

PLAN COMMISSION

Monday, March 18, 2019

7:00 PM

McFarland Municipal Center
Community Room

AGENDA

1. CALL TO ORDER
2. PUBLIC APPEARANCES.
3. APPROVAL OF MINUTES.
 - a. Review and possible approval of the February 18th draft Plan Commission minutes.
4. BUSINESS.
 - a. Public Hearing - Review and possible recommendation to the Village Board regarding a request by developer Ezra Properties LLC to approve a Detailed Development Plan for Phase 1 and a General Development Plan for Phases 2,3, & 4 for 4703 Terminal Drive, McFarland, WI. Ezra Properties LLC plans to construct a 3 story 27 unit multi-family apartment building on Phase 1. Phases 2 & 3 will each have one office building. Phase 4 will consist of a 27-unit 3-story multifamily apartment building. The site is approximately 10.5 acres and currently owned by RCA Trust.
 - b. Public Hearing - Review and possible recommendation to the Village Board on a request by RCA Trust regarding Ordinance No. 2019-03. Rezoning lands in the Village of McFarland at 4703 Terminal Drive Parcel A to be rezoned from Commercial Highway (C-H) to Planned Development District Detailed Plan Approved (PDD-DPA) and Parcel B to be rezoned from Highway Commercial (C-H) to Planned Development District General Plan Approved (PDD-GPA), to accommodate a Planned Development by Ezra Properties LLC.
 - c. Public Hearing - Review and possible recommendation to the Village Board regarding a request by RCA Trust LLC to approve a 4-Lot Certified Survey Map (CSM), property located at 4703 Terminal Drive, McFarland, WI. to accommodate a Planned Development by Ezra Properties LLC .
 - d. Review and possible action regarding a Site/Design for a proposed 1200 sq.ft. addition to McFarland Liquors located at 4716 Farwell Street. Property is located in TIF #5 and is zoned General Commercial (C-G).
 - e. Review and possible action on a Detailed Plan for the development of Lot 20, Woodland Commons with a 3 unit multi-family structure
 - f. Review and possible action on Resolution 2019-06 Plan Commission resolution approving Detailed Plan for the Development of Lot 20 Woodland Commons.
 - g. Discussion on process and timetable regarding changes to the zoning code relating to conditional uses.
5. STAFF REPORTS

- a. Highlights and updates
- b. Property maintenance report

6. SCHEDULE NEXT MEETING DATE.

7. ADJOURNMENT.

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related to Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the McFarland Municipal Center at (608) 838-3153 or cassandra.suettinger@mcfarland.wi.us.

Minutes

Working Draft Plan Commission

Meeting

February 18, 2019

Members Present: Cathy Kirby, Bruce Fischer, Brad Czebotar, Dan Kolk, Tom Rogers, Peter Bloechl-Anderson

Members Absent: Jeff Sorenson

Staff Present: Pauline Boness, Matt Schuenke, Cassandra Suettinger (arriving at 7:15p.m.)

1. **CALL TO ORDER**

Czebotar called the meeting to order at 7:00 p.m.

2. **PUBLIC APPEARANCES - None**

3. **APPROVAL OF MINUTES**

a. **Review and approval of draft Minutes from the January 22, 2019 Plan Commission meeting.**

Czebotar called the minutes approved by unanimous consent.

4. **BUSINESS:**

a. **Public Hearing Review and possible action on a request by Elaine Urso, LLP for a 2Lot Certified Survey Map (CSM), to create a buildable lot on Outlot 9, Parkview Estates, McFarland, WI. The properties are zoned R1, Single Family Residence.**

Czebotar opened the public hearing at 7:03 p.m. with no one wishing to speak the public hearing was closed at 7:03.p.m.

Kevin Urso – Elaine Urso LLP – Originally outlot 9 was going to be for storm water and possible well site. The well site has moved to lot 87. They are wishing to split outlot 9 for one parcel to be for the stormwater flow through and the other will be single-family residence.

Kirby move to approve a request by Elaine Urso, LLP for a 2 Lot Certified Survey Map (CSM), to create a buildable lot on Outlot 9, Parkview Estates, McFarland, WI. The properties are zoned R1, Single Family Residence. Fischer seconded the motion. Motion carried 6-0

b. Public Hearing Review and possible action on a request by Richard L. Grams (AMBR II, LLC) for a 2 Lot Certified Survey Map (CSM), at 4012 and 4016 Terminal Drive, McFarland, WI. The properties are zoned CH Commercial Highway.

Czebotar opened the public hearing at 7:06 p.m. with no one wishing to speak the public hearing was closed at 7:06 p.m.

Boness summarized Grams is looking to re-subdivide to make the lot more marketable. The storage building on the rear of the current property will need to be removed when sold, as you cannot have one property on two parcels. The current former home on the site is a business. The property will remain CH – Commercial Highway.

Kirby moved to approve a request by Richard L. Grams (AMBR II, LLC) for a 2 Lot Certified Survey Map (CSM), at 4012 and 4016 Terminal Drive, McFarland, WI. The properties are zoned CH Commercial Highway. Kolk seconded the motion. Motion carried 6-0

c. Review and possible action regarding a Site/Design review requested by Risen Savior Lutheran Church, for a building addition at 5001 Holscher Road. Property is zoned General Commercial (CG).

(Unidentified male) stated Risen Savior church would like to add an approximately 4800 sq.ft. addition, which would include some classrooms, kitchen, rest rooms, and fellowship hall. The proposed exterior will match the current one. The storm water ponds will hook up to the ones in Juniper Ridge. With the improvement, they will hookup to the gravity sewer. The driveway would remain where it is located off Holscher Road and there will be no changes in signage at this time. They will not be expanding the parking lot at this time. Kirby inquired about the sightline on Holscher Road, would there be any effort to remove or lower it, even 3 – 4 feet would help. Schuenke advised he would talk to the Village Engineer to look at the grade, as the Village owns part of the area.

Czebotar moved to approve a site/design review requested by Risen Savior Lutheran Church, for a building addition at 5001 Holscher Road. Property is zoned General Commercial (CG). Kirby seconded the motion. Motion carried 6-0.

d. Discussion and recommendation to the Public Safety Committee regarding a request from the McFarland House Cafe to expand its licensed alcohol premise to include a 1,300 square foot outdoor drinking area for the licensing period of July 1, 2019 through June 30, 2020.

Shaun O'Hearn - 5205 Linden Parkway – owner of McFarland House Café. O'Hearn is looking to expand into the garden area, which is currently used as

outdoor seating. He currently offers outdoor seating in the front and back, he is looking to expand this to offer beer and wine. He feels his property would be a good place to host events. There is a second building on the site, connected underground. He would put the refrigeration for the food in the basement of the second building, as it is the only area tall enough to accommodate walk-in coolers. The county indicated his food license would cover both buildings. O'Hearn considers them as one with a patio in the middle; he will have to work out the details for the food preparation. Before he puts money and effort into drawing up a design, he would like to know that he could serve alcohol outdoors.

Kirby stated she thinks outdoor seating is a good idea, however parking is a big issue, and there simply would not be enough parking. Currently the Café guests use the public parking in the area. The Chief of Police indicated in his letter the needed parking spaces for this type of venture do not exist even if you used the public parking lot. Currently the public parking is used for the Larson House, the gazebo, a variety of current public events that go on throughout the year. Kirby inquired of O'Hearn where would he come up with the parking for this proposal. O'Hearn replied the he does not consider it as 100 people inside and 100 people outside, he does not feel you would have something like that, if there is something going on outside all the people would be outside. Currently if he had to add parking, they would lose the garden. O'Hearn feels they can use side streets, the library parking lot, residential streets. Kirby responded those are public streets paid for with tax payer money, even with any business they are required to come up with a specific amount of parking on their own, even if you could come up with 30 – 40 instead of the 183 required it would help. Unfortunately, O'Hearn is relying on all public parking for his business; it is unfair to ask the public to pay for parking for anyone's business. Those spaces belong to all business in the downtown area. O'Hearn stated he understood those concerns, but he feels he is creating a walkable downtown where people will be walking or biking to his events, he does not feel people from out of McFarland will be driving to the Café. Kirby replied that might work in the summer, but, for a year round business people will not be walking or biking year round. Bloechel-Anderson agreed the parking is a concern but if this would only be open primarily in the summer, when you can bike or walk; there will not be as much of an issue. Kirby responded what do you tell the other businesses who rely on this parking, and when the Police Chief states that they feel this is an issue, you cannot just ignore it because you want something. Bloechel-Anderson inquired about the side area shown off Long Street, who owns it; it appears to have a lot of wasted space. O'Hearn replied he owns and no one parks back there except himself. Bloechel-Anderson felt developing that into parking would help. Czebotar inquired how do you access that area, how large is it. O'Hearn replied it is wide enough to add some stalls on both sides; he would not like to have to do that as it takes away from the charm of the area. Kirby replied with creative landscaping you could handle that issue, and at least you would be creating something out of what appears to be unused space. O'Hearn did not feel he should be made to blacktop his yard when other local business did not add parking. Kirby replied they

are two different types of business, and what O'Hearn is proposing would be generating sheer volumes more traffic, and vehicles. He agreed parking is already an issue in the area. Rogers inquired what percentage of his customers walk or ride a bike? O'Hearn advised he could not give an accurate count. He feels he is proposing something, which would bring hundreds of people out at night. As the downtown is, only two blocks he feels this would bring life to the area.

Bloechel-Anderson asked if this is just for the consumption of alcohol or serving of alcohol. O'Hearn responded he is not allowed to have a bar outside, he would have to serve it inside, he is hoping to be able to open the entire wall. Kirby asked if he is intending to do cooking outside as shown on the submittal. O'Hearn replied it is an idea, he has not checked with the health department. He is also considering collaborating with different food trucks weekly and they would park by the patio and serve food. O'Hearn stated the reason he is here for conceptual review, as he does not want to invest a lot of his money into this proposal until he knows the license will carry. He feels he does not get many repeat customers with coffee whereas people will sit, stay, and have a few beers. Kolk asked what the maximum capacity for the deck area is. O'Hearn stated he was told the building inspector it is 1 person per 10 sq.ft. the project is a total of 1300 sq.ft. O'Hearn felt some of the area would have a serving station. While weddings may be an option, he feels he will mainly be focusing on birthday, retirement, anniversary type parties. Kolk asked realistic between the interior and the deck what would be his target capacity. O'Hearn stated the first floor seats 51 people, and he feels he would have 80 or so people outside. Kolk felt it would be reasonable to feel that not all people would have individual cars; there will be conflicts with the library, tavern and other businesses.

Kolk inquired about the sound issue, it is hard to have events like those proposed without music, and how would he handle that concern. O'Hearn replied he is not allowed to have music and is sandwiched between a lumber company and tavern and does not feel he would be making any more noise than his neighbors. O'Hearn feels it would be great to have musicians, and as long as he housed it inside and did not project over specified decibels, he would be able to handle it that way. He would love to have live entertainment outside.

Kirby inquired are they still going to have an apartment on this property. O'Hearn replied yes, and the current tenants are fine with the proposal.

Fischer inquired if he is looking to change the food operations. O'Hearn replied yes this proposal is going to be geared to the 4-9 p.m. customer. He would be changing the menu as his current menu he did not feel would appeal to a dinner crowd.

Fischer asked if O'Hearn intended to have the green house open during the winter months. O'Hearn stated he would anticipate having it open. He would probably start with special events and if needed, would be open additional hours and nights

to cover costs. O'Hearn stated he does plan on going through the TID process with his proposal.

Czebotar inquired if the size of the outdoor deck is contingent upon doing the second and third floors. O'Hearn was not sure on the process. Suettinger informed Commissioners it all has to take place in order to achieve the 1300 sq.ft outdoor area. O'Hearn stated he would be using the second and third floors for meeting space and flex space. He would be serving food in a breakfast buffet style on platters for meetings etc.; people would not be seated and placing orders. Czebotar asked of Suettinger if there was anything else she would be concerned with or that would have to be met for this request. Suettinger replied it needs to be in compliance with the ordinance and the only recommended conditions are those listed and those which you would like to make as a condition. Kirby inquired for example we could make it contingent upon a certain number of parking stalls. Suettinger replied yes, part two of the ordinance allows for you to make it conditional upon whatever conditions you feel fit, if you so choose. Kirby asked how many additional parking spaces he could put into the alleyway. O'Hearn felt if he put in a retaining wall along the lumberyard he could likely get 10 – 12 parking stalls. He receives all delivery through the driveway in the front of the café.

Czebotar asked for clarification, are they just making a recommendation to the Public Safety Committee for expansion of the license. Suettinger reviewed the way the ordinance is set up Public Safety will review and can make a recommendation to the Village Board, the Village Board can ultimately make approve with conditions.

Kolk moved to recommend to the Public Safety Committee regarding a request from the McFarland House Cafe to expand its licensed alcohol premise to include a 1,300 square foot outdoor drinking area for the licensing period of July 1, 2019 through June 30, 2020. Bloechel-Anderson seconded the motion.

Czebotar inquired about any conditions needed and reviewed the items listed in packets recommended by the Clerk-Treasurer. Suettinger summarized this is your opportunity to give instruction to her as items which needed to be met in order for the license to be issued. Kirby questioned of Commissioners did they want to address the issue of parking. Kolk felt the other committees would address that. Kirby felt if it is a concern of the Plan Commission they should say as much when they have the opportunity. O'Hearn felt the Village Board would voice any concerns. Rogers questioned if parking is something, which would need to be explored, or, should there be a number of spaces specified. Commissioners discussed the parking issues.

Bloechel-Anderson recommended to the Public Safety Committee regarding a request from the McFarland House Cafe to expand its licensed alcohol premise to include a 1,300 square foot outdoor drinking area for the licensing period of July 1,

2019 through June 30, 2020 to include a condition to explore their adjacent southeast lot for parking for the expansion as proposed. With the condition of approval of the detailed site plan, inspection of the approval of the McFarland Fire Department prior to the issuance of the occupancy permit and the issuance of the occupancy permit from the Building Inspector. Kirby seconded the motion.

Czebotar called for the acceptance of the motion to be considered. Motion to be considered carried 6-0.

Czebotar called the vote on the amended motion. Motion carried 6-0.

e. Review and possible recommendation to the Village Board on a Resolution amending the McFarland Comprehensive Plan future land use map regarding 4703 Terminal Drive from industrial to mixed-use flex commercial.

Czebotar summarized the conceptual plan was looked at last month. To move forward with the project the land use needs to be changed to mixed-use flex commercial.

Kirby stated there is a Comprehensive Plan for a reason, and she does not feel we should change an industrial corridor for apartments. There is a limited amount of industrial sites in the Village. If this proposal came with an actual tenant willing to move there, she may be more in favor. What is taking place now is just adding an apartment building, she does not understand why the rush for spending \$950,000. She does not feel the Village should commit that amount of money on something which may end up being only an apartment building. There is no signed tenant, just the idea that one may come. You can always build an apartment on the site, you cannot always put industrial there if you change the zoning. There is no guarantee there will be a business on the site. Fischer inquired how long the property has been vacant. Boness replied the property is not vacant, there is a residence on it and it has not been on the market for sale. Czebotar stated he agrees with Kirby to an extent, but in order for Quam to move forward with the project he needs this to be approved as one of the steps. Czebotar advised he is not in favor in moving forward with a project that only include an apartment building; it must at least include the office space. Czebotar advised what he would be comfortable with is moving to change the land use map from industrial to mixed-use flex commercial contingent on a date that the plan including office buildings that the Village Board decided upon comes forward. Czebotar stated that way it would remain industrial if Quam is not able to come forward with a tenant, as there are other places in the Village for apartment buildings. Commissioners discussed the options of the proposal.

Quam summarized his proposal, and agreed it is a complicated proposal. He together had the Village Board support for his dream for this property after the last Board meeting. He does have the ability to move forward with the apartments, but to date he does not have a commitment for the office space. He can only guarantee the apartments at this time; he cannot guarantee an office tenant. He perceives this as if he cannot get the commitment for the office space, he would not be able to move forward with the project. He feels as a developer this is costing him money as the time moves on. He indicated he has had some negative feedback from commercial brokers that this may not be such a great area for commercial offices. Quam does feel this would be a good site for apartments, even if he cannot put in the commercial aspect. He is supposed to close on July 15, 2019 and if there were too great a risk to him, he would have to walk away from the project. Czebotar inquired based on the feedback from the Village Board, is this something, which should be delayed, until the March meeting to see if the Village Board is still in the same frame of mind? Quam replied he can delay things, but he does have deadlines, and money, which he has to put out as deadlines approach. Kirby asked for clarification, Quam is looking to build the apartment now, but at this time, he does not have a signed contract for a commercial tenant. Quam replied he feels he has a prospective tenant, but they are looking at other properties and locations. He does not have a signed contract with them. Kirby inquired how would this play into the \$950,000. Schuenke replied the application process set certain terms and amounts, the revising of the Comprehensive Plan is not something, which happens quickly. This is simply to start the process, this is not changing the land use, and you have to go through a statutory process. Boness summarized of Czebotar concern, you cannot do an approval process in that way as the office portion is possibly 4 – 5 years away. Once the apartments are built, you cannot take the approval away. You can put a date for when the general plan and detailed plan for Phase 1, just the apartments has to be approved by. Commissioners disused the pros and cons of moving this forward, and what the best use of this site would be.

Czebotar moved to recommend to the Village Board on a Resolution amending the McFarland Comprehensive Plan future land use map regarding 4703 Terminal Drive from industrial to mixed-use flex commercial. Fischer seconded the motion. Motion carried 5-1 with Kirby voting nay.

f. Discussion and possible action on the 2019 Plan Commission application as revised.

Boness summarized the changes as request by Commissioners at the prior meeting. This will be part of the package someone would receive when they want to appear before the Plan Commission as part of a condition use application. Commissioners discussed the changes and indicated they would like paragraph 3 to read “....regulations such as but not limited to....”

Czebotar moved to approve the 2019 Plan Commission application as revised. Kirby seconded the motion. Motion carried 6-0.

g. Discussion and recommendation to the Village Board regarding the formation of a subcommittee to address needed changes to the zoning code relating to conditional uses.

Czebotar reviewed the idea is to form a small subcommittee to review the changes and bring the recommended changes back to the Plan Commission rather than going through line by line at a meeting. They will try to complete this in the next few months.

Czebotar moved to recommend to the Village Board the formation of a subcommittee to address needed changes to the zoning code relating to conditional uses. Rogers seconded the motion. Motion carried 6-0.

h. Discussion term expiration of Plan Commissioners.

Commissioners whose terms are expiring in 2018 are Czebotar, Kolk, Kirby and Bloechl-Anderson.

5. STAFF REPORTS

- a. Highlights and updates – no comments
- b. Property Maintenance – no comments.

6. ADJOURNMENT

Motion to adjourn by Kolk, seconded by Kirby. Motion carried. Meeting adjourned at 8:42 p.m.



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Public Hearing - Review and possible recommendation to the Village Board regarding a request by developer Ezra Properties LLC to approve a Detailed Development Plan for Phase 1 and a General Development Plan for Phases 2,3, & 4 for 4703 Terminal Drive, McFarland, WI. Ezra Properties LLC plans to construct a 3 story 27 unit multi-family apartment building on Phase 1. Phases 2 & 3 will each have one office building. Phase 4 will consist of a 27-unit 3-story multifamily apartment building. The site is approximately 10.5 acres and currently owned by RCA Trust.

PREVIOUS ACTION:

ISSUE SUMMARY:

Ryan Quams Ezra Properties is proposing a four-phase development of 10.5 acres at 4703 Terminal Drive. He is seeking approval of the General Development Plan for phases 2-4 as well as the Detailed Development Plan for Phase 1. The CDA did review this project, as it is within TID #5 and recommended approval.

The street and utility plans were reviewed at a joint meeting of Public Works and Public Utilities and approval was given subject to review and approval of the Village Engineer of any necessary changes as outlined in his review letter of March 1, 2019

See the sheets reg. General & Detailed Plan Content as well as Standards for General and Detailed Plans for staff comments.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:



ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommendation: Approval to the Village Board conditioned upon approve by staff of revised landscaping, street, utility, stormwater and erosion control plans. Development Agreement approved by the Village Board.

ATTACHMENTS:

1. 3.18.19 PDD 4703 Terminal Dr

Planned Development District

Statement of Owners Intent,
General Plan for Staged
Development, and Detailed
Plan for Phase 1 Development

RECEIVED

FEB 14 2019

VILLAGE OF McFARLAND

RECEIVED

FEB 14 2019

VILLAGE OF McFARLAND

Project:
4703 Terminal Drive Development

Owner:
Ezra Properties, LLC
Attn: Ryan Quam

Statement of Owners Intent

It is the intent of the Owner to develop the lands controlled by the Owner as a Mixed Use development in general conformance with the TIF plan. The purpose of this submittal is to seek the following Village approvals:

- 1) General Plan for Staged Development for all controlled lands;
- 2) Detailed Plan for Phase 1 Development;
- 3) Zoning amendment creating the Planned Development District;

Legal Description

The lands controlled by the Owner address is 4703 Terminal Drive and the legal description is as follows:

All that part of Outlot One (1), Assessor's Plat No. 4, Town of Blooming Grove, in the Village of McFarland, Dane County, Wisconsin lying west of the west right-of-way line of relocated U.S. Highway No. 51, except that part thereof conveyed by warranty deed recorded as document no. 4408230

And all that part of the north $\frac{1}{2}$ of the northwest $\frac{1}{4}$ of section 34. Township 7 North, Range 10 East, in the Village of McFarland, Dane County Wisconsin, lying between the centerline of Terminal Drive and the west right-of-way line of relocated U.S. Highway No. 51, except that part thereof conveyed by warrantee deed recorded in volume 694 of deeds, page 473, as document no. 981101.

Existing Site

The Existing Site Plan is included as sheet C-1 and site features are as follows:

- 1) 10.54 total acres;
- 2) Currently zoned Industrial without an existing house and six storage buildings.
- 3) Sloping with 82 feet of fall from the southeast property corner to the creek crossing the northwest portion of the property.
- 4) U.S. Highway 51 is adjacent to the east;
- 5) Existing storage, contractor storage/office, and commercial building is adjacent to the south;
- 6) Existing Oil Terminal is adjacent to the north;
- 7) Terminal Drive and mini-warehouse and refrigerated storage are adjacent to the west;
- 8) Public sanitary sewer and water main is available beneath Terminal Drive;

Description of General Plan for Staged Development

The General Plan proposes the development of the land with four buildings and associated drive aisles, parking lot, and regional ponds as shown on the General Development Plan included as sheet C-2. The buildings and site layout are described as follows:

- 1) Phase 1 Apartment Building
 - 27 unit, three story apartment building which will be described in the Detailed Plan for Phase 1 Development portion of this submittal;
- 2) Phase 2 Office Building
 - Future two story office building
 - Approximately 20,000 square feet of leased office space;
 - Approximately 11,130 square foot footprint;
 - Approximately 26 underground parking stalls;
 - Approximately 160 feet long;
 - Approximately 70 feet deep;

- 3) Phase 3 Office Building
 - Future three story office building
 - Approximately 30,000 square feet of leased office space;
 - Approximately 11,130 square foot footprint;
 - Approximately 26 underground parking stalls;
 - Approximately 160 feet long;
 - Approximately 70 feet deep;
- 4) Phase 4 Apartment Building
 - Future three story apartment building;
 - 27 units;
 - Approximately 30,000 square feet of leased office space;
 - Approximately 11,300 square foot footprint;
 - Approximately 29 underground parking stalls;
 - Approximately 175 feet long;
 - Approximately 70 feet deep;
 - Mix of 1, 2, and 3 bedroom units with individual washers and dryers and private balconies;
- 5) Certified Survey Map is included with the submittal
 - Lot 1 contains 2.52 acres for the proposed phase 2 office building;
 - Lot 2 contains 1.79 acres for the proposed phase 3 office building;
 - Lot 3 contains 5.27 acres for the proposed phase 1 and phase 4 apartment buildings and proposed shed and existing house;
 - Lot 4 contains 0.96 acres for the proposed dog park. Lot 4 is required because State of Wisconsin standards requires a lot division along navigable streams;
- 6) Site Layout
 - Approximately 164 above ground parking stalls are proposed to supplement the underground parking and to meet overall parking requirements;
 - Two regional detention ponds will meet rate runoff control, sediment control requirements and two infiltration ponds will meet infiltration requirements for all proposed impervious areas;
 - Approximately 0.65 acre dog park within the proposed perimeter fence with boardwalk access.
- 7) Tabulations
 - 50,000 approximate gross square feet of office space;
 - 66,780 approximate gross square feet of apartment space;
 - 54 approximate total number of apartment units;
 - 5.14 Dwelling Units / Acre (overall development site which is 10.54 acres)
 - 10.25 Dwelling Units / Acre (over Lot 3 which is 5.27 acres)
- 8) Schedule
 - Phase 1 27 Unit apartment building open on June 2020
 - Phase 2 Two-story office building open on October 2020
 - Phase 3 Three-story office building open on May 2024
 - Phase 4 27 Unit apartment building open on May 2025

Description of Detailed Plan for Phase 1 Development

A three story 27-unit apartment building is proposed as the first phase of development and the details are as follows:

- 1) The Site Plan is included as sheet C-3 with features as follows:
 - 11,300 square foot footprint;
 - 175 feet long;

- 70 feet deep;
 - 25 above ground parking stalls;
 - 29 below ground parking stalls;
 - The existing house and detached garage are to remain.
- 2) The Grading Plans are included as sheets C-4.1 and C-4.2 with features as follows:
- Apartment building underground garage entrance on the north side of the building;
 - Apartment building first floor doors on the east side of the building;
 - Apartment building garage doors on the north and west sides of the building;
 - Apartment retaining walls to accommodate the natural grade changes;
 - 40'x70' shed shown on sheet C-4.1;
- 3) The Exterior Elevations drawing is included
- Intended to meet the TIF goal to "emphasize high quality natural building wall materials such as brick, block, and glass";
 - Materials include single hung vinyl windows, aluminum railing systems, thin stone veneer, fiber-cement lap siding, and fiber-cement siding panels with reveal joints;
 - Roof materials include three dimensional asphalt shingles and standing seam metal accent roofs;
- 4) The Landscape and Lighting Plan is included as sheet C-6
- 5) The Utility Plan is included as sheet C-5
- The 8" sanitary sewer will connect to the existing sanitary manhole under Terminal Drive to provide 6" sanitary sewer laterals to serve the phase 1 through phase 4 buildings as well as the existing house.
 - The 8" water main will connect to the water main to the existing 10" water main under Terminal Drive to provide 6" water services to serve the phase 1 through phase 4 buildings as well as the existing house.
 - Inlets and catch basins will collect runoff from all impervious areas and storm sewer will carry runoff to the detention pond and infiltration pond;
- 6) The First Floor Plan is included
- 8,912 approximate apartments area;
 - Six two bedrooms;
 - Three one bedrooms;
 - Each unit will have individual washers and dryers and private balconies;
- 7) The Second Floor Plan is included
- 8,912 approximate apartments area;
 - Six two bedrooms;
 - Three one bedrooms;
 - Each unit will have individual washers and dryers and private balconies;
- 8) The Third Floor Plan is included
- 9,712 square feet apartments area (including lofts);
 - Four two bedrooms with loft;
 - Two two bedrooms;
 - Three one bedrooms;
 - Each unit will have individual washers and dryers and private balconies;
- 9) The Garage Floor Plan is included
- Tenant storage and mechanical rooms in the garage;
 - 29 parking stalls;
 - Dog washing station;

Planned Development District Standards and Responses

Section 62-67(4) lists the standards shall apply in the review of all general or detailed plans proposed for the Planned Development District. The standards and this submittal responses are as follows:

- a) *"The uses proposed in the planned development shall be in general conformance with the Village Comprehensive Plan".* This application includes a request for a Comprehensive Plan amendment to accommodate this proposed General Plan for Staged Development, and Detailed Plan for Phase 1.
- b) *"The establishment, maintenance or operation of the uses proposed in the planned development shall not substantially impair or diminish the use value and enjoyment of other properties within the neighborhood".* The proposed General Plan for Staged Development, and Detailed Plan for Phase 1 Development will not substantially impair or diminish the use value and enjoyment of the adjacent properties.
- c) *"Traffic circulation into and within the development shall be designed to minimize traffic congestion and traffic hazards, provide for the accessibility of all uses and buildings and also provide for the safe and convenient movement of both vehicles and pedestrians".* The proposed private driveway from Terminal Drive serving the proposed buildings is located directly across the street from the driveway serving the mini-ware house development to the west. The existing residential driveway will be removed. The 24' wide driveway will provide safe and convenient movement of vehicles and the adjacent sidewalk will provide safe movement for pedestrians.
- d) *"The planned development shall incorporate environmental design considerations, including the preservation of topography, trees and ground cover, streams and natural bodies of waters, and other significant natural features and control of erosion and runoff in accord with the Village Erosion Control and Stormwater Management Ordinances".* The proposed buildings are located a minimum of 75' from the delineated wetlands and the proposed grading limits are a minimum of 25' from the delineated wetlands. Stormwater runoff from the development will pass through detention ponds and infiltration ponds. The proposed development will include storm sewer, detention ponds, and infiltration ponds to meet Village Erosion Control and Stormwater Management Ordinances. Many large oak trees and cedar trees will be protected during construction in order to remain. The Landscape Plan will meet Village landscaping ordinances.
- e) *"The planned development shall provide for convenient and harmonious groups of buildings, structures and uses; and buildings shall be spaced and sited to ensure adequate safety, light, ventilation and privacy".* The four proposed buildings will be designed with similar materials and architectural style. The office buildings are located over 100 horizontal feet and 30 vertical feet from the apartment buildings to maximize privacy.
- f) *"In a planned development for residential use, adequate open space and recreational areas shall be provided in appropriate locations, and all public and common open spaces shall be designed and located to provide safe and convenient access to residents".* A 0.65 acre dog park with perimeter fencing and boardwalk access is proposed as shown on sheet C-2. The lawn and landscaped areas will provide a common open space that is safe and accessible to residents.
- g) *"Planned Development Districts housing impacts on community resources in the same manner as other new development, which are characterized by division of land into lots. In particular, the additional population density places demands upon Village parks and recreation areas. Accordingly, each dwelling unit newly established shall be required to dedicate land or provide fees in lieu of land, in accordance with the procedures set forth in Section 62-64".* The proposed 74

dwelling units will provide \$222,210 of fees-in-lieu of parkland dedication, \$23,653 in Park Improvement fees, and \$23,274 in Library Impact fees.

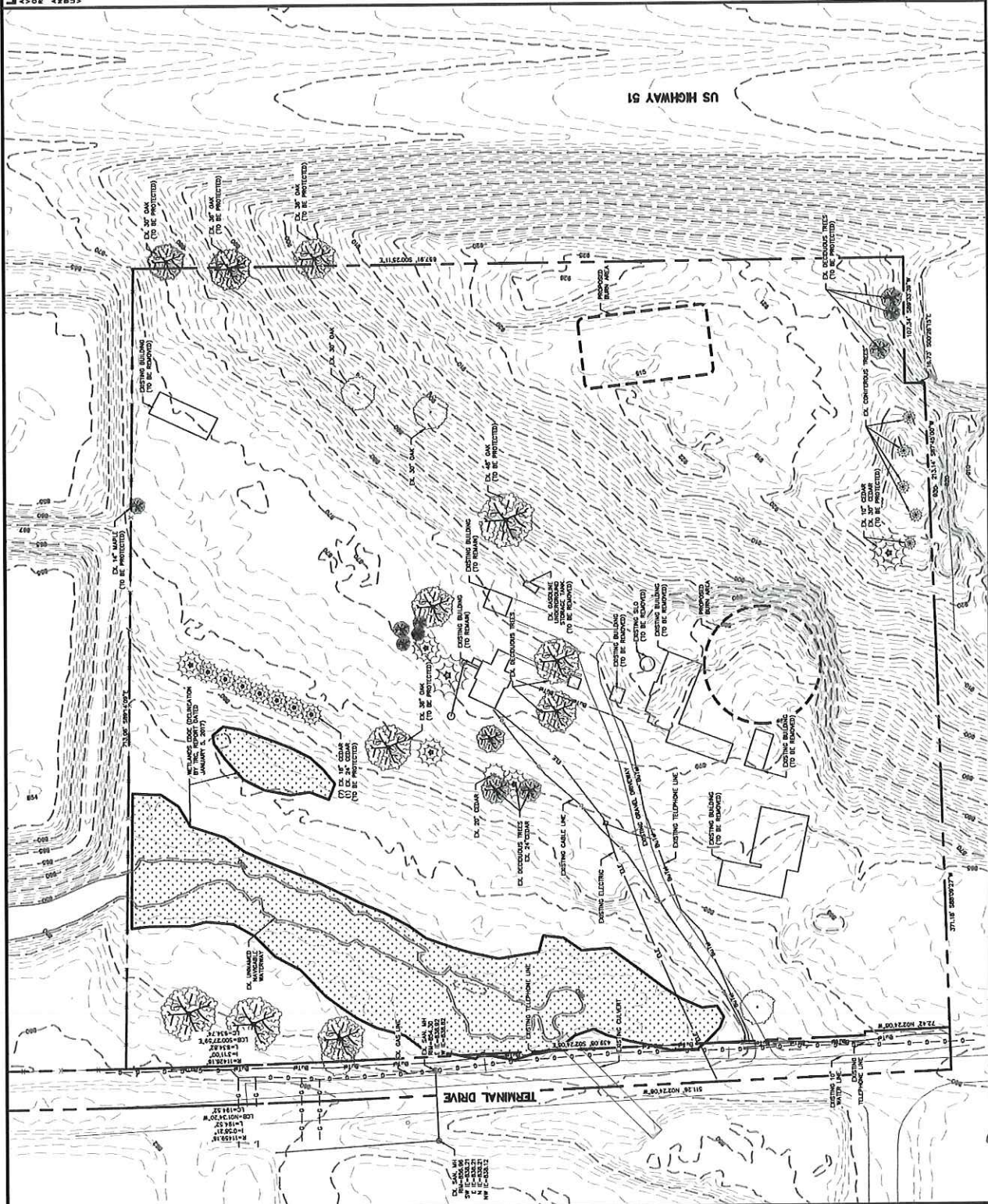
- h) *"The planned development will not adversely affect the ability of public agencies to provide school or other municipal services".* The planned development will not adversely affect the ability of public agencies to provide school or other municipal services
- i) *"The width of street rights-of-way, width of paving, width and location of street or other paving, outdoor lighting, location of sewer and water lines, provision for stormwater drainage or other similar environmental engineering considerations shall be based on a determination and the appropriate standards necessary to implement the specific function in the specific situation; provided, however, that in no case shall standards be less than those necessary to ensure the public safety and welfare as determined by the Village".* The constructions will meet Village and State requirements.
- j) *"The proponents of a Planned Development District application shall provide evidence satisfactory to the Village Board of its economic feasibility of available adequate financing and that it would not adversely affect the economic prosperity of the Village or the values of surrounding properties".* The applicant feels that this proposal will be a benefit to the Village and not adversely affect surrounding properties;
- k) *"The proponents of a Planned Development District shall submit a reasonable schedule for the implementation of the development of the development to the satisfaction of the Village Board, including suitable provisions for assurance that each phase could be brought to completion in a manner that would not result in an adverse effect upon the community as a result of termination at that point".* The anticipated development schedule is included on page 2 of this submittal and on sheet C-2.

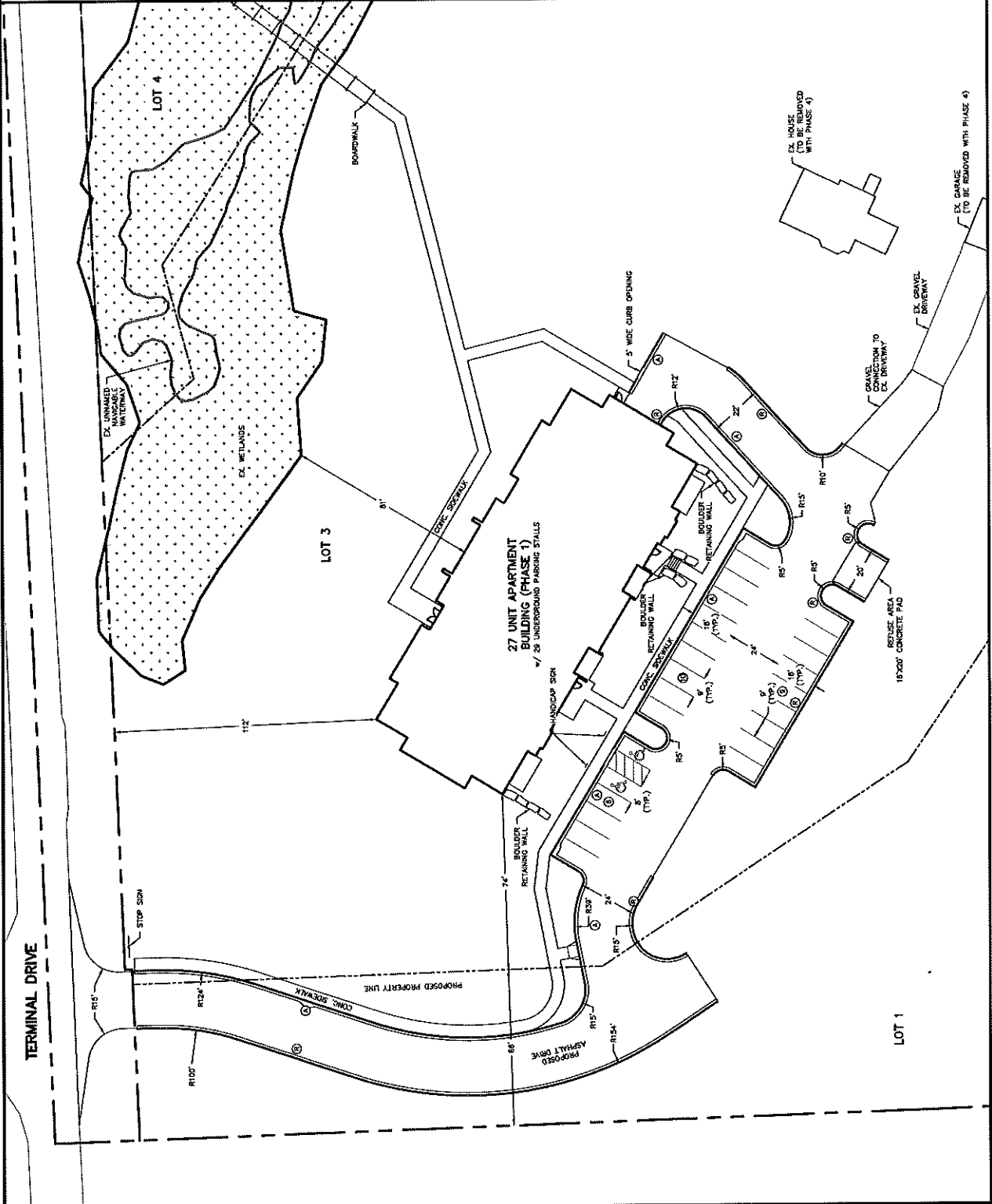
RECEIVED
FEB 14 2019
VILLAGE OF McFARLAND

4703 TERMINAL DRIVE
EXISTING SITE & DEMOLITION PLAN WITH BURN AREA
SHEET: C-1
DATED: FEBRUARY 13, 2019

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

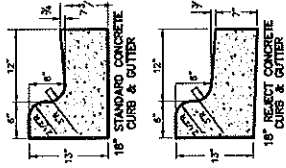
www.quamengineering.com
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



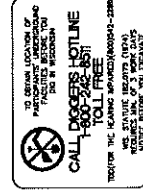


EXISTING STALLS PROVIDED:
- BEDROOM: 27 D.U. AT 2.0 STALLS = 54 STALLS REQUIRED
TOTAL REQUIRED = 54 STALLS REQUIRED

EXISTING STALLS PROVIDED:
- PARKING: 29 STALLS PROVIDED
- UNDERGROUND PARKING LOT = 29 STALLS PROVIDED
TOTAL PROVIDED = 54 STALLS PROVIDED

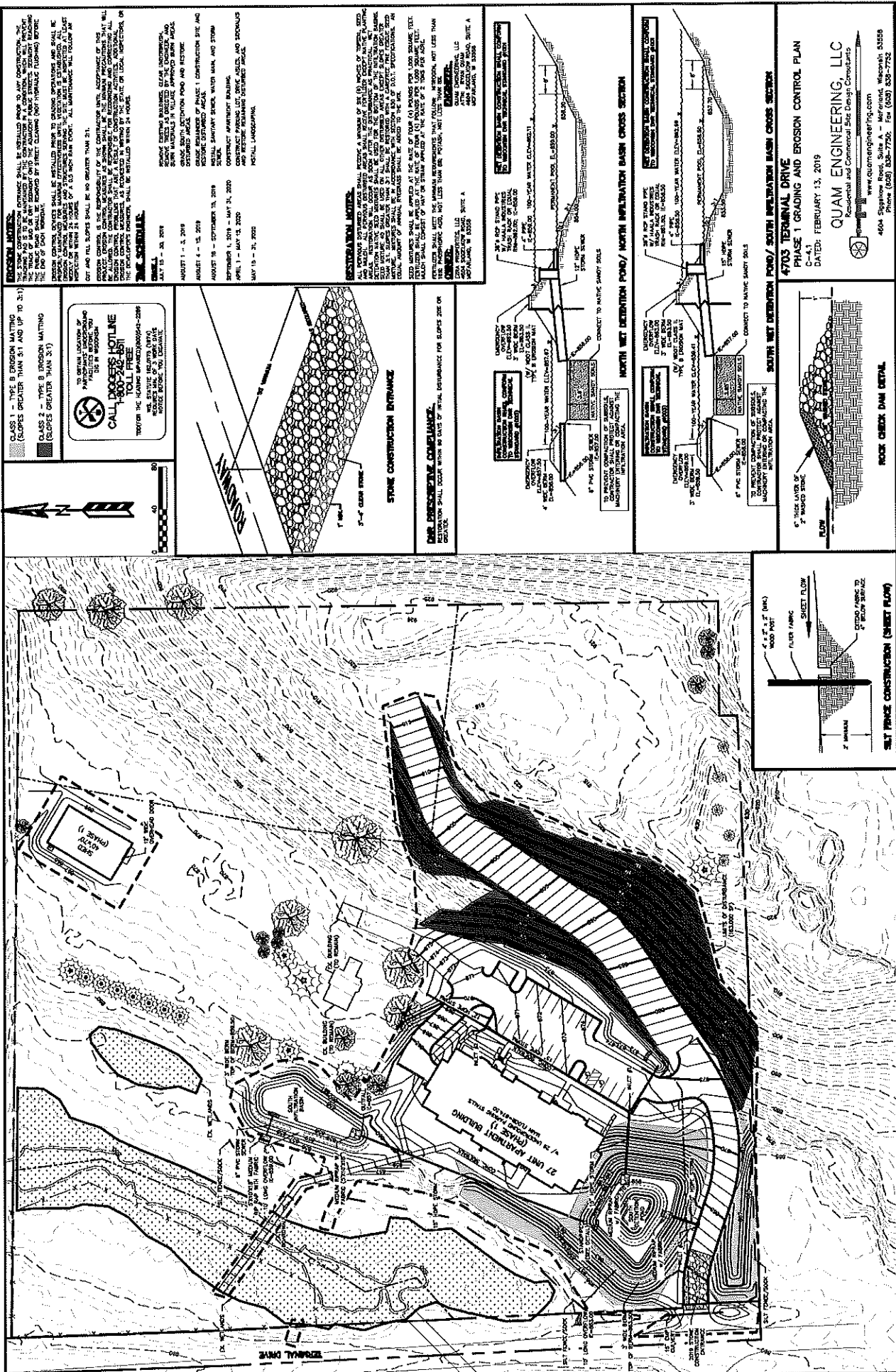


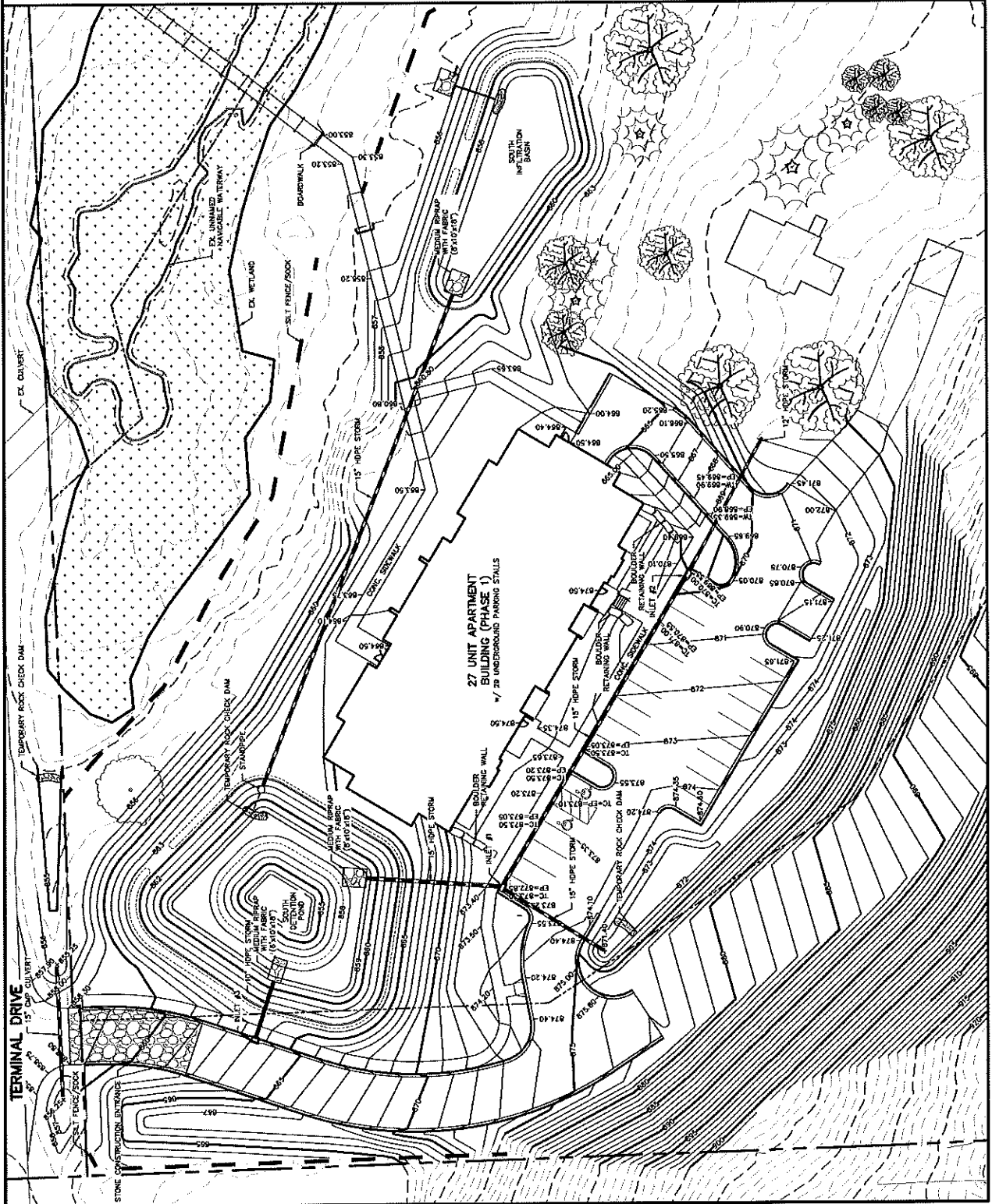
- ① - 18' ACCEPT CONCRETE CURB & GUTTER
- ② - 18' REJECT CONCRETE CURB & GUTTER



4703 TERMINAL DRIVE
PHASE 1 APARTMENTS SITE PLAN
SHEET: C-3
DATED: FEBRUARY 13, 2019

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
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Phone (608) 838-7750 Fax (608) 838-7752





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 CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE

TOO FOR THE HEARING IMPAIRED (800) 242-2288

WS STATUTE 182.27(2) (1974)
REQUIRE MAIL OF 3 WORK DAYS

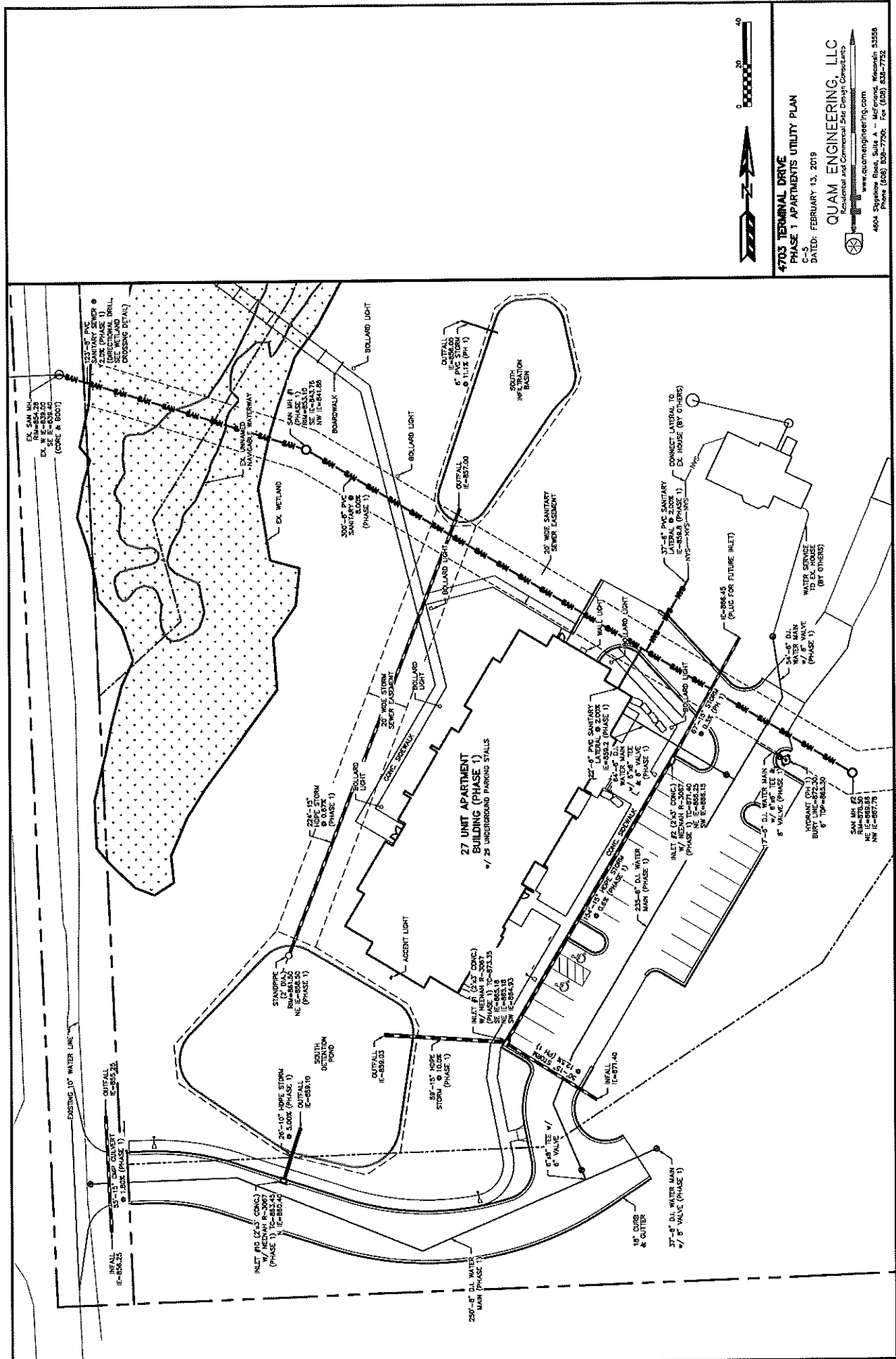
4703 TERMINAL DRIVE
APARTMENTS GRADING AND EROSION CONTROL PLAN
C-4.2
DATED: FEBRUARY 13, 2019

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



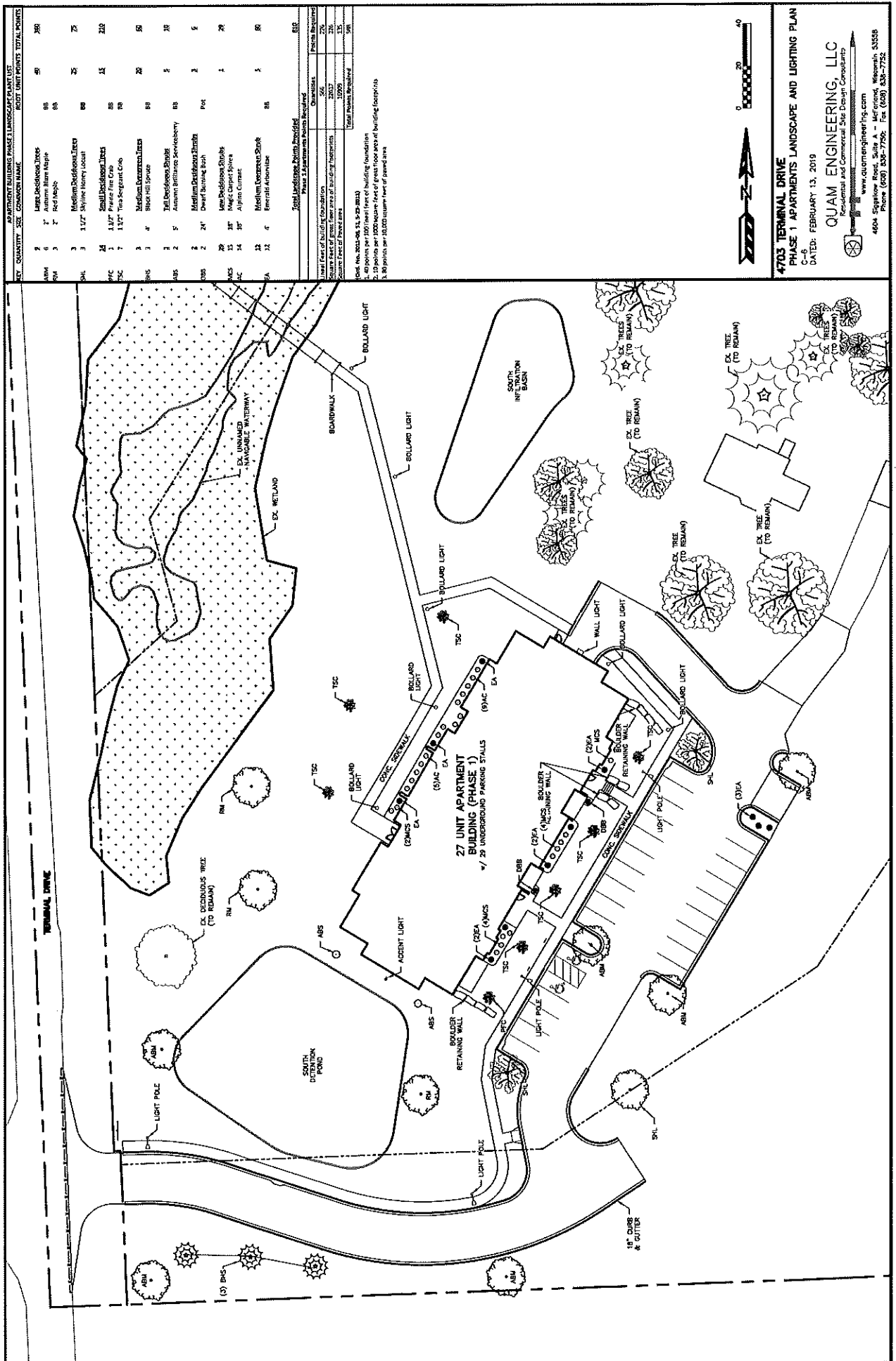
www.quamengineering.com

4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750 Fax (608) 838-7752

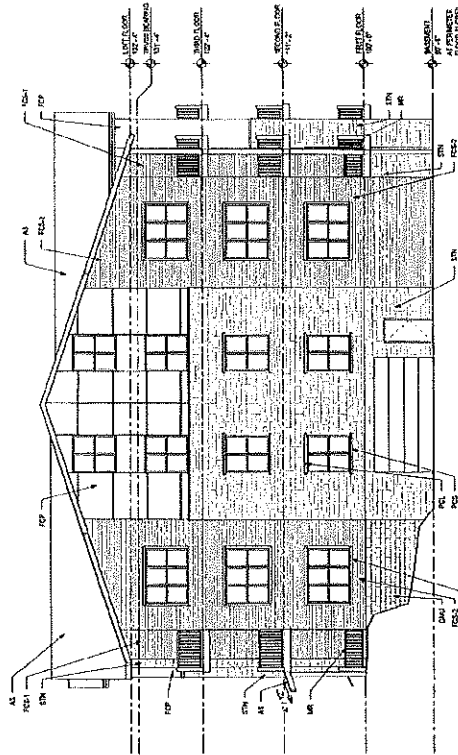


4703 TERMINAL DRIVE
PHASE 1 APARTMENTS UTILITY PLAN
C-5
DATED: FEBRUARY 13, 2019

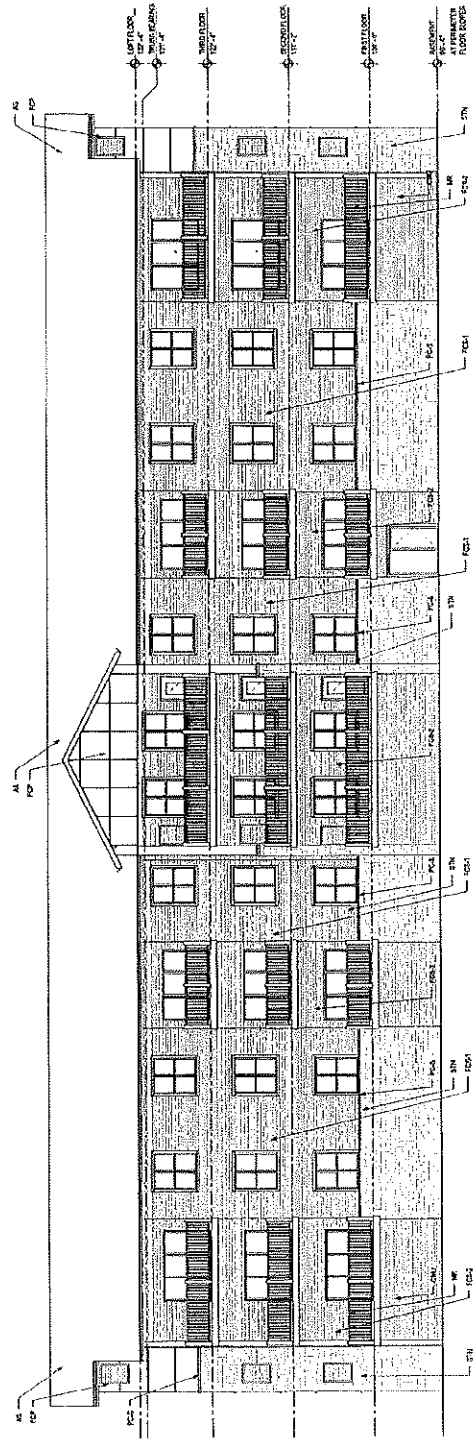
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750 Fax (608) 838-7752



EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND	
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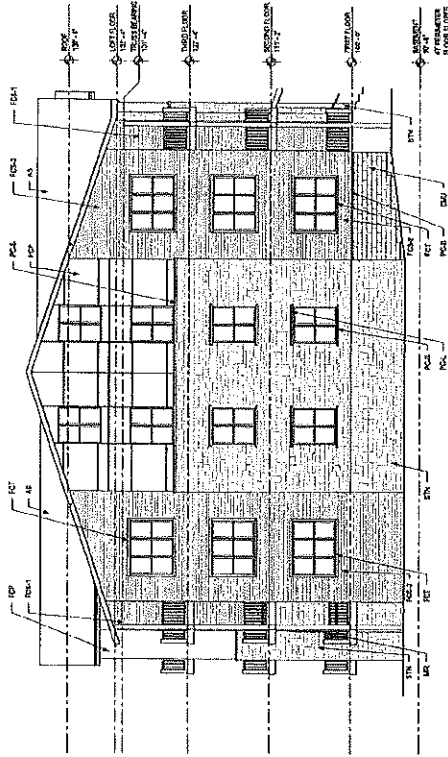
1 NORTH ELEVATION



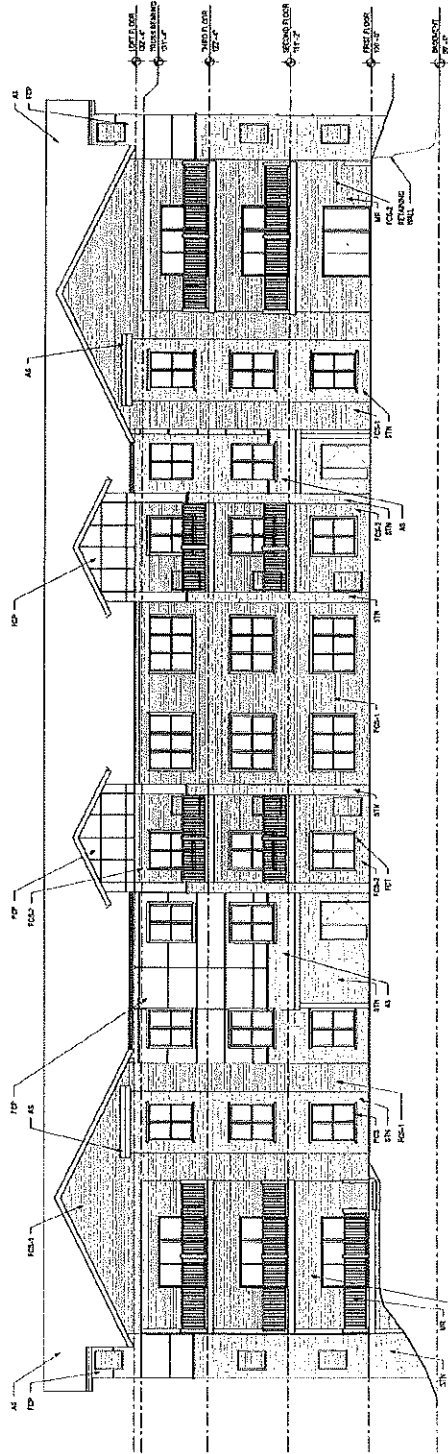
2 WEST ELEVATION

4703 TERMINAL DRIVE MULTIFAMILY - 1
EXTERIOR ELEVATIONS
DATE: 11.11.2018
QUAM ENGINEERING, LLC
REGISTERED PROFESSIONAL ENGINEERS
1531 S. KANAWAY ST., SUITE 200 - WISCONSIN, WI 53588
TEL: 608.838.7750 FAX: 608.838.7752

EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND	
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PC3	PERFORATED CONCRETE
PC4	PERFORATED CONCRETE
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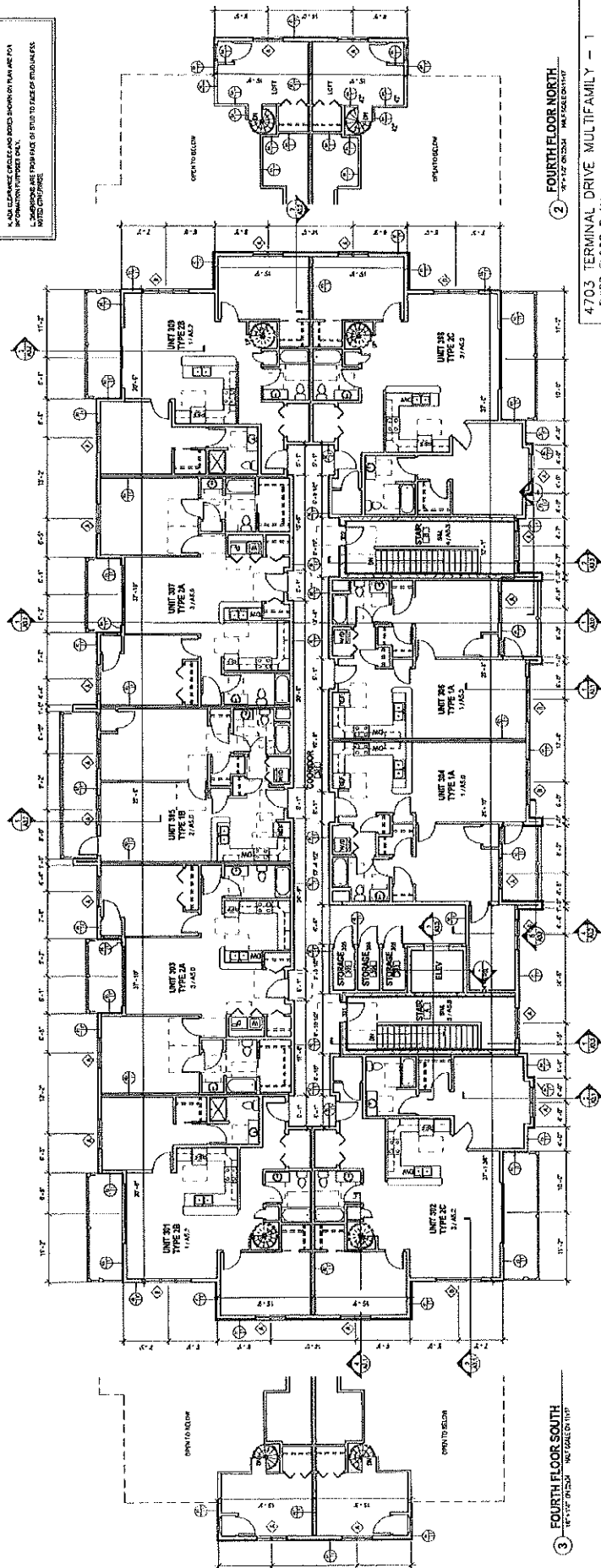
2 SOUTH ELEVATION
18'-0" OVERALL HEIGHT



1 EAST ELEVATION
18'-0" OVERALL HEIGHT

4703 TERMINAL DRIVE MULTIFAMILY - 1
EXTERIOR ELEVATIONS
DATE: FEB. 11, 2019
QUAM ENGINEERING, LLC
4604 SIGELKOW ROAD, SUITE A
MCFARLAND, WI 53558
TEL: 608.838.7750
WWW.QUAMENGINEERING.COM

FLOOR PLAN GENERAL NOTES	
A. SEE SHEET A400-3.3 FOR LARGE SCALE PLAN.	
B. SEE SHEET A400-3.4 FOR LARGE SCALE PLAN.	
C. PROVIDE VERTICAL CONTROL POINTS FOR ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS. PROVIDE VERTICAL CONTROL POINTS FOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS.	
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FOURTH FLOOR SOUTH
1/4" = 1'-0" (SEE SHEET A400-3.3)

FOURTH FLOOR NORTH
1/4" = 1'-0" (SEE SHEET A400-3.4)

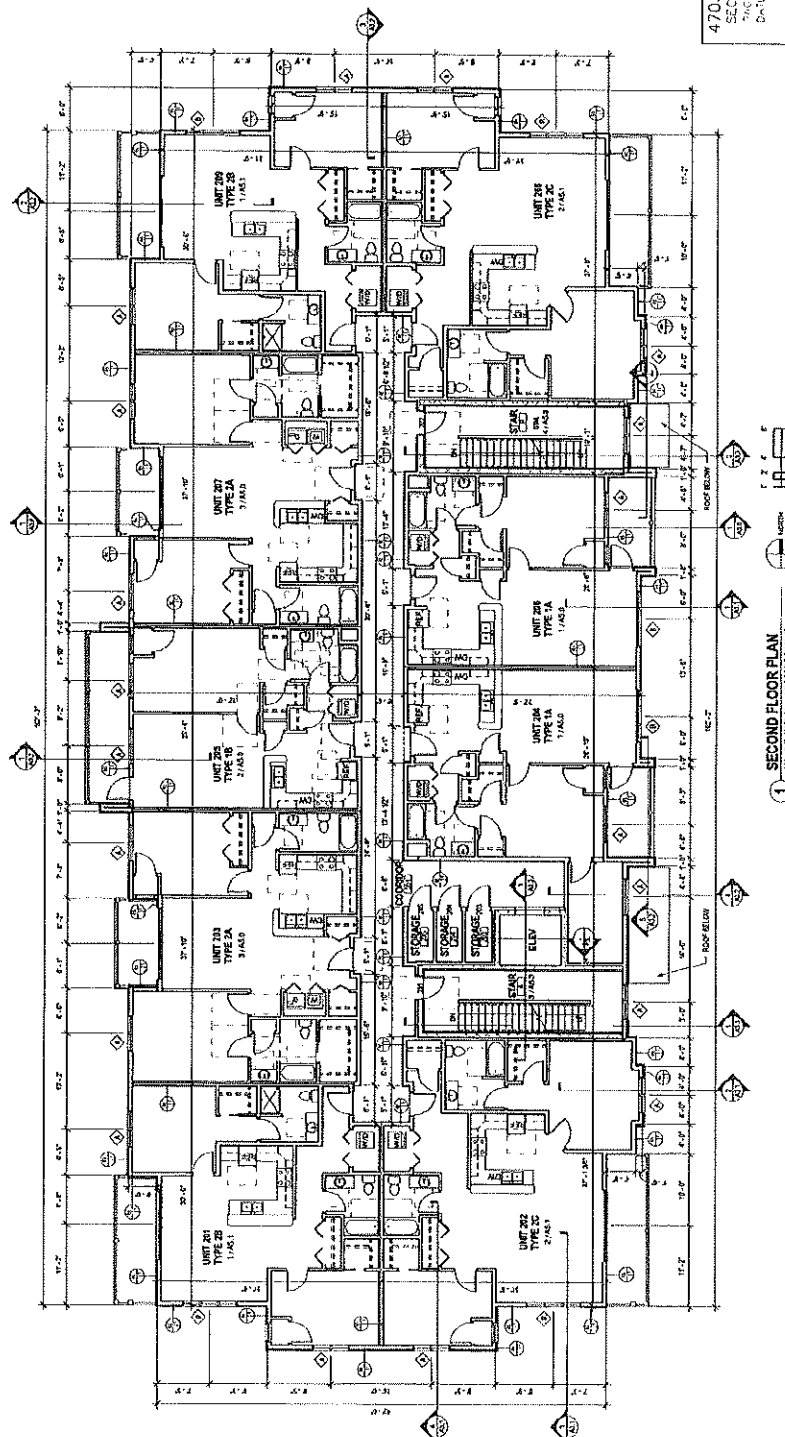
1 THIRD FLOOR PLAN
1/4" = 1'-0" (SEE SHEET A400-3.3)

2 FOURTH FLOOR NORTH
1/4" = 1'-0" (SEE SHEET A400-3.4)

4703 TERMINAL DRIVE MULTIFAMILY - 1
THIRD FLOOR PLAN
PAGE A1.3
DATE: FEB. 11, 2019

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
1037 S. Koshong Rd., Suite 200, McFarland, WI 53558
Phone: (608) 838-7750 Fax: (608) 838-7751
www.quam-engineering.com

FLOOR PLAN GENERAL NOTES	
A.	SEE SHEET A-1.1.5 FOR LAYOUT OF PLUMBING
B.	SEE SHEET A-1.1.5 FOR INTERIOR ELEVATIONS
C.	VERIFY ALL VERTICAL CLEARANCES AND HATCH STRUCTURES
D.	VERIFY ALL VERTICAL CLEARANCES AND HATCH STRUCTURES
E.	VERIFY ALL VERTICAL CLEARANCES AND HATCH STRUCTURES
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Z.	VERIFY ALL VERTICAL CLEARANCES AND HATCH STRUCTURES



4703 TERMINAL DRIVE MULTIFAMILY - 1
SECOND FLOOR PLAN
TRAC, A1.2
DATE: FEB. 11, 2019
QUAM ENGINEERING, LLC
Residential and Commercial Design Consultants
www.quamengineering.com
P:\Projects\177-Quam-McFarland\177-Quam-McFarland.dwg 2/11/2019 10:12:40 AM

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quam-engineering.com
4041 S. 10th St., Suite 100 • Little Rock, Arkansas 72209
Phone: (501) 663-4700 Fax: (501) 663-4705

[illegible]

1 BASEMENT PLAN

4703 TERMINAL DRIVE MULTIFAMILY - ?
BASEMENT FLOOR PLAN

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
10000 Highway 100, Suite 100, Dallas, TX 75243
Phone: 972.342.1111 Fax: 972.342.1112
www.quam-engineering.com

*General Plan
Contents 4703
Terminal Dr.*

The general plan shall contain any information and representations deemed necessary by the Plan Commission and shall consist of a statement entitled "Planned Development District - General Plan, Statement of Owner's Intent and Description of Development," which shall include, without limitation, the following:

- a. A legal description of the entire tract of land included in the proposed development. Submitted -OK
- b. A statement indicating the nature of the applicant's interest in the land included in the proposed development. Submitted -OK
- c. A statement describing the proposed development, including the character, method and operation of the development and a development schedule or timetable for construction. Submitted - unsure of timetable for Phase 2 due to securing a office tenant. Phase 1 to commence Oct. 2019?
- d. A statement as to the following data or graphic information referenced to a map or plan of the proposed development:
 1. The location and size of the site including dimensioned exterior boundaries, topography and other salient features, and existing buildings and structures, and also adjacent properties and streets, including all public utilities and public easements. Submitted-may need grading easements on adjoining properties.
 2. The use and approximate location and bulk of buildings and structures including number of stories and dimensions of buildings. Submitted -ok Note: current owner has approx.. 120 vehicles now parked onsite
 3. The approximate location of vehicular and pedestrian facilities, such as streets, sidewalks and off-street parking areas, including approximate number of parking spaces. Submitted sidewalk dimensions. Adequate parking for future phases 2-4??
 4. The approximate location of areas for public or common open spaces and for other public or semi-public uses. Needs to better identify
 5. A tabulation of land areas for the different types of uses in relation to the total area. Need tabulations for Common Areas
 6. A tabulation of the gross floor areas of buildings by types of uses. See page 2 item 7 of Plan
 7. A tabulation of the number of types of dwelling units. See page 2 of Plan

*Detailed Plan -
Contents 4703
Terminal Dr.*

The detailed plan shall contain any information and representation deemed necessary by the Plan Commission and shall consist of a statement entitled, "Planned Development District - Detailed Plan, Statement of Owner's Intent and Description of Development," which shall include, without limitations, the following:

- a. A legal description of the entire tract of land included in the proposed development, referenced to a locational map indicating the relationship of the tract to the total general plan. Submitted
- b. A statement indicating the nature of the applicant's interest in the land included in the proposed development. Submitted Page 1 of Plan
- c. A statement describing the proposed development, including the character, method and operation of the development, and a development schedule or timetable for construction.
Submitted- Phase 1 to commence Oct. 2019? Unsure of timetable for Phase 2 due to securing office tenant. See Plan page 2 for schedule
Where the formation of organizations such as a homeowners' association is proposed, such statement shall include any agreements, bylaws or covenants which govern the organizational structure, use, maintenance and protection of the development and any of its common services, common open spaces or other common facilities.
Unknown as to existence of association. Need better to define common open areas
- d. A statement as to the following date or graphic information referenced to a map of the proposed development:
 1. The location and size of the site, including dimensioned exterior boundaries, topography and other salient features, and existing buildings and structures, and also adjacent properties and streets. Submitted – May need grading easement on adjoining properties/
 2. The use and location of all buildings or structures, including the architectural character and design of each building, the number of stories and dimensions of each building, and the dimensioned yards between buildings or structures and lot lines. Submitted- see note under Detailed Plan Standards reg. number of parked vehicles on site
 3. The location of vehicular and pedestrian facilities, including dimensioned streets, walkways, access driveways, off-street parking spaces and loading berths, and refuse receptacle areas. Submitted –Adequate parking for future phases?
 4. The location and size of areas for public common open spaces and for other public and semi-public uses. Needs to be better identify common open areas
 5. A grading plan, including any storm sewer system, a landscaping plan, and a stormwater management plan. Submitted See letter of March 1,2019 by the Village Eng,

The following standards apply in the review of all general or detailed plans proposed for the Planned Development District:

- a. The uses proposed in the planned development shall be in general conformance with the Comprehensive Plan. *Changes to Comprehensive and Redevelopment Plans pending*
- b. The establishment, maintenance or operation of the uses proposed in the planned development shall not substantially impair or diminish the use, value and enjoyment of other properties in the neighborhood. *Developer should identify why this project does not impair or diminish use value and enjoyment of other properties in the neighborhood in the General and Detailed Plan Submitted*
- c. Traffic circulation into and within the development shall be designed to minimize traffic congestion and traffic hazards, provide for the accessibility of all uses and buildings and also provide for the safe and convenient movement of both vehicles.
and pedestrians. *FIRE and RESCUE Comments –pending. The creation of a private street as well as cul du sac street longer than 800ft would be allowed as Plan approval would act as a variance to these reg. in Section 56-139 (l) & (t) (1). POLICE- install stop signs at intersecting driveways. New driveway location directly across from existing driveway with heavy truck traffic??? DEV.AGREEMENT to require payment for (if constructed) future public improvements i.e. curb and gutter as well as sidewalk along Terminal Drive. OFF STREET PARKING- ok for phase 1. Phase 2, short 3 parking stalls. Phase 3 short 11 parking stalls. Phase 4 short 4 parking stalls*
- d. The planned development shall incorporate environmental design considerations, including the preservation of topography, trees and ground cover, streams and natural bodies of waters, and other significant natural features and control of erosion and runoff in accord with the Village Erosion Control and Stormwater Management Ordinance. *Vil Eng. - Conceptual stormwater and erosion control ok, however full and complete plans with control plans and calculations are needed. See letter from Brian Berquist March 1, 2019.*
- e. The planned development shall provide for convenient and harmonious groups of buildings, structures and uses; and buildings shall be spaced and sited to ensure adequate safety, light, ventilation, and privacy.
- f.
 1. In a planned development for residential use, adequate open space and recreational areas shall be provided in appropriate locations, and all public and common open spaces shall be designed and located to provide safe and convenient access to residents. *Needs to better identify open common areas on plans. Fees in lieu to be paid for park req. LANDSCAPING- need to provide street trees -1 canopy tree every 50 feet along Terminal Dr. with the exception of wetland areas*
 2. Parkland dedication requirements will apply. *To pay fees, see pages 4 and 5 of submitted plan*
- g. The planned development will not adversely affect the ability of public agencies to provide school or other municipal services. *Waiting for feedback from Fire and Rescue*
- h. The width of street right-of-way, width of paving, width and location of street or other paving, outdoor lighting, location of sewer and waterlines, provision for stormwater drainage or other similar environmental engineering considerations shall be based on a determination of the appropriate standards necessary to implement the specific function in the specific situation, provided, however, that in no case shall standards be less than those necessary to insure the public safety and welfare as determined by the Village. *Reviewed by P.W. and P.U. required revisions that included increased inlets, temporary grading easements, cross-easements for private water, private sewer and private stormwater as mentioned in March 1, 2019 letter from Vil Eng.*

- i. The proponents of a Planned Development District application shall provide evidence satisfactory to the Village Board of its economic feasibility of available financing and that it would not adversely affect the economic prosperity of the Village or the values of surrounding properties. **Developer to negotiate a Developers Agreement to be approved by the Village Board.**
- j. The proponents of a Planned Development District shall submit a reasonable schedule for the implementation of the development to the satisfaction of the Village Board, including suitable provisions for assurance that each phase could be brought to completion in a manner which would not result in an adverse effect upon the community as a result of termination at that point. **See detailed plan page 2. Developer unsure of timetable for Phase 2 office building due to the need to secure an office tenant. Phase 1 to commence October 2019?**
- k. Plan contains all information required by the Plan Commission as well as information enumerated in the PD District for General and Detailed Plans. **TBD**

March 1, 2019

Ms. Pauline Boness
Director of Community Development
Village of McFarland
5915 Milwaukee Street
P.O. Box 110
McFarland, WI 53558

Subject: 4703 Terminal Drive Development Review; Village of McFarland

Dear Pauline:

We have received and reviewed the plan set dated February 13, 2019 for a proposed mixed use development located at 4703 Terminal Drive. We are providing our comments for consolidation with other Village staff questions and comments in advance of the upcoming Plan Commission meeting. Our comments are organized according to drawing sheet number to facilitate an organized response.

Sheet C-1

- The existing site plan shows two areas as "proposed burn areas". This should be confirmed with the McFarland Fire Department for both location size and potential schedule of a burn.
- A wetland delineation has been completed on the property, which roughly conforms to the Environmental Corridor designated by the Capitol Area Region Planning Commission (CARPC). Grading near this area must comply with CARPC's Environmental Corridor Protection requirements.

Sheet C-2

- This site involves four potential phases. Phases 1 and 4 are 27-unit apartment buildings located on the lower portion of the property. Phases 2 and 3 are approximately 11,130 square foot office buildings located on the upper portion of the property adjacent to U.S. Highway 51. It appears that the site is proposed to be served via a private sanitary sewer, private water main and a private storm sewer management system. Cross easements are shown to accommodate different property owners for the proposed 3-lot CSM.
- Horizontal directional drilling is proposed for sanitary sewer to cross the wetland area, which is appropriate.
- It appears that only some of the parking lot is bordered by concrete curb & gutter. The Village may wish to require all of the permanent parking lot edges be surrounded by concrete curb & gutter for longevity of the parking lot.

Sheet C-4.1

- The potential grading plan is shown for Phase 1. However, it is difficult to discern what the slopes are given the scale of the drawing. We recommend that the exhibit be expanded in scale to better show the details of the grading proposed. Currently there is grading shown crossing the property boundary, which must be eliminated. In addition, Village ordinance prohibits slopes greater than 1.5:1 within 20 feet of an existing property line.

- The slopes of the proposed driveway to Phases 2 and 3 of the project may prove challenging for emergency vehicles to access. The fire department should be consulted regarding maximum driveway slopes.
- The detail for the stormwater detention pond and infiltration basin shows a safety shelf of 8 feet in width. This should be 10 feet in width.
- The available free board during the 100-year event should be increased to be 1.0 feet.
- The width of the top of the berm should be widened to approximately 8 to 10 feet both for future maintenance and access during heavy rain events, if needed.

Sheet C-4.2

- Inlet No. 3 may require an additional two to four inlets in order to adequately capture and direct the 100-year storm into the south detention pond. Alternatively, these inlets could be paired with a trench drain that crosses the entire driveway.
- We recommend the driveway culvert along Terminal Drive be constructed of reinforced concrete pipe.

Sheet C-5

- Easements are shown for the private sanitary sewer and storm sewer. However, no easement is shown for the private water main. We recommend that all three carry cross-easements for all future parcels so if ownership changes in the future, no one parcel controls utility service for the other.

Miscellaneous Comments

- Full stormwater management and erosion control plans and calculations must be submitted prior to full approval showing conformance with the Village's ordinances.
- The driveway onto Terminal Drive should include acceleration/deceleration areas, as well as radii that would accommodate a future upgrade of Terminal Drive.
- The Village should determine if they prefer a future curb & gutter or sidewalk along Terminal Drive. Those items could either be incorporated in Phase 1, or costs escrowed for a future project.

Please feel free to contact us with any questions regarding these comments.

Very truly yours,
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.
President

cc: Mr. Ryan Quam, P.E., Quam Engineering, LLC (4604 Siggelkow Road, Suite A, McFarland, WI 53558)

Mr. Jim Hessling, Acting Public Works Director, Village of McFarland (5915 Milwaukee Street, P.O. Box 110, McFarland, WI 53558)

Mr. Matthew Schuenke, Administrator, Village of McFarland (5915 Milwaukee Street, P.O. Box 110, McFarland, WI 53558)

BRB:sai

J:\JOB\S\McFarland\MC-152-M6 4703 Terminal Drive Development Review\Admin\Review Ltr..docx

From: Craig Sherven
Sent: Monday, February 18, 2019 2:35 PM
To:
Subject: RE: 4703 Terminal Drive

Regarding 4703 Terminal Dr. plans:

- Suggest traffic control signage at intersecting driveways (i.e. stop signs)
- New driveway appears to contact Terminal Dr. directly across from an existing driveway. If that driveway experiences heavy semi tractor-trailer traffic, might suggest repositioning driveway (much like the existing driveway) to a better location.

Craig J. Sherven
Chief of Police
McFarland Police Department
608-838-2352



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Public Hearing - Review and possible recommendation to the Village Board on a request by RCA Trust regarding Ordinance No. 2019-03. Rezoning lands in the Village of McFarland at 4703 Terminal Drive Parcel A to be rezoned from Commercial Highway (C-H) to Planned Development District Detailed Plan Approved (PDD-DPA) and Parcel B to be rezoned from Highway Commercial (C-H) to Planned Development District General Plan Approved (PDD-GPA), to accommodate a Planned Development by Ezra Properties LLC.

PREVIOUS ACTION:

ISSUE SUMMARY:

Rezoning Ordinance in your packets. Phase 1 to be zoned PDD-DPA, remaining phases to be rezoned to PDD-GPA.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

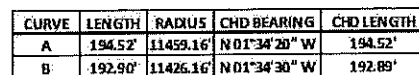
BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommendation to the Village Board based on action regarding the General & Detailed Plan. Additional conditions – approval of changes to the Comprehensive & Redevelopment Plan.

ATTACHMENTS:

1. 3.18.19 rezone 4703

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, ALL IN SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.



_____ Property Boundary Line
 _____ Wetland Boundary Line
 _____ Existing R/W Line
 _____ Sectional Subdivision Line

REZONING MAP
VILLAGE OF McFARLAND
PROJECT NO. RQ-05-17 SHEET 2 OF 2
February 22, 2019

 Residential and Commercial Site Design Consultants
www.guamengineering.com

4804 Siggekow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

Page 39 of 116

ORDINANCE 2019-03

AN ORDINANCE TO REZONE LANDS ON TERMINAL DRIVE FROM THE C-H ZONE, HIGHWAY COMMERCIAL DISTRICT, TO THE PLANNED DEVELOPMENT DISTRICT - GENERAL PLAN APPROVED AND DETAILED PLAN APPROVED.

Purpose: To rezone the lands on Terminal Drive as part of the 4703 Terminal Drive Development.

Sponsor: Community Development Director Boness

Recommended Referral: Plan Commission (Required)

Public Hearing: Required; Preceded by Class 2 Notice

WHEREAS, the developer of the proposed 4703 Terminal Drive Development submitted a development plan to the Village on February 14, 2019, and requested that the General Plan for development and the Detailed Plan for Phase 1 of the development be processed and approved as a Planned Development District; and

WHEREAS, the developer has submitted a legal description and map for rezoning purposes, and a copy of the map is attached hereto as Exhibit A; and

WHEREAS, the developer has submitted documents fulfilling the requirements for approval of the General Plan of the planned development for the lands specified below, as well as the Detailed Plan for Phase 1 of the development; and

WHEREAS, the Village Board is willing to grant approval of the General Plan and conditional approval of the Detailed Plan, and the Village Board finds approval thereof is in the public interest;

NOW, THEREFORE, the Village Board of the Village of McFarland, does ordain as follows:

1. Section 62-62(a) of the McFarland Municipal Code and the Official Zoning Map are hereby amended so that the following described real estate is rezoned from the Commercial Highway District to Planned Development District - Detailed Plan Approved:

PARCEL A:

A part of Outlot One (1), Assessor's Plat No. 4, Town of Blooming Grove and a part of the North 1/2 of the Northwest 1/4 of Section 34, Township 7 North, Range 10 East, in the Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

COMMENCING at a found Dane County aluminum monument at the North 1/4 Corner said Section 34; thence, along the North line of said Northwest 1/4, South 87°43'52" West, 944.61 feet; thence South 00°25'11" East, 755.58 feet to the Northeast corner of the Property; thence, along the North line of said Property, North 89°14'09" West, 523.61 feet to the **POINT OF BEGINNING**;

thence South 06°48'00" East, 85.00 feet;
thence South 22°39'00" West, 88.06 feet;
thence South 67°21'00" East, 115.00 feet;
thence South 22°48'58" East, 60.00 feet;
thence South 32°22'41" West, 60.00 feet;
thence South 47°59'27" East, 235.23 feet;
thence South 33°58'01" West, 84.71 feet;
thence South 56°41'59" West, 155.87 feet;
thence South 88°09'27" West, 200.15 feet to a point on the Easterly right-of-way line of Terminal Drive;
thence, along said Easterly right-of-way line, North 00°24'08" West, 6.42 feet;
thence, continuing along said Easterly right-of-way line, South 87°47'46" West, 3.00 feet;
thence, continuing along said Easterly right-of-way line, North 00°24'08" West, 438.98 feet to the beginning of a tangent curve, being concave Easterly, having a radius of 11,426.16 feet and a chord which bears North 01°34'30" West, 192.89 feet;
thence Northerly, 192.90 feet along the arc of said curve through a central angle of 00°58'02" to its intersection with aforesaid North line of the Property; thence, along said North line, South 89°14'09" East, 156.44 feet to the **POINT OF BEGINNING**, containing 156,005 square feet or 3.58 acres, more or less.

2. Section 62-62(a) of the McFarland Municipal Code and the Official Zoning Map are hereby amended so that the following described real estate is hereby rezoned from the Commercial Highway District to Planned Development District - General Plan Approved:

PARCEL B:

A part of Outlot One (1), Assessor's Plat No. 4, Town of Blooming Grove and a part of the North 1/2 of the Northwest 1/4 of Section 34, Township 7 North, Range 10 East, in the Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

COMMENCING at a found Dane County aluminum monument at the North 1/4 Corner said Section 34; thence, along the North line of said Northwest 1/4, South 87°43'52" West, 944.61 feet; thence South 00°25'11" East, 755.58 feet to the Northeast corner of the Property and the **POINT OF BEGINNING**, lying on the West right-of-way line of U.S. Highway 151;

thence, along said West right-of-way line, South 00°25'11" East, 657.91 feet to the Southeast corner of the Property;
thence, along the South line of said Property, South 89°33'39" West, 107.22 feet;
thence, continuing along said South line, South 00°26'15" East, 16.73 feet;
thence, continuing along said South line, South 87°45'00" West, 213.14 feet;

thence, continuing along said South line, South 88°09'27" West, 335.18 feet to a point on the Easterly right-of-way line of Terminal Drive;
thence, along said Easterly right-of-way line, North 00°24'08" West, 66.00 feet;
thence North 88°09'27" East, 200.15 feet;
thence North 56°41'59" East, 155.87 feet;
thence North 33°58'01" East, 84.71 feet;
thence North 47°59'27" West, 235.23 feet;
thence North 32°22'41" East, 60.00 feet;
thence North 22°48'58" West, 60.00 feet;
thence North 67°21'00" West, 115.00 feet;
thence North 22°39'00" East, 88.06 feet;
thence North 06°48'00" West, 85.00 feet to a point on aforesaid North line of the Property;
thence, along said North line, South 89°14'09" East, 523.61 feet to the **POINT OF BEGINNING**, containing 303,414 square feet or 6.97 acres, more or less.

3. The Zoning Administrator is hereby directed to label these changes on the Official Zoning Map, once the rezoning is effective.

4. Section 1 of this ordinance shall not take effect until the Village approves a final Detailed Plan for Phase 1 of the development in accordance with the Village Zoning Code. If the Village fails to approve the Detailed Plan within one (1) year after the recording of this ordinance, then Section 1 of this ordinance shall become null and void, and Parcel A shall continue to be designated in the C-H zoning district.

5. Section 1 of this ordinance does not constitute approval of any earthwork or building construction within any of the property described in the ordinance. No construction of any kind, including earthwork or building construction, is permitted on Parcel A until a development agreement for Phase I of the development is reached between the Village and developer. If the developer fails to reach a development agreement with the Village or fails to commence construction on Parcel A within one (1) year after the enactment of this ordinance, then Section 1 of this ordinance shall become null and void, and Parcel A shall continue to be designated in the C-H zoning district.

6. Section 2 of this ordinance shall not take effect until the Village approves a Detailed Plan for the property in accordance with the Village Zoning Code.

7. No construction of any residential buildings will be permitted on Parcel B until the office buildings proposed in Phases 2 and 3 of the General Plan are approved as part of a Detailed Plan and construction of the same has been completed.

The above and foregoing Ordinance was duly adopted at a regular meeting of the McFarland Village Board on the _____ day of _____, 2019.

APPROVED:

Brad Czebotar, Village President

ATTEST:

Cassandra Suettinger, Village Clerk-
Treasurer

ORDINANCE 2019 –	
MOTION	SECOND
ACTION	DATE
Adopted	
Referred	
Tabled	
Withdrawn	
Defeated	
Published	
INDIVIDUAL VOTING RECORD	
Adrian	Kolk
Brassington	Lytle
Clow	O'Hearn
Czebotar	
VOTING RESULTS	
Motion Carried	
Motion Defeated:	



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Public Hearing - Review and possible recommendation to the Village Board regarding a request by RCA Trust LLC to approve a 4-Lot Certified Survey Map (CSM), property located at 4703 Terminal Drive, McFarland, WI. to accommodate a Planned Development by Ezra Properties LLC .

PREVIOUS ACTION:

ISSUE SUMMARY:

Developer wishes to subdivide the 10.5 acre parcel into 4 lots. Building to be razed have been identified, as well as easement for the sewer, water, stormwater and access. I have a call into the surveyor to identify if any right of way is being dedicated, if so, the Village Board will need to give their approval.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommendation: Approval

ATTACHMENTS:

1. 3.18.19 csm 4703

VILLAGE OF McFARLAND

CERTIFIED SURVEY MAP

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

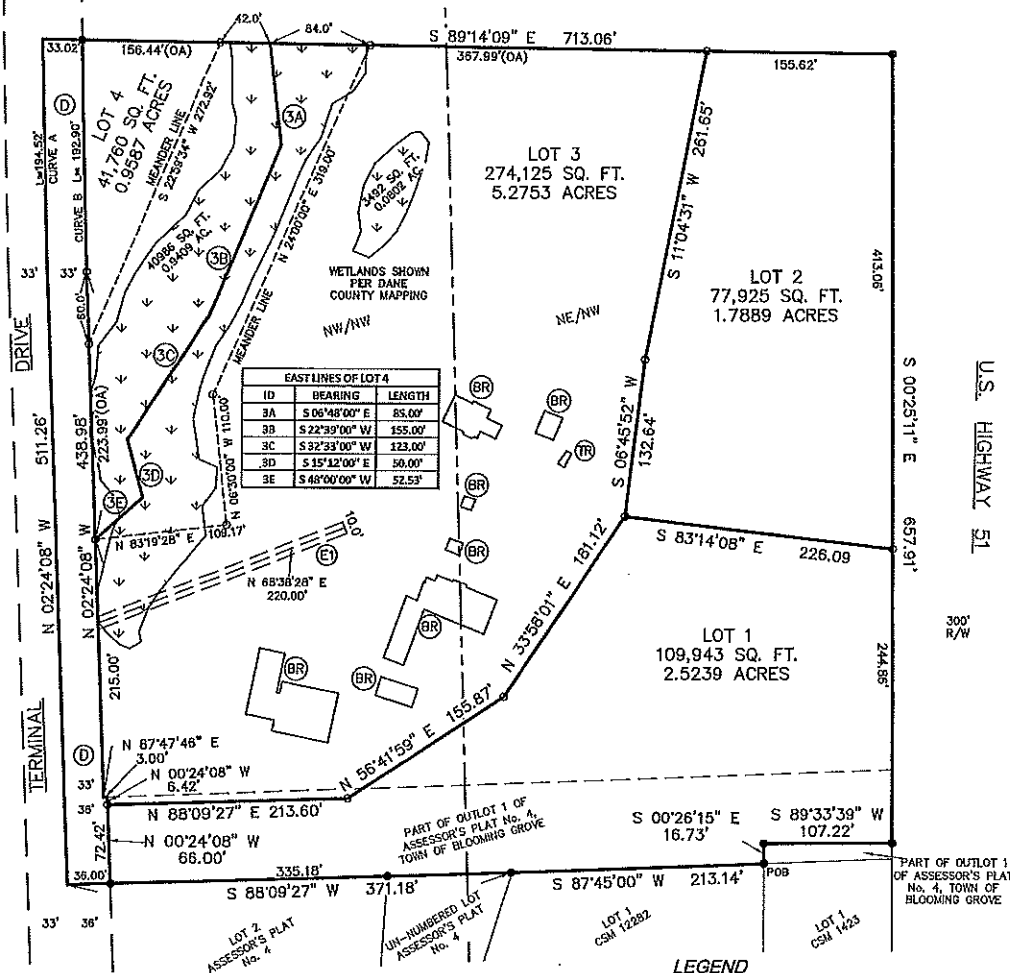
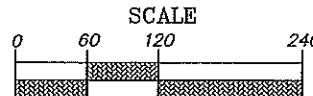
PRELIMINARY

LABEL	WIDTH	EASEMENT	DOCUMENT No.	RECORDED
E1	10'	R-O-W GRANT - UE	1976747	11/10/1986

UNPLATTED LANDS

CURVE	LENGTH	RADIUS	CHD BEARING	CHD LENGTH
A	194.52'	11459.16'	N 01°34'20" W	194.52'
B	192.90'	11426.16'	N 01°34'30" W	192.89'

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF CSM 12282 BEARS SOUTH 87°45'00" WEST.

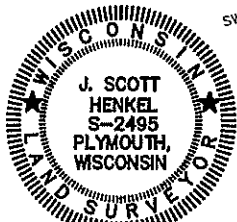


LEGEND

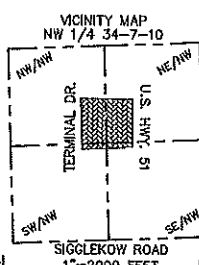
- 1" IRON PIPE FOUND
- 3/4" x 18" REBAR WEIGHING 1.13 LBS/FOOT SET.
- (OA) OVERALL LENGTH
- (D) DEDICATED TO THE PUBLIC FOR ROAD PURPOSES. 23,483 SQ. FT. // 0.5391 ACRES
- (BR) BUILDING TO BE RAZED.
- (TR) UNDERGROUND TANK TO BE REMOVED.

QUAM ENGINEERING, LLC

122 WISCONSIN ST., WEST BEND WI, 53095
262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18



Surveyed by Matt Hoglund
Mapped by J. Scott Henkel

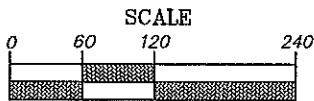


1"=2000 FEET Rev. 2/11/19

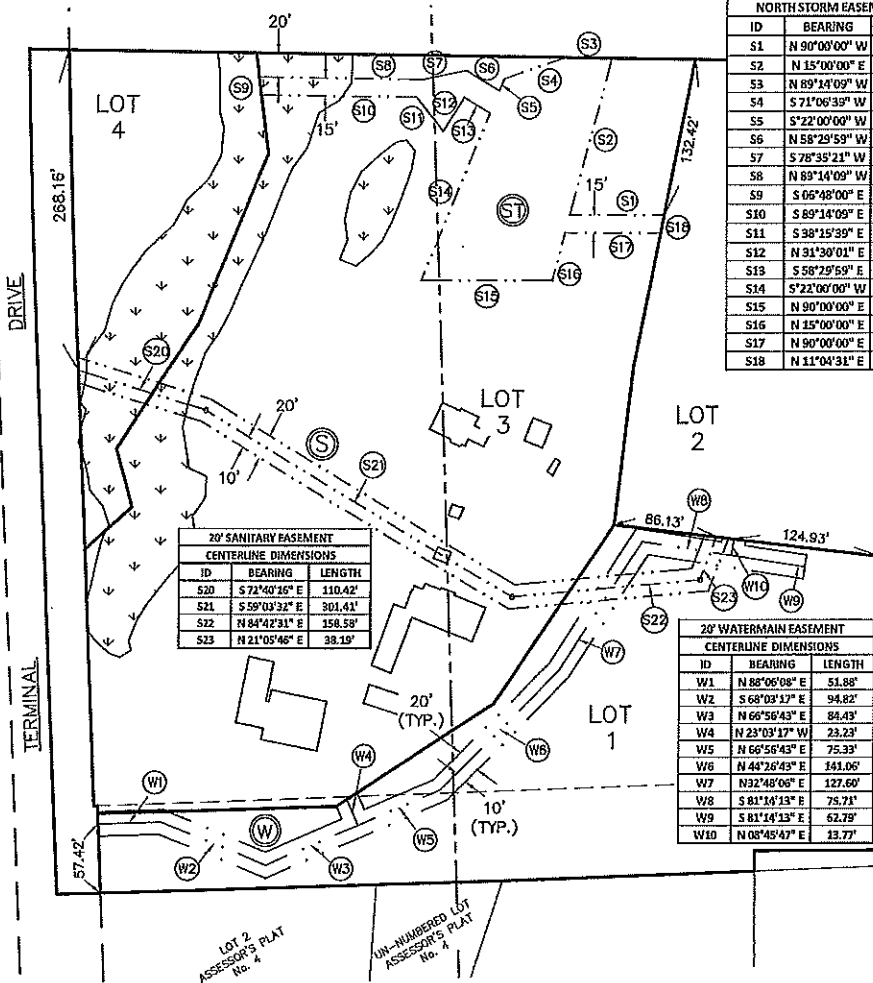
CERTIFIED SURVEY MAP

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

PRELIMINARY



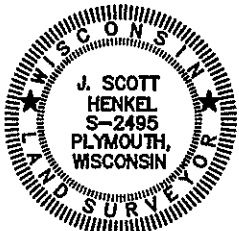
UNPLATED LANDS



NORTH STORM EASEMENT		
ID	BEARING	LENGTH
S1	N 90°00'00" W	78.91'
S2	N 15°00'00" E	135.50'
S3	N 89°14'09" W	38.89'
S4	S 71°06'39" W	54.86'
S5	S 72°00'00" W	10.64'
S6	N 58°29'59" W	31.68'
S7	S 78°35'21" W	37.07'
S8	N 89°14'09" W	138.07'
S9	S 06°48'00" E	15.13'
S10	S 89°14'09" E	130.90'
S11	S 38°15'39" E	36.24'
S12	N 31°30'01" E	33.31'
S13	S 58°29'59" E	24.85'
S14	S 22°00'00" W	151.13'
S15	N 90°00'00" E	109.23'
S16	N 15°00'00" E	41.58'
S17	N 90°00'00" E	79.99'
S18	N 11°04'31" E	15.28'

20' SANITARY EASEMENT		
CENTERLINE DIMENSIONS		
ID	BEARING	LENGTH
S20	S 72°40'16" E	110.42'
S21	S 59°03'32" E	301.41'
S22	N 84°42'31" E	158.58'
S23	N 21°05'46" E	38.19'

20' WATERMAIN EASEMENT		
CENTERLINE DIMENSIONS		
ID	BEARING	LENGTH
W1	N 88°05'08" E	51.88'
W2	S 68°03'17" E	94.82'
W3	N 66°56'43" E	84.43'
W4	N 23°03'17" W	23.23'
W5	N 66°56'43" E	75.33'
W6	N 44°26'43" E	141.06'
W7	N 32°48'06" E	127.60'
W8	S 81°14'13" E	75.71'
W9	S 81°14'13" E	62.79'
W10	N 08°45'47" E	13.77'



- ⊙ 20' WIDE NON-EXCLUSIVE PRIVATE EASEMENT FOR WATERMAIN PURPOSES BENEFITTING LOTS 1, 2, AND 3 HEREOF.
- ⊙ 20' WIDE NON-EXCLUSIVE PRIVATE EASEMENT FOR SANITARY SEWER PURPOSES BENEFITTING LOTS 1, 2, AND 3 HEREOF.
- ⊙ VARIABLE WIDTH NON-EXCLUSIVE PRIVATE EASEMENT FOR STORMWATER MANAGEMENT PURPOSES BENEFITTING LOT 2 HEREOF.

QUAM ENGINEERING, LLC

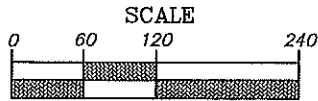
122 WISCONSIN ST., WEST BEND WI, 53095
262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18

Surveyed by Matt Hoglund
Mapped by J. Scott Henkel

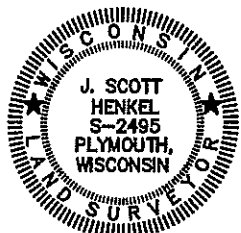
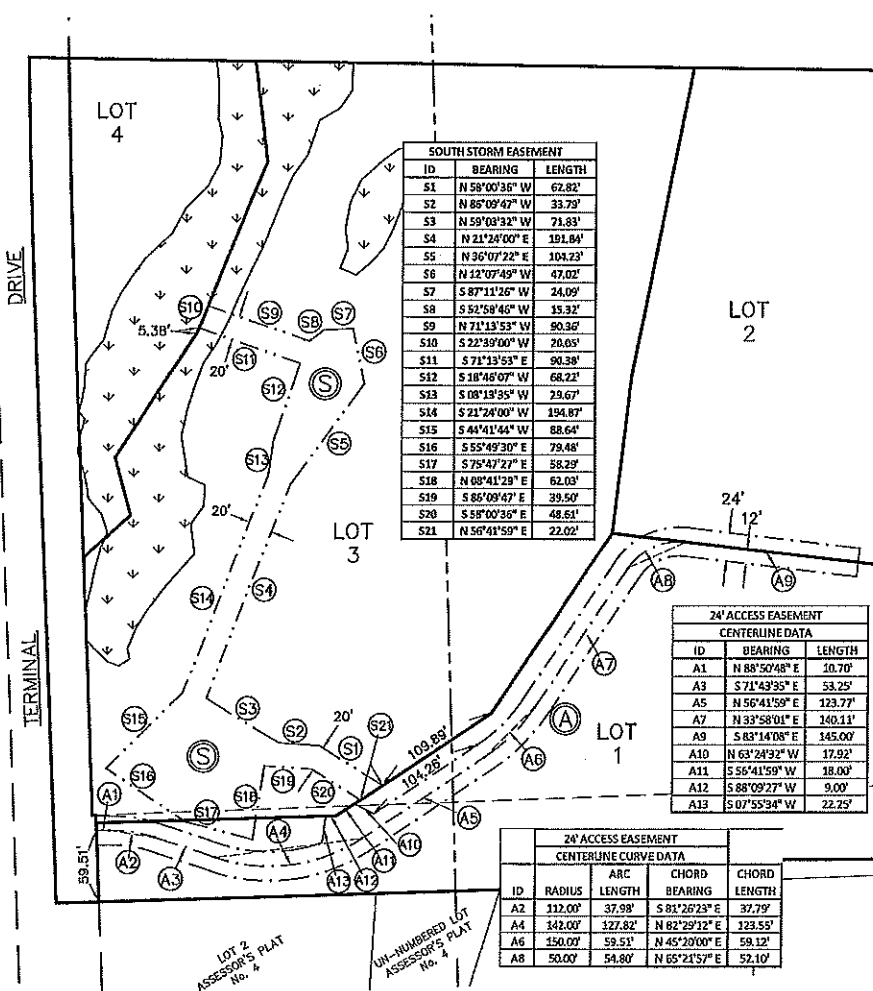
Rev. 2/11/19

CERTIFIED SURVEY MAP

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.



UNPLATTED LANDS



- (A) 24' WIDE NON-EXCLUSIVE PRIVATE EASEMENT FOR INGRESS AND EGRESS PURPOSES BENEFITTING LOTS 1, 2, AND 3 HEREOF.
- (S) VARIABLE WIDTH NON-EXCLUSIVE PRIVATE EASEMENT FOR STORMWATER MANAGEMENT PURPOSES BENEFITTING LOT 1 HEREOF.

QUAM ENGINEERING, LLC

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262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18

Surveyed by Matt Hoglund
Mapped by J. Scott Henkel

Rev. 2/11/19

CERTIFIED SURVEY MAP # _____

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

I, J. SCOTT HENKEL, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING LAND AS DIRECTED BY THE OWNERS, ROBERT ANDERSON AND CAROLYN SIMPSON:

THAT PART OF OUTLOT 1 OF ASSESSOR'S PLAT NO. 4, TOWN OF BLOOMING GROVE, IN THE VILLAGE OF McFARLAND, OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN, LYING BETWEEN THE CENTERLINE OF TERMINAL DRIVE AND THE WEST RIGHT-OF-WAY LINE OF RELOCATED U.S. HIGHWAY NO. 51, EXCEPT THAT PART THEREOF CONVEYED BY WARRANTY DEED RECORDED IN VOLUME 694 OF DEEDS, PAGE 473, AS DOCUMENT NO. 981101, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP 12262, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION;
THENCE SOUTH 87°45'00" WEST, 213.14 FEET, ALONG THE NORTH LINE OF SAID CERTIFIED SURVEY MAP TO THE NORTHWEST CORNER OF SAID CERTIFIED SURVEY MAP;
THENCE SOUTH 88°09'27" WEST, 371.18 FEET, ALONG THE SOUTH LINE OF OUTLOT 1 OF ASSESSOR'S PLAT NO. 4, TOWN OF BLOOMING GROVE, TO THE CENTERLINE OF TERMINAL DRIVE;
THENCE NORTH 02°24'08" WEST, 511.26 FEET, ALONG SAID CENTERLINE;
THENCE ALONG SAID CENTERLINE BEING THE ARC OF A CURVE BEARING TO THE RIGHT 194.52 FEET, WITH A RADIUS OF 11459.16 FEET, AND A CHORD BEARING AND LENGTH OF NORTH 01°34'20" WEST, 194.52 FEET;
THENCE SOUTH 89°14'09" EAST, 713.06 FEET, TO THE WEST RIGHT-OF-WAY LINE OF RELOCATED U.S. HIGHWAY NO. 51;
THENCE SOUTH 00°25'11" EAST, 657.91 FEET, ALONG SAID WEST LINE;
THENCE SOUTH 89°33'39" WEST, 107.22 FEET;
THENCE SOUTH 00°26'15" EAST, 16.73 FEET, TO THE POINT OF BEGINNING.

CONTAINING 482,902 SQUARE FEET // 11.0859 ACRES, MORE OR LESS, AND SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

I FURTHER CERTIFY THAT THE MAP PREPARED IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES AS SHOWN AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, AND THE VILLAGE OF McFARLAND MUNICIPAL CODE.

J. SCOTT HENKEL, PLS 2495

OWNER'S CERTIFICATE

AS OWNERS, ROBERT ANDERSON AND CAROLYN SIMPSON DO HEREBY CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED TO BE SURVEYED, DIVIDED, DEDICATED, AND MAPPED AS REPRESENTED ON THIS PLAT IN ACCORDANCE WITH WISCONSIN STATUTES 236.34 AND THE VILLAGE OF McFARLAND REQUIREMENTS FOR CERTIFIED SURVEY MAPS.

STATE OF WISCONSIN

:SS

COUNTY

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2019,

_____, AND _____ TO ME KNOWN AS THE
PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES: _____

QUAM ENGINEERING, LLC

122 WISCONSIN ST., WEST BEND WI, 53095
262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18

4
5

CERTIFIED SURVEY MAP # _____

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF
BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE
SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE
NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34,
TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF
McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

VILLAGE OF McFARLAND PLAN COMMISSION APPROVAL

THIS LAND DIVISION IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF McFARLAND ON THIS

_____ DAY OF _____, 2019.

CASSANDRA SUETTINGER, CLERK, VILLAGE OF McFARLAND

VILLAGE OF McFARLAND BOARD APPROVAL

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF McFARLAND ON THIS

_____ DAY OF _____, 2019.

CASSANDRA SUETTINGER, CLERK, VILLAGE OF McFARLAND

REGISTER OF DEEDS CERTIFICATE

RECEIVED FOR RECORDING THIS _____ DAY OF _____, 2019.

AT _____ O'CLOCK _____ M, AND RECORDED IN VOLUME _____ OF CERTIFIED SURVEY MAPS OF

DANE COUNTY ON PAGES _____.

CERTIFIED SURVEY MAP No. _____ DOCUMENT No. _____

KRISTI CHLEBOWSKI, DANE COUNTY REGISTER OF DEEDS

QUAM ENGINEERING, LLC

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262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18

5
of
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PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Review and possible action regarding a Site/Design for a proposed 1200 sq.ft. addition to McFarland Liquors located at 4716 Farwell Street. Property is located in TIF #5 and is zoned General Commercial (C-G).

PREVIOUS ACTION:

ISSUE SUMMARY:

Property owner Pat Macovec is proposing to add on 1,200 sq.ft. to the existing 1,800 sq.ft. building built in 1960. The space is needed to accommodate his expanding liquor business.

Sheet C-2 Site Plan

Setbacks- all required setbacks are shown

Grading- site is relatively flat, no significant regrading planned.

Parking – 10 parking stalls are required and shown on plans

Access – one access driveway eliminated. Remaining driveway is two-way, owner required to replace curb and sidewalk.

Hydrant location – Existing hydrant access Farwell Street – per Fire and Rescue location is ok

Sheet – Landscaping Plan – Awaiting comments from Public Works. I suggest requiring swapping out the two fruit bearing/seed pod trees, which are close to the public sidewalk. In order to preserve the private sidewalk in front of the store as well as parking stalls, stand-alone planters rather than a 5ft row of in ground plantings are proposed.

Sheet A2.0 – Building façade

Materials used are non-metallic as required. Front façade is stone, side and rear most likely vinyl. Roof is no longer flat, will be replaced with a gable design, similar to designs on adjacent buildings.

Color palette to be neutral colors, beiges and browns. Samples will be brought to meeting.

Lighting – to be traditional fixtures on the front façade. Lighting to be downcast with no apparent glare. Will not impede public street lighting due to distance of fixtures from the street.



Mechanicals to be inside the building.

This project was reviewed by the CDA for conformance to Design Guidelines for TID #5. Authority members took into consideration the existing structure. They did suggest a location for bike parking, but did not make it a condition of their approval.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

It is also important to note McFarland Liquor will need approval to expand their liquor license premise. Staff has recommended if the Plan Commission recommends the site design for approval, McFarland Liquor begin the process to also expand their liquor license premise. McFarland Liquor has been advised of this requirement.

Recommendation

Approval, conditioned revised landscaping plan and any necessary replacement of curb and sidewalk as a result of eliminating one driveway as approved by the Director of Public Works, and approval to expand their liquor license.

ATTACHMENTS:

1. 3.18.19 4716 Farwell



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February 8th, 2019

Village of McFarland
Community Development Department

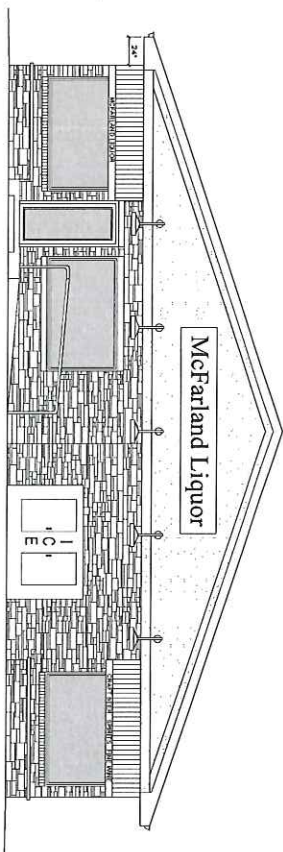
Re: McFarland Liquor Store Addition

The owner of the property, Pat Macovec; would like to expand the existing building due to an increase in demand of his specialty products and an ever-expanding inventory. The building was built in approximately 1960 and is in a constant need of maintenance including roof leaks and other issues. He wants to completely re clad the existing building while adding approx. 1200 SF of new space. We will add a new ADA compliant toilet room, a new roof truss assembly, update the insulation, put a new masonry face on the front of the building and reside the remainder of it. We will use materials that complement the existing adjacent buildings and will submit samples for the Villages approval. In doing so, we will bring the facility up to the new design guidelines of the Village and also bring the building up to the current energy standards.

Due to the limited area in front of the building, we would like to be able to keep the plantings along the front of the building to approx. 3-1/2 ft. This would allow us to keep a 5' walk and HC accessible ramp to provide the best access to the building. We will alleviate the present west entrance on Farwell Street

and have a double loaded parking lot which provides the best customer flow. (See Site Plan) We will designate the last 2 stalls to the west for landscaping and have a large island adjacent to the drive to meet the landscaping guideline requirements. (See Attached Landscape plan) We will also remove the existing free-standing sign.

We hope this achieves the desired results that the community is trying to achieve with their design guidelines.



McFARLAND LIQUORS

4716 FARWELL ST., McFARLAND, WI 53558

BUILDING ADDITION TRANSFORMATION

OWNER:

McFARLAND LIQUORS
4716 FARWELL ST.
McFARLAND, WI 53558
CONTACT: PAT MACOVEC
PHONE: 608-345-5788

SHEET INDEX:

EX.1 = EXISTING PLAN & EXTERIOR
D1.0 = DEMOLITION PLAN
A1.0 = PROPOSED PLAN & SECTION
A2.0 = PROPOSED ELEVATIONS
S1.0 = FOUNDATION & JOB NOTES
S1.1 = SECTIONS & DETAILS
C.1 = EXISTING SITE CONDITIONS
C.2 = PROPOSED SITE PLAN

ARCHITECT:

JSS CONSULTING, LLC
9814 HAWNS NEST DR.
VERONA, WI 53593
CONTACT: JOE SMERKO, AIA
PHONE: 608-332-8148
ALT. PH: 608-829-2012
E-MAIL: jsmenko@gmail.com

BUILDING INFORMATION:

BUILDING CODE: IBC 2009
CONSTRUCTION TYPE: 5B
OCCUPANCY: MERCANTILE
HEIGHT: SLAB-ON-GRADE
AND BASEMENT (ONE-STORY)
FIRE PROTECTION: 0HR

STRUCTURAL ENGINEER:

STRUCTURAL ENGINEERING SERVICES, LLC
1225 BURNING WOOD WAY
MADISON, WI 53704
CONTACT: BOB SHULTZ - P.E.
PHONE: 608-577-1428
E-MAIL: bshultz@chorus.net

CIVIL ENGINEER:

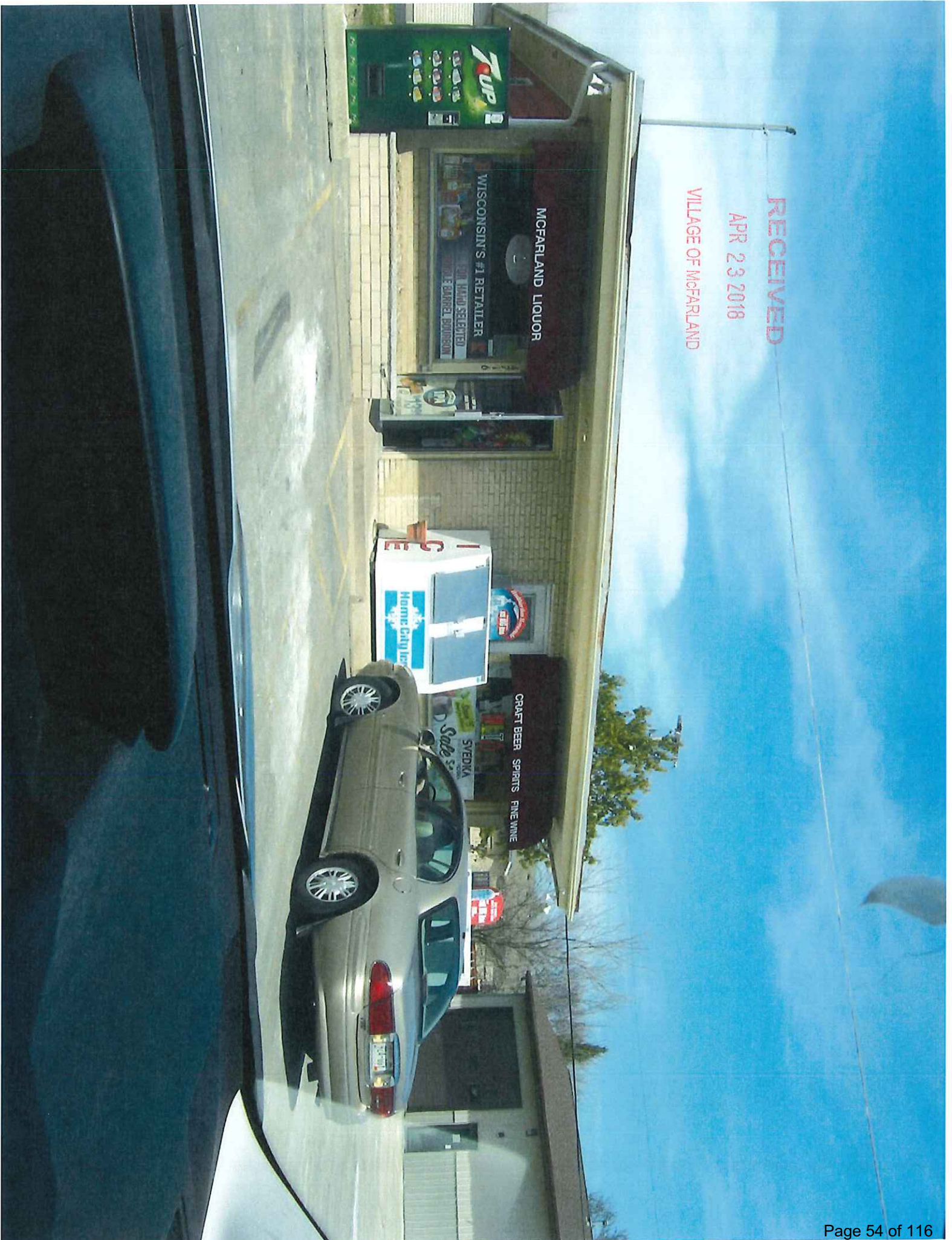
ROYAL OAK & ASSOCIATES, INC.
3678 KINSMAN BLVD.
MADISON, WI 53704
CONTACT: TIM THORSON
PHONE: 608-274-0500
E-MAIL:
tthorson@royaloakengineering.com

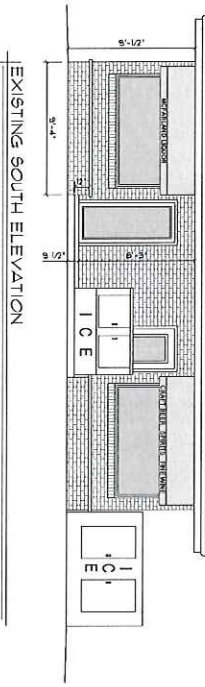
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VILLAGE OF MCFARLAND





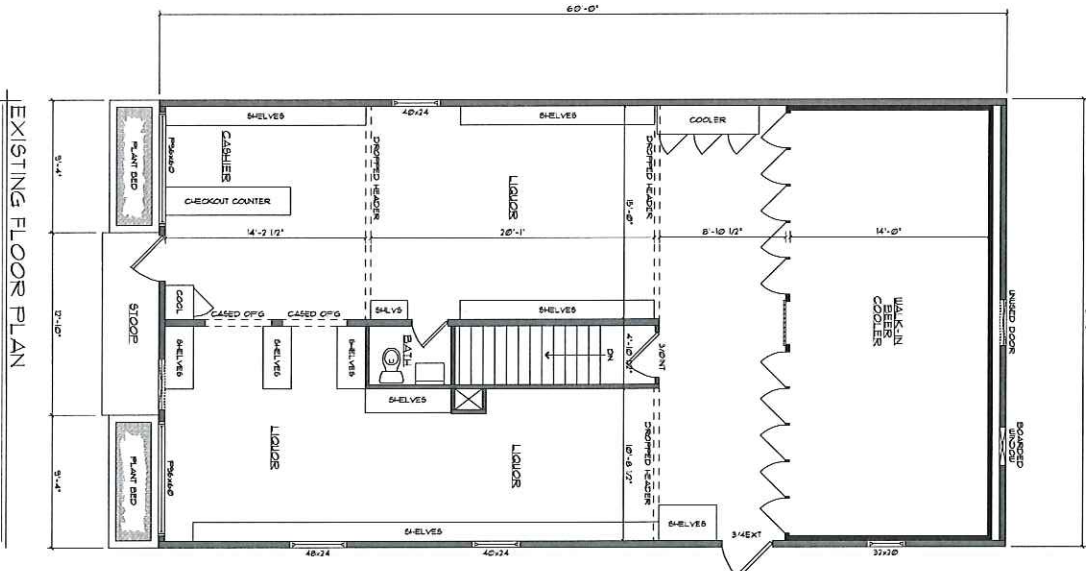
EXISTING WEST ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION

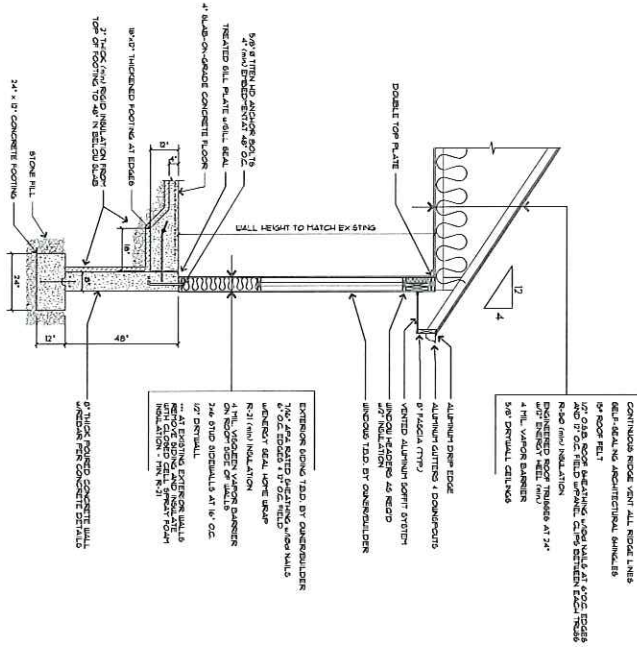


EXISTING FLOOR PLAN

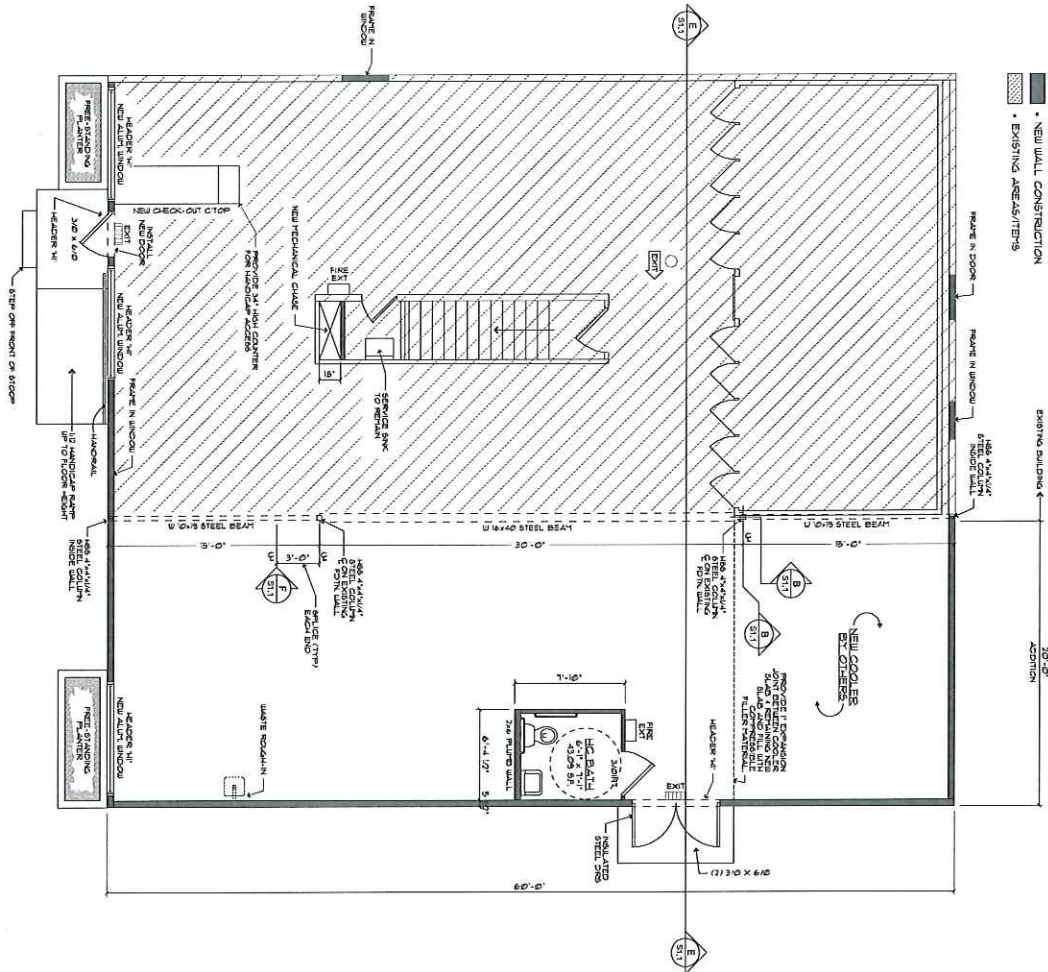
EX.1	REVISIONS: 5-13-18 DATE: 4-16-18 JOB NAME: JSS-McFarland SCALE: 1/4" = 1'-0" SHEET:	THIS DOCUMENT CONTAINS CONFIDENTIAL OR PROPRIETARY INFORMATION OF MSM DESIGN (MSM). NEITHER THIS DOCUMENT NOR THE INFORMATION HEREIN IS TO BE REPRODUCED, DISTRIBUTED, USED, OR DISCLOSED EITHER IN WHOLE OR IN PART EXCEPT AS AUTHORIZED BY MSM. MSM ASSUMES NO LIABILITY FOR HOME CONSTRUCTION FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO HAVE BUILDER OR CONTRACTOR VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. BUILDER OR CONTRACTOR MUST ALSO VERIFY COMPLIANCE WITH ALL LOCAL CODES AND CONDITIONS. ALL CARE HAS BEEN TAKEN BY MSM TO MAKE PLANS ACCURATE. PLANS ARE FOR LOCATION AND REFERENCE ONLY. BUILDER OR CONTRACTOR RESPONSIBLE FOR ANY ENGINEERING AND REVISIONS TO PLAN. ALL ENGINEERING TO INCORPORATE ACTUAL SITE CONDITIONS.	DRAWINGS BY: www.msmdesigngroup.com contact: greg@msm.com	CUSTOM DESIGN FOR: -JSS Consulting- McFarland Liquor
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STANDARD WALL SECTION

SCALE: 1/2" = 1'-0"



PROPOSED TRANSFORMATION FLOOR PLAN



REVISIONS:	
5-13-18	
5-31-18	
6-5-18	
6-7-18	
DATE:	4-17-18
JSS:MLL	
SCALE:	1/4\" = 1'-0"
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A1.0	

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DRAWINGS BY:



CUSTOM DESIGN FOR:

-JSS Consulting-McFarland Liquor

PROPOSED NORTH ELEVATION

PROPOSED SOUTH ELEVATION

PROPOSED EAST ELEVATION

PROPOSED WEST ELEVATION

REVISIONS:
5-14-18
5-31-18
6-6-18

DATE:
4-17-18

JOB NAME:
JSS-M-Liquor

SCALE:
1/4" = 1'-0"

SHEET:
A2.0

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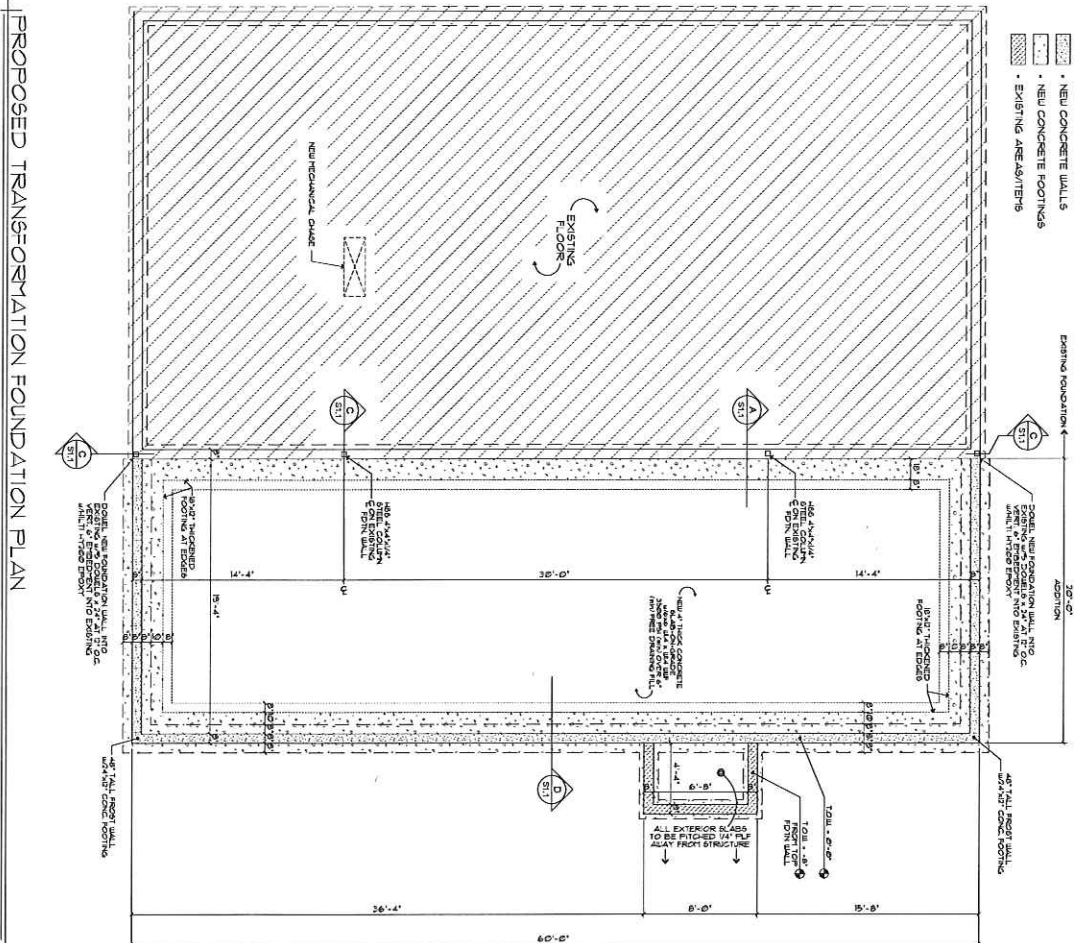
DRAWINGS BY:

www.msmdesigngroup.com
m.sm@msmdesigngroup.com

CUSTOM DESIGN FOR:

**-JSS Consulting-
McFarland Liquor**

GENERAL STRUCTURAL NOTES:	
DESIGN LOADS:	ROOF LIVE LOAD • 20 PSF GROUND SNOW • 30 PSF • 10 WIND • 30 MPH • EXPOSURE C • 1 • 10 SEISMIC • CLASS D SITE • CLASS D S₁ • .05 g S₂ • .014 g S₃ • .015 g R • 6.5 C_s • 0.715
SOIL BEARING:	BEARING • 1500 PSF (PRESUMPTIVE) FROST DEPTH • 4'-0"
BUILDING CODE:	WISCONSIN ENROLLED BUILDING CODE (IBC 2003)
CONCRETE:	ALL CONCRETE SHALL BE 4000 PSF MINIMUM ALL EXTERIOR CONCRETE & CONCRETE EXPOSED TO FREEZE THAW SHALL HAVE 5 1/2% = 10% REIN • A501 #6X8 REIN • A501 #6X8
STEEL:	WIDE FLANGE • A992 50KSI PLATING • A36 BUILDING DECKING • 2" THICK E10XX ELECTRODES BOL • A325N TENSION CONTROL
WOOD:	WALL FRAMING • 4"x8 SFT HEADERS • MICRO-LAM FR • 2400 PSI E+20 ALL NAILING SHALL BE PER TABLE 2304.3 OF 2003 IBC
WOOD TRUSS DESIGN LOAD:	TOP CHORD DEAD LOAD • 15 PSF TOP CHORD LIVE LOAD • 25 PSF BOTTOM CHORD DEAD LOAD • 10 PSF SPACE • 5'-0" ALL BRIDGING & BLOCKING BY TRUSS SUPPLIER TRUSS DESIGN SHALL CONSIDER UNBALANCED ROOF SNOW LOADS DEFERRED SUBMITTAL.
WOOD TRUSSES	



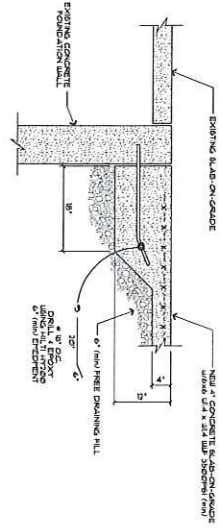
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JSS-MILWAUKEE	
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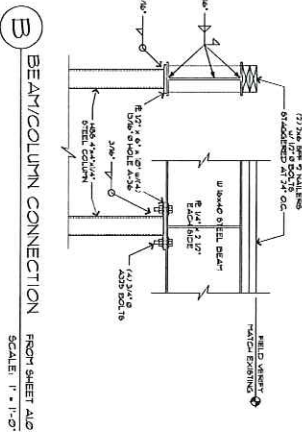
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 msmdesigngroup@icloud.com

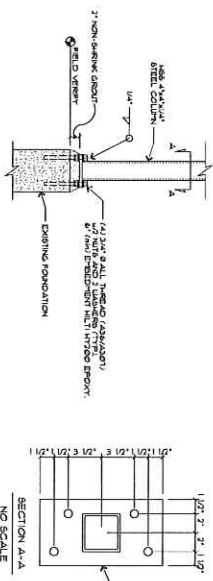
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McFarland Liquor



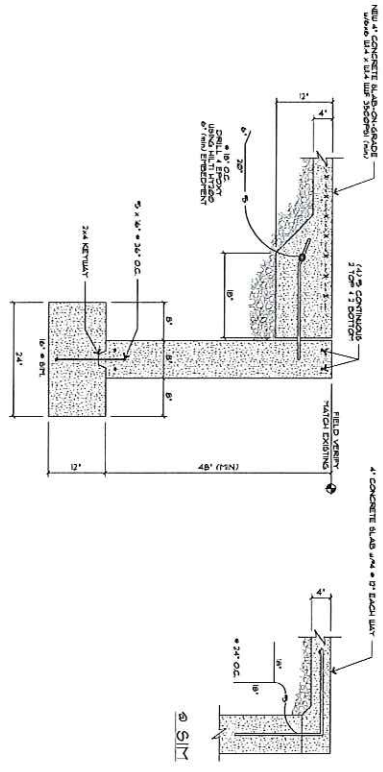
A THICKENED SLAB AT SLAB-ON-GRADE FROM SHEET A10 SCALE: 1" = 1'-0"



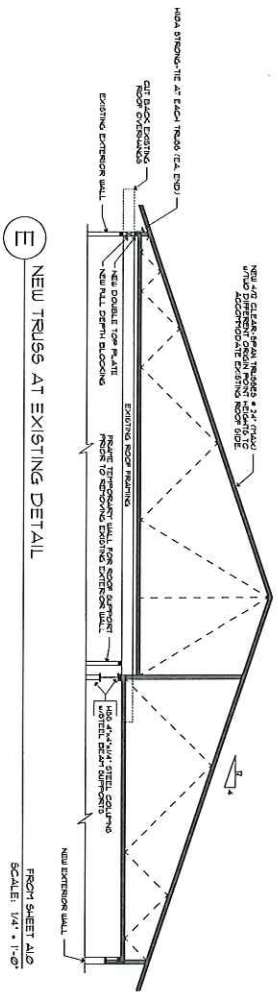
B BEAM/COLUMN CONNECTION FROM SHEET A10 SCALE: 1" = 1'-0"



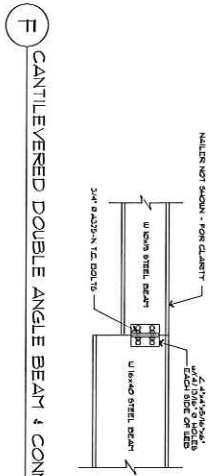
C HSS 4x4 BASE PLATE/ANCHOR BOLTS FROM SHEET A10 SCALE: 1" = 1'-0"



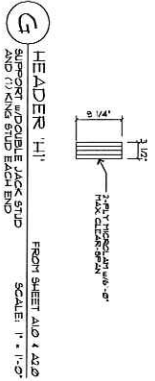
D 8" FROST WALL FOUNDATION FROM SHEET A10 SCALE: 1" = 1'-0"



E NEW TRUSS AT EXISTING DETAIL FROM SHEET A10 SCALE: 1" = 1'-0"



F CANTILEVERED DOUBLE ANGLE BEAM & CONNECTION FROM SHEET F10 SCALE: 1" = 1'-0"



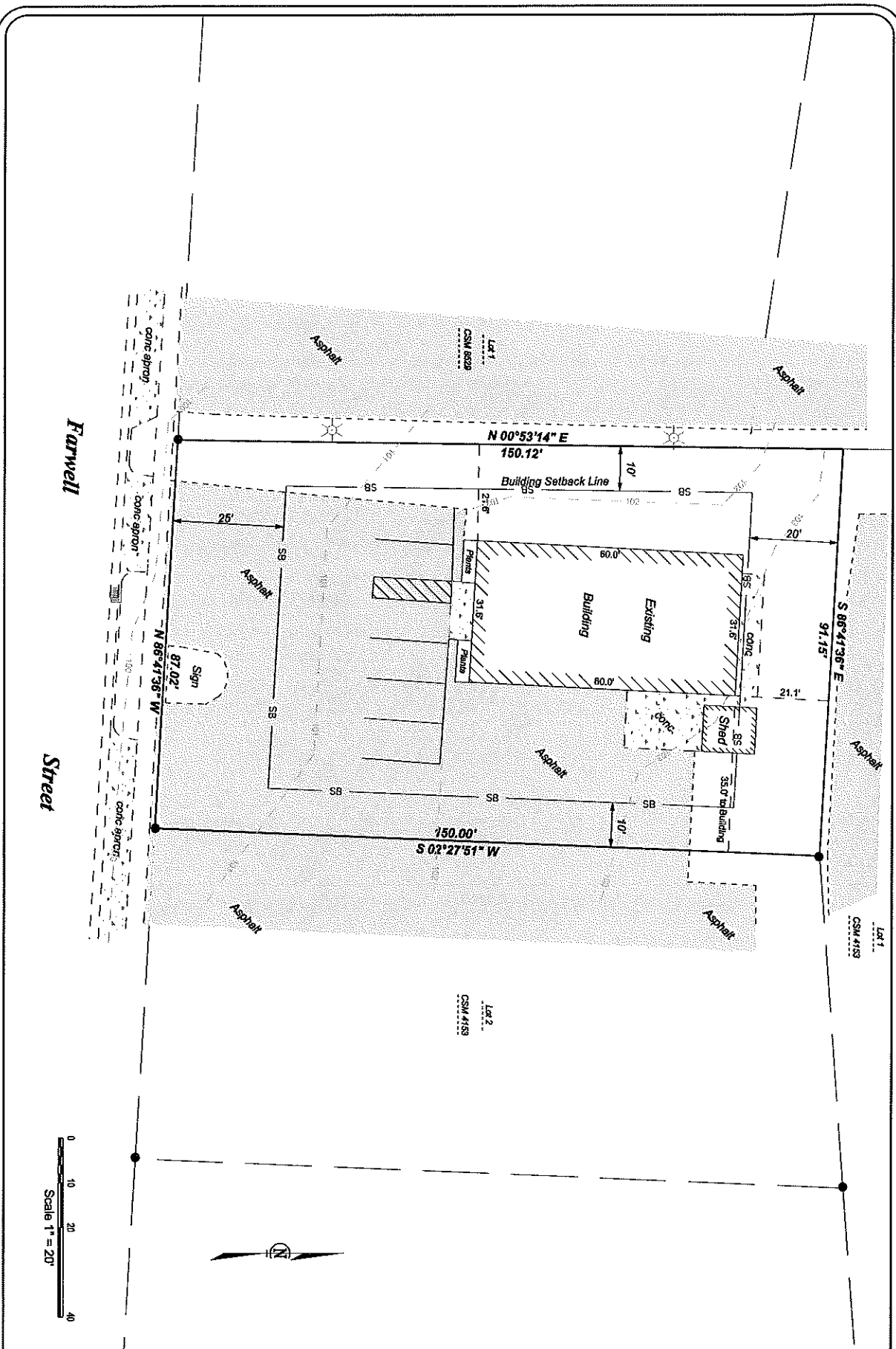
G HEADER 'H' FROM SHEET A10 & A20 SCALE: 1" = 1'-0"

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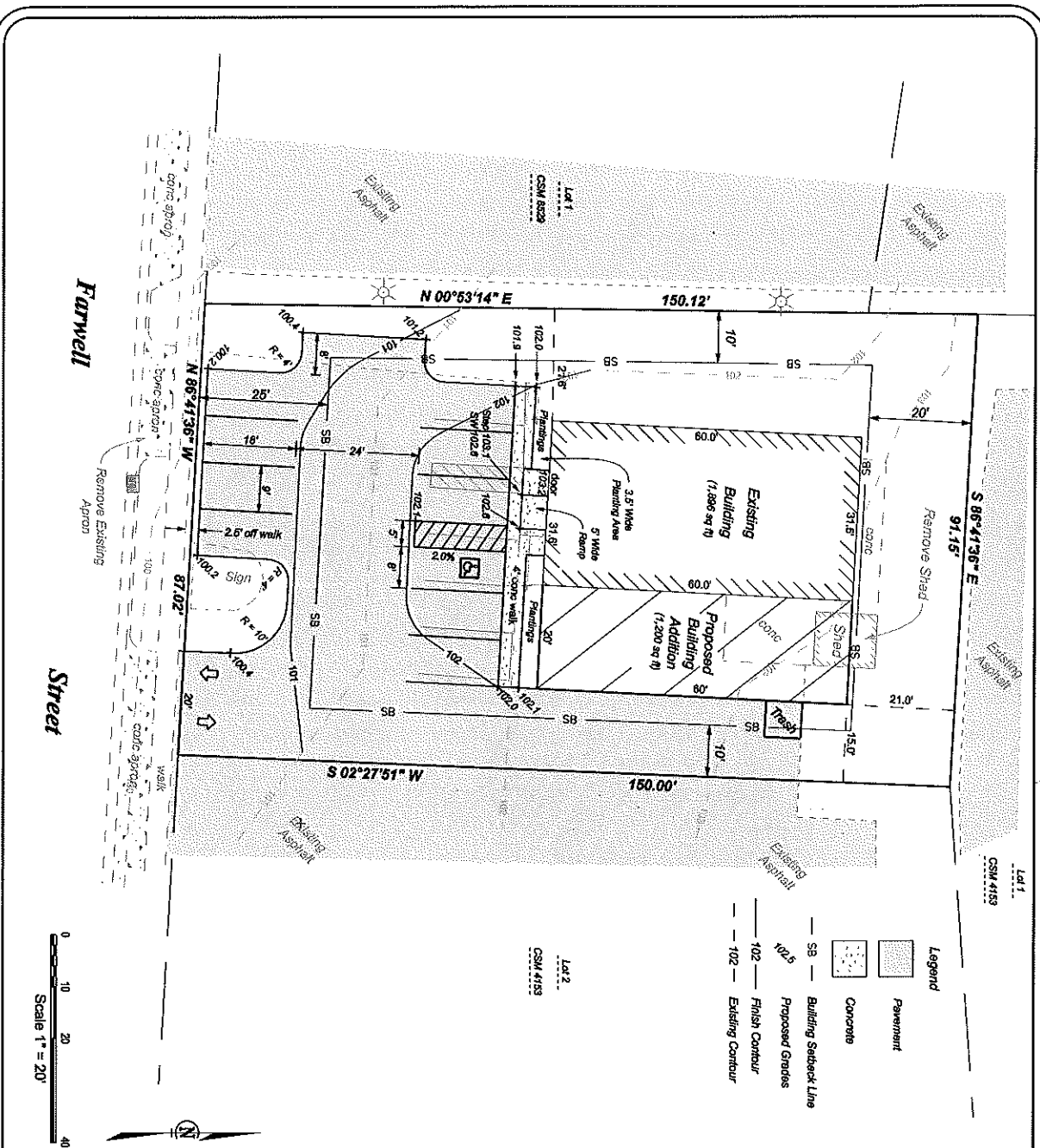
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www.jssmdesign.com
jssm@jssmdesign.com

CUSTOM DESIGN FOR:
**-JSS Consulting-
McFarland Liquor**

REVISIONS:	DATE:	5-14-18
5-31-18		
6-6-18		
JSSM-ALQUOR	JOB NAME:	
SCALE:	AS NOTED	
SHEET:		
S1.1		



Sheet: C-1 Office Map No: 16347	Existing Conditions McFarland Liquors 4716 Farwell Street Village of McFarland, Dane County WI	 Royal Oak & Associates, Inc. 3678 Kinsman Blvd Madison, WI 53704 Phone (608) 274-0500 Fax (608) 274-4530 www.royaloakengineering.com	Drafted By: TT Checked By: CMS Approved By: CMS Date: 01-04-17 05-24-18



Project Description
This project consists of a 20' x 60' addition to the existing building. The parking area will be reconstructed to 9 regular parking stalls in place of the existing 5 regular stalls. The will be one handicap stall. The entrance and exit of the site will utilize the existing east site apron of the parcel from Farwell Street. The existing west apron will be removed.

Site Information
Parcel lying in part of OL 70, Assessors Plat of the Village of McFarland, lying in the SE 1/4 of the NW 1/4 of Section 03, T08N, R10E, Village of McFarland, Dane County, Wisconsin

Owners: Patrick A Machovec LLC
McFarland Liquors
Site Address: 4716 Farwell Street
Zoning: (C-6) General Commercial
Use of Property: Liquor Store

Parcel Information

Lot Area = 13,362 sq ft			
	Existing	Proposed	% of Site
Building	1,896 sq ft	3,096 sq ft	23%
Pavement Concrete	7,005 sq ft	5,517 sq ft	41%
Total Impervious	8,901 sq ft	8,613 sq ft	64%
Green Space	4,336 sq ft	4,749 sq ft	36%
Parking Stalls	5 Reg. Stalls 1 Hand. Stall	9 Reg. Stalls 1 Hand. Stall	

Trash Enclosure
Trash area proposed in the Northeast Corner of Building (shown).
Lighting
Lighting will be installed on the front of Building
Sign
The existing sign along the sidewalk will be removed. The area will be utilized as landscaping.

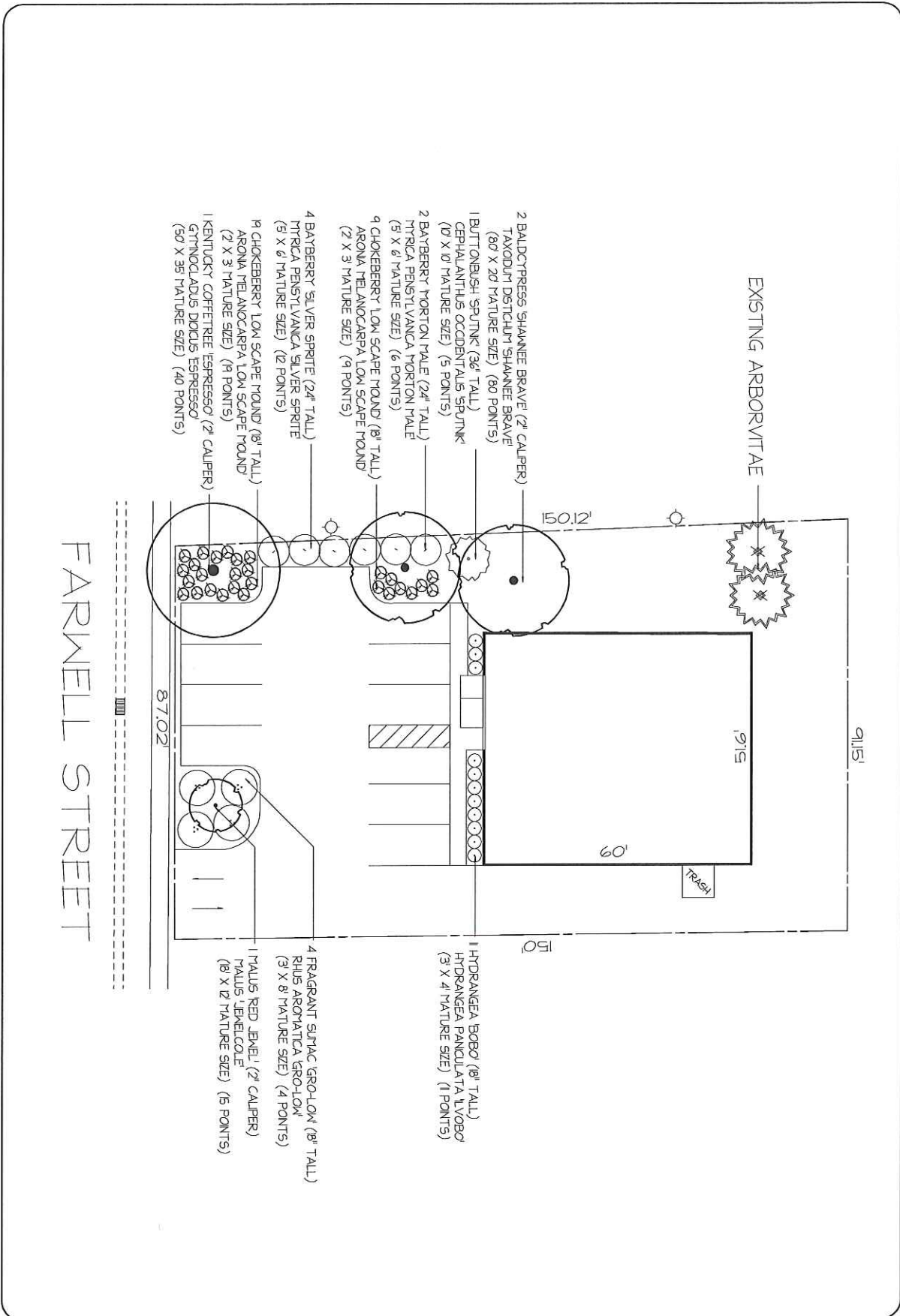
Proposed Site Plan
McFarland Liquors
4716 Farwell Street
Village of McFarland, Dane County WI



Royal Oak & Associates, Inc.
3678 Kinsman Blvd
Madison, WI 53704
Phone (608) 274-0500

Drafted By: TT
Checked By: CN
Approved By: CN
Date: 07-08-18
01-21-18

Office Map No
10347
Sheet C-2



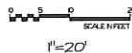
DESIGNED FOR:
McFarland Liquors
4716 Farwell Street
Village of McFarland, Dane County WI
LANDSCAPE PLAN

DESIGNED BY:
Errin Schlopbach

DATE:
2/5/2019

SCALE:

REVISION #



DIRECTION



Village of McFarland
 Landscape Point Calculations
 Minimum Points Required for C-G Zoning District

	Site Measurement	Points Required	Points Provided
Building Foundation	223.2 ft	40 Per 100 ft.	89.28
G.F.A.	3,096 sqft	10 Per 1,000 ft.	30.96
Street Frontage	87.02 ft	40 Per 100 ft.	34.81
Paved Area	5,517 sqft	80 Per 10,000 sq. ft.	44.14
Total Points: 199.19			

MEDIUM DECIDUOUS SHRUB(S)	2	Myrica pensylvanica 'Morton Male'	Morton Male Bayberry	24"	5'h x 6'w	3	6
LOW DECIDUOUS SHRUB(S)	28	Aronia melanocarpa 'Low Scape Mound'	Low Scape Mound Chokeberry	18"	2'h x 3'w	1	28
LOW DECIDUOUS SHRUB(S)	11	Hydrangea paniculata 'ILVOBO'	Bobo Hydrangea	18"	3'h x 4'w	1	11
LOW DECIDUOUS SHRUB(S)	4	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	18"	3'h x 8'w	1	4
TOTAL POINTS:							201

PLANT LIST: McFarland Liquor

PLANT CATEGORY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	INSTALLATION SIZE	MATURE SIZE	POINT VALUE PER PLANT	TOTAL POINT VALUE
CANOPY TREE(S)	1	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffeetree	2" caliper	50'h x 35'w	40	40
CANOPY TREE(S)	2	Taxodium distichum 'Shawnee Brave'	Shawnee Brave Baldcypress	2" caliper	80'h x 20'w	40	80
LOW DECIDUOUS TREE(S)	1	Malus 'Jewelcole'	Red Jewel Crabapple	2" caliper	18'h x 12'w	15	15
TALL DECIDUOUS SHRUB(S)	1	Cephalanthus occidentalis 'Sputnik'	Sputnik Buttonbush	36"	10' h x 10'w	5	5
MEDIUM DECIDUOUS SHRUB(S)	4	Myrica pensylvanica 'Morton'	Silver Sprite Bayberry	24"	5'h x 6'w	3	12

Espresso Kentucky Coffee Tree
(*Gymnocladus dioica* 'Espresso')

Mature Size:

Height: 50'

Spread: 35'



Noteworthy Characteristics: Native to the Midwest. Has attractive rough bark. Moderately fast growing tree. Has a bold, picturesque form with stout asymmetrical branches. Espresso is a male variety of the Kentucky Coffeetree so it will not produce seed pods. Adaptable to many conditions such as alkaline soil, salt and drought.



Shawnee Brave Bald Cypress
(*Taxodium distichum* 'Mickelson')

Mature Size:

Height: 50-70'

Spread: 15-20'



Noteworthy Characteristics: Bald Cypress is an adaptable tree that tolerates a wide variety of conditions from somewhat dry soils to standing water. Bald Cypress is a long-lived pyramidal, deciduous conifer. Although it looks like a needled evergreen, it loses its needles in the fall. It is native to southern swamps from the Gulf of Mexico to Missouri. In cultivation, it grows very well in drier upland soils. Trunks are buttressed at the base and when growing in water, the tree develops distinctive "knees". Soft, feathery light green foliage turns orange/cinnamon brown in fall. Cones disintegrate into small pieces when they fall and are not a litter concern. Shawnee Brave is a narrow pyramidal cultivar that has a narrow shape and dense foliage. Wonderful and unique tree!



Red Jewel Crabapple
(*Malus* 'Jewelcole')

Mature Size:

Height: 15'

Spread: 12'



Noteworthy Characteristics: Urban tolerant, easy to transplant trees that will tolerate heavy clay soils, but not flooding. Subject to rabbit and vole damage in winter. Some cultivars will sucker from the base—it is important to remove these when you notice them. White flowers adorn the tree in spring, followed by persistent bright red fruit that turns dark red when it gets very cold. Excellent scab resistance. Good crabapple to grow in WI.

Sputnik Buttonbush
(*Cephalanthus occidentalis* 'Sputnik')

Mature Size:

Height: 10-15'

Width: 10-12'

Noteworthy Characteristics: Sputnik is a selection of our native Buttonbush chosen for large bloom size and long bloom period.

Sputnik also features a nice form and glossy foliage. Pale pink fragrant flowers appear in

late summer and are a magnet to butterflies and other pollinators as well as hummingbirds. Native to wet areas, this shrub does best in similar situations and works well in rain gardens and bioswales. Pruning is not usually necessary, but may be done in early spring to shape the plant. If needed, the plant can also be cut back near to the ground in spring to revitalize. Dried flower heads persist on the shrub and provide some winter interest. Salt tolerant.



Silver Sprite Bayberry
(*Myrica pensylvanica* 'Morton')

Mature Size:

Height: 5'

Spread: 7'

Noteworthy Characteristics:

Native to the Eastern US, Bayberries are semi-evergreen to deciduous shrubs that have an upright habit and irregular shape. They are multi-stemmed, suckering shrubs that can form colonies. The leathery leaves are fragrant when crushed. Females produce small BB-sized fruits with a white waxy coating. These fruits are used to make Bayberry Candles. Tolerant of salt spray. Can get chlorosis in high pH soils. Males and females are needed for pollination and fruit production; Silver Sprite is a female variety. No regular pruning needed, just cut off any dead or broken



Morton Male Bayberry
(*Myrica pensylvanica* 'Morton Male')

Mature Size:

Height: 5'

Spread: 7'

Noteworthy Characteristics: Native to the Eastern US, Bayberries are semi-evergreen to deciduous shrubs that have an upright habit and irregular shape. They are multi-stemmed, suckering shrubs that can form colonies. The leathery leaves are fragrant when crushed. Morton Male is a male version of Bayberry that will not get berries but does pollinate female varieties so that they will. Purple-toned winter leaf color. Tolerant of salt spray. Can get chlorosis in high pH soils. Males and females are needed for pollination and fruit production. No regular pruning needed, just cut off any dead or broken branches.



Low Scape Mound Chokeberry
(*Aronia melanocarpa* 'Low Scape Mound')

Mature Size:

Height: 2'

Width: 2'

Noteworthy Characteristics: A lovely small shrub with multi-season interest, Low Scape Mound produces abundant white blooms in May followed by black fruits about the size of blueberries by fall. The fall color is an intense red-orange. The fruits are edible though are very tart raw and are better when made into jellies and jams (or you can let the birds eat them!). Tough, adaptable shrub. Deer resistant.



Bobo Hydrangea
(*Hydrangea paniculata* 'ILVOBO')

Mature Size:

Height: 30-36"

Spread: 3-4'

Noteworthy Characteristics: Bobo offers loads of flowers for such a tiny plant. This dwarf hydrangea is engulfed by large white flowers in summer, that can turn pinkish in fall. The flowers are held upright on strong stems, and continue to grow and lengthen as they bloom. The flowers can be used in cut flower arrangements.



Gro-Low Sumac
(*Rhus aromatica* 'Gro-Low')

Mature Size:

Height: 2'

Spread: 6-8'

Noteworthy Characteristics:

Cultivar of a WI native. Sumacs are some of the easiest shrubs to grow and require very little maintenance. Gro-Low has excellent glossy foliage and fuzzy, red, berry-like fruits form at the tips of some of the branches if grown in full sun. Drought tolerant when mature. Grows rapidly and suckers freely, making it a great groundcover shrub. Good fall color (orange-red).



DESIGN GUIDELINES TID #5

Approved August 13, 2018

In drafting design guidelines for TID # 5 we look to land uses which make-up our existing Farwell St. or “Main Street” corridor and is really the backbone of this TID. Today various businesses, civic uses, residences, open spaces, parking areas, streets and sidewalks all make-up land uses along the corridor. This thoroughfare primarily served as a commercial link to the Village populace. In more recent times, the corridor morphed to serve as a link to a bigger market area—namely Madison and Dane County.

Today, successful main st. environments really are a step back to a time when local businesses sought to locate along corridors with a pedestrian focus. Vehicular mobility is not ignored however; rather, new design ideas create a safe and mobile environment for pedestrian and vehicle movements. Incorporating the following design elements will create a unifying sense of place within an aesthetically pleasing environment that can create destinations that recapture the original intent of a main street.

BUILDING ORIENTATION

- Provide ample sidewalk locations and corridor widths of one to three people for ease of pedestrian mobility.
- Locate smaller buildings of one or two stories immediately adjacent to sidewalks (no setbacks).
- Locate parking to the side or rear of buildings.
- Coordinate vehicles and pedestrian circulation with development on adjacent lots
- Install sidewalks on all streets, connect building entries to sidewalks, provide bicycle parking.
- Locate service areas, mechanical equipment, and refuse containers to the rear of buildings and screen them.
- Screen any roof and wall mounted mechanical equipment.
- Construct parking areas and landscape islands with curb and gutters at the edges
- Any onsite storm infiltration areas should be incorporated as site amenities.
- Avoid deep building setbacks on buildings to avoid large expanses of parking lot or impervious surfaces.
- We encourage sustainable design and materials in construction projects.

BUILDING DESIGN AND MATERIALS

- Design buildings between one and four stories in height
- Promote high quality design by architects and design exterior walls to appear at a min. 1 ½ stories in height.
- Avoid stock building designs
- Discourage standardized franchise or corporate architecture and bright or highly contrasting color schemes.

- Continue the architectural theme, design, and detailing on all three sides of the building.
- Do not allow loading docks or overhead utility doors on street facing facades.
- Provide overhangs along front facades for pedestrian shelter.
- Design buildings so their height and scale are compatible with surrounding buildings or provide appropriate transitions for larger buildings to help reduce differences in scale.
- Use natural building materials such as stone, wood, brick, and glass.
- For larger buildings use techniques to reduce scale and monotony, such as window patterns, roof overhangs siding awnings moldings, fixtures, structural bays and articulated entryways.
- We encourage sustainable practices with site development, design, and methods in building of any project.

LIGHTING

- Design pedestrian lighting in the front of buildings not to exceed 15ft. in height and parking lot lighting not to exceed 25 ft. in height. Select lighting to match or compliment any decorative lighting along the right-of-way.
- Use building mounted lighting to highlight architectural features or main building entrances. Avoid general floodlighting or neon outlining of the building façade.
- Use ninety degree down cast cutoff fixtures (without drop lenses) for all lighting.
- Avoid lighting “hot spots”.
- Keep lighting levels at lot lines to a max. of .5 foot-candles
- Provide use of energy efficient fixtures and bulbs

PARKING

- Site parking to rear or side of main building. Screen from street light views to minimize visual impacts.
- Encourage shared parking between nearby building, parcels, to minimize creation of excess paved areas.
- Provide safe pedestrian walkways from the parking lot as well as from any municipal sidewalks.
- We encourage natural green shielding over hardscaping where applicable.

SIGNAGE

- Use on-site monument type signs with exterior lighting and integrate with site landscaping. Screen exterior lighting from direct view of street, sidewalks or driveways with landscaping.
- With monument signs use base materials that are similar to main building materials.
- Encourage combining signage onto one ground monument sign where there is more than one business on a lot.

GAS STATIONS AND CONVENIENCE STORES

- Limit the amount of unrelieved paved area on the site by using landscaping and other site design techniques.
- Designs should provide an attractive appearance to building that is comparable with the surrounding area.
- Design any on-site separate structures, canopy, car wash etc. with consistent materials and architectural details for a cohesive project.
- Carefully site any car wash facilities. No direct view should be visible from the street. Careful consideration should be given to off street noise, lighting, hours of operation, vacuum placement and vehicle stacking.



McFarland Fire & Rescue Department

5915 Milwaukee Street • PO Box 110 • McFarland, WI 53558-0110
(608) 838-3278 • Fax: (608) 838-3619

Emergency: 911

Christopher Dennis
Fire & Rescue Chief

February 21, 2019

Pauline Boness
Village of McFarland Community Development
5915 Milwaukee St.
McFarland, WI 53558

RE: Site Plan Review for proposed McFarland Liquors expansion.

Dear Pauline,

After review of the proposed McFarland Liquors expansion at 4716 Farwell Street, our department is not finding any building concerns. However, I did notice that they have cited using the Wisconsin Enrolled Building Code (IBC-2009). They will be required to use the IBC-2015 edition.

If you have any questions regarding the above, please contact me via phone at 608-838-3278 or via email at mitchell.sutter@mcfarland.wi.us

Sincerely,

Mitchell Sutter
Fire Inspector/Public Education Specialist

Cc: Chris Dennis, Fire & EMS Chief (McFarland Fire & Rescue Department)

From: Craig Sherven
Sent: Monday, February 18, 2019 2:50 PM
To: Pauline Boness;
Subject: 4716 Farwell Plans (McFarland Liquor)

My only comment is to make sure the proposed bushes/trees near the entrance/exit do not create a visual obstruction for vehicles exiting out onto Farwell.

Craig J. Sherven
Chief of Police
McFarland Police Department
608-838-2352



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Review and possible action on a Detailed Plan for the development of Lot 20, Woodland Commons with a 3 unit multi-family structure

PREVIOUS ACTION:

ISSUE SUMMARY:

Lot 20 is one of the last undeveloped lots in the Woodland Commons Subdivision. The General Development Plan & Plat were approved in 2003 with Lot 20 slated for a four unit townhouse. The current proposal identifies a 3 unit townhouse and is considered to be “generally in compliance” with the General Plan from 2003.

Planned Development District Standards and Responses were reviewed by staff with comments on the following items:

c. Traffic circulation – developer working with our Village Engineer to reduce the slope of the proposed driveway from 30% to less than 15%. The developer and our Village Engineer are working on a more detailed grading plan.

d. The proposed development does not infringe on the nearby burial mound (see exhibit #2).

j. This is a traditional townhouse project to be constructed in one entire phase. We do not anticipate the developer having any financing challenges.

k. The anticipated start date is roughly May 2019 with a completion date of August 2019, which is reasonable. This is a single-phase project.

All other standards are deemed to be satisfactorily met.

FINANCIAL/BUDGET IMPACT:



VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommendation: Approval conditioned upon approval by the Village Engineer of a grading plan.

ATTACHMENTS:

1. 3.18.19 Lot 20 woodland

RECEIVED
FEB 15 2019
VILLAGE OF McFARLAND

Planned Development

Statement of Owners Intent,
And Detailed Plan for
Woodland Commons Lot 20

Project:
Woodland Commons Lot 20- 3 Unit

Owner:
Nathan and Tara Furst

Statement of Owners Intent

It is the intent of the Owner to develop lot 20 in Woodland Commons with a three-unit townhouse style plan. The purpose of this submittal is to seek the following Village approval:

- 1) Detailed Plan for 3 unit on Lot 20 Woodland Commons.

Legal Description

The lands controlled by the Owner addresses and legal descriptions are as follows:

- 1) Lot 20 Woodland Commons Plat

Existing Site

The Existing Site Plan is included as Exhibit #1 and the site features are as follows:

- 1) The lot is 17,148 square foot;
- 2) Existing 3-unit and duplex are adjacent to the north and south;
- 3) Existing duplexes and multifamily apartments are across Lexington Street to the West;

Description of Detailed Plan for Lot 20 Woodland Commons

It's a two story 3-unit building proposed and the details are as follows:

- 1) The Site Plan is included as Exhibit #2 with features as follows:
 - 3,657 square foot footprint;
 - 1,785 square foot paved area;
 - 4,047 square foot impervious area;
 - Three two car garages;
 - The building will take advantage of and blend into the existing topography similar to the duplex to the south
 - Building height 26'
 - The proposed project is similar to surrounding properties.

2) Grading Plan is included as Exhibit #3 with features as follows:

- Three two car garages on the west side of the building;
- Entry doors on the west side of the building;
- Retaining walls to accommodate the natural grade changes

3) The Rendering is included as Exhibit #4

- Intended to meet the goal to "vary building facades by using different but complementary colors.

4) The Exterior Elevations drawings are included as Exhibits Exhibit #3

- Intended to meet the goal to "emphasize high quality natural building wall materials such as brick.

- Brick and vinyl 4 siding
- Vinyl slider windows
- Roof materials include three dimensional asphalt shingles;

5) The Landscape Plans are included as Exhibit #5.

- Hydrant is located to the north just off the property line;

7) The Lighting Plan is included as Exhibit #7.

8) Unit Type

- 3 three- bedroom units;
- Each unit will have individual washers and dryers and decks;

Planned Development District Standards and Responses

Section 62-67(4) lists the standards shall apply in the review of all general or detailed plans proposed for the Planned Development District. The standards and these submittals responses are as follows:

- a) "The uses proposed in the planned development shall be in general conformance with the Village Comprehensive Plan". The proposed General Plan is in general conformance with the "Woodland Commons" guidelines. In the general plan Lot 20 was planned for 4 townhouse styles units. The proposed plan is in conformance because we are following the style of units just reducing the number of units from four to three units. This is to allow for more grass space and a less crowded feel. The proposed building has a similar use to the other lots in the general plan.
- b) "The establishment, maintenance or operation of the uses proposed in the planned development shall not substantially impair or diminish the use value and enjoyment of other properties within the neighborhood". The proposed General Plan will not substantially impair or diminish the use value and enjoyment of the adjacent properties. Our proposed use is similar to the surrounding properties. Duplexes and multi-family projects. The lot is the last undeveloped lot on Lexington Street. It will finish the street.
- c) "Traffic circulation into and within the development shall be designed to minimize traffic congestion and traffic hazards, provide for the accessibility of all uses and buildings and also provide for the safe and convenient movement of both vehicles and pedestrians". Private driveway entrance to Lexington Street. The 19' wide driveways will provide safe and convenient movement of vehicles and the existing sidewalk will provide safe movement for pedestrians.
- d) "The planned development shall incorporate environmental design considerations, including the preservation of topography, trees and ground cover, streams and natural bodies of waters, and other significant natural features and control of erosion and runoff in accord with the Village Erosion Control and Stormwater Management Ordinances". There are no existing environmental features to preserve.

The proposed development will take advantage of and blend into the existing topography. The Landscape Plan will meet Village landscaping ordinances.

- e) "The planned development shall provide for convenient and harmonious groups of buildings, structures and uses; and buildings shall be spaced and sited to ensure adequate safety, light, ventilation and privacy". The proposed buildings will be designed with similar materials to the surrounding structures and architectural style and will be located within standard setbacks to maximize privacy.

f) "In a planned development for residential use, adequate open space and recreational areas shall be provided in appropriate locations, and all public and common open spaces shall be designed and located to provide safe and convenient access to residents '. There are no recreational areas proposed as a part of this planned development but just north of the property are is a walking trail up to the wooded park area east of the property. The lawn and landscaped areas will provide a common open space that is safe and accessible to residents.

g) "Planned Development Districts housing impacts on community resources in the same manner as other new development, which are characterized by division of land into lots. In particular, the additional population density places demands upon Village parks and recreation areas. Accordingly, each dwelling unit newly established shall be required to dedicate land or provide fees in lieu of land, in accordance with the procedures set forth in Section 62-64". The proposed 3 dwelling unit is part of Woodland Commons PUD. Park space and a walking path have been previously dedicated to the Village as part of the Woodland Commons plat.

h) "The planned development will not adversely affect the ability of public agencies to provide school or other municipal services". The planned development will not adversely affect the ability of public agencies to provide school or other municipal services

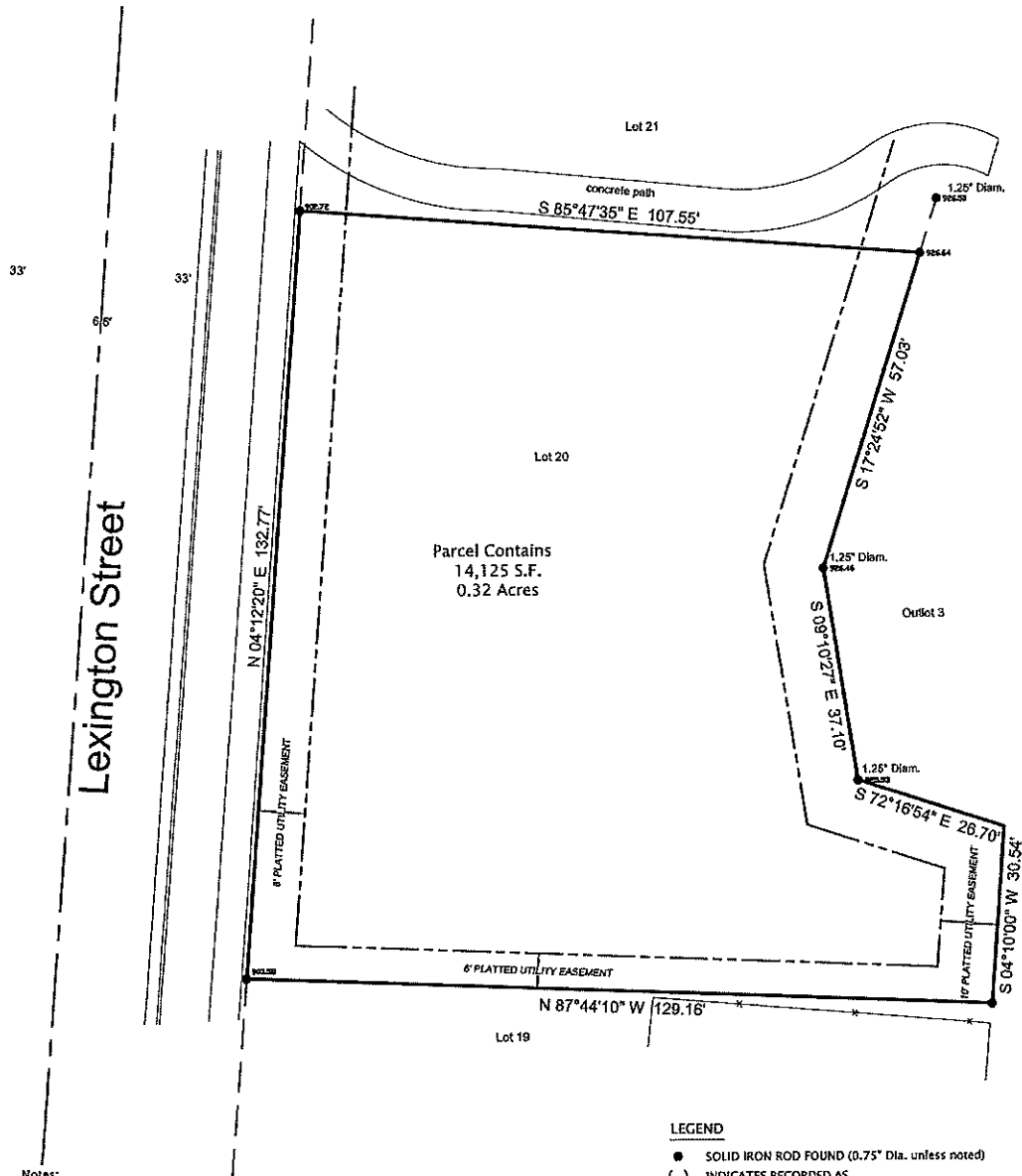
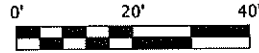
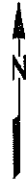
i) "The width of street rights-of way, width of paving, width and location of street or other paving, outdoor lighting, location of sewer and water lines, provision for stormwater drainage or other similar environmental engineering considerations shall be based on a determination and the appropriate standards necessary to implement the specific function in the specific situation; provided, however, that in no case shall standards be less than those necessary to ensure the public safety and welfare as determined by the Village". The constructions will meet Village and State requirements.

j) "The proponents of a Planned Development District application shall provide evidence satisfactory to the Village Board of its economic feasibility of available adequate financing and that it would not adversely affect the economic prosperity of the Village or the values of surrounding properties". The applicant feels that this proposal will be a benefit to the Village and not adversely affect surrounding properties.

k) "The proponents of a Planned Development District shall submit a reasonable schedule for the implementation of the development of the development to the satisfaction of the Village Board, including suitable provisions for assurance that each phase could be brought to completion in a manner that would not result in an adverse effect upon the community as a result of termination at that point'. The proposed phase building anticipated completion date is August 31, 2019.

Site Plan

Lot 20, Woodland Commons, in the Village of McFarland, Dane County, Wisconsin



Notes:

1. This parcel may be subject to, or benefit from, Easements or agreements, written or otherwise, not shown hereon.

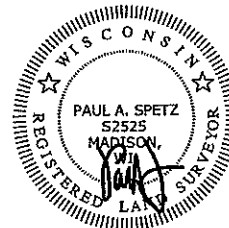
LEGEND

- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
 - () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

PREPARED FOR:
TARA FURST
PO BOX 54
McFARLAND, WI 53558
PREPARED BY:
ISTHMUS SURVEYING, LLC
450 NORTH BALDWIN STREET
MADISON, WI 53703
(608) 244.1090
www.isthmussurveying.com

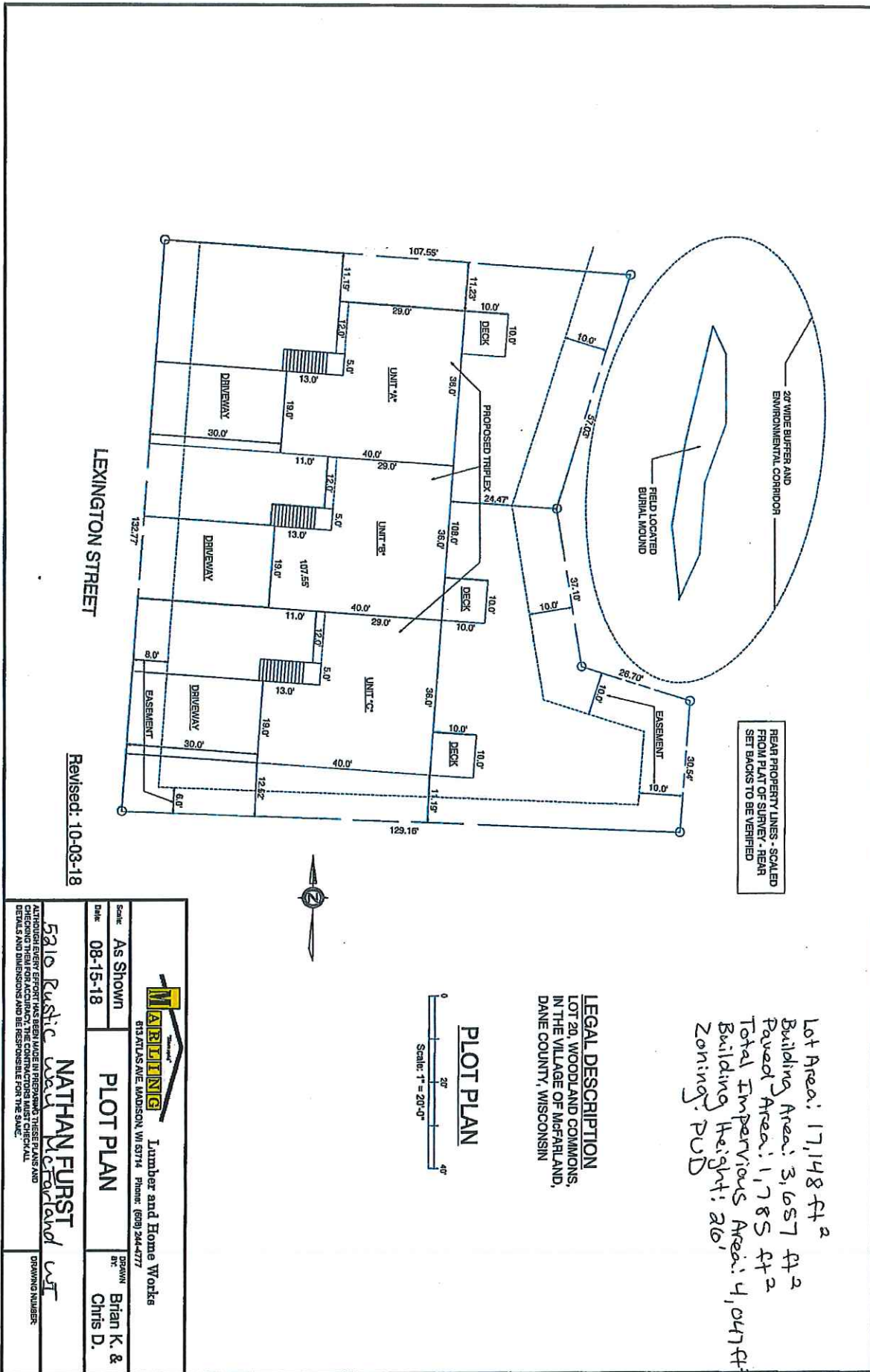
I, Paul A. Spetz, Wisconsin Registered Land Surveyor No. 2525, of Isthmus Surveying LLC, hereby certify that, to the best of my knowledge and belief, this site plan is a correct representation of the existing conditions on said site.

Paul A. Spetz S. 2525 Dated: July 31, 2018

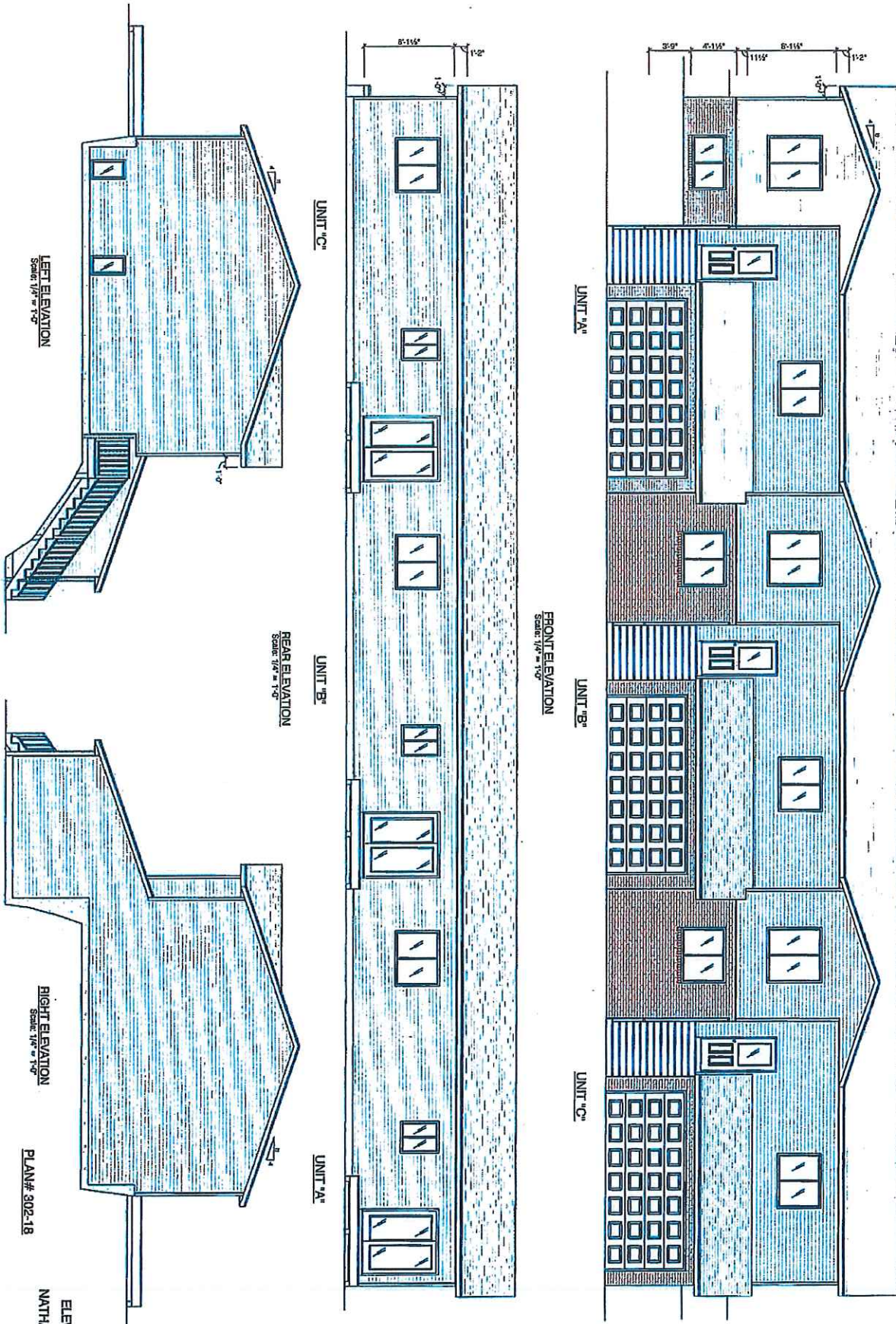


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Exhibit 2



Lot Area: 17,148 ft²
 Building Area: 3,657 ft²
 Paved Area: 1,785 ft²
 Total Impervious Area: 4,047 ft²
 Building Height: 26'
 Zoning: PUD

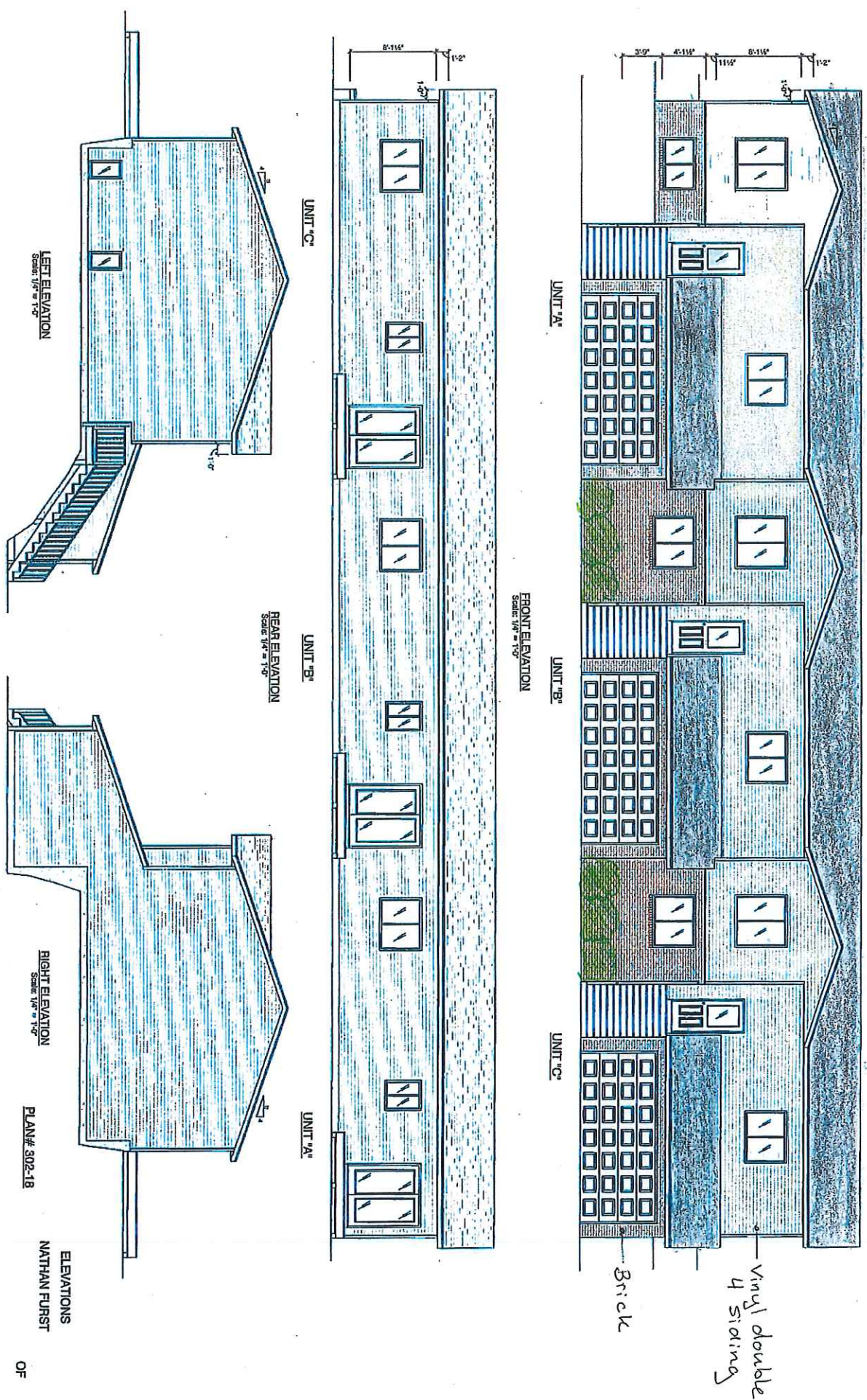


ELEVATIONS
NATHAN FURST

OF

Exhibit 3

Exhibit 4



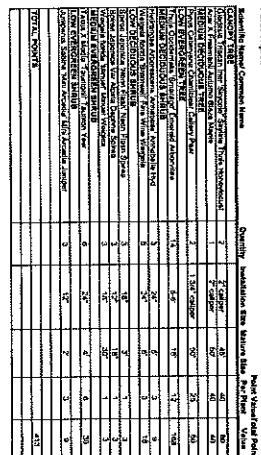
LEFT ELEVATION
Scale 1/8" = 1'-0"

RIGHT ELEVATION
Scale 1/8" = 1'-0"

PLAN# 302-18

ELEVATIONS
NATHAN FURST

OF



Positive Virtual Training Policies

3570 Pioneer Road
Verona, VA 22693
PH: (800) 827-9401
FAX: (505) 827-9402
Web: www.burroughs.com

Send
To protect against legal liability,
for above referenced number are
"abstract," and should not be
"construction documents," unless
approved by the Landmarks
Department. This is not an original
document unless stamped in
red, as ORIGINAL.

Remarks:

Reference Number:
Z-1000



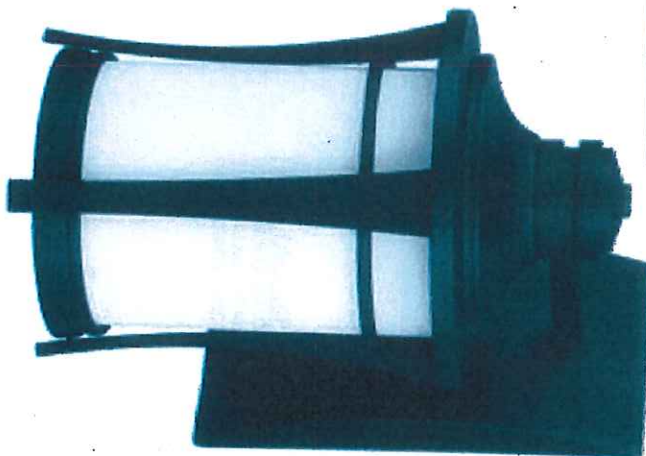
Fire Hydrant
Location

LEXINGTON STREET

Revised: 10-03-18

 Mulling Lumber and Home Works 613 ALUS AVE. MADISON, WI 53714 Phone: (608) 244-4777	
Scale: As Shown	Date: 08-15-18
Fire Hydrant Location	
NATHAN FURST SALES Rustic Wood Products 5210 Rustic Wood Products DETAILS AND DIMENSIONS ARE RESPONSIBLE FOR THE SALE	DRAWING NUMBER Brian K. & Chris D.

Exhibit 6



• - Exterior Light
fixture



LEXINGTON STREET

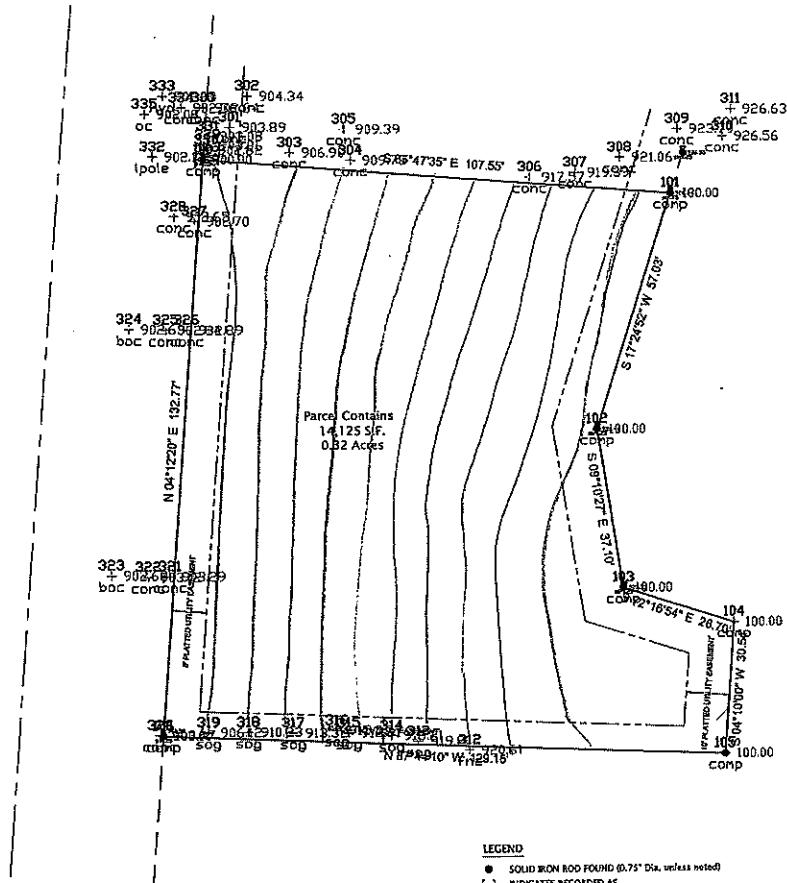
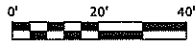
Revised: 10-03-18

 Lumber and Home Works 613 ATLANTIC AVE. MADISON, WI 53714 Phone: (608) 244-4777		DRAWN BY Brian K. & Chris D.
Scale: As Shown Date: 08-15-18	Lighting Plan	
NATHAN FURST		DRAWING NUMBER
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND DETAILS, THE USER OF THESE PLANS AND DETAILS ASSUMES ALL RESPONSIBILITY FOR THE SAME.		

Exhibit 7

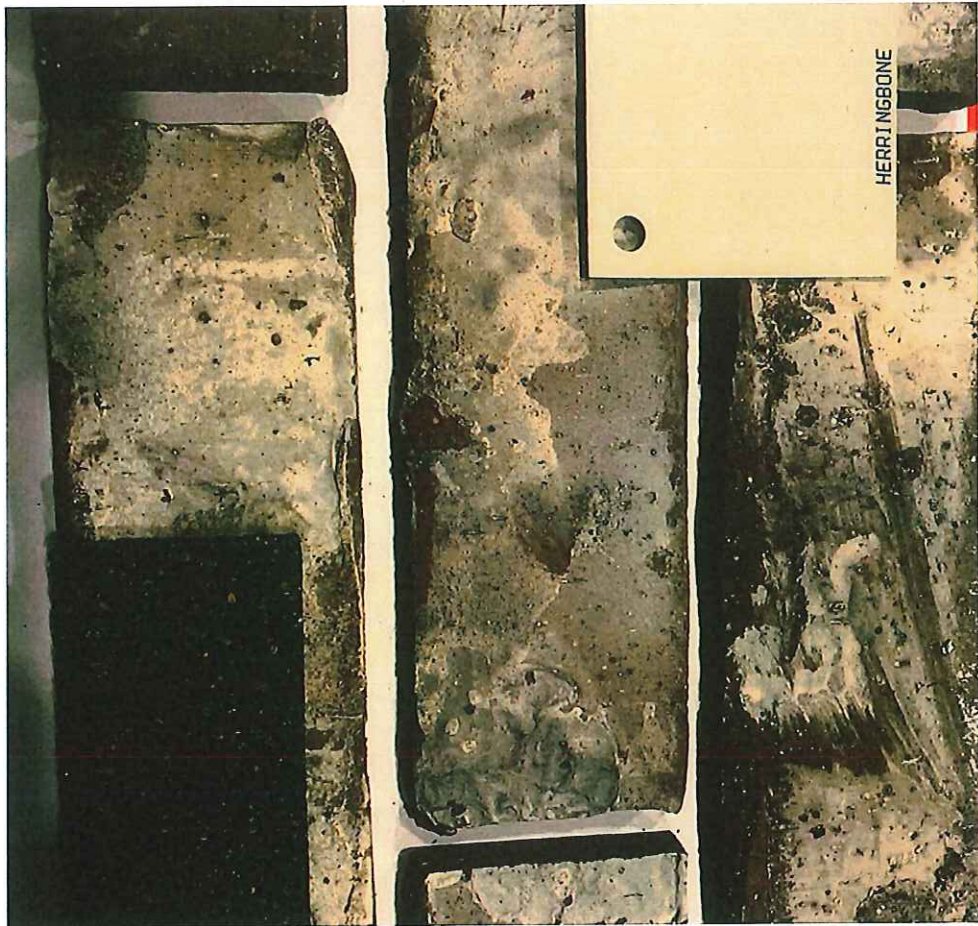
Site Plan

Lot 20, Woodland Commons, in the Village of McFarland, Dane County, Wisconsin

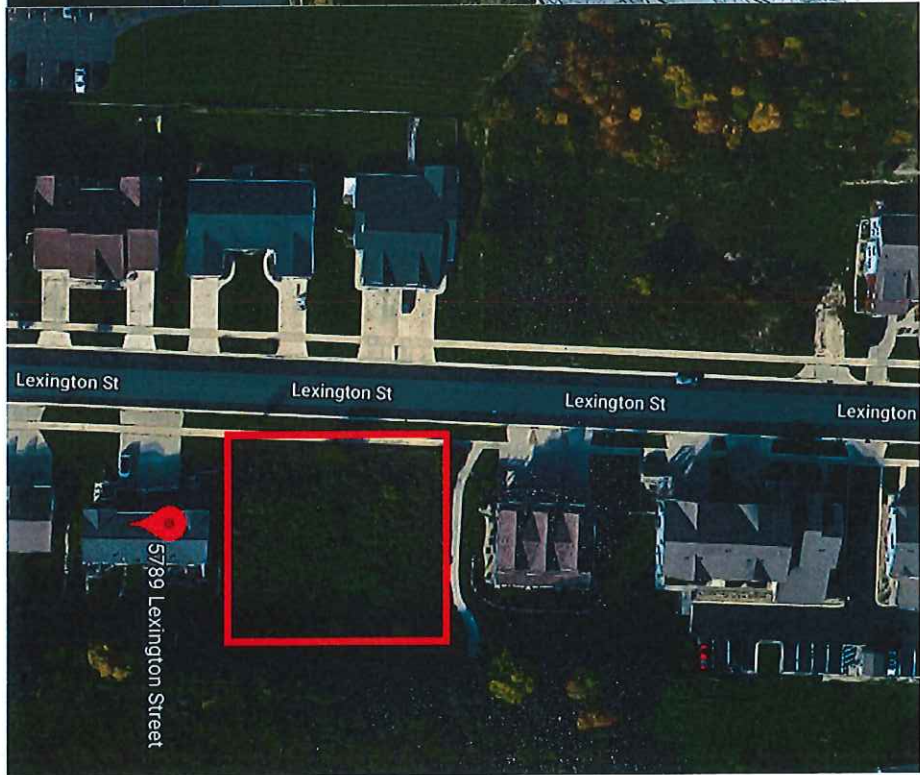


LEGEND

- SOLID IRON ROD FOUND (0.75" Dia. unless noted)
- () INDICATES RECORDED AS
- DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.



Exterior Color Samples

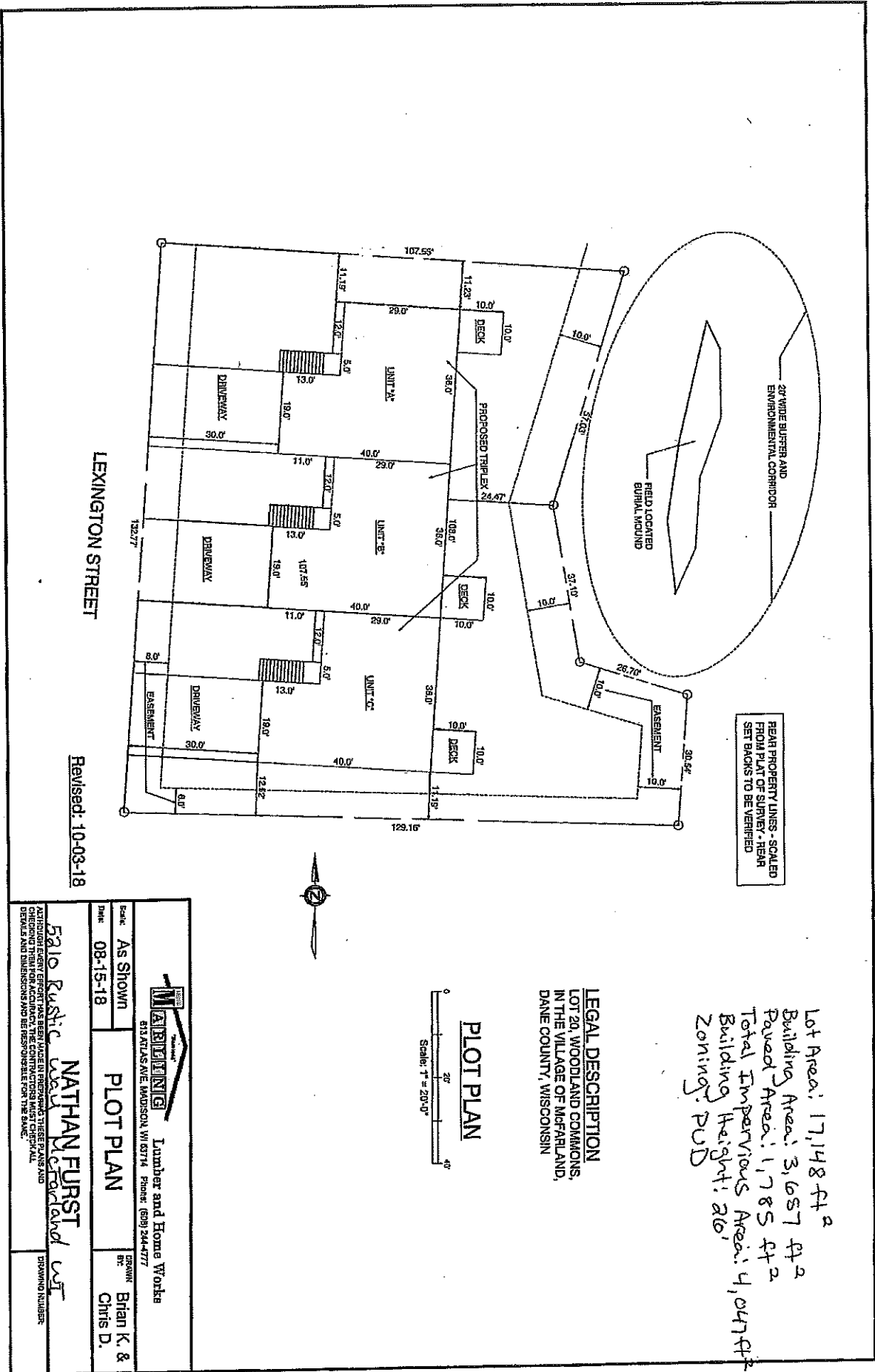


Lot 20 Woodland Commons



Adjacent Property 5785-5789 Lexington Street- The proposed plan would blend into the topography similar to this property

Exhibit 2



Karen Knoll

From: Craig Sherven
Sent: Monday, February 18, 2019 2:40 PM
To: Pauline Boness
Cc: Karen Knoll

Regarding Woodland Commons Lot 20:

No comments.

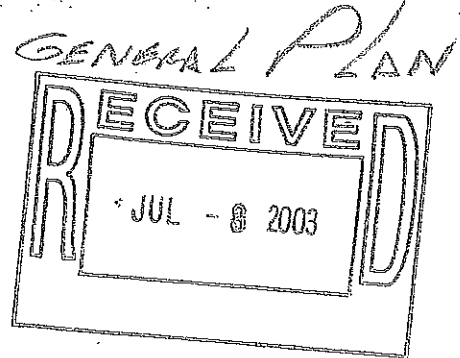
Craig J. Sherven
Chief of Police
McFarland Police Department
608-838-2352

KEN SAIKI
DESIGN INC

LANDSCAPE
ARCHITECTS

COPY

COPY



Date: July 7, 2003

To: Village of McFarland

From: Ken Saiki Design

Re: Planned Development District for Woodland Commons Plat
Lots 8, 9, 20, 21, 22, 23 and 24.

including lot 7 4,880 sq. ft.

General Plan

Statement of Owner's Intent

Description of Development

- a. Legal Description: The property consists of Lots 8, 9, 20, 21, 22, 23 and 24 of the Woodland Commons Plat.
- b. Applicant's Interest: The Owner intends on developing multi-family residential uses with a variety of building types. The General Plan shows approximately 55 units.
- c. Proposed Development: The development is comprised of two basic building types; a 16 unit, two story building with underground parking and a 2-1/2 story townhouse style building with a lower level two car garage for each unit. The 16 unit buildings would include one, two and possibly three bedroom units. The townhouse units would be two to three bedroom units, of approximately 1,200-1,500 gsf. Both building types are intended to take advantage of and blend into the existing topography.

The site development includes a series of paths connecting each unit and building with the public sidewalk and adjoining park and open space.

The development schedule contemplates potential groundbreaking on a first phase of the development at the start of construction season in 2004.

- d. A concept plan is attached. General site data has been included on the plan.

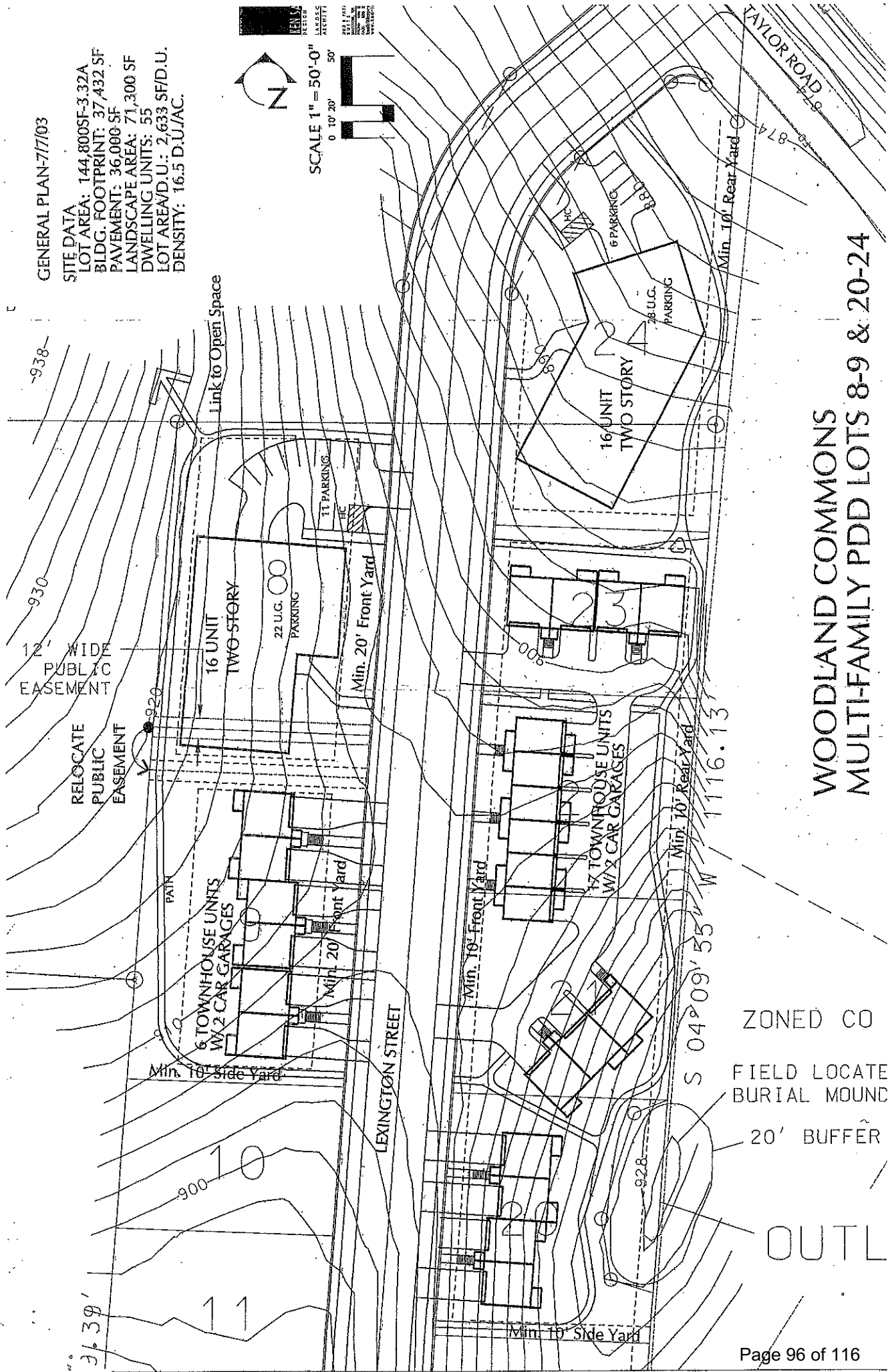
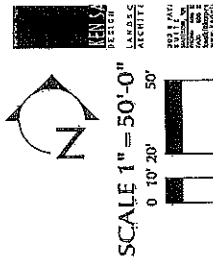
303 S. PATERSON
SUITE ONE
MADISON, WI 53703

Phone: 608 251-3600
Fax: 608 251-2330
info@ksd-la.com
www.ksd-la.com

GENERAL PLAN-7/7/03

SITE DATA

LOT AREA: 144,800 SF-3.32A
 BLDG. FOOTPRINT: 37,432 SF
 PAVEMENT: 36,000 SF
 LANDSCAPE AREA: 71,300 SF
 DWELLING UNITS: 55
 LOT AREA/D.U.: 2,633 SF/D.U.
 DENSITY: 16.5 D.U./AC.



WOODLAND COMMONS
 MULTI-FAMILY PDD LOTS 8-9 & 20-24

ZONED CO

FIELD LOCATE
 BURIAL MOUND

20' BUFFER

OUTL

From: Craig Sherven
Sent: Monday, February 18, 2019 2:40 PM
To: Pauline Boness
Cc:

Regarding Woodland Commons Lot 20:

No comments.

Craig J. Sherven
Chief of Police
McFarland Police Department
608-838-2352



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Review and possible action on Resolution 2019-06 Plan Commission resolution approving Detailed Plan for the Development of Lot 20 Woodland Commons.

PREVIOUS ACTION:

ISSUE SUMMARY:

Drafted by Attorney Dan Evans, approves the Detailed Plan for Lot 20

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommendation: Approval if the Detailed Plan in the previous agenda item is approved.

ATTACHMENTS:

1. 3.18.19 Resolution 19-06

RESOLUTION 2019 -06

**PLAN COMMISSION RESOLUTION APPROVING DETAILED PLAN OF
DEVELOPMENT OF LOT 20, WOODLAND COMMONS**

WHEREAS, on July 28, 2003 the McFarland Village Board approved rezoning the following real estate to the Planned Development-General Plan Approved District:

Lot 20, Woodland Commons, in the Village of McFarland, Dane County, Wisconsin;
the ("Property"); and

WHEREAS, the Developer has submitted a Detailed Plan for the Property in compliance with all of the requirements of Section 62-67(i)(1) of the McFarland Municipal Code sufficient for the Plan Commission to complete its review; and

WHEREAS, the Plan Commission has reviewed the Detailed Plan as required by Section 62-67(i)(2)a of the McFarland Municipal Code, and has determined that the Detailed Plan complies with the standards set forth in Section 62-67(i)(1) and is in general conformance with the approved General Plan of the Development;

NOW, THEREFORE, BE IT FURTHER RESOLVED, by the Plan Commission of the Village of McFarland as follows:

1. The Detailed Plan for the Property is hereby approved.
2. The Village Attorney shall record in the Office of the Register of Deeds of Dane County a certified copy of this resolution as well as a copy of the approved Detailed Plan.
3. The Zoning Administrator is hereby directed to label these changes on the Official Zoning Map of the Village following recording of this Resolution.

The above and foregoing Resolution was duly adopted by the Plan Commission at a regular meeting held on _____, 2019.

**VILLAGE OF MCFARLAND PLAN
COMMISSION**

By: _____
Brad Czebotar, President

ATTEST:

Cassandra Suettinger, Village Clerk/
Deputy Treasurer



PLAN COMMISSION SUMMARY SHEET

MEETING DATE: Monday, March 18, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT:

AGENDA ITEM: Discussion on process and timetable regarding changes to the zoning code relating to conditional uses.

PREVIOUS ACTION:

ISSUE SUMMARY:

Since our last meeting where members suggested forming a sub-committee to more carefully review the list of conditional land uses in the zoning code, it was discovered Village Board approval is required for creating this committee. In addition, the Village Administrator initiated a conversation with me regarding other changes to the zoning code we may wish to consider. It was suggested we may want to take on this bigger task once my replacement is on board.

Having a review of the zoning code beyond conditional uses is reasonable but will take some time. The Plan Commission needs to consider whether to move forward with addressing changes to the conditional use review process now; or, wrap up this item in to a bigger and more comprehensive review of the zoning code.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

ATTACHMENTS:

1. 3.18.19 CUP standards



ORDINANCE 2019-

AN ORDINANCE AMENDING THE STANDARDS FOR
GRANTING CONDITIONAL USE PERMITS

Purpose: Recent changes by the Wisconsin Legislature regarding Conditional Use Permits modified the standards in which permits are reviewed and granted by municipalities. Also known as the Landowner's Bill of Rights, 2017 Wisconsin Act 67 provides new requirements of applicants and authorities in the review and granting of Conditional Use Permits.

Sponsor: Community Development Director Boness

Recommended Referral: Plan Commission (Required)

Public Hearing: Required; Preceded by Class 2 Notice

WHEREAS, The Plan Commission has reviewed proposed changes to the process and standards under which Conditional Use Permits are granted; and,

WHEREAS, the Village Board accepts the recommendations of the Plan Commission and Village staff and finds that it is in the public interest to amend the McFarland Municipal Code to reflect changes in Wisconsin law with respect to Conditional Use Permits.

NOW THEREFORE, The Village Board of the Village of McFarland does hereby ordain as follows:

1. Sections 62-105 through 62-116 of the McFarland Municipal Code are amended to read as follows:

Sec. 62-105. - Statement of purpose; conditional uses; definitions.

(a) The development and execution of this Article is based upon the division of the Village into districts, within which districts the use of land and buildings, and bulk and location of buildings and structures in relation to the land, are mutually compatible and substantially uniform. However, there are certain uses which, because of their unique characteristics, cannot be properly classified as unrestricted permitted uses in any particular district, without consideration, in each case, of the impact of those uses upon neighboring land or public facilities, and of the public need for the particular use of a particular location. Such uses, nevertheless, may be necessary or desirable to be allowed in a particular district, provided that due consideration is given to location, development and operation of such uses. Such uses are classified as conditional uses.

(b) As used in this Subdivision, the term "substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and

conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

(Code 1998, § 13-1-60; Ord. No. 2003-03, § 1(13-1-60), 3-24-2003)

Sec. 62-106. - Authority of the Plan Commission; requirements.

- (a) The Plan Commission may authorize the Zoning Administrator to issue a conditional use permit for either regular or limited conditional use after review and public hearing, provided that such conditional use and involved structures are found to be in accordance with the purpose and intent of this Zoning Code and are further found to be not hazardous, harmful, offensive or otherwise adverse to the environment or the value of the neighborhood or the community. In the instance of the granting of a limited conditional use, the Plan Commission in its findings shall further specify the delimiting reasons or factors which resulted in issuing limited rather than regular conditional use. Such Plan Commission resolution, and the resulting conditional use permit, when, for limited conditional use, shall specify the period of time for which effective, if specified, the name of the permittee, the location and legal description of the affected premises. Prior to the granting of a conditional use, the Plan Commission shall make findings based upon the evidence presented that the standards herein prescribed are being complied with. The Plan Commission's findings and decision to approve or deny a conditional use permit must be supported by substantial evidence.
- ~~(b) Any development within 500 feet of the existing or proposed rights-of-way of freeways, expressways and within one-half mile of their existing or proposed interchange or turning lane rights-of-way shall be specifically reviewed by the highway agency that has jurisdiction over the traffic way. The Plan Commission shall request such review and await the highway agency's recommendation for a period not to exceed 20 days before taking final action.~~
- (cb) Conditions such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, planting screens, operation control, hours of operation, improved traffic circulation, deed restrictions, highway access restrictions, increased yards or parking requirements may be required by the Plan Commission upon its finding that these are necessary to fulfill the purpose and intent of this Chapter.
- (dc) Compliance with all other provisions of this Chapter, such as lot width and area, yards, height, parking, loading, traffic, highway access and performance standards shall be required of all conditional uses. No conditional use permit shall be issued unless the applicant provides a detailed written description and proof that all of the standards set forth in Sec. 62-111 shall be met, to the satisfaction of the Plan Commission.

(Code 1998, § 13-1-61; Ord. No. 2003-03, § 1(13-1-61), 3-24-2003)

Sec. 62-107. - Initiation of conditional use; burden.

(a) Any person, firm, corporation or organization having a freehold interest or a possessory interest entitled to exclusive possession, or a contractual interest that may become a freehold interest, or an exclusive possessory interest, and which is specifically enforceable in the land for which a conditional use is sought may file an application to use such land for one or more of the conditional uses in the zoning district in which such land is located.

(b) An applicant for a conditional use permit must demonstrate and prove, by substantial evidence, that the application and all requirements and conditions established by the Village relating to the conditional use are or shall be satisfied.

(Code 1998, § 13-1-62; Ord. No. 2003-03, § 1(13-1-62), 3-24-2003)

Sec. 62-108. - Application for conditional use.

(a) *Required application materials.* An application for a conditional use shall be filed in duplicate on a form prescribed by the Village. Such applications shall be forwarded to the Plan Commission on receipt by the Zoning Administrator. Such applications shall include where applicable:

- (1) Names and addresses of the applicant, owner of the site, architect, professional engineer, contractor and all property owners of record within 100 feet.
- (2) Description of the subject site by lot, block and recorded Subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees and the zoning district within which the subject site lies.
- (3) Plat of survey prepared by a registered land surveyor showing all of the information required for a building permit and existing and proposed landscaping.
- (4) Additional information as may be required by the Plan Commission or other authorities, boards, commissions or officers of the Village. The Plan Commission may require such other information as may be necessary to determine and provide for an enforcement of this Chapter, including a plan showing contours and soil types; high-water mark and groundwater conditions; bedrock, vegetative cover, specifications for areas of proposed filling, grading, and lagooning; location of buildings, parking areas, traffic access, driveways, walkways, open spaces and landscaping; plans of buildings, sewage disposal facilities, water supply systems and arrangements of operations.

(5) A detailed written description and proof meeting the substantial evidence standard showing each of the standards set forth in Section 62-111 (a) through (h) will be satisfied, including a detailed description of how each said standard is met, and how the proposed use will comply with any applicable regulations regarding light, noise, traffic, nuisance, health, safety, welfare and environment. When any applicable law, ordinance or other regulation prohibits a certain measurable level of any activity or substance, including but not limited to noise, light, dust, particulate emissions, odor, visibility, pollution, and vibration and frequency levels, the applicant shall also demonstrate and prove how the proposed use will comply with such regulations.

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(6) Upon request by the Village Board, Plan Commission or Zoning Administrator, the applicant shall provide reports and studies, prepared by a qualified professional, addressing any applicable standard. The applicant is solely responsible for the cost of such reports and studies. A qualified professional is one with appropriate education, experience, license and/or certification pertinent to the applicable standard, and the professional's qualifications should be provided with the report or study (e.g. a curriculum vitae or resume).

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(57) The fee established by the Village Board from time to time and provided in Appendix A to this Code for application for a conditional use. The applicant shall also pay all costs incurred by the Village in notifying the public and property owners pursuant to Section 62-110.

(b) *Plans.* In order to secure information upon which to base its determination, the Plan Commission may require the applicant to furnish, in addition to the information required for a building permit, the following information:

- (1) A plan of the area showing contours, soil types, high-water mark, groundwater conditions, bedrock, slope and vegetation cover;
- (2) Location of buildings, parking areas, traffic access, driveways, walkways, open spaces, landscaping, lighting;
- (3) Plans for buildings, sewage disposal facilities, water supply systems and arrangements of operations;
- (4) Specifications for areas of proposed filling, grading, lagooning or dredging;
- (5) Other pertinent information necessary to determine if the proposed use meets the requirements of this Chapter.

(c) *Third party consultants.* If necessary expertise is not available from staff or other appropriate governmental agency, the Village Board, Plan Commission or Zoning Administrator may consult with a third-party consultant to effectively evaluate the application. The Zoning Administrator will select the consultant. The applicant is solely responsible for all reasonable costs and expenses associated with such consultation. Applicants retain the right to withdraw an application if they choose not to pay consultant fees.

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(Code 1998, § 13-1-63; Ord. No. 2003-03, § 1(13-1-63), 3-24-2003; Ord. No. 2006-04, § 1, 2-13-2006)

Sec. 62-109. - Hearing on application.

All requests for conditional uses shall be to the Plan Commission or the Plan Commission can, on its own motion, apply conditional uses when applications for rezoning come before it. Upon receipt of the complete application and statement referred to in Section 62-108, the Plan

Commission shall hold a public hearing on each application for a conditional use at such time and place as shall be established by the Plan Commission. The hearing shall be conducted and a record of the proceedings shall be preserved in such a manner and according to such procedures as the Plan Commission shall, by rule, prescribe from time to time. The Plan Commission may inform the applicant and members of the public attending the hearing of the substantial evidence standard and that statements and information will be considered subject to that standard. This may include examples that speculative opinions not based on reliable evidence or knowledge do not meet the evidentiary standard (such as a potential loss in value of a neighboring property based on pure speculation and not an appraisal, market analysis or other reliable information).

(Code 1998, § 13-1-64; Ord. No. 2003-03, § 1(13-1-64), 3-24-2003)

Sec. 62-110. - Notice of hearing on application.

Notice of the time, place and purpose of such hearing shall be given by publication of a class 2 notice under the Wisconsin Statutes in the official Village newspaper. Notice of the time, place and purpose of such public hearing shall also be sent to the applicant, the Zoning Administrator, members of the Village Board and Plan Commission, and the owners of record as listed in the office of the Village Assessor who are owners of property in whole or in part situated within 100 feet of the boundaries of the properties affected, said notice to be sent at least five days prior to the date of such public hearing. Failure to comply with this provision shall not, however, invalidate any previous or subsequent action on the application.

(Code 1998, § 13-1-65; Ord. No. 2003-03, § 1(13-1-65), 3-24-2003)

Sec. 62-111. - Standards; conditional uses.

No application for a conditional use shall be approved by the Plan Commission or appeal granted by the Village Board unless the Plan Commission and Village Board shall find that the following conditions are present:

- (a) That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (b) That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- (c) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (d) That adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- (e) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

(f) That the conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.

(g) That the proposed use does not violate floodplain regulations governing the site.

(h) That the proposed use will not violate any applicable regulation in the McFarland Municipal Code or any other applicable law or regulation.

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(ih) That, when applying the standards to any new construction of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objective of the zoning district.

(ji) That, in addition to passing upon a conditional use permit, the Plan Commission and Village Board shall also evaluate the effect of the proposed use upon:

- (1) The maintenance of safe and healthful conditions.
- (2) The prevention and control of water pollution including sedimentation.
- (3) Existing topographic and drainage features and vegetative cover on the site.
- (4) The location of the site with respect to floodplains and floodways of rivers and streams.
- (5) The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
- (6) The location of the site with respect to existing or future access roads.
- (7) The need of the proposed use for a shoreland location.
- (8) Its compatibility with uses on adjacent land.
- (9) The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

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(Code 1998, § 13-1-66; Ord. No. 2003-03, § 1(13-1-66), 3-24-2003)

Sec. 62-112. - Denial of application for conditional use permit.

When a decision of denial of a conditional use application is made, the Plan Commission shall furnish the applicant, in writing when so requested, those standards that are not met and enumerate reasons the Plan Commission has used in determining that each standard was not met.

(Code 1998, § 13-1-67; Ord. No. 2003-03, § 1(13-1-67), 3-24-2003)

Sec. 62-113. - Appeals.

Any action of the Plan Commission in granting or denying a conditional use permit may be appealed to the Village Board, if a written request for an appeal is filed within ten days after the date of the Plan Commission's action in granting or denying the permit. Such request for appeal

shall be signed by the applicant or by the owners of at least 20 percent of the land area immediately adjacent extending 100 feet therefrom or by the owners of 20 percent or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land. The request shall be filed with the Zoning Administrator who shall submit it to the Village Board at its next meeting, together with any documents and other data used by the Plan Commission in reaching its decision. The Village Board may consider the matter forthwith, refer the matter to a subsequent meeting or set a date for a public hearing thereon. In the event the Village Board elects to hold a public hearing, notice thereof shall be given by mail to the known owners of the lands immediately adjacent thereto and directly opposite any street frontage of the lot or parcel in question and by publication of a class 1 notice in the official newspaper at least ten days before the date of the hearing. The Village Board may either affirm or reverse in whole or in part the action of the Plan Commission and may finally grant or deny the application for a conditional use permit. The Village Board's decision to approve or deny the conditional use permit must be supported by substantial evidence.

(Code 1998, § 13-1-68; Ord. No. 2003-03, § 1(13-1-68), 3-24-2003)

Sec. 62-114. - Conditions and guarantees.

The following provisions shall apply to all conditional uses:

- (a) *Conditions.* Prior to the granting of any conditional use, the Plan Commission, or the Village Board on appeal, may stipulate or impose such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the conditional use as deemed necessary to promote the public health, safety and general welfare of the community, and to secure compliance with the standards and requirements specified in Section 62-111. In all cases in which conditional uses are granted, the Plan Commission or Village Board shall require such evidence and guarantees as it may deem necessary as proof that the conditions stipulated or imposed in connection therewith are being and will be complied with. Such conditions may include specifications for, without limitation because of specific enumeration:
- (1) Landscaping;
 - (2) Type of construction;
 - (3) Construction commencement and completion dates;
 - (4) Sureties;
 - (5) Lighting;
 - (6) Fencing;
 - (7) Operational control;
 - (8) Hours of operation;
 - (9) Traffic circulation;
 - (10) Deed restrictions;
 - (11) Access restrictions;

- (12) Setbacks and yards;
- (13) Type of shore cover;
- (14) Specified sewage disposal and water supply systems;
- (15) Planting screens;
- (16) Piers and docks;
- (17) Increased parking; or
- (18) Any other requirements necessary to fulfill the purpose and intent of this Chapter.

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- (b) *Site review.* In making its decision, the Plan Commission shall evaluate each application and may request assistance from any source which can provide technical assistance. The Plan Commission may review the site, existing and proposed structures, architectural plans, neighboring uses, parking areas, driveway locations, highway access, traffic generation and circulation, drainage, sewerage and water systems and the proposed operation/use.
- (c) *Alteration of conditional use.* No alteration of a conditional use shall be permitted unless approved by the Plan Commission.
- (d) *Architectural treatment.* Proposed architectural treatment will be in general harmony with surrounding uses and the landscape. To this end, the Plan Commission may require the use of certain general types of exterior construction materials and/or architectural treatment.
- (e) *Sloped sites; unsuitable soils.* Where slopes exceed six percent and/or where a use is proposed to be located on areas indicated as having soils that are unsuitable or marginal for development, on-site soil tests and/or construction plans shall be provided which clearly indicate that the soil conditions are adequate to accommodate the development contemplated and/or that any inherent soil condition or slope problems will be overcome by special construction techniques. Such special construction might include, among other techniques, terracing, retaining walls, oversized foundations and footings, drain tile, etc.
- (f) *Conditional uses to comply with other requirements.* Conditional uses shall comply with all other provisions of ~~this Chapter~~ the McFarland Municipal Code such as lot width and area, yards, height, parking and loading. No conditional use permit shall be granted where the proposed use is deemed to be inconsistent or conflicting with neighboring uses for reasons of smoke, dust, odors, noise, vibration, lighting, health hazards or possibly of accident.

- (e) Provisions applicable to all conditional uses. In addition to any conditions imposed under sub. (a), *supra*, the following conditions apply to all conditional use permits:

(1) No building or use may violate any other provision set forth in the McFarland Municipal Code, or any other applicable law or regulation.

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(2) No building or use is permitted unless all necessary permits, licenses and approvals are obtained from the applicable regulatory authority, including but not limited to, approvals by the Wisconsin Department of Transportation for ingress and egress to the property, and permits issued by the Wisconsin Department of Natural Resources related to air, water, and other environmental regulations.

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(Code 1998, § 13-1-69; Ord. No. 2003-03, § 1(13-1-69), 3-24-2003)

Sec. 62-115. - Validity of conditional use permit.

Where the Plan Commission has approved or conditionally approved an application for a conditional use, such approval shall become null and void within 12 months of the date of the Plan Commission's action unless the use is commenced, construction is underway or the current owner possesses a valid building permit under which construction is commenced within six months of the date of issuance and which shall not be renewed unless construction has commenced and is being diligently prosecuted. Approximately 45 days prior to the automatic revocation of such permit, the Zoning Administrator shall notify the holder by certified mail of such revocation. Extensions of up to one year each may be granted by the Plan Commission for just cause, if application is made to the Village at least 30 days before the expiration of said permit. Conditional use permits shall also expire if the use is abandoned or terminated for a period of 12 months.

(Code 1998, § 13-1-70; Ord. No. 2003-03, § 1(13-1-70), 3-24-2003)

Sec. 62-116. - Complaints regarding conditional uses.

The Plan Commission shall retain continuing jurisdiction over all conditional uses for the purpose of resolving complaints against all previously approved conditional uses. Such authority shall be in addition to the enforcement authority of the Zoning Administrator to order the removal or discontinuance of any unauthorized alterations of an approved conditional use, and the elimination, removal or discontinuance of any violation of a condition imposed prior to or after approval or violation of any other provision of this Code. Upon written complaint by any citizen or official, the Plan Commission shall initially determine whether said complaint indicates a reasonable probability that the subject conditional use is in violation of either one or more of the standards set forth in Section 62-111, a condition of approval or other requirement imposed hereunder. Upon reaching a positive initial determination, a hearing shall be held upon notice as provided in Section 62-110. Any person may appear at such hearing and testify in person or represented by an agent or attorney. The Plan Commission may, in order to bring the subject conditional use into compliance with the standards set forth in Section 62-111 or conditions previously imposed by the Plan Commission, modifying existing conditions upon such use and impose additional reasonable conditions upon the subject conditional use. Additionally, the offending party may be subjected to a forfeiture as set forth in this Chapter and Section 1-16. In the event that no reasonable modification of such conditional use can be made in order to assure that Section 62-111(a) and (b) will be met, the Plan Commission may revoke the subject conditional approval and direct the Zoning Administrator and the Village Attorney to seek elimination of the subject use. Following any such hearing, the decision of the Plan

Commission shall be furnished to the current owner of the conditional use in writing stating the reasons therefor. An appeal from a decision of the Plan Commission under this Section may be taken to the Village Board.

(Code 1998, § 13-1-71; Ord. No. 2003-03, § 1(13-1-71), 3-24-2003)

The above and foregoing Ordinance was duly adopted at a regular meeting of the McFarland Village Board on the ____ day of _____, 2019.

APPROVED:

Brad Czebotar, Village President

ATTEST:

Cassandra Suettinger, Village Clerk-
Treasurer

ORDINANCE 2019 --	
MOTION	SECOND
ACTION	DATE
Adopted	
Referred	
Tabled	
Withdrawn	
Defeated	
Published	
INDIVIDUAL VOTING	
RECORD	
Adrian	Kolk
Brassington	Lytle
Clow	O'Hearn
Czebotar	
VOTING RESULTS	
Motion Carried	
Motion Defeated:	

Community Development Highlights

February 2019

- During the month of February 33 permits were issued with six involving new single-family homes in the Prairie Place and Juniper Ridge subdivisions. Revenues totaled just over \$54,000.
- Met with Carla Gogin from Baker Tiller. Carla will be heading up the team from Baker Tilly hired to update our park impact fees and our fees in lieu of parkland dedication.
- Met with John Miller from the Police Department to discuss safety plans for the Community Development Department and Administration Departments.
- Working with Matt Schuenke on tweaking the job description for the Community Development Director position.
- Continuing review of Ryan Quams proposed mixed-use development on Terminal Drive.
- Attended open houses for the developer presentation regarding the redevelopment of the Farwell Street site.
- Continued working on changes to our Plan Commission application as it relates to conditional uses.
- Working with General Engineering staff who has been hired to provide inspection services.
- Continued working with Lakestone Properties and Horizon Development as they revise their development proposals according to parameters set up by CDA.
- Worked with Beach House Developers to comply with the parameters set by the Plan Commission regarding their conditional use permit for staging of construction material on a site next to Walgreens.
- Met with Tara Furst of Galway Companies regarding a proposed 3 unit residential structure on Lexington Street.
- Gave feedback to Flint Hills Resources regarding potential small platform project around some petroleum tanks.
- Working with Attorney Dan Evans and Matt Schuenke to dissolve a promenade area within the former Edwards Park subdivision.

- Appeared before the Park, Recreation and Natural Resources Committee regarding the final draft of the Outdoor Recreation and Open Space Plan. If possible, a public hearing will be held on April 25th provided we have a quorum.
- Received our confirmation as a Certified Local Municipality under the Federal Preservation Program. Great News!!!
- Attended the following monthly meetings:
 - Village Board
 - Plan Commission
 - Community Development Authority
 - Park, Recreation and Natural Resources
 - McFarland Chamber of Commerce

Submitted by:

Pauline Boness

Community Development Director

McFarland VILLAGE OF

Memorandum

TO: Plan Commission Members

FROM: John Griffith, Code Enforcement Officer

DATE: March 7, 2019

RE: February Property Maintenance Report

<u>ADDRESS-OWNER OR TENANT OCCUPIED (DECEMBER AND PRIOR LETTERS/CONTACT)</u>	<u>VIOLATION:</u>	<u>STATUS</u>
4709 Taylor Road (Howe)	Van stored on lawn	2nd notice sent in November
5706 Wisconsin (Frisch)	Accumulated junk, debris & unlicensed inoperable vehicles stored on property. Weeds & grass height	Still in compliance
4761 McFarland Ct. (Nietzel)	Outside storage by tenant not permitted by conditional use permit.	Spoke to tenant in November Items relocated
5116 Erling (Richel)	Garage repairs needed	Letter mailed - removing garage
McFarland School district new ball fields	Noxious weeds	Letter delivered to maintenance
5915 Exchange St. (Byrne)	Tuck pointing	Letter sent to owner
5905 Main St. (Schnieder)	2 nd notice about repairs	Working with fire dept.
5619 albens St	Snow on Broad head St	Letter posted snow removed
5417 Long St. (Chase Lumber)	Snow blocking vision triangle	Snow pile moved
6407 Fox Run (Phillips)	Spoke to owner	

5701 W Open Meadow	Ice caused from neighbor	salted by public works in street
5912 E. Open Meadow (Williams)		moved 1-20-19 letter

<u>LETTERS /CONTACT IN FEBRUARY :</u>	<u>VIOLATION:</u>
5103 Marsh Rd (Horswill)	Snow removal cleared
Condo Project on Marsh (midland)	Snow removal cleared
6009 Exchange St (Bock)	Couch on lawn removed
5506 Valley Drive (Vogel) Too many vehicles on property	Number reduced
4814 Dale St (dale st. apts.)	Work being done w/out permit - expired permit renewed
5320 Autumn Ln. (Powers)	Car on jack stands none sighted
Juniper Ridge (Veridian)	Sidewalk not cleared at community mailboxes Snow removed
5502 Alben St (Hansen)	Vehicle on lawn - Vehicle relocated
Prairie Walk (Urso)	Uncleared sidewalk Cleared by Urso
4908 Burma Rd. (Leeder)	Snow removal - issue resolved
5619 Alben St (Hund)	Snow removal -Issue resolved
5909 Smith Ridge Rd. (Jordan)	Snow Removal -issue resolved
5506 Valley Drive Too many vehicles (vogel)	Extra vehicle reappeared not there 3-7-19
5307 Milwaukee Street (Schwoegler)	Vehicle with expired auto plates on property -Letter sent
