

**Public Works Committee
Public Utilities Committee
*Joint Meeting***

Tuesday, March 12, 2019

6:00 PM

**McFarland Municipal Center
*Community Room***

AGENDA

1. CALL TO ORDER, ROLL CALL.
2. PUBLIC APPEARANCES.
3. BUSINESS.
 - a. Discussion and action to make a recommendation to the Plan Commission regarding consideration for rezoning (Commercial Highway to Planned Development), General Plan review, and Detailed Plan (Phase 1) review for the property located at 4703 Terminal Drive as it concerns plans to construct streets and necessary utilities within the proposed development.
 - b. Discussion and action to make a recommendation to the Village Board regarding the award of contract for the 2019 Water Main and Street Improvements.
 - c. Discussion and action to make a recommendation to the Village Board regarding the position description and approval to fill the vacancy for the Streets/Utilities Superintendent position within the Public Works Department.
4. ADJOURNMENT.

This meeting notice constitutes an official meeting of the above referenced group and was posted in accordance with all applicable laws related to Open Meetings Law. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information. No action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals. For additional information or to request this service, contact the McFarland Municipal Center at (608) 838-3153 or cassandra.suettinger@mcfarland.wi.us.



COMMUNITY DEVELOPMENT AUTHORITY SUMMARY SHEET

MEETING DATE: Tuesday, March 12, 2019

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Matt Schuenke, Village Administrator, Pauline Boness, Director

AGENDA ITEM: Discussion and action to make a recommendation to the Plan Commission regarding consideration for rezoning (Commercial Highway to Planned Development), General Plan review, and Detailed Plan (Phase 1) review for the property located at 4703 Terminal Drive as it concerns plans to construct streets and necessary utilities within the proposed development.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

Included within your packet is the rezoning submittal for 4703 Terminal Drive. Ryan Quam is proposing to develop the current property as a mixed use site that includes two phases of apartments and two phases of office buildings. The rezoning request is from Commercial Highway to Planned Development. As part of the Planned Development process there is a General Plan that is submitted that encompasses the whole site and then specific Detailed Plans for certain portions thereof. The Detailed Plan submitted is for the first phase of this project which includes a 30 unit apartment building. In sequence the second phase will be an office building followed by a second office building in the third phase and an apartment building in the fourth and final phase.

The enclosed plans note the street and utility improvements that are proposed as PRIVATE for the site, meaning the Village will not have responsibility to maintain. The project is put forth as a review and recommendation to the Plan Commission of these improvements are they are presented for the streets and utilities for the site.

FINANCIAL/BUDGET IMPACT:

The property is located within TID #3 of the Village and the development will add substantial increment to the district through the growth in value created by the new development. There are no other public costs associated with the physical construction of this site.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.



BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended for discussion and action as a recommendation to the Plan Commission.

ATTACHMENTS:

1. PDD Submittal-Phase 1 Terminal Drive
2. C1-c6 combined_ with CSM and elevation dwgs

Planned Development District

Statement of Owners Intent,
General Plan for Staged
Development, and Detailed
Plan for Phase 1 Development

Project:
4703 Terminal Drive Development

Owner:
Ezra Properties, LLC
Attn: Ryan Quam

Statement of Owners Intent

It is the intent of the Owner to develop the lands controlled by the Owner as a Mixed Use development in general conformance with the TIF plan. The purpose of this submittal is to seek the following Village approvals:

- 1) General Plan for Staged Development for all controlled lands;
- 2) Detailed Plan for Phase 1 Development;
- 3) Zoning amendment creating the Planned Development District;

Legal Description

The lands controlled by the Owner address is 4703 Terminal Drive and the legal description is as follows:

All that part of Outlot One (1), Assessor's Plat No. 4, Town of Blooming Grove, in the Village of McFarland, Dane County, Wisconsin lying west of the west right-of-way line of relocated U.S. Highway No. 51, except that part thereof conveyed by warranty deed recorded as document no. 4408230

And all that part of the north ½ of the northwest ¼ of section 34, Township 7 North, Range 10 East, in the Village of McFarland, Dane County Wisconsin, lying between the centerline of Terminal Drive and the west right-of-way line of relocated U.S. Highway No. 51, except that part thereof conveyed by warranty deed recorded in volume 694 of deeds, page 473, as document no. 981101.

Existing Site

The Existing Site Plan is included as sheet C-1 and site features are as follows:

- 1) 10.54 total acres;
- 2) Currently zoned Industrial without an existing house and six storage buildings.
- 3) Sloping with 82 feet of fall from the southeast property corner to the creek crossing the northwest portion of the property.
- 4) U.S. Highway 51 is adjacent to the east;
- 5) Existing storage, contractor storage/office, and commercial building is adjacent to the south;
- 6) Existing Oil Terminal is adjacent to the north;
- 7) Terminal Drive and mini-warehouse and refrigerated storage are adjacent to the west;
- 8) Public sanitary sewer and water main is available beneath Terminal Drive;

Description of General Plan for Staged Development

The General Plan proposes the development of the land with four buildings and associated drive aisles, parking lot, and regional ponds as shown on the General Development Plan included as sheet C-2. The buildings and site layout are described as follows:

- 1) Phase 1 Apartment Building
 - 27 unit, three story apartment building which will be described in the Detailed Plan for Phase 1 Development portion of this submittal;
- 2) Phase 2 Office Building
 - Future two story office building
 - Approximately 20,000 square feet of leased office space;
 - Approximately 11,130 square foot footprint;
 - Approximately 26 underground parking stalls;
 - Approximately 160 feet long;
 - Approximately 70 feet deep;

- 3) Phase 3 Office Building
 - Future three story office building
 - Approximately 30,000 square feet of leased office space;
 - Approximately 11,130 square foot footprint;
 - Approximately 26 underground parking stalls;
 - Approximately 160 feet long;
 - Approximately 70 feet deep;
- 4) Phase 4 Apartment Building
 - Future three story apartment building;
 - 27 units;
 - Approximately 30,000 square feet of leased office space;
 - Approximately 11,300 square foot footprint;
 - Approximately 29 underground parking stalls;
 - Approximately 175 feet long;
 - Approximately 70 feet deep;
 - Mix of 1, 2, and 3 bedroom units with individual washers and dryers and private balconies;
- 5) Certified Survey Map is included with the submittal
 - Lot 1 contains 2.52 acres for the proposed phase 2 office building;
 - Lot 2 contains 1.79 acres for the proposed phase 3 office building;
 - Lot 3 contains 5.27 acres for the proposed phase 1 and phase 4 apartment buildings and proposed shed and existing house;
 - Lot 4 contains 0.96 acres for the proposed dog park. Lot 4 is required because State of Wisconsin standards requires a lot division along navigable streams;
- 6) Site Layout
 - Approximately 164 above ground parking stalls are proposed to supplement the underground parking and to meet overall parking requirements;
 - Two regional detention ponds will meet rate runoff control, sediment control requirements and two infiltration ponds will meet infiltration requirements for all proposed impervious areas;
 - Approximately 0.65 acre dog park within the proposed perimeter fence with boardwalk access.
- 7) Tabulations
 - 50,000 approximate gross square feet of office space;
 - 66,780 approximate gross square feet of apartment space;
 - 54 approximate total number of apartment units;
 - 5.14 Dwelling Units / Acre (overall development site which is 10.54 acres)
 - 10.25 Dwelling Units / Acre (over Lot 3 which is 5.27 acres)
- 8) Schedule
 - Phase 1 27 Unit apartment building open on June 2020
 - Phase 2 Two-story office building open on October 2020
 - Phase 3 Three-story office building open on May 2024
 - Phase 4 27 Unit apartment building open on May 2025

Description of Detailed Plan for Phase 1 Development

A three story 27-unit apartment building is proposed as the first phase of development and the details are as follows:

- 1) The Site Plan is included as sheet C-3 with features as follows:
 - 11,300 square foot footprint;
 - 175 feet long;

- 70 feet deep;
 - 25 above ground parking stalls;
 - 29 below ground parking stalls;
 - The existing house and detached garage are to remain.
- 2) The Grading Plans are included as sheets C-4.1 and C-4.2 with features as follows:
- Apartment building underground garage entrance on the north side of the building;
 - Apartment building first floor doors on the east side of the building;
 - Apartment building garage doors on the north and west sides of the building;
 - Apartment retaining walls to accommodate the natural grade changes;
 - 40'x70' shed shown on sheet C-4.1;
- 3) The Exterior Elevations drawing is included
- Intended to meet the TIF goal to “emphasize high quality natural building wall materials such as brick, block, and glass”;
 - Materials include single hung vinyl windows, aluminum railing systems, thin stone veneer, fiber-cement lap siding, and fiber-cement siding panels with reveal joints;
 - Roof materials include three dimensional asphalt shingles and standing seam metal accent roofs;
- 4) The Landscape and Lighting Plan is included as sheet C-6
- 5) The Utility Plan is included as sheet C-5
- The 8” sanitary sewer will connect to the existing sanitary manhole under Terminal Drive to provide 6” sanitary sewer laterals to serve the phase 1 through phase 4 buildings as well as the existing house.
 - The 8” water main will connect to the water main to the existing 10” water main under Terminal Drive to provide 6” water services to serve the phase 1 through phase 4 buildings as well as the existing house.
 - Inlets and catch basins will collect runoff from all impervious areas and storm sewer will carry runoff to the detention pond and infiltration pond;
- 6) The First Floor Plan is included
- 8,912 approximate apartments area;
 - Six two bedrooms;
 - Three one bedrooms;
 - Each unit will have individual washers and dryers and private balconies;
- 7) The Second Floor Plan is included
- 8,912 approximate apartments area;
 - Six two bedrooms;
 - Three one bedrooms;
 - Each unit will have individual washers and dryers and private balconies;
- 8) The Third Floor Plan is included
- 9,712 square feet apartments area (including lofts);
 - Four two bedrooms with loft;
 - Two two bedrooms;
 - Three one bedrooms;
 - Each unit will have individual washers and dryers and private balconies;
- 9) The Garage Floor Plan is included
- Tenant storage and mechanical rooms in the garage;
 - 29 parking stalls;
 - Dog washing station;

Planned Development District Standards and Responses

Section 62-67(4) lists the standards shall apply in the review of all general or detailed plans proposed for the Planned Development District. The standards and this submittal responses are as follows:

- a) *“The uses proposed in the planned development shall be in general conformance with the Village Comprehensive Plan”*. This application includes a request for a Comprehensive Plan amendment to accommodate this proposed General Plan for Staged Development, and Detailed Plan for Phase 1.
- b) *“The establishment, maintenance or operation of the uses proposed in the planned development shall not substantially impair or diminish the use value and enjoyment of other properties within the neighborhood”*. The proposed General Plan for Staged Development, and Detailed Plan for Phase 1 Development will not substantially impair or diminish the use value and enjoyment of the adjacent properties.
- c) *“Traffic circulation into and within the development shall be designed to minimize traffic congestion and traffic hazards, provide for the accessibility of all uses and buildings and also provide for the safe and convenient movement of both vehicles and pedestrians”*. The proposed private driveway from Terminal Drive serving the proposed buildings is located directly across the street from the driveway serving the mini-ware house development to the west. The existing residential driveway will be removed. The 24’ wide driveway will provide safe and convenient movement of vehicles and the adjacent sidewalk will provide safe movement for pedestrians.
- d) *“The planned development shall incorporate environmental design considerations, including the preservation of topography, trees and ground cover, streams and natural bodies of waters, and other significant natural features and control of erosion and runoff in accord with the Village Erosion Control and Stormwater Management Ordinances”*. The proposed buildings are located a minimum of 75’ from the delineated wetlands and the proposed grading limits are a minimum of 25’ from the delineated wetlands. Stormwater runoff from the development will pass through detention ponds and infiltration ponds. The proposed development will include storm sewer, detention ponds, and infiltration ponds to meet Village Erosion Control and Stormwater Management Ordinances. Many large oak trees and cedar trees will be protected during construction in order to remain. The Landscape Plan will meet Village landscaping ordinances.
- e) *“The planned development shall provide for convenient and harmonious groups of buildings, structures and uses; and buildings shall be spaced and sited to ensure adequate safety, light, ventilation and privacy”*. The four proposed buildings will be designed with similar materials and architectural style. The office buildings are located over 100 horizontal feet and 30 vertical feet from the apartment buildings to maximize privacy.
- f) *“In a planned development for residential use, adequate open space and recreational areas shall be provided in appropriate locations, and all public and common open spaces shall be designed and located to provide safe and convenient access to residents”*. A 0.65 acre dog park with perimeter fencing and boardwalk access is proposed as shown on sheet C-2. The lawn and landscaped areas will provide a common open space that is safe and accessible to residents.
- g) *“Planned Development Districts housing impacts on community resources in the same manner as other new development, which are characterized by division of land into lots. In particular, the additional population density places demands upon Village parks and recreation areas. Accordingly, each dwelling unit newly established shall be required to dedicate land or provide fees in lieu of land, in accordance with the procedures set forth in Section 62-64”*. The proposed 74

dwelling units will provide \$222,210 of fees-in-lieu of parkland dedication, \$23,653 in Park Improvement fees, and \$23,274 in Library Impact fees.

- h) *“The planned development will not adversely affect the ability of public agencies to provide school or other municipal services”*. The planned development will not adversely affect the ability of public agencies to provide school or other municipal services
- i) *“The width of street rights-of-way, width of paving, width and location of street or other paving, outdoor lighting, location of sewer and water lines, provision for stormwater drainage or other similar environmental engineering considerations shall be based on a determination and the appropriate standards necessary to implement the specific function in the specific situation; provided, however, that in no case shall standards be less than those necessary to ensure the public safety and welfare as determined by the Village”*. The constructions will meet Village and State requirements.
- j) *“The proponents of a Planned Development District application shall provide evidence satisfactory to the Village Board of its economic feasibility of available adequate financing and that it would not adversely affect the economic prosperity of the Village or the values of surrounding properties”*. The applicant feels that this proposal will be a benefit to the Village and not adversely affect surrounding properties;
- k) *“The proponents of a Planned Development District shall submit a reasonable schedule for the implementation of the development of the development to the satisfaction of the Village Board, including suitable provisions for assurance that each phase could be brought to completion in a manner that would not result in an adverse effect upon the community as a result of termination at that point”*. The anticipated development schedule is included on page 2 of this submittal and on sheet C-2.

PRELIMINARY

CERTIFIED SURVEY MAP # _____

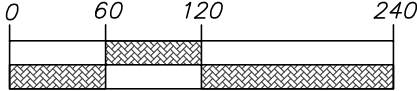
PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

LABEL	WIDTH	EASEMENT	DOCUMENT No.	RECORDED
E1	10'	R-O-W GRANT - UE	1976747	11/10/1986

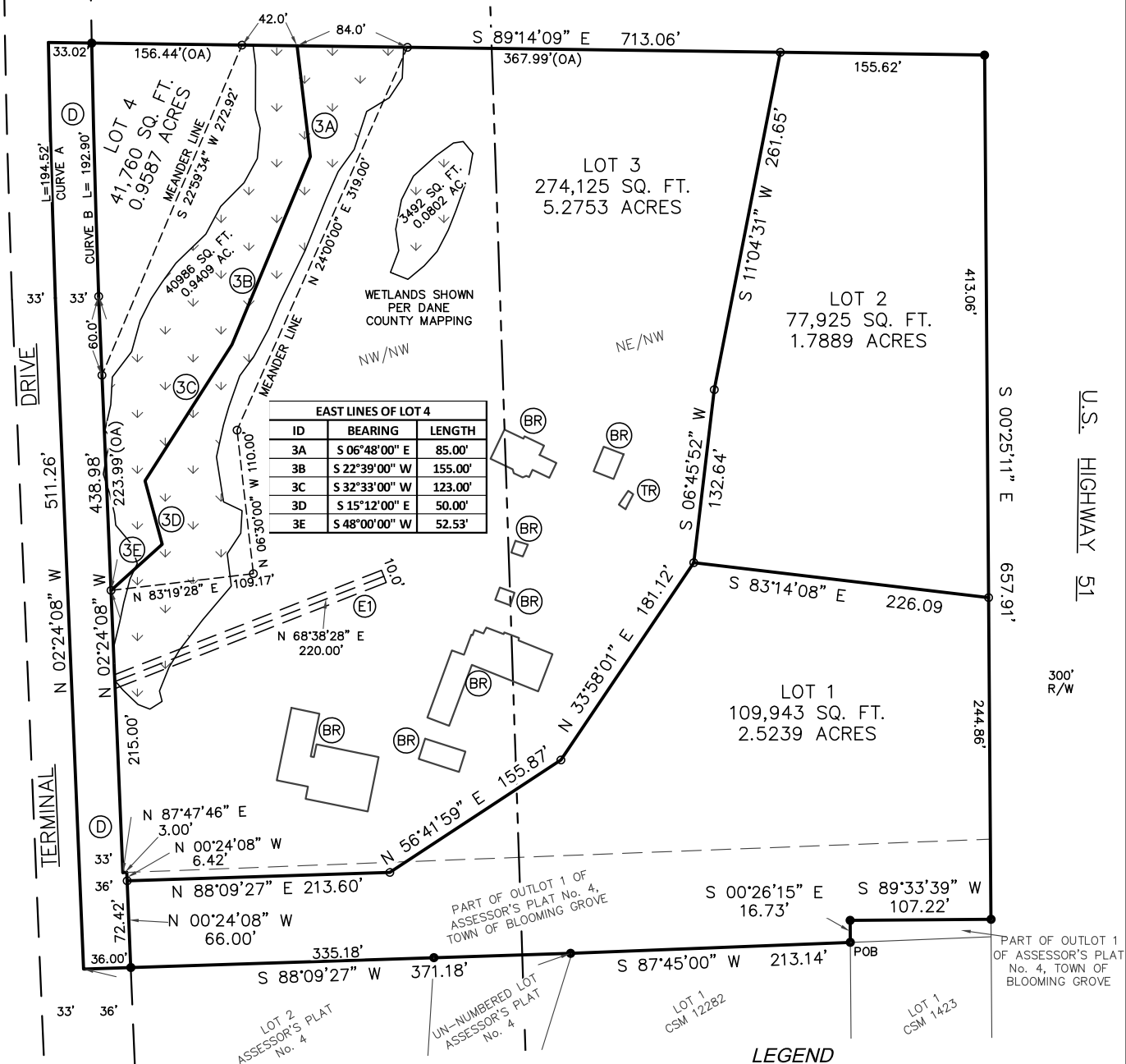
UNPLATTED LANDS

BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF CSM 12282 BEARS SOUTH 87°45'00" WEST.

SCALE



CURVE	LENGTH	RADIUS	CHD BEARING	CHD LENGTH
A	194.52'	11459.16'	N 01°34'20" W	194.52'
B	192.90'	11426.16'	N 01°34'30" W	192.89'



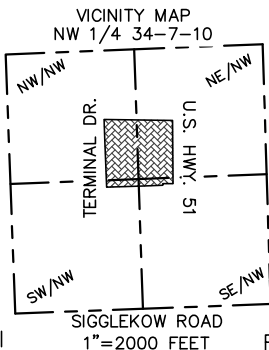
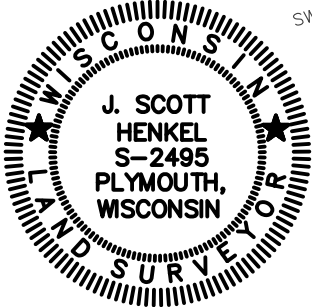
ID	BEARING	LENGTH
3A	S 06°48'00" E	85.00'
3B	S 22°39'00" W	155.00'
3C	S 32°33'00" W	123.00'
3D	S 15°12'00" E	50.00'
3E	S 48°00'00" W	52.53'

LEGEND

- 1" IRON PIPE FOUND
- 3/4" x 18" REBAR WEIGHING 1.13 LBS/FOOT SET.
- (OA) OVERALL LENGTH
- (D) DEDICATED TO THE PUBLIC FOR ROAD PURPOSES. 23,483 SQ. FT. // 0.5391 ACRES
- (BR) BUILDING TO BE RAZED.
- (TR) UNDERGROUND TANK TO BE REMOVED.

QUAM ENGINEERING, LLC

122 WISCONSIN ST., WEST BEND WI, 53095
262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18



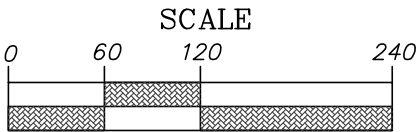
Surveyed by Matt Hoglund
Mapped by J. Scott Henkel

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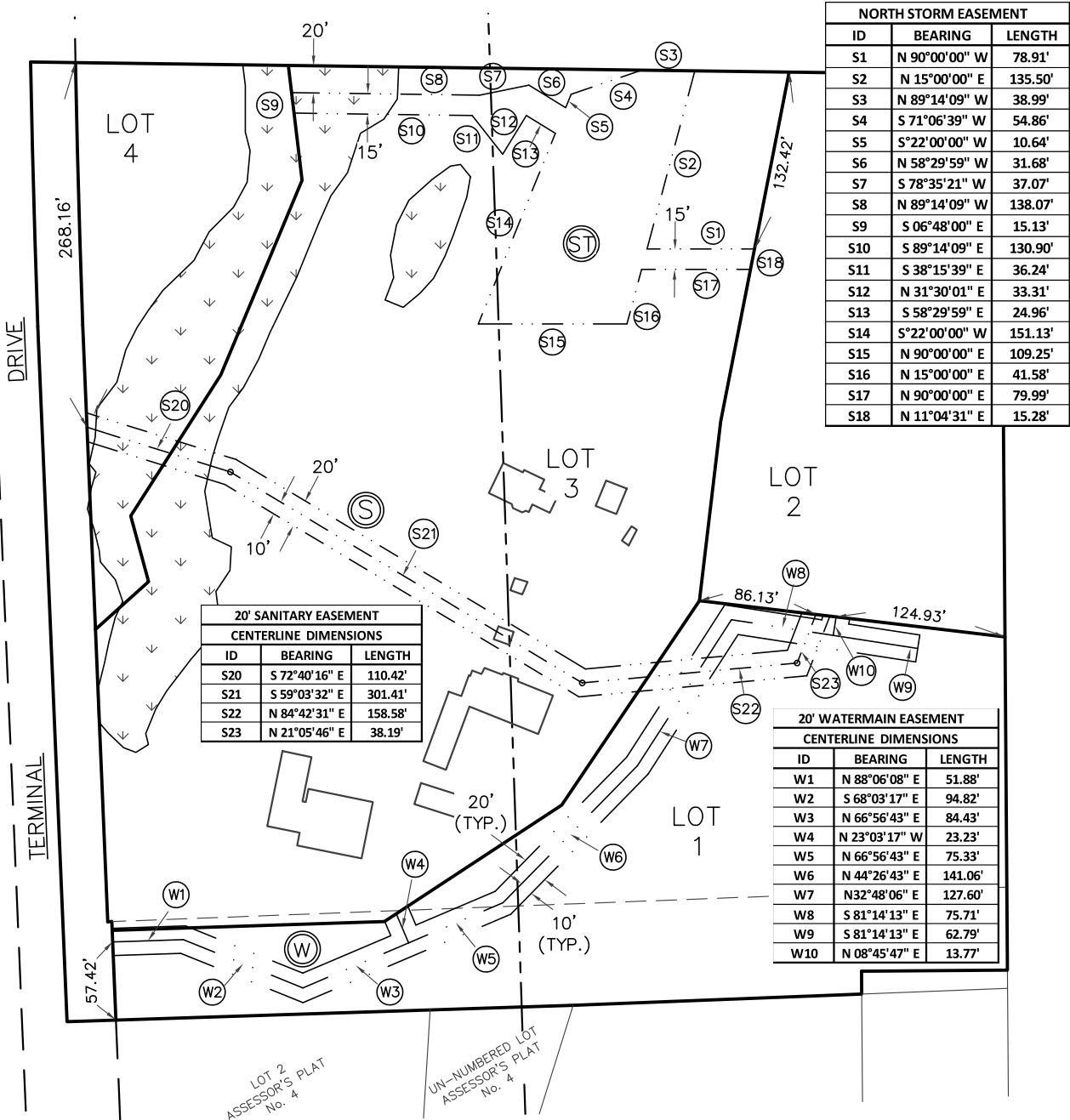
PRELIMINARY

CERTIFIED SURVEY MAP # _____

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.



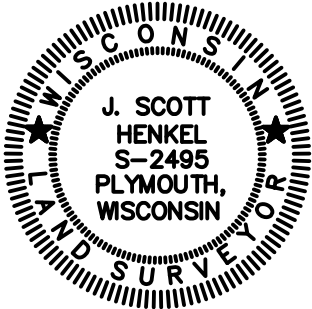
UNPLATTED LANDS



NORTH STORM EASEMENT		
ID	BEARING	LENGTH
S1	N 90°00'00" W	78.91'
S2	N 15°00'00" E	135.50'
S3	N 89°14'09" W	38.99'
S4	S 71°06'39" W	54.86'
S5	S°22'00'00" W	10.64'
S6	N 58°29'59" W	31.68'
S7	S 78°35'21" W	37.07'
S8	N 89°14'09" W	138.07'
S9	S 06°48'00" E	15.13'
S10	S 89°14'09" E	130.90'
S11	S 38°15'39" E	36.24'
S12	N 31°30'01" E	33.31'
S13	S 58°29'59" E	24.96'
S14	S°22'00'00" W	151.13'
S15	N 90°00'00" E	109.25'
S16	N 15°00'00" E	41.58'
S17	N 90°00'00" E	79.99'
S18	N 11°04'31" E	15.28'

20' SANITARY EASEMENT		
CENTERLINE DIMENSIONS		
ID	BEARING	LENGTH
S20	S 72°40'16" E	110.42'
S21	S 59°03'32" E	301.41'
S22	N 84°42'31" E	158.58'
S23	N 21°05'46" E	38.19'

20' WATERMAIN EASEMENT		
CENTERLINE DIMENSIONS		
ID	BEARING	LENGTH
W1	N 88°06'08" E	51.88'
W2	S 68°03'17" E	94.82'
W3	N 66°56'43" E	84.43'
W4	N 23°03'17" W	23.23'
W5	N 66°56'43" E	75.33'
W6	N 44°26'43" E	141.06'
W7	N32°48'06" E	127.60'
W8	S 81°14'13" E	75.71'
W9	S 81°14'13" E	62.79'
W10	N 08°45'47" E	13.77'



- (W) 20' WIDE NON-EXCLUSIVE PRIVATE EASEMENT FOR WATERMAIN PURPOSES BENEFITTING LOTS 1, 2, AND 3 HEREOF.
- (S) 20' WIDE NON-EXCLUSIVE PRIVATE EASEMENT FOR SANITARY SEWER PURPOSES BENEFITTING LOTS 1, 2, AND 3 HEREOF.
- (ST) VARIABLE WIDTH NON-EXCLUSIVE PRIVATE EASEMENT FOR STORMWATER MANAGEMENT PURPOSES BENEFITTING LOT 2 HEREOF.

QUAM ENGINEERING, LLC

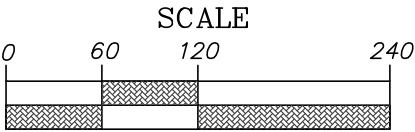
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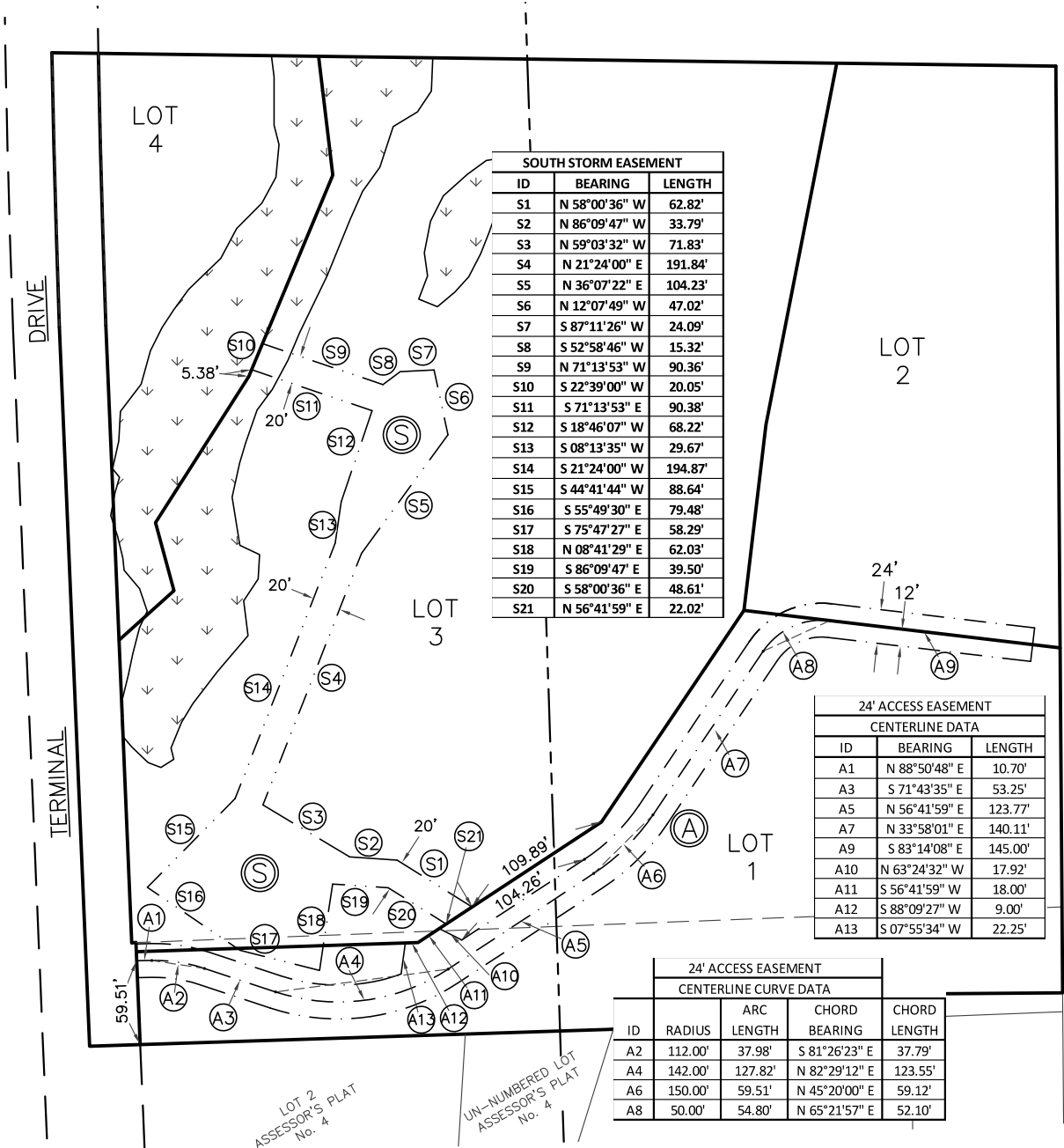
Rev. 2/11/19

CERTIFIED SURVEY MAP #

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.



UNPLATTED LANDS

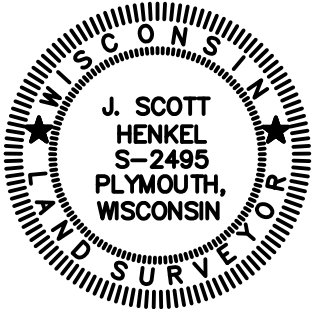


SOUTH STORM EASEMENT		
ID	BEARING	LENGTH
S1	N 58°00'36" W	62.82'
S2	N 86°09'47" W	33.79'
S3	N 59°03'32" W	71.83'
S4	N 21°24'00" E	191.84'
S5	N 36°07'22" E	104.23'
S6	N 12°07'49" W	47.02'
S7	S 87°11'26" W	24.09'
S8	S 52°58'46" W	15.32'
S9	N 71°13'53" W	90.36'
S10	S 22°39'00" W	20.05'
S11	S 71°13'53" E	90.38'
S12	S 18°46'07" W	68.22'
S13	S 08°13'35" W	29.67'
S14	S 21°24'00" W	194.87'
S15	S 44°41'44" W	88.64'
S16	S 55°49'30" E	79.48'
S17	S 75°47'27" E	58.29'
S18	N 08°41'29" E	62.03'
S19	S 86°09'47" E	39.50'
S20	S 58°00'36" E	48.61'
S21	N 56°41'59" E	22.02'

24' ACCESS EASEMENT		
CENTERLINE DATA		
ID	BEARING	LENGTH
A1	N 88°50'48" E	10.70'
A3	S 71°43'35" E	53.25'
A5	N 56°41'59" E	123.77'
A7	N 33°58'01" E	140.11'
A9	S 83°14'08" E	145.00'
A10	N 63°24'32" W	17.92'
A11	S 56°41'59" W	18.00'
A12	S 88°09'27" W	9.00'
A13	S 07°55'34" W	22.25'

24' ACCESS EASEMENT				
CENTERLINE CURVE DATA				
ID	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
A2	112.00'	37.98'	S 81°26'23" E	37.79'
A4	142.00'	127.82'	N 82°29'12" E	123.55'
A6	150.00'	59.51'	N 45°20'00" E	59.12'
A8	50.00'	54.80'	N 65°21'57" E	52.10'

- (A) 24' WIDE NON-EXCLUSIVE PRIVATE EASEMENT FOR INGRESS AND EGRESS PURPOSES BENEFITTING LOTS 1, 2, AND 3 HEREOF.
- (S) VARIABLE WIDTH NON-EXCLUSIVE PRIVATE EASEMENT FOR STORMWATER MANAGEMENT PURPOSES BENEFITTING LOT 1 HEREOF.



QUAM ENGINEERING, LLC

122 WISCONSIN ST., WEST BEND WI, 53095
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Project # RQ-05-17 Date: 12/26/18

Surveyed by Matt Hoglund
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Rev. 2/11/19

CERTIFIED SURVEY MAP # _____

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

SURVEYOR'S CERTIFICATE

I, J. SCOTT HENKEL, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED, AND MAPPED THE FOLLOWING LAND AS DIRECTED BY THE OWNERS, ROBERT ANDERSON AND CAROLYN SIMPSON:

THAT PART OF OUTLOT 1 OF ASSESSOR'S PLAT NO. 4, TOWN OF BLOOMING GROVE, IN THE VILLAGE OF McFARLAND, OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN, LYING BETWEEN THE CENTERLINE OF TERMINAL DRIVE AND THE WEST RIGHT-OF-WAY LINE OF RELOCATED U.S. HIGHWAY NO. 51, EXCEPT THAT PART THEREOF CONVEYED BY WARRANTY DEED RECORDED IN VOLUME 694 OF DEEDS, PAGE 473, AS DOCUMENT NO. 981101, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 1 OF CERTIFIED SURVEY MAP 12262, SAID CORNER ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE SOUTH 87°45'00" WEST, 213.14 FEET, ALONG THE NORTH LINE OF SAID CERTIFIED SURVEY MAP TO THE NORTHWEST CORNER OF SAID CERTIFIED SURVEY MAP;

THENCE SOUTH 88°09'27" WEST, 371.18 FEET, ALONG THE SOUTH LINE OF OUTLOT 1 OF ASSESSOR'S PLAT NO. 4, TOWN OF BLOOMING GROVE, TO THE CENTERLINE OF TERMINAL DRIVE;

THENCE NORTH 02°24'08 WEST, 511.26 FEET, ALONG SAID CENTERLINE;

THENCE ALONG SAID CENTERLINE BEING THE ARC OF A CURVE BEARING TO THE RIGHT 194.52 FEET, WITH A RADIUS OF 11459.16 FEET, AND A CHORD BEARING AND LENGTH OF NORTH 01°34'20" WEST, 194.52 FEET;

THENCE SOUTH 89°14'09" EAST, 713.06 FEET, TO THE WEST RIGHT-OF-WAY LINE OF RELOCATED U.S. HIGHWAY NO. 51;

THENCE SOUTH 00°25'11" EAST, 657.91 FEET, ALONG SAID WEST LINE;

THENCE SOUTH 89°33'39" WEST, 107.22 FEET;

THENCE SOUTH 00°26'15" EAST, 16.73 FEET, TO THE POINT OF BEGINNING.

CONTAINING 482,902 SQUARE FEET // 11.0859 ACRES, MORE OR LESS, AND SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

I FURTHER CERTIFY THAT THE MAP PREPARED IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES AS SHOWN AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, AND THE VILLAGE OF McFARLAND MUNICIPAL CODE.

J. SCOTT HENKEL, PLS 2495

OWNER'S CERTIFICATE

AS OWNERS, ROBERT ANDERSON AND CAROLYN SIMPSON DO HEREBY CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED TO BE SURVEYED, DIVIDED, DEDICATED, AND MAPPED AS REPRESENTED ON THIS PLAT IN ACCORDANCE WITH WISCONSIN STATUTES 236.34 AND THE VILLAGE OF MCFARLAND REQUIREMENTS FOR CERTIFIED SURVEY MAPS.

STATE OF WISCONSIN :SS
COUNTY

PERSONALLY CAME BEFORE ME THIS DAY OF , 2019,

, AND TO ME KNOWN AS THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED SAME.

MY COMMISSION EXPIRES: NOTARY PUBLIC, STATE OF WISCONSIN

QUAM ENGINEERING, LLC
122 WISCONSIN ST., WEST BEND WI, 53095
262-338-6641 www.quamengineering.com
Project # RQ-05-17 Date: 12/26/18

CERTIFIED SURVEY MAP # _____

PART OF OUTLOT 1, ASSESSOR'S PLAT No. 4, TOWN OF
BLOOMING GROVE IN THE SOUTHEAST 1/4 AND THE
SOUTHWEST 1/4 OF THE NORTHWEST 1/4, AND PART OF THE
NORTH 1/2 OF THE NORTHWEST 1/4, OF SECTION 34,
TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF
McFARLAND, COUNTY OF DANE, STATE OF WISCONSIN.

VILLAGE OF McFARLAND PLAN COMMISSION APPROVAL

THIS LAND DIVISION IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF McFARLAND ON THIS
_____ DAY OF _____, 2019.

CASSANDRA SUETTINGER, CLERK, VILLAGE OF McFARLAND

VILLAGE OF McFARLAND BOARD APPROVAL

THIS LAND DIVISION IS HEREBY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF McFARLAND ON THIS
_____ DAY OF _____, 2019.

CASSANDRA SUETTINGER, CLERK, VILLAGE OF McFARLAND

REGISTER OF DEEDS CERTIFICATE

RECEIVED FOR RECORDING THIS _____ DAY OF _____, 2019
AT _____ O'CLOCK _____ M, AND RECORDED IN VOLUME _____ OF CERTIFIED SURVEY MAPS OF
DANE COUNTY ON PAGES _____.
CERTIFIED SURVEY MAP No. _____ DOCUMENT No. _____

KRISTI CHLEBOWSKI, DANE COUNTY REGISTER OF DEEDS

LEGAL DESCRIPTION:

ALL THAT PART OF OUTLOT ONE (1), ASSESSOR'S PLAT NO. 4, TOWN OF BLOOMING GROVE, IN THE VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN LYING WEST OF THE WEST RIGHT OF WAY LINE OF RELOCATED U.S. HIGHWAY NO. 51, EXCEPT THAT PART THEREOF CONVEYED BY WARRANTY DEED RECORDED AS DOCUMENT NO. 4408230.

AND ALL THAT PART OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 10 EAST, IN THE VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN, LYING BETWEEN THE CENTERLINE OF TERMINAL DRIVE AND THE WEST RIGHT OF WAY LINE OF RELOCATED U.S. HIGHWAY NO. 51, EXCEPT THAT PART THEREOF CONVEYED BY WARRANTY DEED RECORDED IN VOLUME 694 OF DEEDS, PAGE 473, AS DOCUMENT NO. 981101.

4703 TERMINAL DRIVE

EXISTING SITE & DEMOLITION PLAN WITH BURN AREA

SHEET: C-1

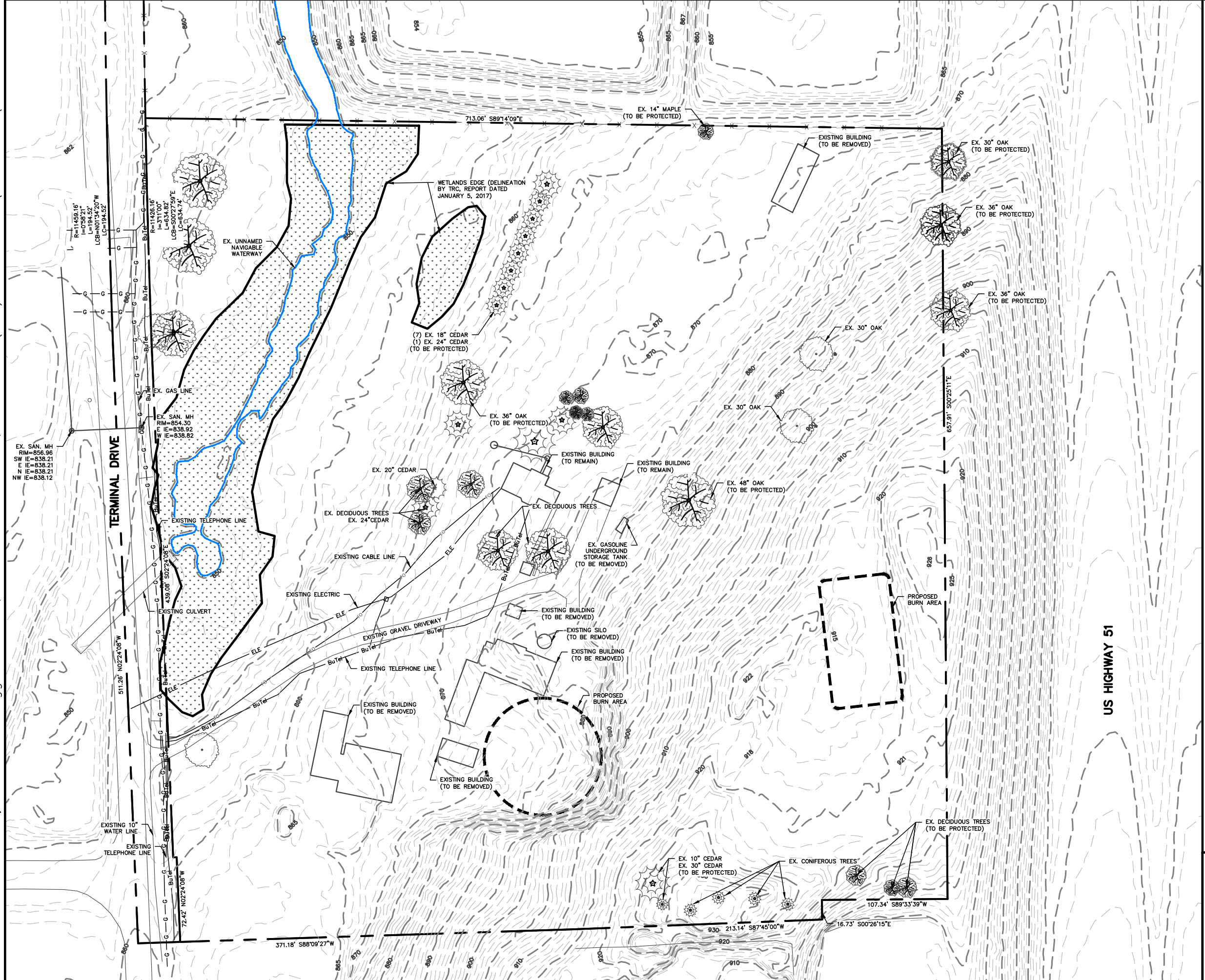
DATED: FEBRUARY 13, 2019

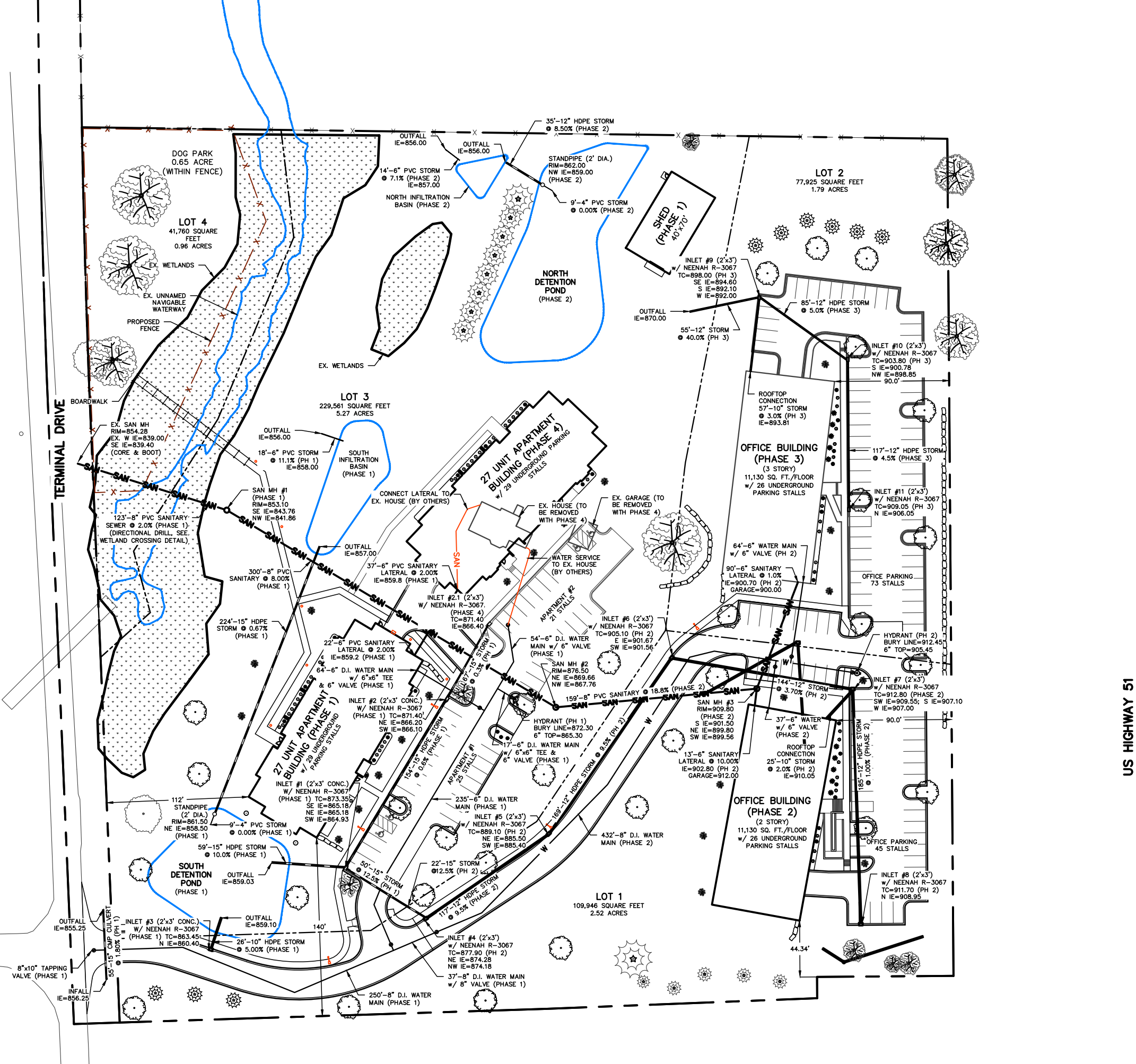
QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants



www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 54601
Phone (608) 838-7750; Fax (608) 838-7752





BUILDING INFORMATION			
BUILDING	# OF STORIES	BUILDING FOOTPRINT (SF)	GROSS FLOOR AREA (SF)
PHASE 1 APARTMENTS	3 + UNDERGROUND PARKING	11310	45240
PHASE 2 OFFICE	2+UNDERGROUND PARKING	11200	33600
PHASE 3 OFFICE	2+UNDERGROUND PARKING	11200	33600
PHASE 4 APARTMENTS	3+ UNDERGROUND PARKING	11310	45240

LOT INFORMATION	
LOT #	AREA (ACRES)
1	2.52
2	1.79
3	5.27
4	0.96

TIME SCHEDULE:

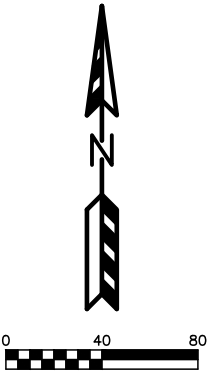
PHASE 1	
JULY 15 - 30, 2019	REMOVE EXISTING BUILDINGS, CLEAR UNDERBRUSH, REMOVE TREES AS DIRECTED BY THE ENGINEER, AND BURN MATERIALS IN VILLAGE APPROVED BURN AREAS.
AUGUST 1 - 3, 2019	GRADE SOUTH DETENTION POND AND RESTORE DISTURBED AREAS.
AUGUST 4 - 15, 2019	GRADE REMAINDER OF PHASE 1 CONSTRUCTION SITE AND RESTORE DISTURBED AREAS.
AUGUST 16 - SEPTEMBER 15, 2019	INSTALL SANITARY SEWER, WATER MAIN, AND STORM SEWER.
SEPTEMBER 1, 2019 - MAY 31, 2020	CONSTRUCT APARTMENT BUILDING.
APRIL 1 - MAY 15, 2020	CONSTRUCT PARKING LOT, DRIVE AISLES, AND SIDEWALKS AND RESTORE REMAINING DISTURBED AREAS.
MAY 15 - 31, 2020	INSTALL LANDSCAPING.
PHASE 2	
APRIL 15 - SEPTEMBER 30, 2020	CONSTRUCT OFFICE BUILDING AND ASSOCIATED PARKING LOT AND SIDEWALKS AND RESTORE DISTURBED AREAS.
PHASE 3	
SEPTEMBER 1, 2023 - APRIL 30, 2024	CONSTRUCT OFFICE BUILDING AND ASSOCIATED PARKING LOT AND RESTORE DISTURBED AREAS.
PHASE 4	
SEPTEMBER 1, 2024 - APRIL 30, 2025	CONSTRUCT APARTMENT BUILDING AND ASSOCIATED PARKING LOT AND SIDEWALKS AND RESTORE DISTURBED AREAS.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



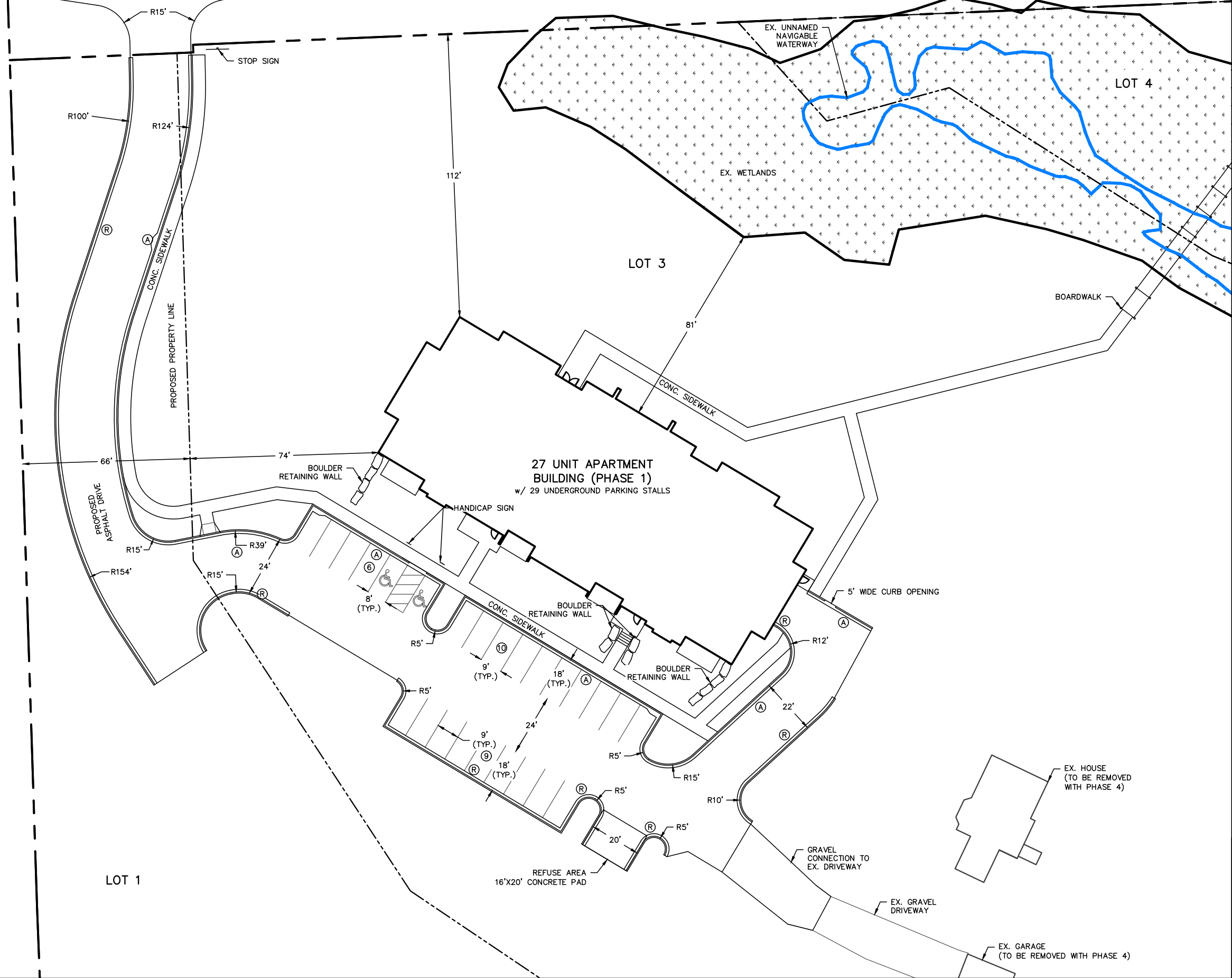
4703 TERMINAL DRIVE
GENERAL DEVELOPMENT PLAN
C-2
DATED: FEBRUARY 13, 2019

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

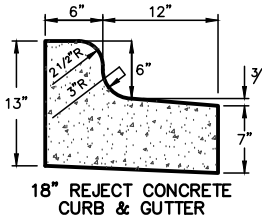
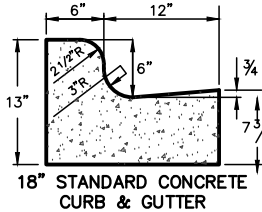
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TERMINAL DRIVE



RESIDENTIAL STALLS REQUIRED		STALLS REQUIRED	
1-BEDROOM: 27 D.U. AT 2.0 STALLS	=	54 STALLS REQUIRED	
TOTAL REQUIRED:	=	54 STALLS REQUIRED	
RESIDENTIAL STALLS PROVIDED		STALLS PROVIDED	
SOUTH PARKING LOT	=	25 STALLS PROVIDED	
UNDERGROUND PARKING LOT	=	29 STALLS PROVIDED	
TOTAL PROVIDED:	=	54 STALLS PROVIDED	



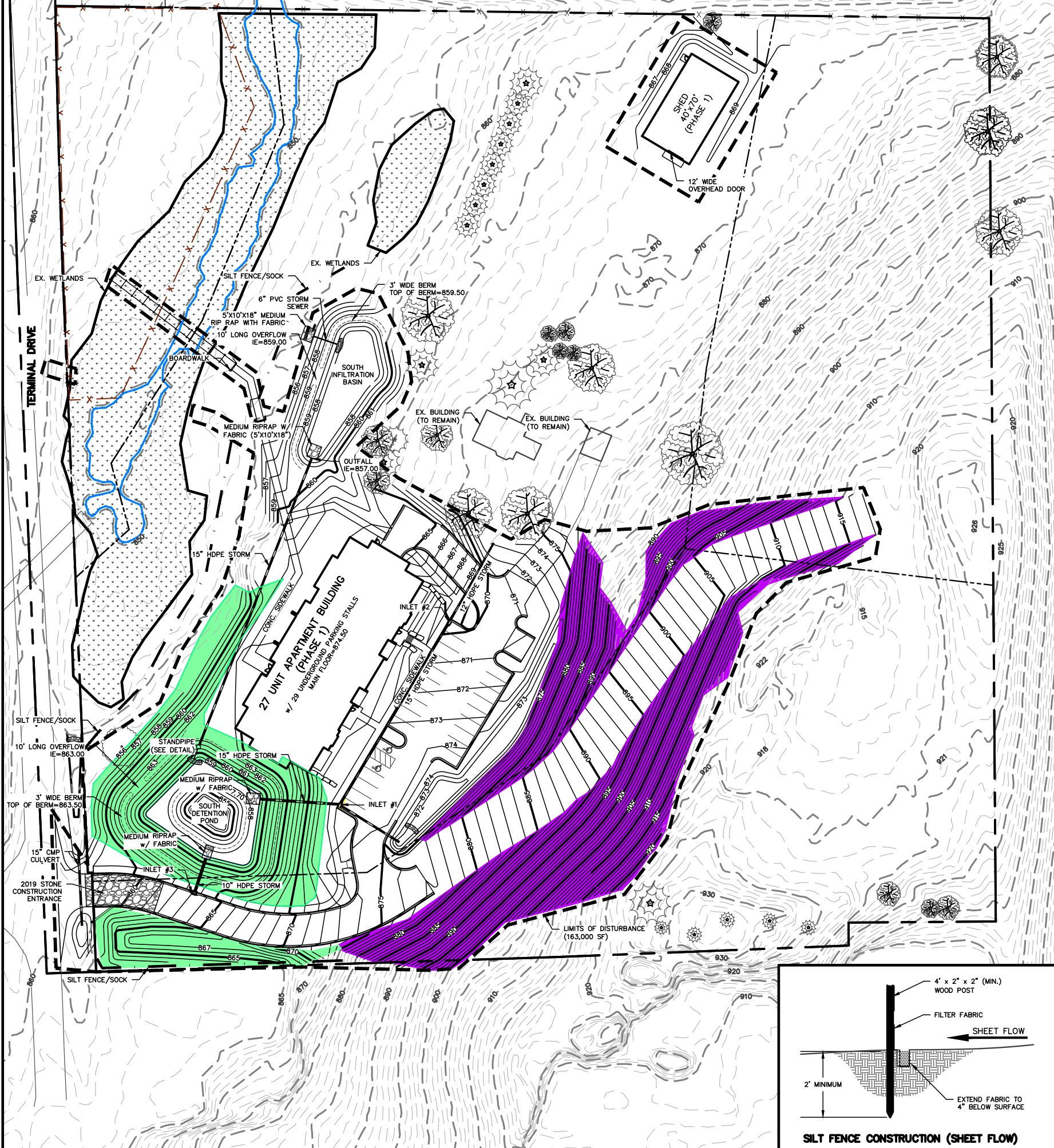
- (A) = 18" ACCEPT CONCRETE CURB & GUTTER
(R) = 18" REJECT CONCRETE CURB & GUTTER

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TDD(FOR THE HEARING IMPAIRED)(800)542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



4703 TERMINAL DRIVE
PHASE 1 APARTMENTS SITE PLAN
SHEET: C-3
DATED: FEBRUARY 13, 2019

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CLASS 1 - TYPE B EROSION MATTING
(SLOPES GREATER THAN 5:1 AND UP TO 3:1)

CLASS 2 - TYPE B EROSION MATTING
(SLOPES GREATER THAN 3:1)

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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TOLL FREE

TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

EROSION NOTES:

THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

TIME SCHEDULE:

PHASE 1	DATE	DESCRIPTION
JULY 15 - 30, 2019		REMOVE EXISTING BUILDINGS, CLEAR UNDERBRUSH, REMOVE TREES AS DIRECTED BY THE ENGINEER, AND BURN MATERIALS IN VILLAGE APPROVED BURN AREAS.
AUGUST 1 - 3, 2019		GRADE SOUTH DETENTION POND AND RESTORE DISTURBED AREAS.
AUGUST 4 - 15, 2019		GRADE REMAINDER OF PHASE 1 CONSTRUCTION SITE AND RESTORE DISTURBED AREAS.
AUGUST 16 - SEPTEMBER 15, 2019		INSTALL SANITARY SEWER, WATER MAIN, AND STORM SEWER.
SEPTEMBER 1, 2019 - MAY 31, 2020		CONSTRUCT APARTMENT BUILDING.
APRIL 1 - MAY 15, 2020		CONSTRUCT PARKING LOT, DRIVE AISLES, AND SIDEWALKS AND RESTORE REMAINING DISTURBED AREAS.
MAY 15 - 31, 2020		INSTALL LANDSCAPING.

RESTORATION NOTES:

ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE INFILTRATION BASINS. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS EXCEPT SLOPES GREATER THAN 3:1. SLOPES GREATER THAN 3:1 SHALL BE RESTORED WITH A CAREFREE FINE FESCUE SEED MIXTURE. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:
EZRA PROPERTIES, LLC
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558

ENGINEER:
QUAM ENGINEERING, LLC
ATTN: RYAN QUAM
4604 SIGGELKOW ROAD, SUITE A
MCFARLAND, WI 53558

STONE CONSTRUCTION ENTRANCE

DNR PRESCRIPTIVE COMPLIANCE:

RESTORATION SHALL OCCUR WITHIN 90 DAYS OF INITIAL DISTURBANCE FOR SLOPES 20% OR GREATER.

NORTH WET DETENTION POND/ NORTH INFILTRATION BASIN CROSS SECTION

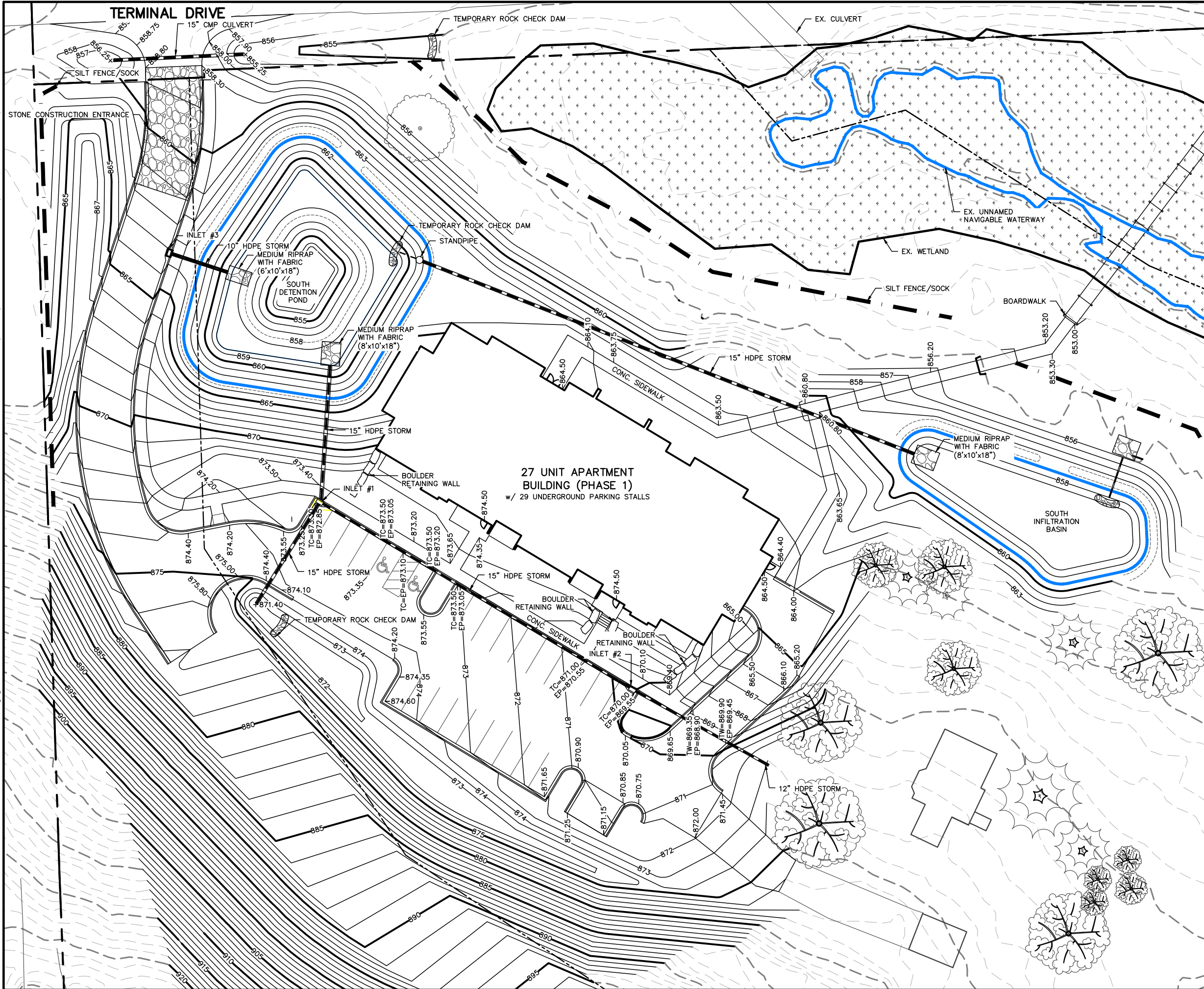
SOUTH WET DETENTION POND/ SOUTH INFILTRATION BASIN CROSS SECTION

SILT FENCE CONSTRUCTION (SHEET FLOW)

ROCK CHECK DAM DETAIL

4703 TERMINAL DRIVE
PHASE 1 GRADING AND EROSION CONTROL PLAN
C-4.1
DATED: FEBRUARY 13, 2019

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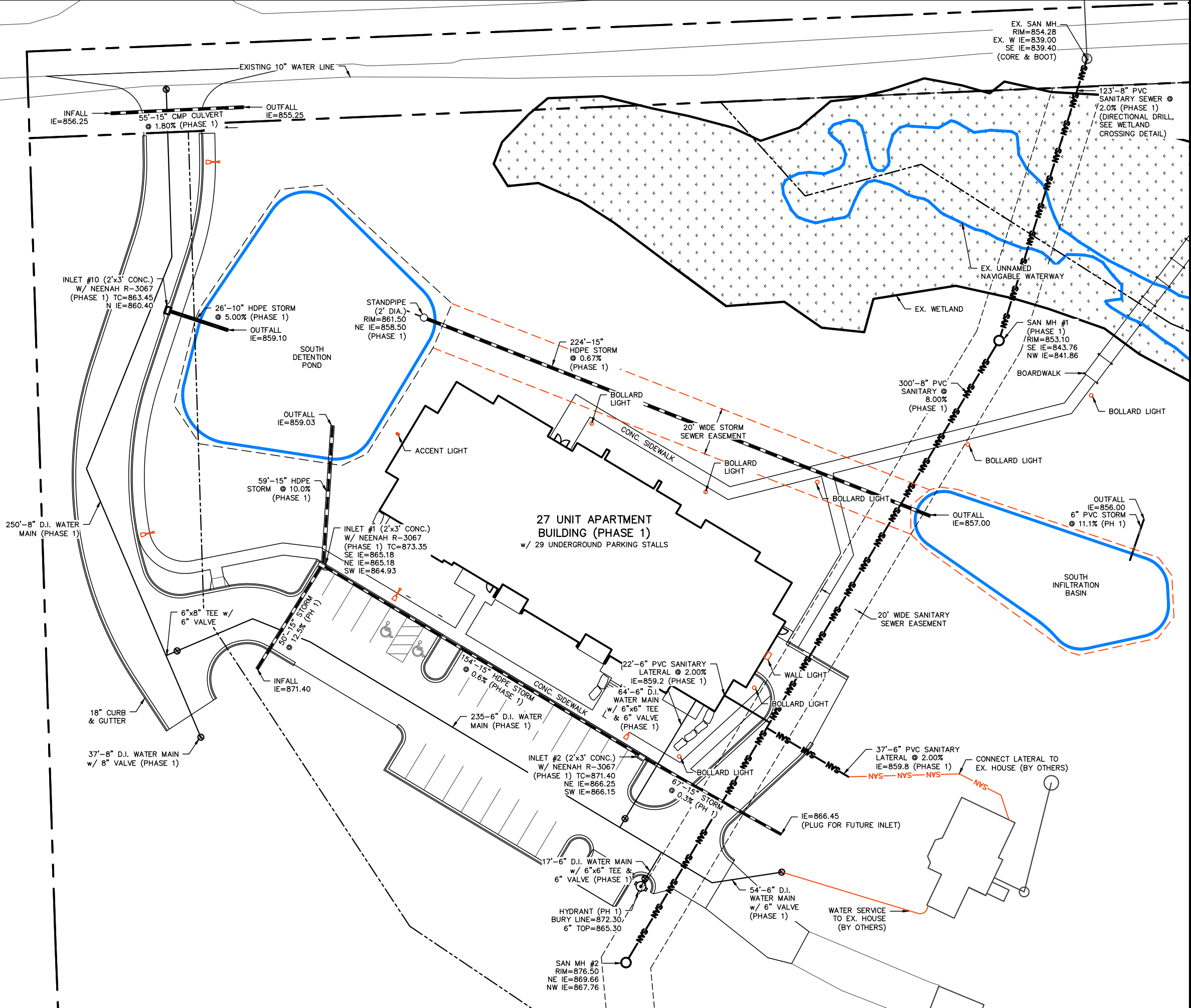
WS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



4703 TERMINAL DRIVE
APARTMENTS GRADING AND EROSION CONTROL PLAN
C-4.2
DATED: FEBRUARY 13, 2019

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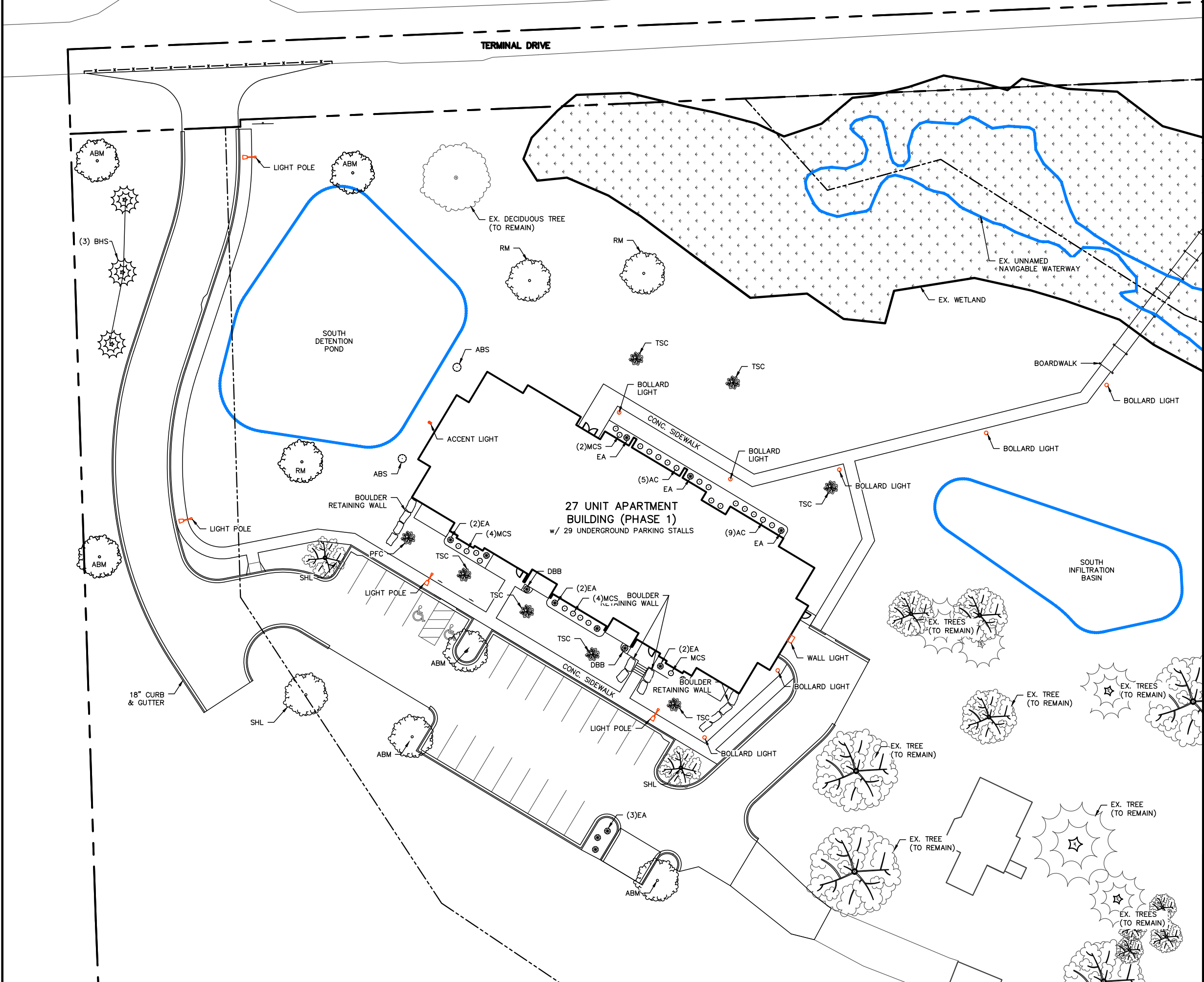
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4703 TERMINAL DRIVE
PHASE 1 APARTMENTS UTILITY PLAN
C-5
DATED: FEBRUARY 13, 2019



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Phone (608) 838-7750; Fax (608) 838-7752



APARTMENT BUILDING PHASE 1 LANDSCAPE PLANT LIST						
KEY	QUANTITY	SIZE	COMMON NAME	ROOT	UNIT POINTS	TOTAL POINTS
	9		Large Deciduous Trees		40	360
ABM	6	2"	Autumn Blaze Maple	BB		
RM	3	2"	Red Maple	BB		
	3		Medium Deciduous Trees		25	75
SHL	3	1 1/2"	Skyline Honey Locust	BB		
	14		Small Deciduous Trees		15	210
PFC	1	1 1/2"	Prairie Fire Crab	BB		
TSC	7	1 1/2"	Tina Sergeant Crab	BB		
	3		Medium Evergreen Trees		20	60
BHS	3	4'	Black Hill Spruce	BB		
	2		Tall Deciduous Shrubs		5	10
ABS	2	5'	Autumn Brilliance Serviceberry	BB		
	2		Medium Deciduous Shrubs		3	6
DBB	2	24"	Dwarf Burning Bush	Pot		
	29		Low Deciduous Shrubs		1	29
MCS	15	18"	Magic Carpet Spirea			
AC	14	18"	Alpine Currant			
	12		Medium Evergreen Shrub		5	60
EA	12	4'	Emerald Arborvitae	BB		
Total Landscape Points Provided						810
Phase 1 Apartments Points Required						

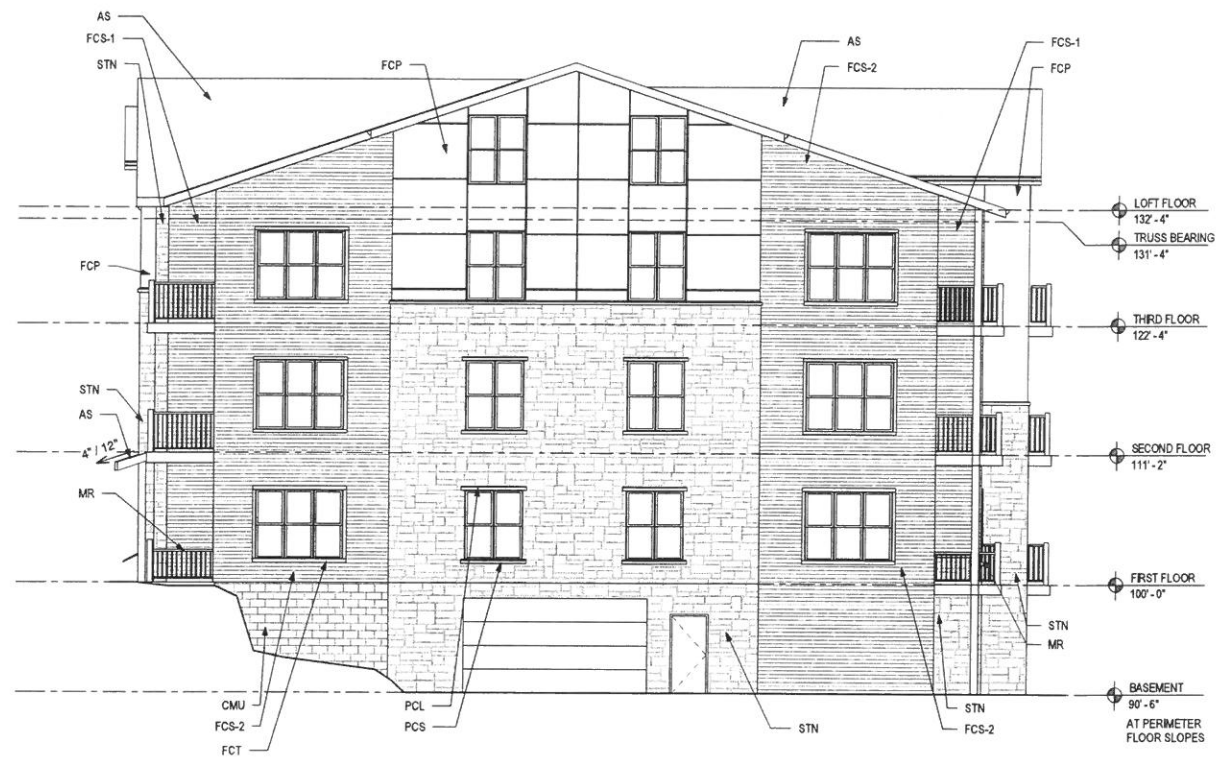
	Quantities	Points Required
Lineal Feet of building foundation	566	226
Square Feet of gross floor area of building footprints	22617	226
Square Feet of Paved area	16909	135
Total Points Required		588

(Ord. No. 2011-06, S1, 5-23-2011)
1. 40 points per 100 lineal feet of building foundation
2. 10 points per 1000 square feet of gross floor area of building footprints
3. 80 points per 10,000 square feet of paved area



4703 TERMINAL DRIVE
PHASE 1 APARTMENTS LANDSCAPE AND LIGHTING PLAN
C-6
DATED: FEBRUARY 13, 2019

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1 NORTH ELEVATION
1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17



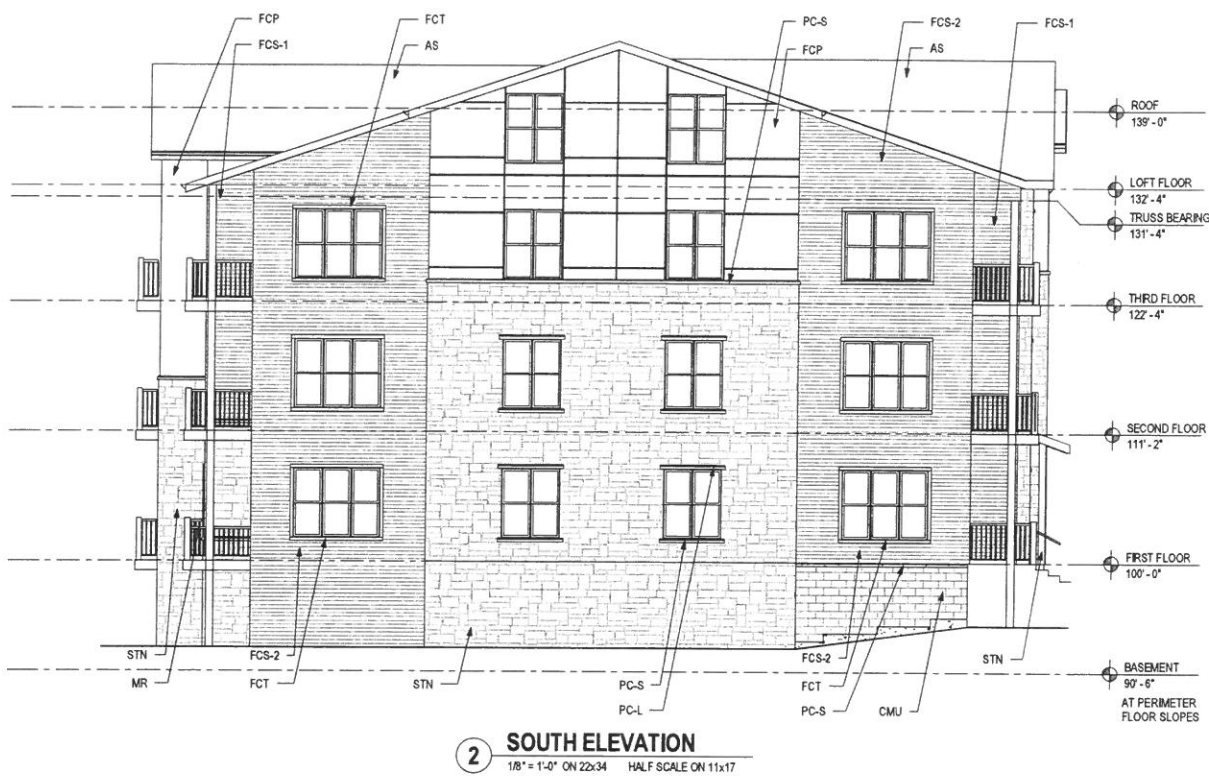
2 WEST ELEVATION
1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17

EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND		
LEGEND		
FCS-1	FIBER CEMENT SIDING	SW 6102 - PORTABELLO
FCS-2	FIBER CEMENT SIDING	SW 2803 - TERRA COTTA
FCP	FIBER CEMENT PANELS	JH - IRON GRAY
TRIM	VERTICAL REVEAL TRIM	TAMLYN - PAINTED TO MATCH SIDING
FCT	FIBER CEMENT TRIM	COLOR TO MATCH SOFFIT AND FASCIA
		1X4 @ WINDOWS, TYP.
		1X10 @ BAND BOARD
		1X12 @ FRIEZE BOARD
STN	STONE VENEER	CYPRESS DRY STACK DUTCH QUALITY STONE
		WATER TABLE SILL - COLOR "BROWN"
		DUTCH QUALITY STONE
CMU	SPLIT-FACE CMU	PROVIDE SILL @ WINDOW BASE, HEAD AND TOP OF STONE
		COUNTY MATERIALS 01-034A CLIFF GRAY
PCS	PRE CAST SILL	
PCL	PRE CAST LINTEL	
PMF	PREFINISHED METAL FASCIA - MUSKET (ROLLEX)	
MR	METAL RAILING SYSTEM	
GENERAL NOTES		
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B. REFER TO WINDOW TYPE SHEET A6.2 FOR ALL WINDOW INFORMATION.		
C. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		

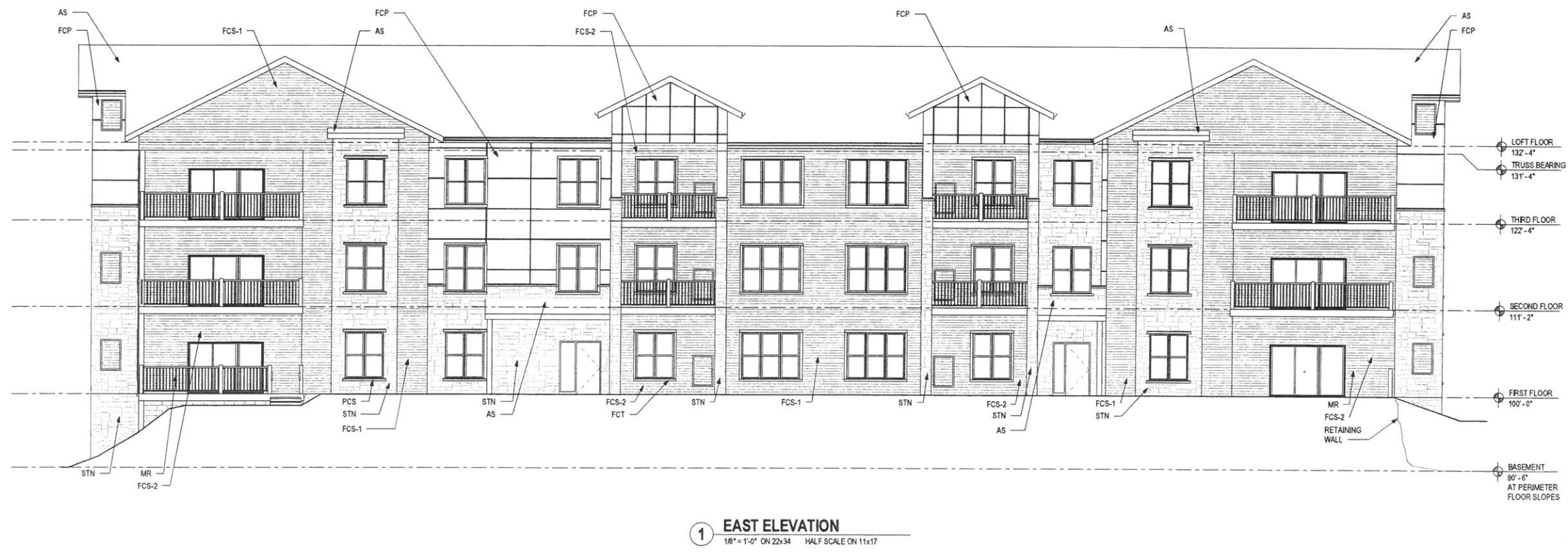
4703 TERMINAL DRIVE MULTIFAMILY - 1
EXTERIOR ELEVATIONS
DATE: 12.1
DATE: FEB. 11, 2019

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Phone: (608) 838-7750 Fax: (608) 838-7752



EXTERIOR ELEVATIONS GENERAL NOTES AND LEGEND		
LEGEND		
FCS-1	FIBER CEMENT SIDING	SW 6102 - PORTABELLO
FCS-2	FIBER CEMENT SIDING	SW 2603 - TERRA COTTA
FCP	FIBER CEMENT PANELS	JH - IRON GRAY
TRIM	VERTICAL REVEAL TRIM	TAMLYN - PAINTED TO MATCH SIDING
FCT	FIBER CEMENT TRIM	COLOR TO MATCH SOFFIT AND FASCIA
		1X4 @ WINDOWS, TYP.
		1X10 @ BAND BOARD
		1X12 @ FRIEZE BOARD
STN	STONE VENEER	CYPRESS DRY STACK DUTCH QUALITY STONE
		WATER TABLE SILL - COLOR "BROWN"
		DUTCH QUALITY STONE
		PROVIDE SILL @ WINDOW BASE, HEAD AND TOP OF STONE
		COUNTY MATERIALS 01-03MA CLIFF GRAY
CMU	SPLIT-FACE CMU	
PCS	PRE CAST SILL	
PCL	PRE CAST LINTEL	
PMF	PREFINISHED METAL FASCIA - MUSKET (ROLLEX)	
MR	METAL RAILING SYSTEM	
GENERAL NOTES		
A. NOT ALL MASONRY PENETRATIONS SHOWN, COORDINATE WITH MEP CONTRACTORS.		
B. REFER TO WINDOW TYPE SHEET A6.2 FOR ALL WINDOW INFORMATION.		
C. CONTROL JOINTS CONTINUOUS FROM TOP OF FOUNDATION TO TOP OF WALL.		



4703 TERMINAL DRIVE MULTIFAMILY — 1
EXTERIOR ELEVATIONS
DATE: 12.0
DATE: FEB. 11, 2019
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www.quamengineering.com
4507 Siggelkow Road, Suite A — Waubesa, Wisconsin 53085
Phone: (608) 838-7750 Fax: (608) 838-7752

FLOOR PLAN GENERAL NOTES

- SEE SHEET A5.0-5.3 FOR LARGE SCALE PLANS.
- SEE SHEET A6.2 FOR INTERIOR ELEVATIONS.
- PROVIDE VERTICAL CONTROL JOINTS (CJS) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
- GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
- GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
- GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
- PROVIDE VINYL CARPET EDGE AT ALL CARPET TO DISSIMILAR FLOOR MATERIALS UNLESS NOTED OTHERWISE (U.N.O.).
- REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
- VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
- ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

3 FOURTH FLOOR SOUTH
1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17

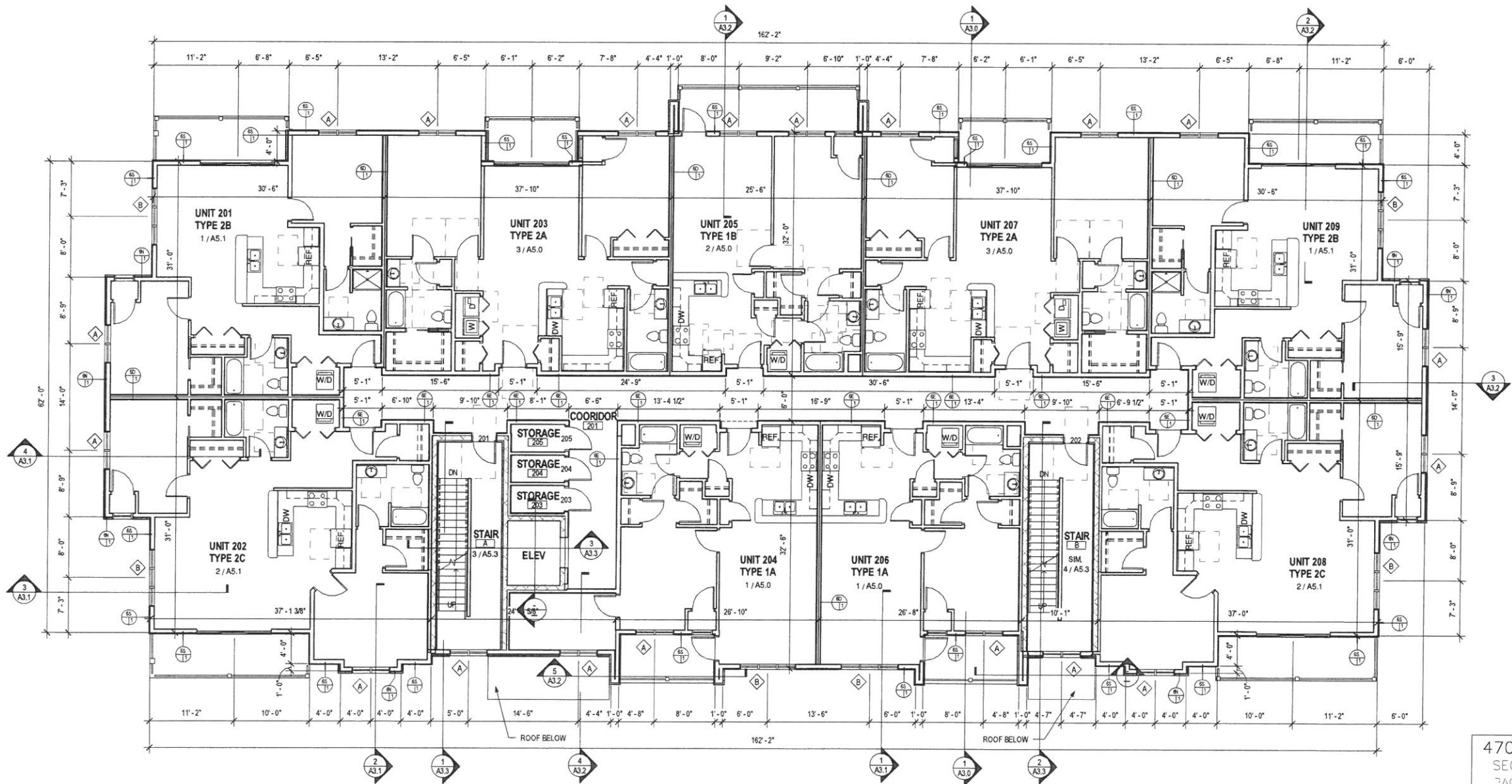
2 FOURTH FLOOR NORTH
1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17

1 THIRD FLOOR PLAN
1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17

4703 TERMINAL DRIVE MULTIFAMILY - 1
THIRD FLOOR PLAN
PAGE: A1.3
DATE: FEB. 11, 2019

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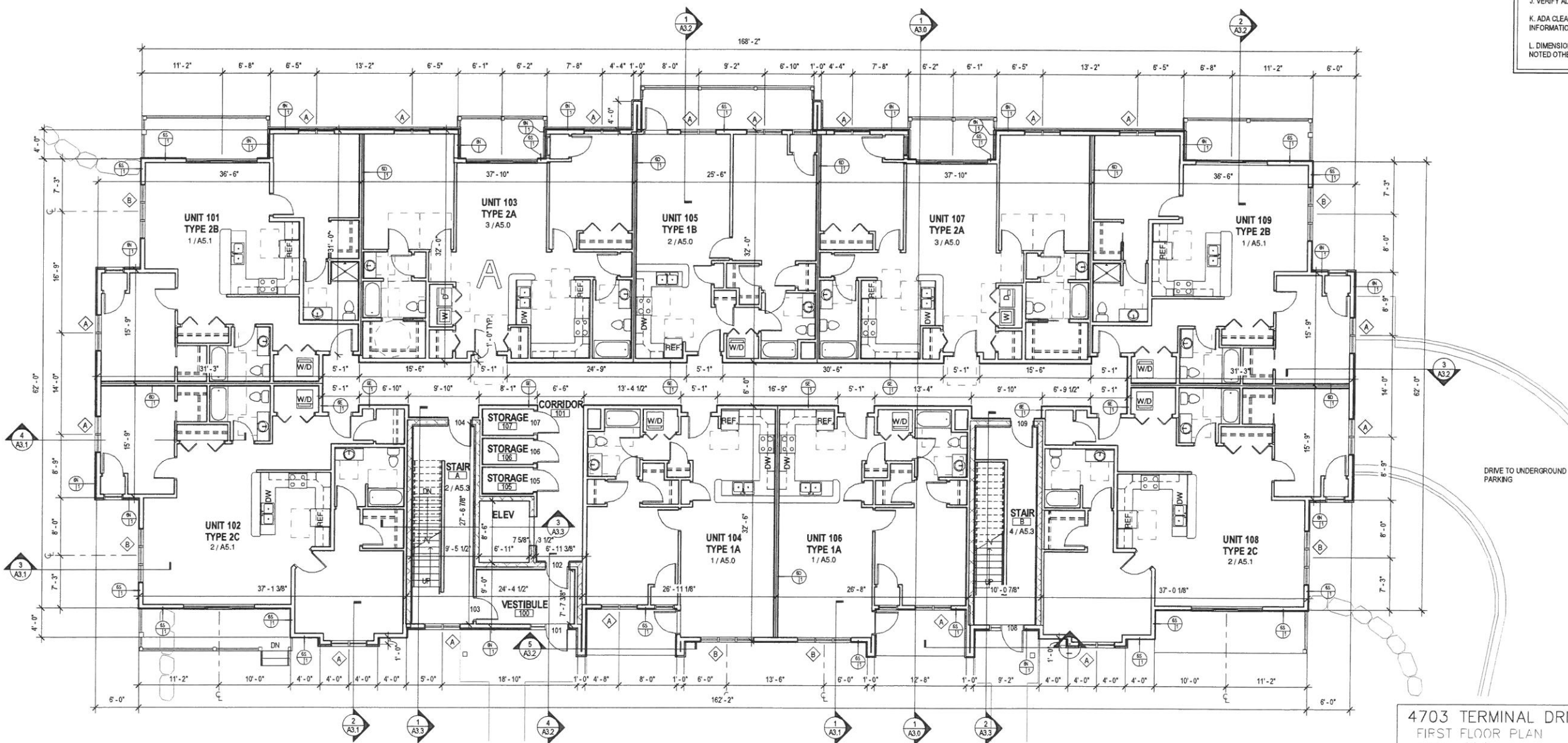
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone: (608) 838-7750 Fax: (608) 838-7752



- ### FLOOR PLAN GENERAL NOTES
- A. SEE SHEET A5.0-5.3 FOR LARGE SCALE PLANS.
 - B. SEE SHEET A5.2 FOR INTERIOR ELEVATIONS.
 - C. PROVIDE VERTICAL CONTROL JOINTS (C.J.S) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
 - D. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS, GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
 - E. GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT, VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
 - F. GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
 - G. GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
 - H. PROVIDE VINYL CARPET EDGE AT ALL CARPET TO DISSIMILAR FLOOR MATERIALS UNLESS NOTED OTHERWISE (U.N.O.).
 - I. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
 - J. VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
 - K. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
 - L. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

4703 TERMINAL DRIVE MULTIFAMILY — 1
SECOND FLOOR PLAN
DATE: A1.2
DATE: FEB. 11, 2019

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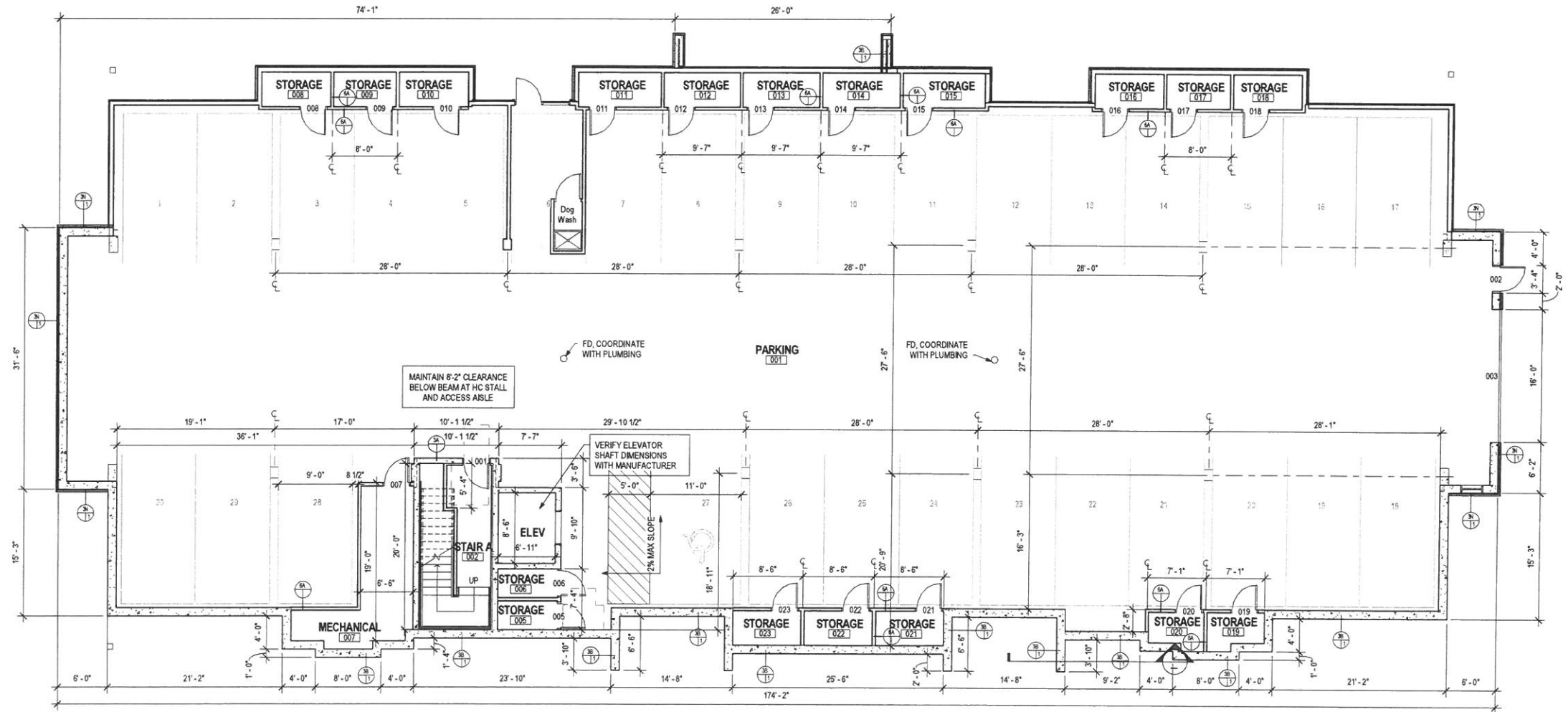
1 FIRST FLOOR PLAN
1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17

FLOOR PLAN GENERAL NOTES

- A. SEE SHEET A5.0-5.3 FOR LARGE SCALE PLANS.
- B. SEE SHEET A6.2 FOR INTERIOR ELEVATIONS.
- C. PROVIDE VERTICAL CONTROL JOINTS (C/J'S) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.
- D. VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS, GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
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4703 TERMINAL DRIVE MULTIFAMILY — 1
FIRST FLOOR PLAN
DATE: A1.1
DATE: FEB. 11, 2019

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- FLOOR PLAN GENERAL NOTES
- A. SEE SHEET A5.0 - 5.3 FOR LARGE SCALE PLANS.

B. SEE SHEET A5.2 FOR INTERIOR ELEVATIONS.

C. PROVIDE VERTICAL CONTROL JOINTS (C.J.'S) WHERE STRUCTURAL SYSTEMS CHANGE, LOCATIONS THAT ARE PRONE TO CRACKING AND AS REQUIRED BY MANUFACTURES INSTALLATION RECOMMENDATIONS.

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K. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.

L. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.

1 BASEMENT PLAN

1/8" = 1'-0" ON 22x34 HALF SCALE ON 11x17

NORTH

0 2 4 8

4703 TERMINAL DRIVE MULTIFAMILY - 1

BASEMENT FLOOR PLAN

DATE: A1.0

DATLD: FEB. 11, 2019

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VILLAGE BOARD SUMMARY SHEET

MEETING DATE: Tuesday, March 12, 2019

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator, Jim Hessling, Assistant Director

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding the award of contract for the 2019 Water Main and Street Improvements.

PREVIOUS ACTION:

The Public Works Committee has discussed the street improvement aspect of this project in November of last year as well as January and February this year. The purpose of that discussion was to review the addition of off street pedestrian facilities and including this work within the bid.

ISSUE SUMMARY:

Enclosed within your packet is the bid notification for the 2019 Water Main and Street Improvement project. The Village Engineer will be present in the meeting to review results of the bid in order for the Committee to consider making a recommendation to the Village Board for the award of contract for this work.

FINANCIAL/BUDGET IMPACT:

The 2019 Budget within the Capital Projects Fund allocates \$955,000 of borrowed money for this project. The Water Utility would be responsible for \$659,500 of this expense.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended for consideration after presentation by the Village Engineer.

ATTACHMENTS:

1. 00 10 10 Advertisement for Bidders resurf

ADVERTISEMENT FOR BIDS

PROJECT: 2019 WATER MAIN AND STREET IMPROVEMENTS

OWNER: Village of McFarland
5915 Milwaukee Street, P.O. Box 110
McFarland, WI 53558

CONTRACTS AND BID DEADLINE:

Sealed bids for Contract A for water main, curb & gutter and sidewalk construction, and Contract B for street excavation, base course construction and street asphalt pavement construction will be received by the Village of McFarland in the McFarland Village office until 10:30 a.m. local time on March 7, 2019. Bids will be publicly opened and read aloud immediately thereafter in the Village Board of Trustees meeting room.

Contract A consists of the following approximate quantities:

6, 8 and 10-inch Water Main	2,100 lineal feet
30-inch Concrete Curb & Gutter Construction and Spot Repair	2,500 lineal feet
4-inch and 6-inch Concrete Sidewalk	4,000 square feet

Contract B consists of the following approximate quantities:

Pulverizing Asphalt Pavement	40,000 square yards
Hot-Mix Asphalt Pavement	7,500 tons

Appurtenances to the above construction items, such as service laterals and manhole adjustments are included, but are not listed above. The quantities are subject to change without notice prior to document distribution.

CONTRACT DOCUMENTS:

The Contract Documents, consisting of Advertisement for Bids, Instructions to Bidders, Bidder's Proof of Responsibility, Bid Proposal Form, Affidavit of Organization and Authority, Bid Bond (in the amount of 5% of the maximum amount of the bid), Notice of Award Form, Agreement Form, Notice to Proceed Form, Performance/Payment Bond (100%), Certificate of Insurance, General Conditions, Supplementary Conditions, Technical Specifications, Drawings and Addenda (if any) may be examined at the following locations:

Village of McFarland
5915 Milwaukee Street, P.O. Box 110
McFarland, WI 53558

Town & Country Engineering, Inc.
2912 Marketplace Drive, Suite 103
Madison, WI 53719

Copies of the Contract Documents and the Construction Plans may be obtained at the office of Town & Country Engineering, Inc., 2912 Marketplace Drive, Suite 103, Madison, WI 53719. There is a **\$25 non-refundable** copying and distribution charge for these documents. Electronic bidding documents are available on-line at Questcdn.com, Project No. 6146670 (Contract A) and Project No. 6146606 (Contract B) for \$15.00. An additional fee of \$10.00 is required for those submitting a bid on-line via Questcdn.

QUALIFICATIONS:

Bidders must be pre-qualified with the Village of McFarland within the last year or must be pre-qualified for this work 5 days prior to the bid deadline in accordance with Section 66.0903 of the Wisconsin Statutes. Each bidder must deposit, with his bid, security in the amount of 5% of the maximum bid amount. Bidders must be experienced in municipal pipeline construction.

PROJECT FUNDING:

Portions of this project are funded through a Local Road Improvements (LRIP) grant from the Wisconsin Department of Transportation.

RIGHTS RESERVED:

The Village of McFarland reserves the right to reject any and all bids and to waive informalities in any bid.

Published by the authority of:
Matthew Schuenke, Village Administrator
Village of McFarland



VILLAGE BOARD SUMMARY SHEET

MEETING DATE: Tuesday, March 12, 2019

SECTION: Business

DEPARTMENT: Administration

CONTACT: Matt Schuenke, Village Administrator, Jim Hessling, Assistant Director

AGENDA ITEM: Discussion and action to make a recommendation to the Village Board regarding the position description and approval to fill the vacancy for the Streets/Utilities Superintendent position within the Public Works Department.

PREVIOUS ACTION:

None.

ISSUE SUMMARY:

In November of 2018, the Village Board approved the funding to create the divisions of Streets/Utilities and Parks to be led each by their own Superintendents. The new organizational chart created two positions to supervise operations rather than the former structure which had simply the Assistant Director overseeing both functions. The former Assistant Director has now been confirmed as Director and the draft Organizational Chart will be approved by the Village Board at their meeting on March 11th. The next steps to finalize this reorganization is to pursue approval for the Superintendent positions which for the Public Works and Utilities Committees includes the Streets/Utilities position.

The position itself is essentially the former Assistant Director position without the responsibilities for Parks. The Parks responsibilities have been shifted to the new Superintendent position for that Division to carve out those responsibilities separately. This newly titled position will still hold the same key responsibilities of overseeing service delivery for public works, water, sanitary, storm sewer, facilities, and solid waste services. Formerly by definition this position would assume the director role when the director was not present, going forward this is not defined in job descriptions and that assignment will be made by the Director as needed and people are available.

The Public Works and Utilities Committee will review the job jointly in order to make a recommendation to the Village Board. The Personnel Committee will also review in April in order to also revisit the classification for the position. Ultimately when all the reviews are complete the Village Board will consider the job description, classification, and approval to fill the vacancy.



FINANCIAL/BUDGET IMPACT:

The updated classification will establish the grade for the position. The position was funded as of January 1, 2019 but will most likely not be funded until midway through the year which provides for adequate funding across the General and Utility funds.

VILLAGE PLAN REFERENCE:

None.

ORDINANCE REFERENCE:

None.

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended for review and consideration to make a recommendation to the Village Board.

ATTACHMENTS:

1. 03.07.2019 - Streets-Utilities Superintendent Job Description mgs

Streets/Utilities Superintendent

POSITION DESCRIPTION

Position Title: Parks Superintendent
Department: Public Works
Reports to: Public Works Director

FLSA: Non-Exempt
Represented: No
Employment Status: Full-Time

POSITION SUMMARY

Distinguishing Characteristics of the Class

This position is responsible for supervising between ten and fifteen employees and coordinating the street, utility, and related operations within the Public Works Department, including street and sidewalk construction and maintenance, construction and maintenance of water and sanitary sewer utilities, vehicle and equipment maintenance, solid waste collection, and maintenance of municipal facilities. This position will also assist the Director with planning and coordinating the programs and services of the department; training departmental employees; formulating departmental goals and short/long range plans; preparing and administering the departmental budget; meeting management; and establishing standard operating policies and procedures for the department.

Supervision Received

Performs under the direction and general supervision of the Public Works Director, but exercises considerable independent judgement in establishing work priorities and managing day to day operations of the Division.

Supervision Exercised

Provides direct supervision to the Mechanic, Public Works Crewpersons, and other limited term employees as applicable. Provides indirect supervisions of all full-time Parks Crewperson(s), part-time, and other seasonal employees when assigned to work within the Division.

DESCRIPTION OF WORK

Essential Duties and Responsibilities

- Plans and organizes workloads and staff assignments and supervises employees to ensure safety, efficiency, and compliance with established policies and procedures, work methods, and internal rules.
- Administers Village personnel policies within the Public Works Department including the hiring and training of employees, conducting performance evaluations, investigating and responding to grievances, recommending necessary employee counseling, and utilizing Village disciplinary process from written reprimand through a recommendation for discharge in compliance with appropriate standards, rules, and policies.
- Assists the Director in coordinating the work of contractors and conducts field inspections of public works and utilities construction projects.

- Respond to and trouble-shoot issues that arise during the daily operations, activities, and projects.
- Assists in administering the annual operating budget and monitoring revenues and expenditures in assigned areas to assure sound fiscal control.
- Maintain inventory of streets, utilities, facilities, vehicles, and equipment in order to recommend replacement within the 5-year capital improvement plan.
- Prepares, implements and oversees a standard plan for annual maintenance of all Village streets, utilities, vehicles, equipment, and facilities including roads, sidewalks, water, sanitary, storm sewer, and buildings as applicable.
- Prepares and manages grant applications for local, state, federal, and other aids for development and maintenance of street and utility facilities.
- Interpret and implement policy and procedural direction from the Director of Public Works, Village Administrator, and Village Board.
- Operate various pieces of heavy equipment such as plow trucks, dump trucks, street sweeper, end-loader, and others.
- Use hand tools and power equipment such as chain saws, mowers, edgers, skid-steers, and others.
- Responsible for the developing of programming related to street and utility services to help support their utilization.
- Keeps staff and elected officials informed of new developments or trends in street and utility management.
- Provides effective and efficient customer service as well as promotes and maintains responsive community relations.
- Liaison to the Public Works and/or Public Utilities Committee as needed.
- Performs other related duties as assigned.

Equipment Used

Personal computer with various software office applications including GIS mapping. Also may use printer, copy/fax machine, calculator, GPS devices, phone, adding machine, vehicle, hand tools, power tools, radio, pagers, audio-visual equipment, computer tablet, and light/medium/heavy duty equipment as applicable.

Work Environment and Working Conditions

Works in normal office setting with moderate noise level and under uncontrolled field conditions. Hours beyond normal work week and weekend work required; attendance at evening meetings required. Subject to 24-hour emergency call-in and exposure to extreme weather conditions.

TECHNICAL REQUIREMENTS

Knowledge of

- Current principles and practices of public works and utility service delivery, maintenance, and construction as well as the ability to keep abreast of future developments in these fields.
- Water, sanitary sewer, and storm sewer equipment, operations, and processes.
- Pertinent federal and state laws, regulatory codes, and municipal ordinances and the ability to interpret and apply them in a variety of situations.
- The measures and standards by which the efficiency, effectiveness, and quality of public works services can be evaluated.
- Methods, techniques, materials, and equipment used in general maintenance of public works and utility improvements.
- Occupational hazards, safety equipment, and the standard working practices associated with public works and utility service delivery.

Ability to

- Plan, organize, direct, and evaluate the work of subordinate personnel.
- Create standard plans for annual maintenance needs.
- Establish and enforce standard departmental policies and procedures as they relate to service delivery.
- Read and interpret maps, graphs, charts, blueprints, and construction plans and specifications and prepare technical reports, specifications, and bid proposals, coordinate the activities of multiple contractors, and ensure adherence to construction plans and specifications.
- Maintain a valid Wisconsin driver's license with applicable CDL endorsements.
- Establish effective working relationships with co-workers and other contacts.
- Effectively communicate both orally and in writing.
- Maintain excellent relations with the public.

GENERAL COMPETENCIES

While performing the duties of this job, the employee is required to accomplish all of the tasks routinely associated with the combination of office type functions and general field operations. The employee must be able to frequently lift and/or move up to 25 pounds, and occasionally lift and/or move up to 75 pounds. In addition, the employee must be able to satisfy the following competency requirements.

- ◆ ANALYTICAL SKILLS: Identify problems and opportunities; review possible alternative courses of action before selecting one; utilize information resources available when making decisions.
- ◆ COMMUNICATION SKILLS: Communicate ideas and information effectively in both written and oral form.
- ◆ PROBLEM-SOLVING SKILLS: Develop feasible, realistic solutions to problems; recommend actions designed to prevent problems from occurring; refer problems to supervisor when necessary.
- ◆ ORGANIZATIONAL SKILLS: Establish systematic methods of accomplishing goals.
- ◆ READING ABILITY: Effectively read and understand information contained in memoranda, reports, ordinances, codes, regulations, technical manuals, bulletins.
- ◆ TECHNICAL COMPREHENSION: Ability to learn, adopt, and apply new technology, computer systems and software programs.
- ◆ ABILITY TO COMPREHEND AND FOLLOW INSTRUCTIONS: Effectively follow verbal or written instructions from supervisor.
- ◆ MATHEMATICAL ABILITY: Calculate basic arithmetic problems (addition, subtraction, multiplication, division) without aid of a calculator.
- ◆ TIME MANAGEMENT SKILLS: Set priorities in order to meet assignment deadlines.

REQUIRED MINIMUM QUALIFICATIONS

A high school diploma or equivalency required with an Associates Degree preferred in the fields of construction, project management, civil engineering, or related field. A minimum of three to five (3-5) years progressively responsible experience in the fields of public works, water utility, sanitary sewer utility, or related field. Any combination of education and experience which in the sole discretion of the Village would demonstrate the Employee's ability to meet the required knowledge, skills, and abilities for the position may also be considered.

NOTES

1. The job duties listed herein are intended only as illustrations of the types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.
2. The work environment characteristics and physical demands described herein are representative of those that the employee encounters or must meet while performing the essential functions of this job. In compliance with the Americans with Disabilities Act, the Village will provide reasonable accommodations to qualified individuals with disabilities. The Village is an Equal Opportunity Employer.
3. The job description does not constitute an employment agreement between the employer and employee, and is subject to change by the employer as the needs of the employer and requirements of the job change. The Village retains and reserves any and all rights to change, modify, amend, add to, or delete from any section of this position description.

I hereby acknowledge that I have received a copy of and do understand the requirements of this position description with the Village of McFarland.

Dated this ____ day of _____, 20__.

Employee Signature

Department Head Signature

Created: XXXX XX, 2019

Amended: