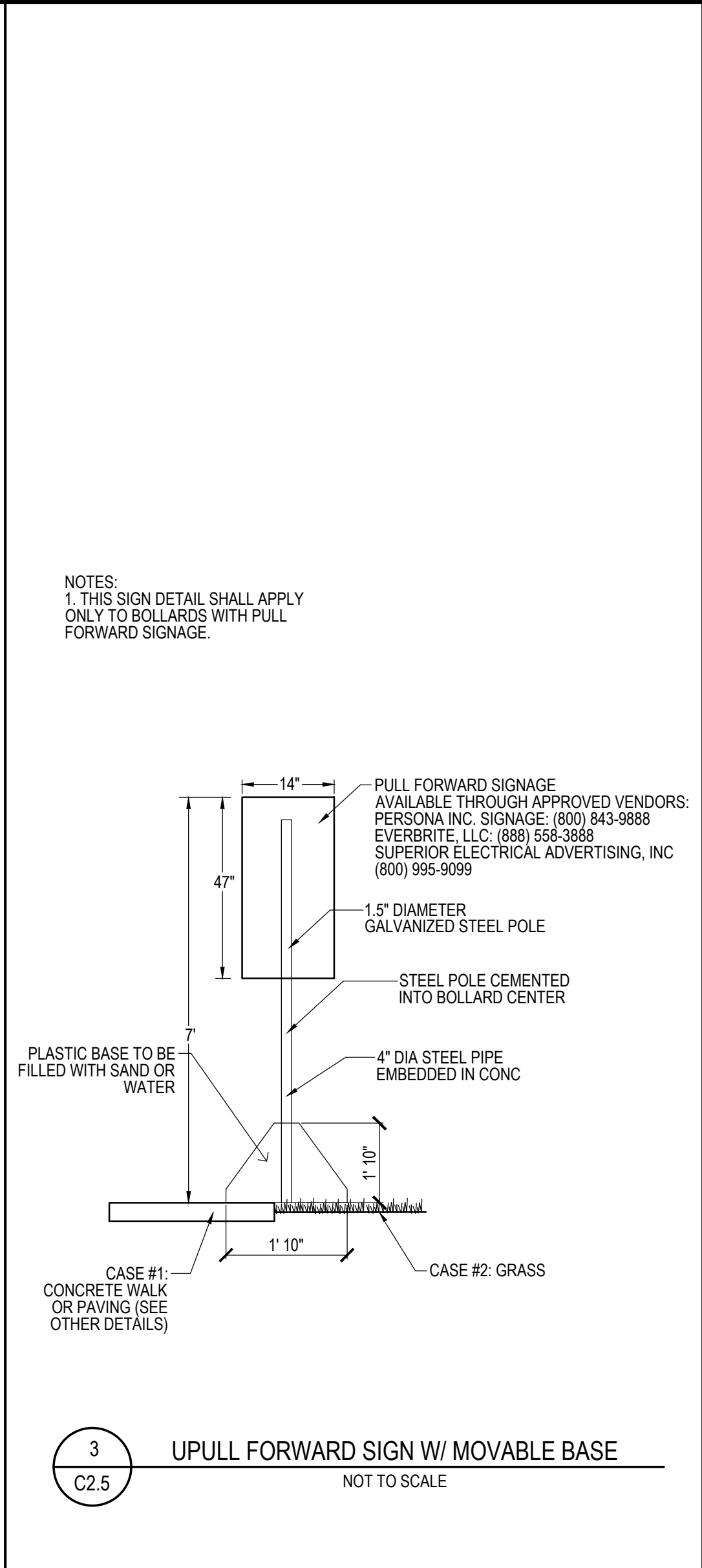
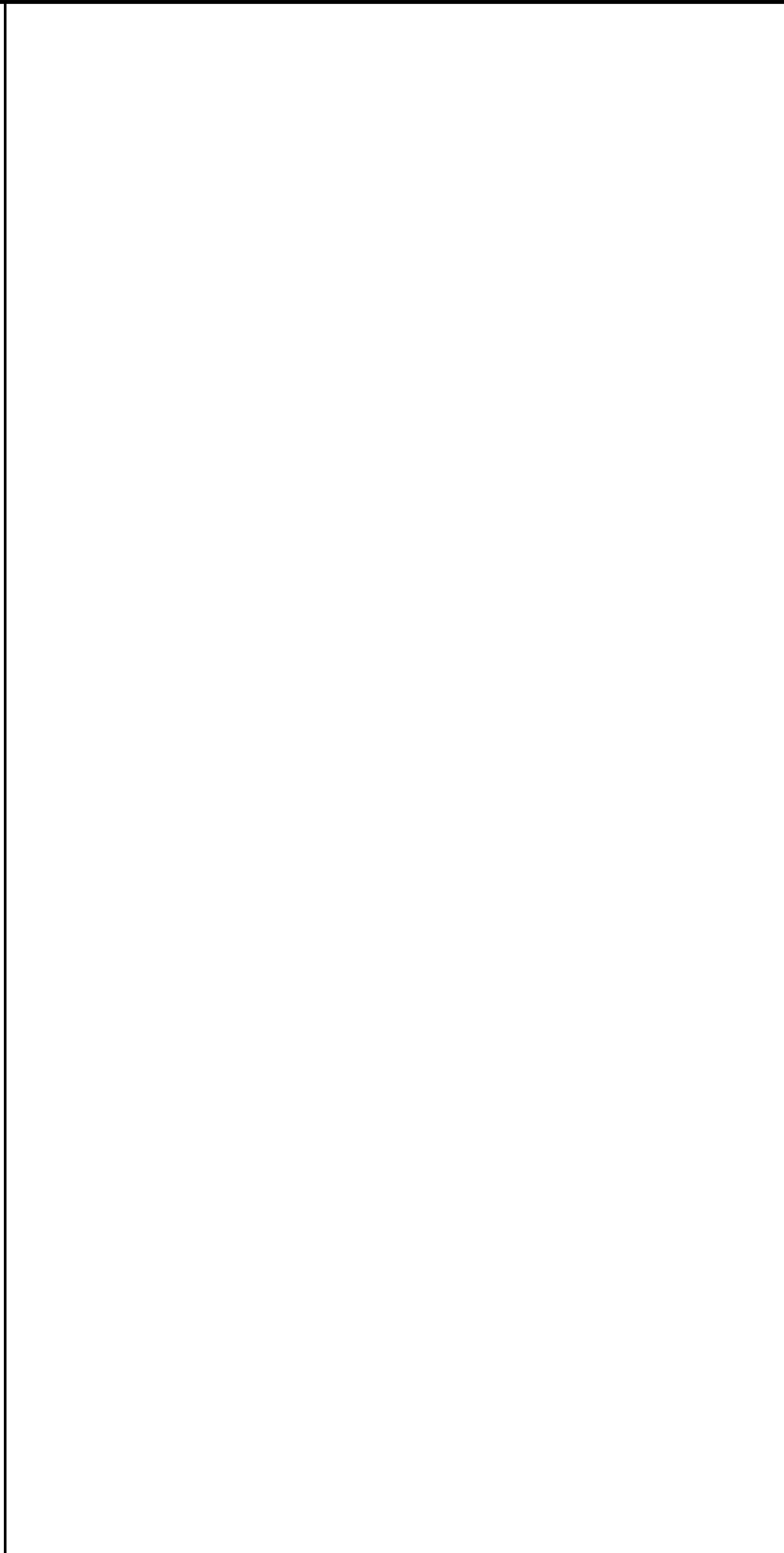
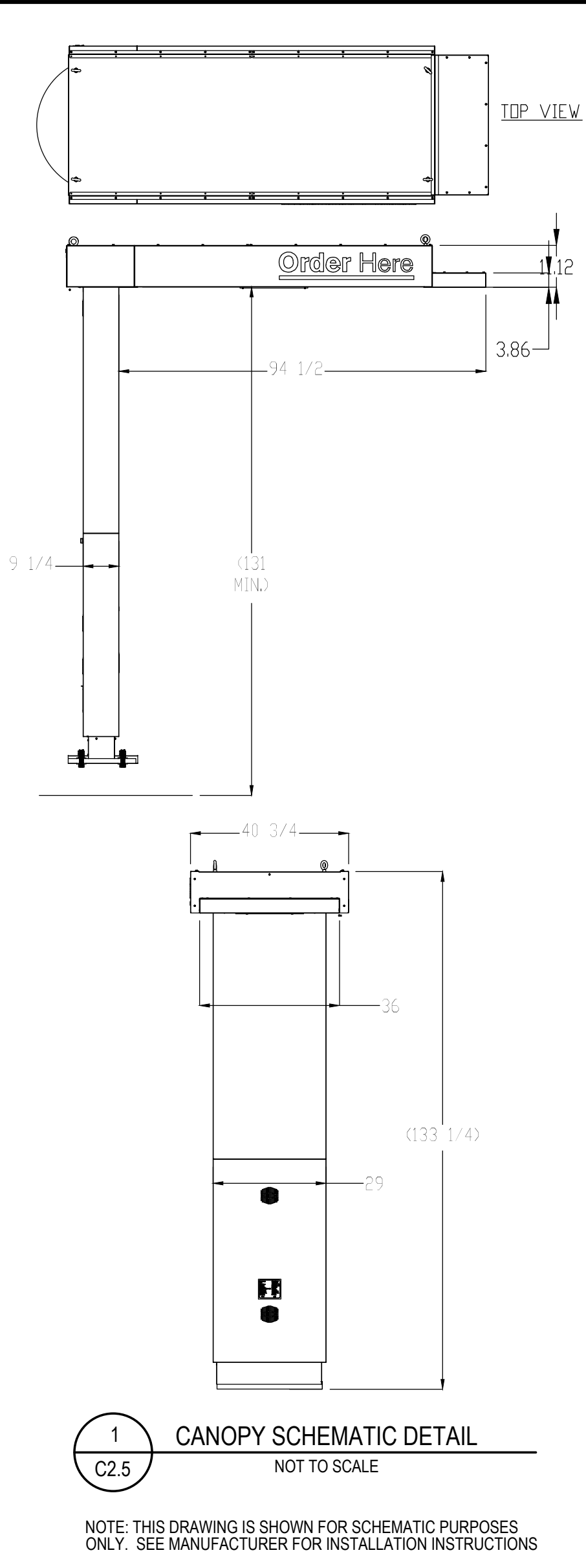
1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP (ITEM # 217.11E1) IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. SEE CIVIL FOR DIMENSIONS OF DRIVE-THRU LANE CONCRETE PAD FOR DETECTOR LOOP.
4. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
5. DETECTOR LOOP MANUFACTURERS:
DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWING COMPANIES OR EQUAL.
3M: 1-800-328-0033
HME: 1-800-848-4468
6. DETECTOR LOOP MATERIAL:
PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
7. DETECTOR LOOP CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.

DETECTOR LOOP IN EXISTING PAVEMENT:

FOR ANY AND ALL DETECTOR LOOPS THAT WILL BE PLACED IN EXISTING PAVEMENT, CONTRACTOR SHALL SAWCUT & PLACE LOOP DETECTOR INTO EXISTING SLAB. UPON PLACEMENT OF LOOP DETECTOR, FILL SAWCUT WITH GRAY MASTIC JOINT SEALER.

1 DETECTOR LOOP DETAILS
C2.4 NOT TO SCALE

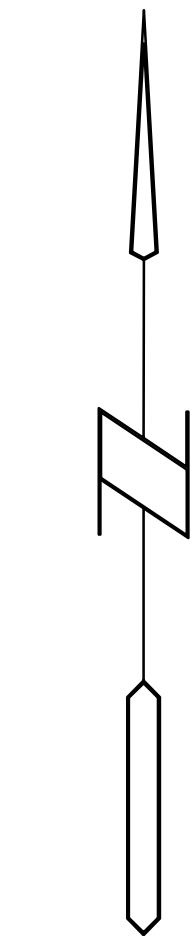
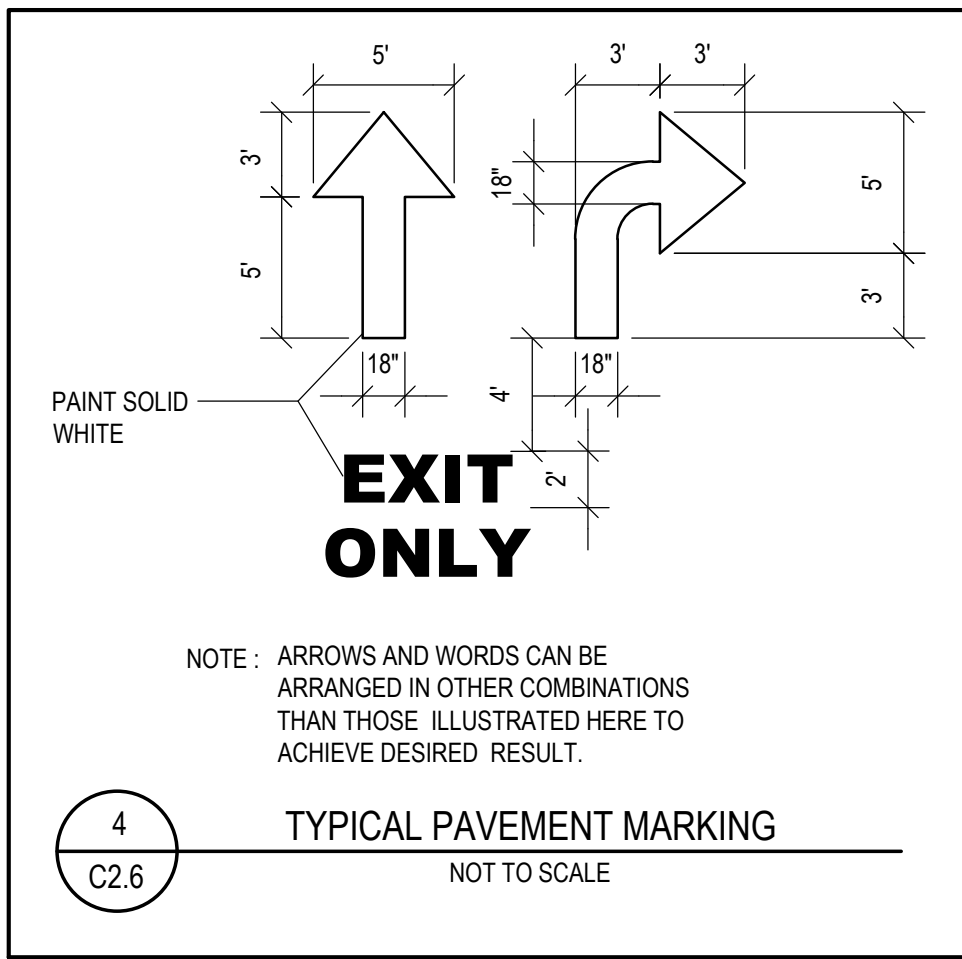
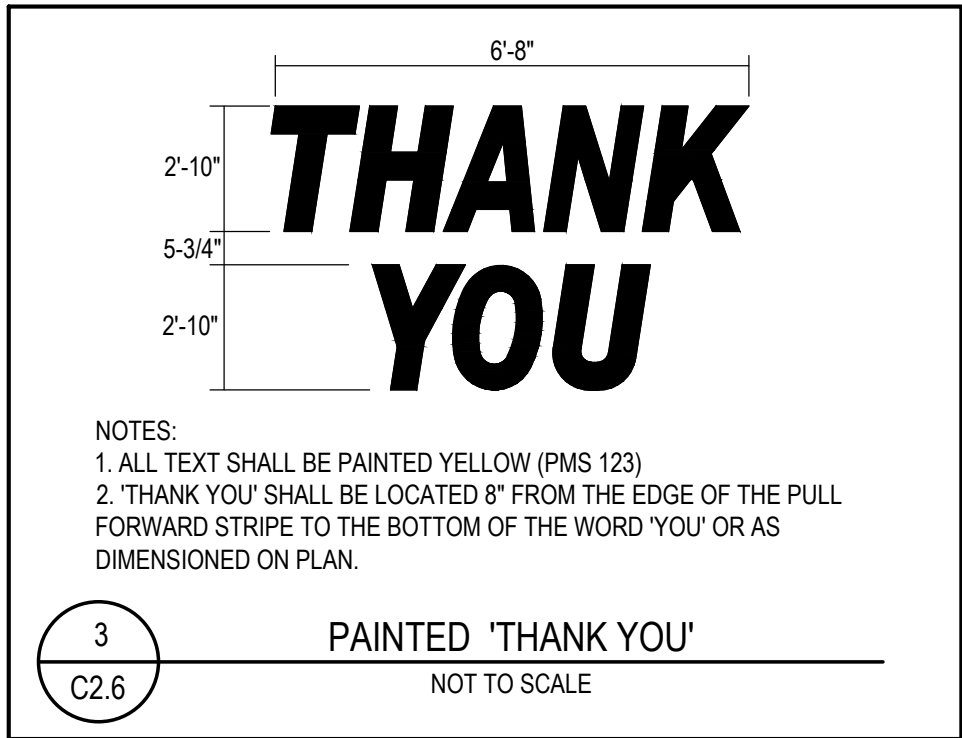
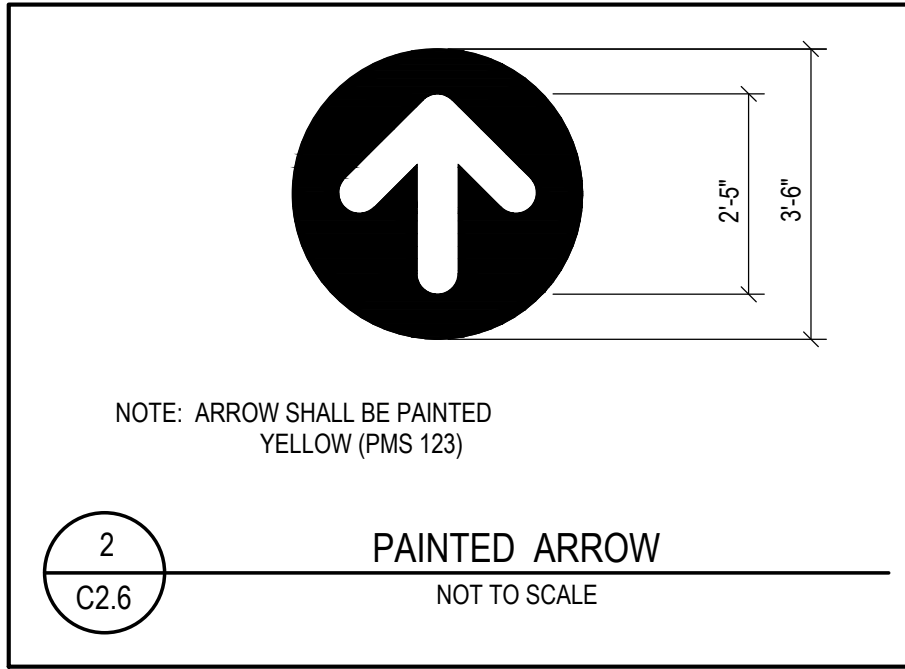
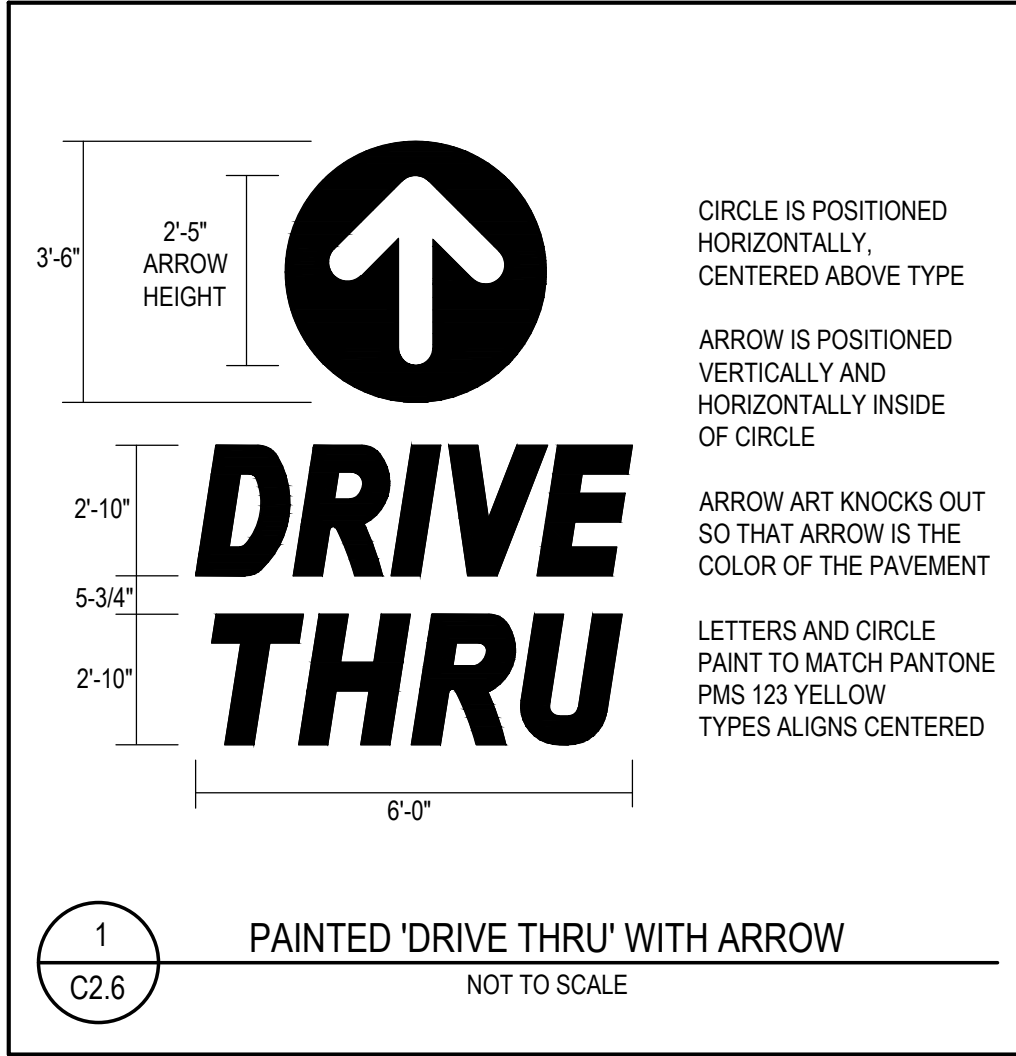
SHEET NO.	C2.4		DE# 1800208
TITLE	MCFARLAND, WI SITE PLAN	DRAWN BY JMR	PREPARED BY © 2020 McDonald's USA, LLC
DESCRIPTION	DRIVE-THRU DETAILS	STD ISSUE DATE 1/24/20	 McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. In no event shall the drawings or specifications be made available to any third party, in whole or in part, for any purpose other than the project for which they were prepared. The drawings and specifications are not suitable for use on a different site or at a later time. Use of these drawings for reference on any other project requires the express written approval of McDonald's USA, LLC. Any use of the contract documents for reuse on another project is not authorized.
		REVIEWED BY JEJ	
		DATE ISSUED 1/24/20	
SHEET ID 480700	SITE ADDRESS 4800 LARSON BEACH RD. MCFARLAND, WI 53558		
		DATE 1/24/2020	REV 1
		CONSTRUCTION SITE PLAN	
		DATE	BY
		JMR	



SHEET NO.		TITLE		DRAWN BY		PREPARED FOR:		BY	
C2.5		MCFARLAND, WI SITE PLAN		JMR		© 2020 McDonald's USA, LLC		JMR	
DESCRIPTION		DRIVE-THRU DETAILS		STD ISSUE DATE		McDonald's USA, LLC		DATE	
SITE ID		480700		1/24/20		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project without the written consent of McDonald's USA, LLC. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contract documents for reuse on another project is not authorized.		1/24/2020	
SITE ADDRESS		4800 LASSON BEACH RD, MCFARLAND, WI 53558		REVIEWED BY		DATE ISSUED		CONSTRUCTION SITE PLAN	
				JEJ		1/24/20		REV	
								DATE	
								DESCRIPTION	

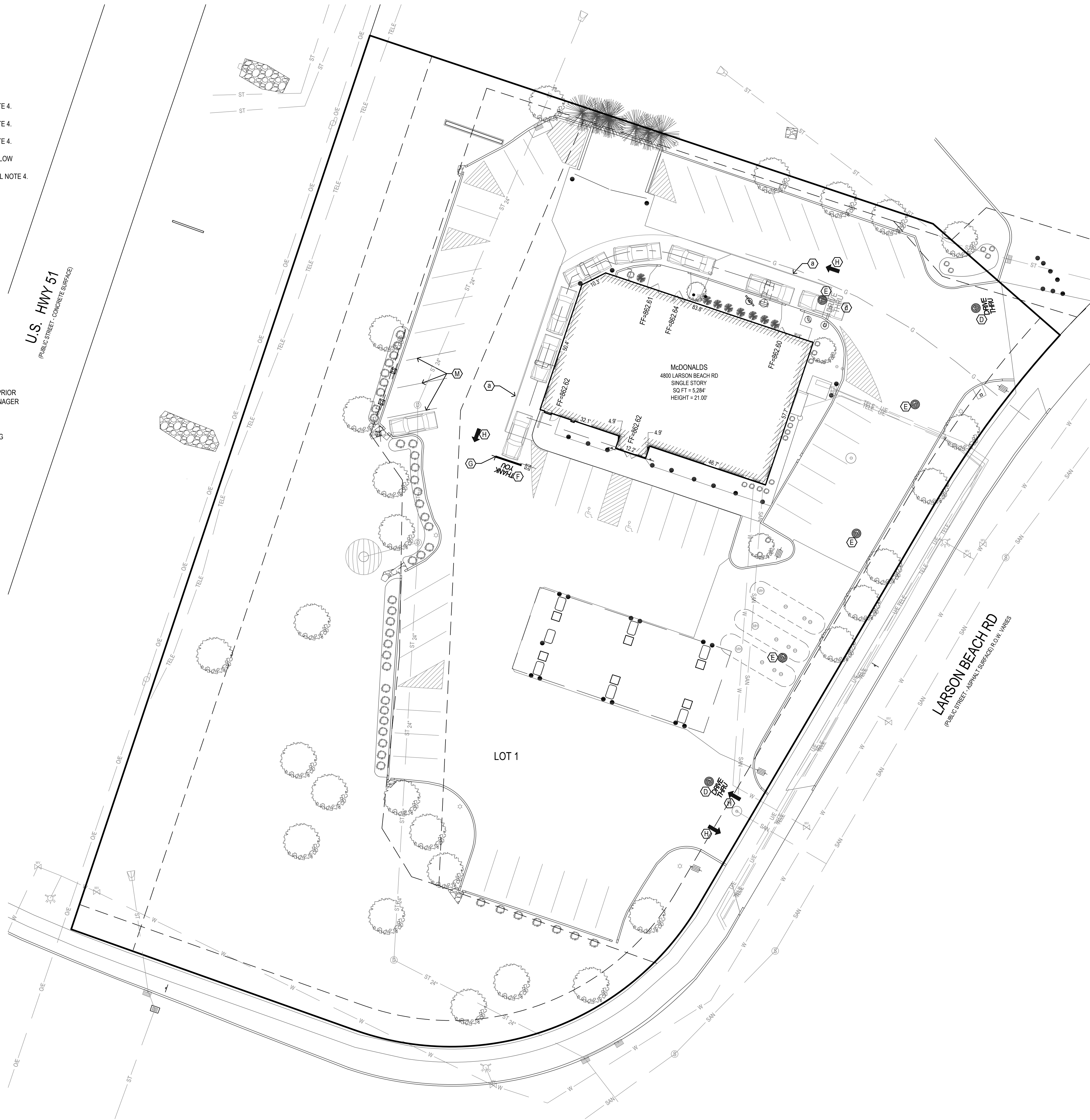
Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50323-5825
Phone: 515-281-4444 Fax: 515-281-0207
Civil Engineering & Land Surveying
Established 1999



- STRIPING NOTES:
- (A) EXISTING PAINTED STRIPE. PROTECT IN PLACE.
 - (B) RESERVED
 - (C) RESERVED
 - (D) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 1. SEE GENERAL NOTE 4.
 - (E) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 2. SEE GENERAL NOTE 4.
 - (F) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 3. SEE GENERAL NOTE 4.
 - (G) 8" WIDE, 10' LONG PAINTED PULL FORWARD STRIPE. PMS 123 YELLOW
 - (H) PAINTED SITE CIRCULATION ARROW. SEE DETAIL 4. SEE GENERAL NOTE 4.
 - (I) RESERVED.
 - (J) RESERVED.
 - (K) RESERVED.
 - (L) RESERVED
 - (M) 4" WIDE PULL FORWARD STRIPING. PMS 123 YELLOW.

- GENERAL NOTES:
1. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
 2. SEE SHEET C2.1 FOR ALL RADIUS DIMENSIONS.
 3. SEE SHEET C2.2 FOR COD CONSTRUCTION.
 4. ALL PAVEMENT STENCILS MUST BE PURCHASED FROM THE FOLLOWING
AUTHORIZED PROVIDER
PAVEMENT STENCIL COMPANY
P.O. BOX 18034
ROANOKE, VA 24014
PH 800-250-5547 FAX 540-427-1326
PAVEMENTSTENCIL.NET



SHEET NO.	TITLE	DRAWN BY	JMR	STD	ISSUE DATE	REVIEWED BY	JEJ	DATE ISSUED	1/24/20	SITE ID	480700	SITE ADDRESS	4800 LARSON BEACH RD., MCFARLAND, WI 53558					PREPARED BY	Bishop Engineering "Planning Your Successful Development" 3501 104th Street Des Moines, Iowa 50323-5825 PH 515-281-1400 FAX 515-281-1407 Civil Engineering & Land Surveying Established 1999																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
-----------	-------	----------	-----	-----	------------	-------------	-----	-------------	---------	---------	--------	--------------	--	--	--	--	--	-------------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

T.O. EX PARAPET
121'-0" V.I.F.
T.O. BRANDING
119'-4"
T.O. PARAPET
118'-0" V.I.F.

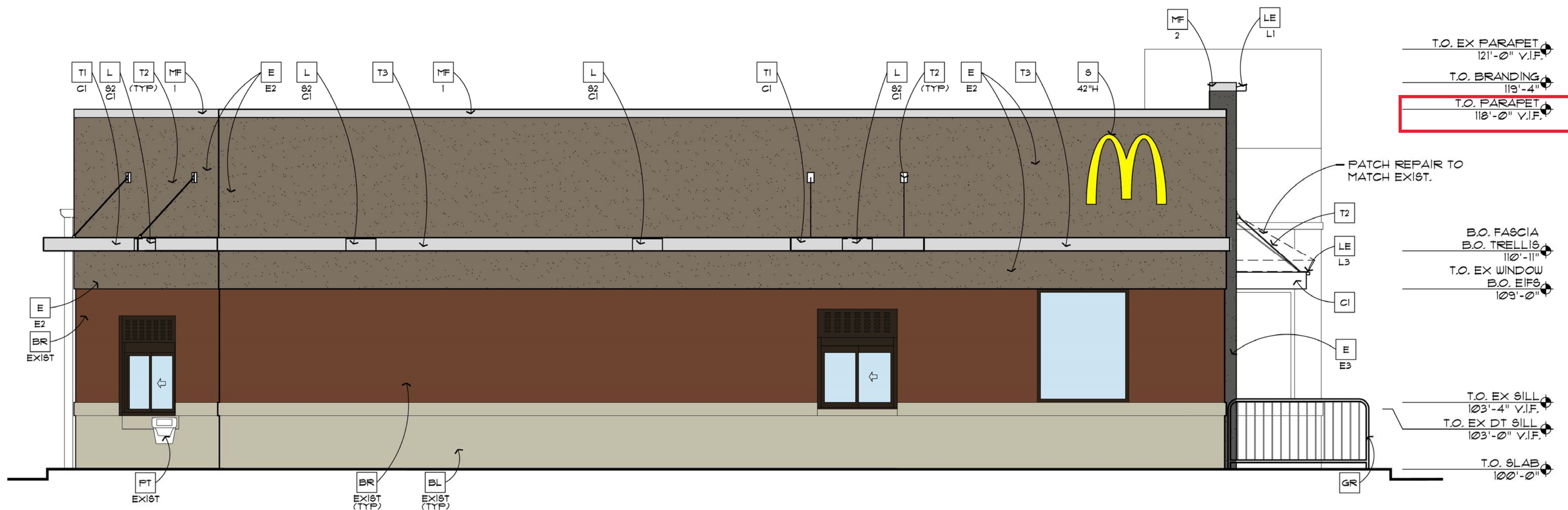
B.O. TRELLIS
110'-11"
T.O. EX WINDOW
B.O. EIFS
B.O. CANOPY
109'-0"

T.O. EX SILL
103'-4" V.I.F.

T.O. SLAB
100'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



2 DRIVE THRU SIDE ELEVATION
1/4" = 1'-0"

COLOR SCHEME: 'CRAFTSMAN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

SIGNAGE SUPPORT NOTE:
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S ACM AND COORDINATED WITH SIGN MANUFACTURER.

KEY NOTES:

- BL** CONCRETE BLOCK
B4 = CONCRETE BLOCK TO MATCH COLOR, SIZE AND TEXTURE OF EXIST'G.
EXIST'G = EXIST'G CONCRETE BLOCK TO REMAIN, PATCH AND REPAIR AS REQ'D.
- BR** FACE BRICK
B4 = BRICK TO MATCH COLOR, SIZE AND TEXTURE OF EXIST'G.
EXIST'G = EXIST'G FACE BRICK TO REMAIN, PATCH AND REPAIR AS REQ'D.
- CI** ALUMINUM CANOPY SYSTEM (COLOR: WHITE)

- E** EXTERIOR FINISH SYSTEM
E1 = NOT USED
E2 = BENJAMIN MOORE 'FAIRVIEW TAUPE' BM HC-85'
E3 = BENJAMIN MOORE 'IRON MOUNTAIN' 2134-30'
- GR** NEW GUARDRAIL - STAINLESS STEEL/GALVANIZED
SEE DETAIL - 3/A3.0

- L** LIGHT FIXTURE - SEE ELECTRICAL
L1 = TYPE:
S1 = NOT USED
S2 = DOWN ONLY WALL SCONCE FIXTURE
S3 = NOT USED
S4 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE** ACCENT LIGHTING - SEE ELECTRICAL
L1 = LED LIGHT:
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT

- MF** METAL FASCIA - REFER TO SECTIONS FOR ADD'L INFO
TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM BRANDING FASCIA
3 = METAL COPING
- PT** (RMHC) COIN COLLECTOR
UNIT: APERTURE WFT, *DTA2013
CALL 1-877-166-1642 TO ORDER,
SEE DETAIL 8/A3.0

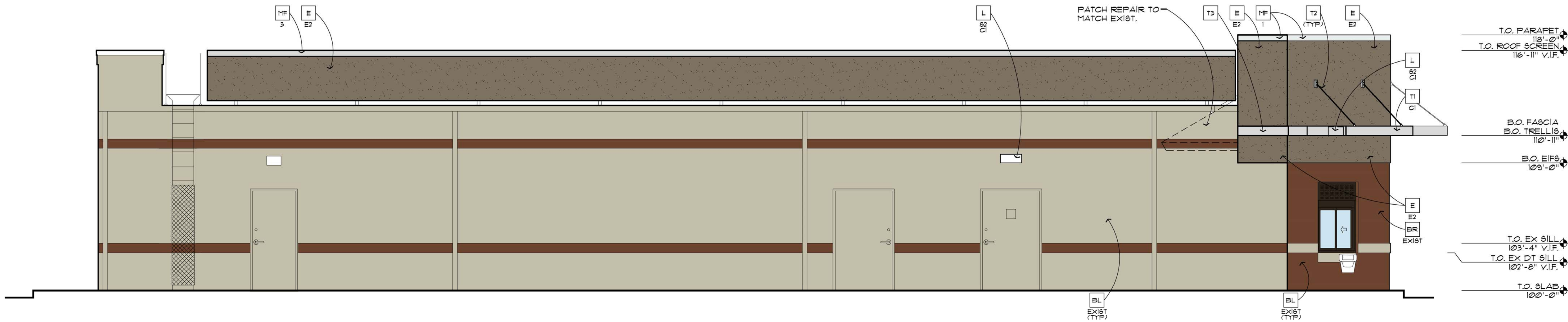
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- T1** ALUMINUM TRELLIS
C1 = COLOR:
C1 = CITYSCAPE
- T2** TRELLIS/CANOPY TIE-BACK
(COLOR: CHARCOAL)
- T3** 2x8 ALUMINUM WALL FASCIA
(COLOR: CITYSCAPE)

- UX** EXTERIOR WINDOW ASSEMBLY W/ TEMPERED GLASS - SEE ASSEMBLY NOTES 3/A2.1
- W2** DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - CONFIRM OPTIONS WITH MCD AREA CONSTRUCTION MANAGER
- SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

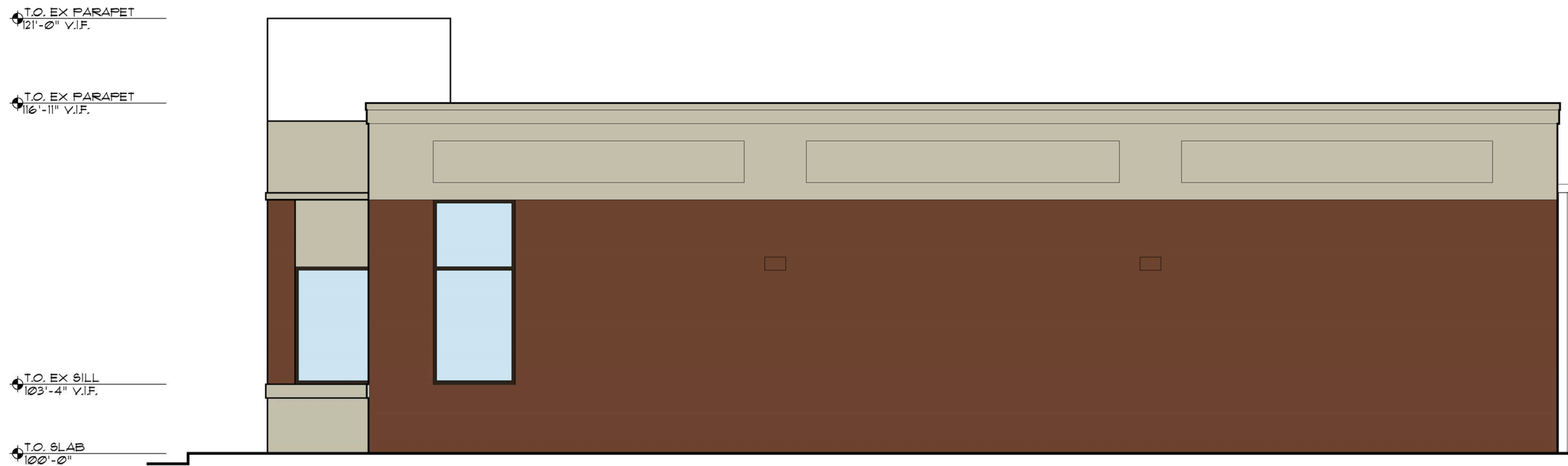
McDONALD'S RESTAURANT
2020 MAJOR REMODEL PROGRAM (LOW VOLUME)
State Site Code: 048-0700 Nat'l Number: 26905
4800 Larson Beach Rd, McFarland, WI

© 2020 McDonald's USA, LLC
McDonald's USA, LLC
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings and specifications for any other project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

PREPARED FOR: McDonald's USA, LLC
DATE ISSUED
FOR CONSTRUCTION 01/27/20
DRAWN BY BH
CHECKED BY KD
JOB NO. 18156



1 REAR ELEVATION
1/4" = 1' = 0"



2 NON-DRIVE THRU SIDE ELEVATION
1/4" = 1' = 0"

COLOR SCHEME: 'CRAFTSMAN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

SIGNAGE SUPPORT NOTE:
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S ACM AND COORDINATED WITH SIGN MANUFACTURER.

KEY NOTES:

- BL** CONCRETE BLOCK
COLOR:
B4 = CONCRETE BLOCK TO MATCH COLOR, SIZE AND TEXTURE OF EXIST'G.
EXIST'G = EXIST'G CONCRETE BLOCK TO REMAIN, PATCH AND REPAIR AS REQ'D.
- BR** FACE BRICK
COLOR:
B4 = BRICK TO MATCH COLOR, SIZE AND TEXTURE OF EXIST'G.
EXIST'G = EXIST'G FACE BRICK TO REMAIN, PATCH AND REPAIR AS REQ'D.
- CI** ALUMINUM CANOPY SYSTEM (COLOR: WHITE)

- E** EXTERIOR FINISH SYSTEM
COLOR:
E1 = NOT USED
E2 = BENJAMIN MOORE 'FAIRVIEW TAUPE' BM HC-85'
E3 = BENJAMIN MOORE 'IRON MOUNTAIN' 2134-30'
- GR** NEW GUARDRAIL - STAINLESS STEEL/GALVANIZED
SEE DETAIL - 3/A3.0

- L** LIGHT FIXTURE - SEE ELECTRICAL
CI
TYPE:
S1 = NOT USED
S2 = DOWN ONLY WALL SCONCE FIXTURE
S3 = NOT USED
S4 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE** ACCENT LIGHTING - SEE ELECTRICAL
LI
LED LIGHT:
L1 = DOWN ONLY FIXTURE
L2 = NOT USED
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT

- MF** METAL FASCIA - REFER TO SECTIONS FOR ADD'L INFO
TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM BRANDING FASCIA
3 = METAL COPING
- PT** (RMHC) COIN COLLECTOR
UNIT: APERTURE WFT, *DTA2013
CALL 1-877-166-1642 TO ORDER,
SEE DETAIL 8/A3.0

- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- T1** ALUMINUM TRELLIS
CI
COLOR:
C1 = CITYSCAPE
- T2** TRELLIS/CANOPY TIE-BACK
(COLOR: CHARCOAL)
- T3** 2x8 ALUMINUM WALL FASCIA
(COLOR: CITYSCAPE)

- UX** EXTERIOR WINDOW ASSEMBLY W/ TEMPERED GLASS - SEE ASSEMBLY NOTES 3/A2.1
- U2** DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - CONFIRM OPTIONS WITH MCD AREA CONSTRUCTION MANAGER
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

© 2020 McDonald's USA, LLC

McDonald's USA, LLC

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings and specifications for any other project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

PREPARED FOR:

DATE ISSUED

FOR CONSTRUCTION 01/27/20

DRAWN BY BH
CHECKED BY KD
JOB NO. 18156

A2.1

Page 21 of 40

McDONALD'S RESTAURANT
2020 MAJOR REMODEL PROGRAM (LOW VOLUME)
State Site Code: 048-0700 Nat'l Number: 26905
4800 Larson Beach Rd, McFarland, WI

EXTERIOR ELEVATIONS



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 16, 2020

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Review and possible recommendation to the Village Board regarding Seventh Amendment to Development Agreement for Juniper Ridge.

PREVIOUS ACTION:

The Village has previously approved the Final Plat for Juniper Ridge Subdivision, the Declaration of Conditions, Covenants and Restrictions, the original Development Agreement, and six amendments to the Development Agreement.

ISSUE SUMMARY:

Veridian is seeking to complete the final phase (Phase 9) of the Juniper Ridge Subdivision. This includes construction of Wild Rye Court and the remaining 13 single family lots. Per the Declaration of Conditions, Covenants, and Restrictions, Veridian is required to obtain a release from the Village to approve the sale or transfer of the remaining lots. Within the packet is the Seventh Amendment to the Development Agreement for Juniper Ridge. The Development Agreement always the Developer to complete Phase 9, and describes the required surety amount of \$355,700 to cover completion of public improvements and describes the remaining parkland dedication fees and parkland improvement fees for the 13 lots in Phase 9. The Village Attorney has reviewed the Development Agreement and Village Staff recommend approval.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommend approval by the Village Board.

ATTACHMENTS:

1. Juniper Ridge Seventh Amendment 2020.03.10



SEVENTH AMENDMENT TO DEVELOPMENT AGREEMENT FOR JUNIPER RIDGE

THIS SEVENTH AMENDMENT TO DEVELOPMENT AGREEMENT FOR JUNIPER RIDGE (the "**Amendment**") is made as of the ____ day of _____, 2020, by and between the Village of McFarland, a Wisconsin Municipal Corporation ("**Village**") and VH Juniper Ridge, LLC, a Wisconsin Limited Liability Company ("**Developer**").

W I T N E S S E T H:

WHEREAS, Village and MREC VH Juniper Ridge, LLC entered into a Development Agreement for Juniper Ridge dated July 10, 2015, a First Amendment to Development Agreement for Juniper Ridge dated August 8, 2016, a Second Amendment to Development Agreement for Juniper Ridge dated June 26, 2017, a Third Amendment to Development Agreement for Juniper Ridge dated September 25, 2017, a Fourth Amendment to Development Agreement for Juniper Ridge dated September 5, 2018, and a Fifth Amendment to Development Agreement for Juniper Ridge dated September 26, 2018 (collectively the "**Agreement**"); and

WHEREAS, Developer was a member and project manager for MREC VH Juniper Ridge, LLC, has acquired all of the lots in the Juniper Ridge Subdivision previously owned by MREC VH Juniper Ridge, LLC and has succeeded to the interest of said entity in and to the Agreement; and

WHEREAS, Village and Developer entered into a Sixth Amendment to Development Agreement for Juniper Ridge dated June 21, 2019 (included as part of the collective "**Agreement**"); and

WHEREAS, Developer wishes to amend the Agreement to provide for an additional Phase and such other matters as are described herein.

NOW, THEREFORE, in consideration of the foregoing recitals, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, it is agreed by and between the parties hereto as follows:

1) Capitalized Terms. Capitalized terms which are not otherwise defined herein shall be as defined in the Agreement.

2) Phase 9. Phase 9 of the Development is depicted and described in Exhibit "A", attached hereto and incorporated herein by reference. Developer may obtain building permits for, and commence construction of, homes in Phase 9 immediately upon Substantial Completion of public improvements, as that term is defined in Section 2(M) of the Agreement. The Surety for Phase 9 shall be in the amount of \$355,700. The Engineer's Estimate is attached hereto as Exhibit "B" and incorporated herein by reference.

3) Parkland Dedication and Fees in Lieu of Dedication. The fee in lieu of dedication payable to the Village for Phase 9 consisting of 13 lots at \$786.75 per lot is \$10,227.75, payable in accordance with the terms of paragraph 2(L)(a) of the Agreement.

4) Parkland Improvement Fees. Paragraph 2(L)(b) of the Agreement requires payment of park improvement fees (the "**Park Improvement Fees**") for the last 43 lots out of the 193 total lots of the subdivision. Through Phase 8, 180 lots have been developed pursuant to the terms of the Agreement. Accordingly, Park Improvement Fees for 13 lots in Phase 9 are due and payable to the Village in accordance with the provisions of the Development Agreement cited in the first sentence to this paragraph. The total Park Improvement Fees for Phase 9 shall equal \$14,295.45.

5) Release. Upon execution hereof and Developer providing Surety to the Village, the Village shall execute and deliver to Developer for recording the Release attached hereto as Exhibit "C", and incorporated herein by reference.

6) Effect of Amendment. Except as amended herein, all other terms, covenants and conditions of the Agreement shall remain unchanged.

[Signature page to follow.]

Dated this ____ day of _____, 2020.

By: _____

STATE OF WISCONSIN)
)ss
COUNTY OF DANE)

Page 26 of 40

Village Signature Page for

VILLAGE OF MCFARLAND

By: _____

Print Name: _____

Print Title: _____

Attest:

Print Name: _____

Print Title:

STATE OF WISCONSIN)
)ss
COUNTY OF DANE)

Personally came before me, _____, notary public for the above State and County, this ____ day of _____, 2020, the above named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same in the capacity and for the purposes therein intended.

Print Name: _____

Notary Public, State of Wisconsin

My Commission expires:

STATE OF WISCONSIN)
)ss
COUNTY OF DANE)

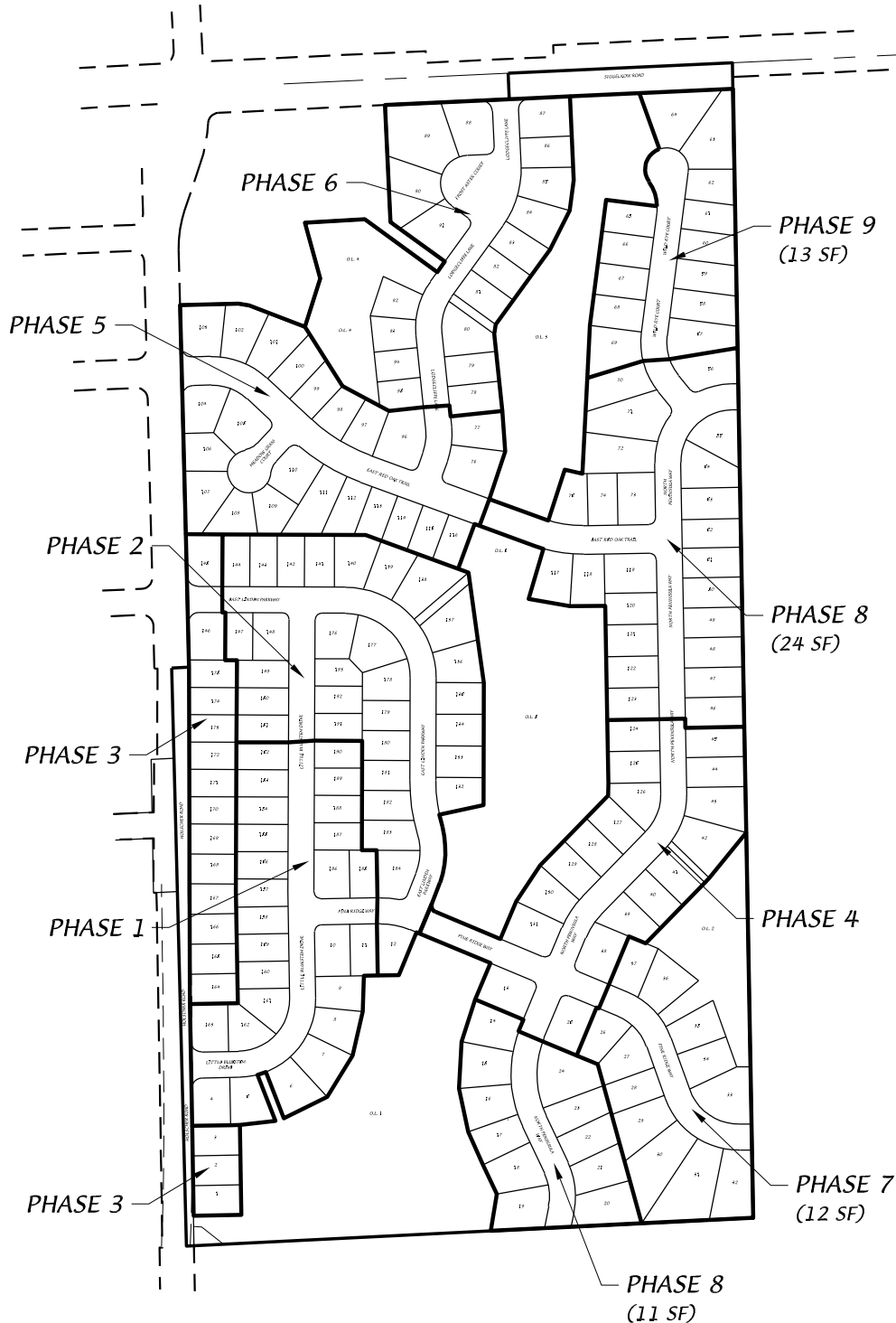
Personally came before me, _____, notary public for the above State and County, this ____ day of _____, 2020, the above named _____, to me known to be the person who executed the foregoing instrument and acknowledged the same in the capacity and for the purposes therein intended.

Print Name: _____

Notary Public, State of Wisconsin

My Commission expires:

JUNIPER RIDGE



DATE: 05-06-19
F.N.: 18-05-163
REV.

DRAWN BY:

U:/USER/1407114/DRAWINGS/PHASE MAP.DWG

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT



0 400
Scale 1" = 400'

EXHIBIT "A"
PAGE 2

Legal Description – Juniper Ridge – Phase 9

Lots 57-69, Juniper Ridge, recorded in Volume 60-041A of Plats on pages 203-208 as Document No. 5172418, located in the NW 1/4 and the SW 1/4 of the SE 1/4 of Section 35, T7N, R10E, Village of McFarland, Dane County, Wisconsin.

57	0710-354-2097-1
58	0710-354-2108-1
59	0710-354-2119-1
60	0710-354-2130-1
61	0710-354-2141-1
62	0710-354-2152-1
63	0710-354-2163-1
64	0710-354-2174-1
65	0710-354-2185-1
66	0710-354-2196-1
67	0710-354-2207-1
68	0710-354-2218-1
69	0710-354-2229-1

EXHIBIT "B"

Juniper Ridge - Phase 9

Engineer's Estimate

February 25, 2020

Item No.	Description	Est. Quantity	Unit	Unit Price	Amount
<u>Erosion Control</u>					
	Stone Tracking Pad	1	EA	\$1,000.00	\$1,000.00
	Earthen Berm	500	LF	\$2.50	\$1,250.00
	Silt Fence	1,400	LF	\$2.00	\$2,800.00
	Velocity Check	2	EA	\$450.00	\$900.00
	Stone Weeper w/Sump	2	EA	\$450.00	\$900.00
	Lot Restoration	10,000	SY	\$1.00	\$10,000.00
				subtotal	\$16,850.00
<u>Sanitary Sewer Construction</u>					
	8" PVC Sanitary Sewer	462	LF	\$34.00	\$15,708.00
	4" PVC Sanitary Lateral	530	LF	\$32.00	\$16,960.00
	Tracer Wire and Box	14	EA	\$200.00	\$2,800.00
	Standard Sanitary Manhole	2	EA	\$2,300.00	\$4,600.00
	Extra Manhole Depth	9	VF	\$240.00	\$2,160.00
	Manhole Chimney Seal	3	EA	\$470.00	\$1,410.00
	Sanitary Sewer Trench Compaction	992	TF	\$8.00	\$7,936.00
	Televise Sanitary Sewer	462	TF	\$3.30	\$1,524.60
				subtotal	\$53,098.60
<u>Water Main Construction</u>					
	12" Water Main	225	LF	\$62.00	\$13,950.00
	8" Water Main	625	LF	\$48.00	\$30,000.00
	6" Water Main	15	LF	\$60.00	\$900.00
	12" Valve and Box	1	EA	\$4,000.00	\$4,000.00
	8" Valve and Box	3	EA	\$2,500.00	\$7,500.00
	6" Valve and Box	1	EA	\$2,200.00	\$2,200.00
	1" Copper Services	13	EA	\$1,450.00	\$18,850.00
	Relocate Existing Fire Hydrant	2	EA	\$2,000.00	\$4,000.00
	Water main Trench Compaction	865	TF	\$6.00	\$5,190.00
				subtotal	\$86,590.00
<u>Storm Sewer Construction</u>					
	24" RCP Storm Sewer	156	LF	\$60.00	\$9,360.00
	12" RCP Storm Sewer	7	LF	\$40.00	\$280.00
	24" RCP Apron Endwall & Gate	1	EA	\$2,500.00	\$2,500.00
	Curb Inlets	2	EA	\$2,200.00	\$4,400.00
	Storm Sewer Trench Compaction	163	LF	\$4.00	\$652.00

Item No.	Description	Est. Quantity	Unit	Unit Price	Amount
	Rip-Rap	10	SY	\$50.00	\$500.00
	Inlet Protection	2	EA	\$350.00	\$700.00
				subtotal	\$18,392.00
	<u>Street Construction</u>				
	Finish Grade Streets	5.1	STA	\$600.00	\$3,060.00
	Finish Grade for Sidewalk -Siggelkow	2.3	STA	\$800.00	\$1,800.00
	Adjust Castings	3	EA	\$300.00	\$900.00
	Sawcut	30	LF	\$4.00	\$120.00
	Undercut & Backfill w/ Crushed Stone	130	CY	\$33.50	\$4,355.00
	10" Crushed Stone Base	1,635	SY	\$10.50	\$17,167.50
	30" Concrete Curb & Gutter	1,035	LF	\$15.50	\$16,042.50
	Wedge Curb and Gutter	1,035	LF	\$1.50	\$1,552.50
	2-1/4" Binder Asphalt Binder	1,635	SY	\$10.75	\$17,576.25
	1-3/4" Surface Asphalt Binder	1,635	SY	\$7.00	\$11,445.00
	Clean & Tack	1,635	SY	\$0.75	\$1,226.25
	5" Concrete Sidewalk	7,800	SF	\$3.75	\$29,250.00
	Terrace Restoration	1,650	SY	\$3.70	\$6,105.00
	Remove Barricades	2	EA	\$250.00	\$500.00
				subtotal	\$111,100.00
	<u>Street Trees</u>				
	Street Trees	26	EA	\$400.00	\$10,400.00
				subtotal	\$10,400.00
Total					\$296,430.60
Engineer's Estimate					\$296,400.00

Amount of Surety (120% of Engineers Estimate) =

\$355,700

EXHIBIT "C"

Document Number

RELEASE OF DECLARATION OF CONDITIONS, COVENANTS
AND RESTRICTIONS,
JUNIPER RIDGE, VILLAGE OF MCFARLAND, DANE COUNTY,
WISCONSIN

WHEREAS, certain lands owned by VH Juniper Ridge, LLC, a Wisconsin Limited Liability Company ("**Owner**") are subject to that certain Declaration of Conditions, Covenants and Restrictions, Juniper Ridge, Village of McFarland, Dane County, Wisconsin, dated July 10, 2015, recorded August 7, 2015 in the office of the Dane County, Wisconsin Register of Deeds as Document No. 5175109 (the "**Restriction**"); and

WHEREAS, the Restriction limited the sale or transfer of Lots, as that term is defined in the Restriction, until such time as an instrument is recorded by the Village of McFarland in the Dane County, Wisconsin Register of Deeds office, approving the sale or transfer of said Lots; and

WHEREAS, the Village of McFarland approves the sale or transfer of the Lots described in Exhibit "A", attached hereto and incorporated herein by reference.

NOW, THEREFORE, it is agreed by the Village of McFarland, that the Restriction shall be and hereby is terminated as to the Lots described in Exhibit "A", attached hereto and incorporated herein by reference.

Dated this _____ day of _____ 2020.

VILLAGE OF MCFARLAND

By: _____

Print Name: _____

Print Title: _____

Approved As To Form:

Allen Reuter, Village Attorney

Record this document with the Register of Deeds

Name and Return Address:
Kevin J. Pape
D'Onofrio, Kottke & Associates, Inc.
7530 Westward Way
Madison, WI 53717

See Exhibit "A"
(Parcel Identification Number)

STATE OF WISCONSIN)
) SS.
COUNTY OF DANE)

Personally came before me this _____ day of _____, 2020, the above-named _____, to me known to be the person who executed the foregoing instrument and acknowledged that they executed the same for the purposes therein contained.

Notary Public, Dane County, WI
My Commission Expires:

DRAFTED BY:
Kevin J. Pape

EXHIBIT "A"

Legal Description – Juniper Ridge – Phase 9

Lots 57-69, Juniper Ridge, recorded in Volume 60-041A of Plats on pages 203-208 as Document No. 5172418, located in the NW 1/4 and the SW 1/4 of the SE 1/4 of Section 35, T7N, R10E, Village of McFarland, Dane County, Wisconsin.

57	0710-354-2097-1
58	0710-354-2108-1
59	0710-354-2119-1
60	0710-354-2130-1
61	0710-354-2141-1
62	0710-354-2152-1
63	0710-354-2163-1
64	0710-354-2174-1
65	0710-354-2185-1
66	0710-354-2196-1
67	0710-354-2207-1
68	0710-354-2218-1
69	0710-354-2229-1

Memorandum

TO: Plan Commission Members
 FROM: John Griffith, Code Enforcement Officer
 DATE: March 9, 2020
 RE: February Property Maintenance Report

<u>ADDRESS-OWNER OR TENANT OCCUPIED (JANUARY AND PRIOR LETTERS/CONTACT)</u>	<u>VIOLATION & DATE LETTER DELIVERED/SENT:</u>	<u>STATUS /DATE</u>	<u>DATE RESOLVED OR NEXT STEP</u>
5201 Bremer (Heilskov)	Fence installed higher than permit allows, and installed in public right of way – referred to building inspector- 12/2/19	Letter sent 12/2/19; 12/9/19 owner agreed to correct by 12/31/19; 12/30/19 -Owner req. extension to correct – given until 1/20/20	Follow up on 1/21/2020
5114 Ridge Road (Washa Const)	Work done without permit 1-21-2020	Permit applied for	No further action
5905 Smith Ridge Road (Hemp) rental	Junk/brush/trailer on lawn (9/9/19)	Second notice to correct sent 10/13/19	Not corrected 11/1/19, 2/6/2020 – ticket issued – Court date 2/25/2020
5905 Smith Ridge Road (Hemp)- rental	Expired plates on vehicles stored on site (9/30/19)	Second letter to owner sent 10/30/19	Not corrected 11/1/19, 2/6/2020 – ticket issued. Court date 2/25/2020
5603 Wimbledon Ct. (Dimeo)	Inoperable/ unlicensed vehicles, trash/debris on site 1.9.2020	Letter sent 1-9-2020	Checking weekly
5300 Marshwoods Road (Krenz)	Improper firewood storage	Owner given additional 60 days to move	Follow up - 11/21/19 Under review 12-9-19. Court fine \$89.80

5915 Exchange St. (Byrne)	Tuck pointing	Letter sent to owner- 10-22-18 No response from owner	No further action has been taken
5506 Valley Drive (Owner – Vogel)	Excessive # vehicles, vehicles on lawn, non-running/licensed vehicles 1.15.2020	Letter sent 1-16-2020	Citations issued 2/24/2020
6062 E. Linden Parkway (Johnson)	No building permit – 12/6/19	Letter from Building Inspector	
6403 Crestwood Circle(Dodge)	Unlicensed/inoperable vehicles on property (letter sent 9/23/19) no response or action	Second letter sent 10/22/19	Possible citation to be issued 11/22/19. Citation issued court date – 12-10-19
6139/41 Exchange Street (Rental W. Paul)	Failure to clear snow off sidewalks 1.21.2020	Letter sent 1-21-2020	Cleared by landlord 1-24-2020
6221 Renee Ct – (Crockett)	Business without a permit in residential area, sign without a permit, debris in yard. 1.23.20	Letter sent 1-21-2020	Home occupancy permit applied for, sign removed.
6217 Renee Court (Couey)	Vehicle parked in front yard lawn 1.21.20	Letter sent 1.21.2020	Follow up 2.24.2020
6119 Johnson St (Deyoe)	Min. maintenance accumulated debris on property, non-running vehicles, vehicles being used as storage	Letter sent 1.23.2020	Citations issued 2.27.2020 Court date 3.24.2020
Siggelkow Road – new construction project – BizyLou – Lou Chermay	Failure to clear snow off sidewalks 1.30.2020	Owner contacted, walks cleared	No further action
5320 Autumn Lane (owner) Cullum-Powers	Failure to clear snow off sidewalks 1.27.2020	Letter sent	Cleared 1.30.2020
5323 Autumn Lane (rental) Hansen	Failure to clear snow off sidewalks 1.27.2020	Letter sent	Cleared 1.30.2020
4810 & 4816 Farwell St. (rentals) Dakota RE	Failure to clear snow off sidewalks 1.27.2020	Letter sent	Cleared 1.30.2020
Farwell Street – construction site –	Failure to clear snow off sidewalks 1.27.2020	Owner contacted, walks cleared	No further action

Lakestone Properties			
4802 Burma Road (rentals) Burma Woods LLC	Failure to clear snow off sidewalks 1.27.2020	Letter sent	Cleared 1.30.2020
5619 Alben Avenue (rental) Hund/Wexler	Failure to clear snow off sidewalks 1.27.2020	Letter sent	Cleared 1.30.2020
Sugar River – new subdivision	Failure to clear snow off sidewalks 1.27.2020	Owner contacted, walks cleared	No further action
6069 E. Linden Parkway (Owner) Devous	Failure to clear snow off sidewalks 1.29.2020	Letter sent	Cleared 1.30.2020
6139/41 Exchange Street (Rental) W. Paul	Failure to clear snow off sidewalks 1.21.2020	Letter sent	Cleared 1.30.2020

<u>LETTERS /CONTACT IN FEBRUARY:</u>	<u>VIOLATION AND DATE OF CONTACT/POSTING/ LETTER SENT:</u>
<u>ADDRESS/ OWNER/RENTAL</u>	
4711 Farwell Street – Spartan Bowl	Sign in disrepair – letters & emails sent – order to remove sign.
4905 Farwell street – McCabe	Trailer on lawn – letter sent
5506 Valley Drive - Vogel	Multiple vehicles on lawn & property letter sent
4831 Larson Beach Road	Sign w/out permit
4902 Highland Drive – Lohaus	Tree blocking sightline
5305 Lani lane	Trailer on lawn
6018/6020 Brush/debris stored on lawn – Elmer (rental)	Letter to correct sent
5619 Alben Avenue – Hund/Wexler (rental)	Failure to clear snow off of sidewalks
6009 Exchange St. - Beck	Failure to clear snow off of sidewalks

6013 Exchange St- Fiocchi	Failure to clear snow off of sidewalks

Memorandum

To: Plan Commission

From: Andrew Bremer, AICP
Community & Economic Development Director

Date: March 11, 2020

Re: February Community Development Department Highlights

YTD New Construction Building Permits

	2019	5-Year	4-Year	3-Year	2020	2019
Building Permits (new construction)	Actual	Average	Average	Average	Actual YTD	Actual YTD
SF	67	52	60	66	11	10
MF	8	3	4	4	0	1
Com	1	3	3	3	0	0
Total	76	58	67	74	11	11

25 total building permits issued in February, including seven new home permits.

YTD Department Revenues

Community Development Department, Annual Revenues									
Account		2019 Actual	5-Year Average	4-Year Average	3-Year Average	2020 Budget	2020 Actual YTD	YTD % of Budget	2019 Actual YTD
44300-101	Building Permit	\$ 107,314	\$ 82,718	\$ 94,578	\$ 108,402	\$ 100,000	\$ 10,010	10%	\$ 7,868
44300-102	HVAC Permit	\$ 31,034	\$ 31,097	\$ 36,095	\$ 40,128	\$ 45,000	\$ 6,048	13%	\$ 4,118
44300-103	Plumbing Permit	\$ 37,370	\$ 33,420	\$ 38,326	\$ 42,774	\$ 45,000	\$ 3,814	8%	\$ 3,772
44300-104	Electrical Permit	\$ 47,101	\$ 41,239	\$ 47,273	\$ 52,637	\$ 50,000	\$ 5,464	11%	\$ 4,453
44300-105	Sprinkler Fee	\$ 2,722	\$ 2,594	\$ 3,223	\$ 4,297	\$ 4,000	\$ 1,775	44%	\$ 50
44300-106	Fire Alarm Inspection Fee	\$ 4,515	\$ 2,489	\$ 3,111	\$ 4,148	\$ 2,000	\$ 55	3%	\$ 2,245
44300-108	CD Occupancy Inspection Fee	\$ 8,450	\$ 7,870	\$ 9,250	\$ 9,483	\$ 10,000	\$ 850	9%	\$ 750
44900-000	Misc. CD Permit Fees	\$ 109,484	\$ 123,997	\$ 143,617	\$ 165,481	\$ 100,000	\$ 19,085	19%	\$ 14,657
46800-000	Community Development Fees	\$ 9,777	\$ 9,753	\$ 9,840	\$ 9,188	\$ 10,000	\$ 552	6%	\$ 1,575
47210-000	City - Building Inspection	\$ -	\$ 22,435	\$ 19,456	\$ 13,546	\$ -	\$ -	0%	\$ -
	Total Revenue	\$ 357,767	\$ 357,613	\$ 357,574	\$ 450,085	\$ 366,000	\$ 47,653	13.0%	\$ 39,487
	Percent Change	-30.3%	x	x	x				

* As of 02/29, 16.7% through calendar year

Summary of Department Activities:

- Village Board action on February Plan Commission recommendations:
 - Approved Ordinance 2020-08, ordinance for park impact fees.
 - Approved submittal of an application to CARPC to expand Urban Service Area.
 - Approved annexation of Skaalen property along CTH MN.
- Status update of larger development projects previously approved:
 - Building construction for Phase 1 of Ezra project on Terminal Drive is on-going. Work has begun on interior projects.
 - 4719 Farwell Street. An early start permit for footings and foundation work has been issued.
- Community Development Authority activities:
 - 4313 Triangle Street (TID #3). Completed Phase 1 Environmental Site Assessment. Closed on property on March 9th.
 - 5407 Bashford Street (TID #4). Awaiting response to an offer to purchase.
 - 5906 Main Street (TID #4). Issued letter regarding request for fire inspection of vacant building.
- Meetings & Conferences:
 - February 3rd, met with Lakestone Properties to discuss future PUD Detailed Plan application for Phase 2 of 4719 Farwell Street redevelopment. Anticipate application review in May.
 - February 6th Chamber of Commerce Annual Dinner.
 - February 10th Committee of the Whole meeting.
 - February 10th Village Board meeting.
 - February 11th meeting with Veridian and Village Engineer to review revised concept plan for Utterback property.
 - February 14th meeting with potential developer for 4313 Triangle Street.
 - February 17th Plan Commission meeting.
 - February 18th Chamber Board meeting.
 - February 24th meeting with Veridian and Fire Department to discuss concept plan for Utterback property.
 - February 24th Village Board meeting.
 - February 26th meeting with resident to coordinate potential sale of former Well #2 property on Bremer Road for a new single-family residence.
- Other Department Projects/Initiatives/Activities:
 - Continued refinement of application for Urban Service Area Amendment for planned east-side growth area. Coordination with landowners, developers, Village and CARPC staff.
 - Continued work on an updated Village Sign Code.
 - On-going community outreach coordination related to Census 2020. Residents should receive postcards from the US Census in Mid-March with instructions on how to complete the survey.
 - Update of Department website to include [Economic Development page](#).
 - Launched new [Interactive Village Zoning Map](#). Linked through Department website. Includes TID boundaries, bike and pedestrian facilities.

Look ahead to April Plan Commission Agenda Items:

- 5121 Glen Road. CSM to combine two residential lots.
- Public hearing on a Zoning Code text amendment to add “pet training and grooming services and related accessory retail sales” as a conditional use in the C-P Commercial Park District.
- Discussion of proposed amendments to the Sign Code.