

Tuesday, June 16, 2026

7:00 PM

McFarland Municipal Center
5915 Milwaukee St, McFarland
Community Room

AGENDA

The public may attend in-person or remotely through the Zoom webinar or telephone options listed below. *Please Note: Virtual attendance is offered as a convenience, but technical difficulties beyond the Village's control may prevent or limit its availability at any meeting. The public is encouraged to attend the meeting in person to assure full access to the proceedings.*

PLEASE CLICK THE LINK BELOW TO JOIN THE ZOOM WEBINAR:

<https://us02web.zoom.us/j/83189708596>

Or by Telephone: +1 (312) 626-6799

Webinar ID: 831 8970 8596

Press *9 to raise/lower hand. Press *6 to mute/unmute.

1. CALL TO ORDER, ROLL CALL.
2. PUBLIC APPEARANCES.
 - a. This is an opportunity for attendees to provide public comment on matters that are not on the agenda. Attendees desiring to provide public comment on specific items on the agenda may do so at the time that agenda item is brought up. Zoom attendees wishing to speak should type their name, address, and the relevant agenda item in the Q&A feature within the online meeting platform. Zoom attendees may also register in support or opposition of an item through the Q&A feature. In person attendees should fill out a public comment form and turn into the meeting chairperson. When you are called upon to speak, state your name, address, and provide your public comment. Please adhere to the 3-minute time limit. Written comments will not be read into the record during the meeting but may be sent to community.development@mcfarland.wi.us to be included with the agenda materials.
3. APPROVAL OF MINUTES.
 - a. Motion to approve the minutes of the May 19, 2026 Plan Commission meeting.
4. BUSINESS.
 - a. Discussion and recommendation to the Village Board regarding Ordinance 2026-05, An ordinance rezoning parcel #0710-273-2001-1, Lot 1 of CSM 17070, 4008 and 4012 Terminal Drive, McFarland, WI from C-H Highway Commercial to PD - Planned Development General Plan Approved and Phase 1 Detailed Plan Approved. Requested by Ezra Properties, LLC, Ryan Quam.
 - b. Discussion and recommendation to the Village Board on a Limited Liability Agreement with Ezra Properties, LLC, Ryan Quam for various improvements within the public right-of-way areas south of Lot 1 of CSM 17070.
 - c. Discussion regarding creation of a new tax increment finance district near the intersection of Elvehjem Road and CTH AB related to the potential relocation of Bliffert Lumber.
5. SCHEDULE NEXT MEETING DATE.
 - a. Tuesday, July 21, 2026 at 7:00 PM.

6. ADJOURNMENT.

Any person who has a qualifying disability as defined by the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format should contact the McFarland Municipal Center at (608)838-3153, 5915 Milwaukee Street, McFarland, Wisconsin, or village.clerk@mcfarland.wi.us by 2:00 p.m. at least 5 business days prior to the meeting so that any necessary arrangements can be made to accommodate each request. If the meeting or request is less than 5 business days from the meeting, requests for accommodations may still be made and reasonable efforts will be made to accommodate each request.

Plan Commission Minutes May 19, 2026, at 7:00 P.M.

Members Present: Stephanie Brassington, Luke Fessler, Karen Pominville, Chris Reynolds, Kyle Shelton, Ben Tanko

Members Absent: Eric Johnson,

Staff Present: Andrew Bremer, Kong Thao, Katie Jaggi, Cassandra Suettinger

1. CALL TO ORDER, ROLL CALL

President Brassington called the meeting to order at 7:04PM.

2. PUBLIC APPEARANCES.

There were no public appearances in the room or on zoom.

3. APPROVAL OF MINUTES.

- a. Brassington motioned to approve the minutes of the April 21, 2026, Plan Commission meeting. Fessler seconded the motion. Motion carries 6-0.

4. PUBLIC HEARINGS.

- a. Public Hearing on Ordinance 2026-07: An ordinance amending Article 11-XI Tourist Rooming Houses, also known as the Short-Term Rental Ordinance, of the McFarland Municipal Code.

Brassington opened the public hearing at 7:07 PM. Suettinger provided an overview summary of the purpose and content of Ordinance 2026-07. Brassington clarified that the public hearing is to take comments on the ordinance as drafted since that is what the Village Board referred to the Plan Commission. Cassandra clarified for Tanko that Ordinance 2026-07 is being referred to the Plan Commission similar to how a zoning ordinance is processed where the Plan Commission holds a public hearing and makes a recommendation to the Village Board who has the authority to approve or deny the ordinance.

The following people spoke in favor of the ordinance:

Kathy Carl 6014 Lake Edge Road (9 minutes, time donated from Gina Knewl and Jen Trisna).

Wendy Krone Lake Edge Road

Comments included: Limit the number of children per stay for noise complaints as well as total occupancy. Strengthen ordinance around noise pollution from rentals. Noise is amplified by decks and houses being close together. Put more weight on neighborhood testimony and videos versus requiring a decibel reader since the police would have to be called to record that and it's not a pressing issue for safety. Additional escalation process for repeated noise issues, not looking at total complaints at the end of the year. High density of TRH properties deteriorates communities. Concern over diminishing number of homeowners living in the area and rapid increase in the number of TRHs in McFarland.

The following people spoke against the ordinance:

Randy Vanderheiden 5118 Card Avenue (12 minutes, Dawn Cherek – did not speak donating time to him)

Comments included: Invested money into their rentals and do not want to lose profit with a limited season. Argued they possibly raised the property values of the surrounding houses through their increased investment. No evidence of safety issues but admit there have been some noise complaints. They advocate that TRH owners need to step up and be able to talk to guests in middle of night for noise complaints from neighbors and to increase warnings about being strict on noise during the booking process and placing reminder signs throughout the rental home guests are staying at.

Stephanie closed the public hearing at 7:30 PM.

5. BUSINESS.

- a. Discussion and action to make a recommendation to the Village Board regarding Ordinance 2026-07: An ordinance amending Article 11-XI Tourist Rooming Houses, also known as the Short-Term Rental Ordinance, of the McFarland Municipal Code.

Cassandra provided summary of the agenda item, highlighting the changes in the ordinance. Reynolds inquired whether current permit holders will be grandfathered in. Suettinger answered Reynolds' question citing Wildwood Estates v. Village of Summit case, how this brings into account non-conforming uses. The Village Board can revisit the grandfather ruling if the State Supreme Court overturns the case. Tanko commented that strengthening the ordinance is needed through enforcement and increasing some penalties; however, he feels that extending the minimum stay duration of the ordinance to the longest extent allowed under state statute is a bridge too far.

Brassington motioned to recommend to the Village Board approval of Ordinance 2026-07. Reynold's seconded the motion. Motion passes 6-0.

- b. Discussion and action to make a recommendation to the Village Board regarding Resolution 2026-09, a resolution approving the grant of a utility easement within Outlot 2, Sperle Corners Subdivision.

Thao provided a summary of the agenda item. Bremer clarified the utility companies feel that it's a bit tight working within the Village's Right-of-Way and staff recommends approval. Fessler questioned if the easement could get in the way of any sort of future projects like ADA sidewalks. Andrew clarified it wouldn't be likely to impact future projects such as ADA accessibility, playgrounds, etc. in the future. The easement will be disclosed to buyers before they purchase applicable properties. Tanko questioned possible interference with underground utilities, to which Bremer answered it should be far enough underground to not interfere, but they would have to work around existing utilities if there's something planned to go across them. Bremer explained Village Right-of-Way. Public Works and Village Attorney didn't have any concerns with the 10-foot easement.

Fessler moved to recommend to the Village Board approval of Resolution 2026-09. Brassington seconded the motion. Motion carries 6-0.

- c. Discussion regarding the Village's 2026 Park Impact Fee Study.

Bremer provided a summary of the agenda item and previous Plan Commission discussions. Bremer clarified Reynolds question about where the level of service goal of 18.5 acres of parkland per 1,000 residents came from, which was the 2025 Outdoor Recreation Comprehensive Plan (CORP), and industry standards. Bremer said there's not an acceptable national standard due to there being a lot of ways to measure the quality of parks. He emphasized that the Village showed a desire in their 2025 CORP to support growth of their Village with adequate greenspaces and parklands, which the impact fees support. Also, some communities have different values on how much they value public parks. Reynolds expressed worry about annual flux of consumer price index (CPI). Bremer stated they may be able to take an average of the last five years to balance the price bouncing around. He will ask the consultant for advice about it but feels it is likely at the Village's discretion.

Shelton asked for clarification on the Park Impact Fees versus the Park Improvement Fee. Bremer clarifies that they are both Park Impact Fees but one of them is for improvement and the other is for park land. Shelton then asks for the total amount spent for each to compare, to which Bremer answers that he would not be able to answer that off the cuff. Fessler followed up by saying that would be difficult to calculate as it can vary year to year based on what projects the Village is undertaking. Shelton also wanted to know how the Village's fees compare to other communities. Bremer led with communities valuing parkland differently and that some haven't kept up with inflation or haven't done an Impact Fee Study for a significant period of time,

which will skew results. Bremer provided a summary of park impact fees from other communities.

Brassington feels McFarland's projected numbers would be off-putting to developers in the area and would like to explore if there are opportunities to see if not raising the Impact Fee would be better. Reynolds wonders why our Impact Fee number is so high compared to other close communities. Fessler brings up that McFarland needs to decide what level of service they want to offer to the community, especially as it grows.

Brassington wants to know what it would look like if 18.5 acres were changed to 16.5 acres per 1,000 residents. Bremer calculates that for a single-family development, the price would go from \$4,245 per family to \$3,443. Tanko feels that we are overstating the importance of the Impact Fee and that the cost difference of a changed fee will turn out to be nominal for the developer. Shelton follows this by stating that it's important to regard that McFarland desires to be competitive for developers and to attract the right ones who will shape McFarland into the community they will be proud of. He also feels like this is part of McFarland's long-term plan and that it may be helpful to involve the Steering Committee for the 2027 Comprehensive Plan. Bremer feels it is separate from the 2027 Comprehensive Plan in the sense that this is coming from the 2025 CORP, and is also not part of the RFP put out for the upcoming 2027 revision.

Brassington clarifies the next steps. Bremer will present the draft impact fees to the Parks and Recreation Committee for their feedback, including input on considering changes to the 18.5 acres of parkland per 1,000 residents, which would require amending the 2025 CORP. The Plan Commission will then meet to review that feedback, hold a public hearing on the impact fee study, and then will give their recommendation to the Village Board.

Reynolds recommends getting developers involved at the public hearing to get their thoughts. Shelton is wondering if we are having a problem attracting developers. General consensus is that there are many factors to where and when land is developed and that McFarland has never outright marketed itself to bigger developers. Brassington states that she knows developers talk and that they will know our development fees are high.

Fessler wants to see how all the Village impact fees add up together with the park impact fees so the Commission can better understand the total number of fees and their cumulative total for developers.

Bremer said we might swap out ACS data for 2025 (if it is out yet) which may change the data. Additionally, he will ask the consultant if it would be appropriate to use the overall Village average of people per household versus the owner-occupied

household. Board concluded that the number established will be the ceiling of what can be charged. However, the fee can be less than that amount as long as it's even amongst all developers in the Village jurisdiction.

6. SCHEDULE NEXT MEETING DATE.
 - a. Tuesday, June 16, 2026, at 7:00 PM.

7. ADJOURNMENT.

Brassington motioned to adjourn. Reynolds seconded the motion. Motion passed 6-0.

Meeting adjourned at 9:11 PM.


McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 16, 2026

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and recommendation to the Village Board regarding Ordinance 2026-05, An ordinance rezoning parcel #0710-273-2001-1, Lot 1 of CSM 17070, 4008 and 4012 Terminal Drive, McFarland, WI from C-H Highway Commercial to PD - Planned Development General Plan Approved and Phase 1 Detailed Plan Approved. Requested by Ezra Properties, LLC, Ryan Quam.

PREVIOUS ACTION:

[October 21, 2025](#) - The Plan Commission and CDA held a joint preapplication meeting to review a proposed concept plan from Ryan Quam.

[December 16, 2025](#) - The Plan Commission held a public hearing for this item on Ordinance 2025-14 to rezone parcel #0710-273-8620-1, Lot 2 of CSM 13560 in the vicinity of 4020 Terminal Drive, from M-IC Manufactured-Intensive Commercial to C-H Highway Commercial

[December 16, 2025](#) - The Plan Commission held a public hearing on a CSM for properties located at 4008, 4012, and 4016, including parcel #0710-273-8620-1.

[January 14, 2026](#) - The CDA held a preapplication meeting on the Children's Indoor Playground concept.

[January 20, 2026](#) - The Plan Commission recommended approval of Ordinance 2025-14.

[January 20, 2026](#) - The Plan Commission approved a CSM for the properties located 4008, 4012, and 4016 Terminal Drive, including parcel #0710-273-8620-1.

[January 20, 2026](#) - The Plan Commission held a preapplication meeting on the Children's Indoor Playground concept.

[January 27, 2026](#) - The Village Board approves Ordinance 2025-14.

[March 11, 2026](#) - The CDA recommended approval of a Tax Increment Finance Development Incentive for Phase 1.

[March 17, 2026](#) - The Plan Commission held a public hearing on Ordinance 2026-05.

[March 24, 2026](#) - Village Board approved a TIF Development Incentives Application in the amount of \$270,000 payable at building occupancy and an assessment guarantee of \$1,180,000 subject to Village Board approval of a development agreement.

[June 10, 2026](#) - The CDA recommended approval of a TIF Development Agreement for Phase 1.

ISSUE SUMMARY:

Ryan Quam (Ezra Properties, LLC) is requesting a rezone to parcel #0710-273-2001-1, 4008 and 4012 Terminal Drive, McFarland, WI from C-H Highway Commercial to PD - Planned Development General Plan Approved and Phase 1 Detailed Plan Approved. The General



Development Plan includes several mixed-use commercial buildings. At the January 20, 2026 Plan Commission meeting, the Plan Commission approved a CSM for the properties located at parcel #0710-273-8620-1, #0710-273-8515-8, #0710-273-8640-1 and approximately 11,634 square feet of the west portions of #0710-273- 8665-1, properties in the vicinity of 4008, 4012, and 4016 Terminal Drive. Quam has since recorded the CSM, creating parcel #0710-273-2001-1, Lot 1 of CSM 17070, 4008 & 4012 Terminal Drive. The GDP includes an office-headquarters building, restaurant and indoor recreational gym (conceptually showing pickleball courts), a quick service restaurant (with drive-thru), two general commercial/retail buildings, and a children's indoor playground building. Phase 1 includes only the proposed 9,965 square foot children's indoor playground building and the associated parking and street improvement. The building will be occupied by the future tenant "Well Played", owner Nicole Bice.

Summary of activities following March 17, 2026 Plan Commission Public Hearing

Following the March 17, 2026, Plan Commission public hearing for this agenda item, the applicant requested a delay in consideration of approval of the rezone to allow time to finalize the lease agreement with Bice. During that time, the Certified Survey Map approved by the Plan Commission on January 20, 2026, was recorded and the legal description described in the applicant's Planned Development submittal is not legally described as parcel #0710-273-2001-1, Lot 1 of CSM 17070, 4008 & 4012 Terminal Drive. Staff recommends, as a condition of approval, the applicant provide an updated General Development and Detailed Development Plan with the new legal description provided in CSM 17070.

Review Procedures for Planned Development District Rezoning

Per [Sec. 62-68\(c\)](#) Statement of Purpose of the Zoning Code, *"the Planned Development District is established to provide a voluntary regulatory framework designed to encourage greater variety and flexibility in land development while achieving substantial compliance with the Village Land Use Plan and basic intent of the zoning ordinance and land uses beneficial to the Village. Such district is also established to promote the maximum benefit from coordinated area site planning, including diversified location of structures and mixed compatible uses, and to provide for safe and efficient systems for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, and economic design and location of public and private utilities and community facilities. Within this district are allowed the diversification and variation in the bulk and relationship of uses, structures and spaces in developments planned as comprehensive and cohesive unified plans and projects."*

Per [Sec. 62-67](#) of the Zoning Code, a Planned Unit Development (PUD) consists of two parts, a General Plan and a Detailed Plan. The General Plan establishes the uses of the property, total residential units, the general location of proposed streets, stormwater basins, public parks, building dimensions and stories. A Detailed Plan establishes the specific architectural character and design of each building, the dimensioned yards between buildings or structures and lot lines, final location and dimensions of vehicular and pedestrian facilities, including dimensioned streets walkways, access driveways, off-street parking, refuse receptacle areas, utility plans (water, sewer, storm sewer, lighting), and landscaping. Applicants can either request approval of the General and Detailed Plan in one stage, or in two stages. Approval of a General Plan requires a public hearing by the Plan Commission, a recommendation by the Plan Commission to the Village Board, and Village Board approval. If granted approval of the PD General Plan,



the applicant would have one year after the recording of the General Plan to obtain approval of a Detailed Plan for at least one stage of the General Plan, unless an extension is granted by the Village Board per Sec. 62-67(i) of the Zoning Code. The applicant's request is for General Plan Approval and Detailed Plan for Phase 1 only. No building construction shall be permitted in any other phase of the General Plan until a Detailed Plan is approved by the Village per Sec. 62-67(h)(3)(a) of the Zoning Code.

Summary of Development Characteristics

The Applicant's Detailed Plan includes within the Statement of Owners intent: *It is the intent of the Owner to develop the lands controlled by the Owner as a Commercial Highway development in general conformance with the TIF plan.* The proposed GDP is found in Sheet C-0. The site plan includes a mix of commercial uses that includes office-headquarters building, restaurant and indoor recreational gym (conceptually showing pickleball courts), a quick service restaurant (with drive-thru), two general commercial/retail buildings, and the proposed Phase 1 children's indoor playground building, utilities layouts, onsite stormwater retention, and parking. On the same sheet, the site plan is estimated to add 185,321 sq. ft. of impervious area over a combined lot of ~274,067 sq. ft., a ratio of 0.676 or 67.6% lot coverage. For comparison purposes, per Sec. 62-72, the maximum impervious surface for properties in the C-H zoning district is 70%.

Therefore, the proposed impervious surface ratio of the GDP is similar to traditional C-H zoned properties. Phase 1 of the Detailed Plan includes a proposed 9,965 sq. ft children's indoor building, 26 off-street parking stalls with an additional 6 stalls located in the right-of-way along the south lot line, and development of the regional wet pond for future commercial buildings.

The preliminary timeline for future building construction is stated in the *Description of General Plan for Staged Development - (8)*. The following table below summarizes the GDP's Phases, building type, proposed uses, building size, and parking.

Phase	Building Type	Proposed Use	Building size (gross sq. ft.)	Parking
1	Children's Indoor Playground	Indoor Recreation	9,965	32 (~ 1 stall per 312 G.S.F)
TBD	Office/headquarters	Office	68,210	168 ¹
TBD	Bar/Restaurant	Restaurant	4,988	Shared 1
TBD	Indoor Sports Facility	Indoor Recreation	30,279	Shared 1
TBD	Quick Service Restaurant, QSR with drive-thru	Restaurant	2,765	50 ²
TBD	Retail Store A	Commercial/Retail	6,000	Shared 2
TBD	Retail Store B	Commercial/Retail	3,000	Shared 2
		Totals	125,207	250 (~1 stall per 500 G.S.F.)

¹ This number represents shared surface parking stalls between multiple commercial buildings. The total count includes 38 underground parking stalls and 150 surface parking stalls.

² This number represents the shared surface parking between the QSR and Retail Stores A + B.



Summary of the Phase 1 tenant — Well Played

The building's floor layout includes a large open play area, approximately 5,000 sq. ft with various activity rooms serving various event gatherings such as parties, restrooms, and office space. The tenant will operate a supervised, family-focused indoor playground offering active, age-appropriate recreational play for children approximately ages 0–14. Activities will include open play within a custom-designed indoor play structure (e.g., climbing elements, netted play, slides, balance features), as well as structured and semi-structured programming such as birthday parties, group visits, and scheduled enrichment or movement-based activities. The space is designed for physical activity, imaginative play, and social interaction rather than arcade-style entertainment or high-impact sports. During peak hours, the tenant expects approximately 100–150 children onsite at one time, with capacity controlled through timed entry, staffing ratios, and pre-booked activities. Hours of operations are expected to be 9AM–8PM seven days a week with occasional special events between 8PM–10PM. The number of employees is expected to be 2-5. The tenant will offer a limited selection of ancillary retail items related to safe participation, guest convenience, and brand engagement. These may include no-slip grip socks, basic children's hygiene or comfort items (e.g., wipes), small branded apparel (such as t-shirts or sweatshirts), and modest branded gift items. Retail sales will be incidental to the primary recreational use and will occupy a minimal footprint within the facility. Prepackaged snacks will be available but the tenant is not planning on a commercial kitchen or food preparation area.

Existing Property & Neighborhood Conditions

- **Property Size:** Lot 1 of CSM 17070 is 274,064.55 square feet or 6.29 acres
- **Current Use:** The majority of Lot 1 of CSM 17070 is vacant, except for an existing mini-warehouse facility that will be razed during the Phase 1 construction. There is an existing easement running north-south through this property that includes a 12" underground petroleum line.
- **Natural Features:** Upper Mud Lake is adjacent to the west, by over 1,100 feet. The DNR owns 4020 Terminal Drive, a property that includes marsh and prairie land. The concept includes a wetland delineation running north and south along the west lot line of the parcel. A 75-foot wetland setback line is also shown on both concepts.
- **Adjacent Uses & Zoning:**
 - North - Lands adjacent to the north include the following:
 - 4004 Terminal Drive, a Citgo Gas Station. Zoned C-H Highway Commercial.
 - 3918 Terminal Drive, a single family home located in the City of Madison. Zoned IG Industrial - General.
 - 3910 Terminal Drive, a petroleum storage and distribution site, located in the City of Madison. Zoned IG Industrial - General.
 - East - 4015 Terminal Drive, a Kwik Trip Gas station zoned C-H Highway Commercial.
 - West/South - 4020 Terminal Drive is a 4.64 acre of Dane County parkland that includes seasonal off-street parking for lake access to Upper Mud Lake. A private gate is located near the Terminal Drive driveway within Village ROW.



Zoned C-H Highway Commercial.

- South - Beyond 4020 Terminal Drive, which also borders to the south, is 4306 Terminal Drive and 4110 Terminal Drive. 4306 Terminal Drive operates as a petroleum distribution and storage facility, while 4110 Terminal Drive only includes a truck terminal. Both parcels are zoned M-IC Manufactured Intensive Commercial.

Sec. 62-67(4) PD Planned Development District Standards

The applicant's submittal includes responses to the standards provided in the Zoning Code.

Staff's review of the responses are determined to be satisfactory. The following comments are regarding the applicant's response to Sec. 62-67(4)c-e.

- (c) Traffic circulation and off-street parking. Per Sec. 62-67(a)(3) there are no prescribed requirements for the number of off-street parking spaces within the PD District; however, consideration should be given to the off-street parking requirements of the Zoning Code. Sec. 62-172(j) of the Zoning Code does not provide a standard minimum parking requirement for "indoor children's playgrounds". Similar uses listed in Sec. 62-172(j) include "pool hall, dance hall, pools, skating rinks, etc." spaces equal to 30% capacity in persons. Stated above, the tenant will have 3-5 employees and expects approximately 100-150 children onsite at one time. Applying the 30% capacity ratio would require 45 parking stalls. Sec. 62-172(j) also requires 1 space per 300 gross square feet for general commercial and office uses. Applying this standard would require 34 parking spaces. The concept shows 32 parking stalls, not including potential shared stalls with future phases of development on the property. This is the equivalent of one stall per 312 G.S.F or a capacity of 107 persons. The number of stalls available to customers of the playground business will increase with future buildout of the site given that it is the developer's intent that the indoor playground facility will have access to shared use parking spaces adjacent to the bar/restaurant. However, the timing of construction of the other parking lots on the development site are unknown. In Staff's opinion, the parking requirements under Sec. 62-172(c) are outdated and the shared counting/use of parking spaces should be encouraged, particularly when the proposed peak uses of the buildings will operate at different times of the day. The PD zoning allows the Village to grant deviations from the minimum parking requirements in Sec. 62-172(j). If the Plan Commission is concerned about the short-term number of parking stalls for the playground business, it could require the developer to build some additional temporary gravel parking stalls where the future larger parking lot is planned for construction. The six parking stalls shown in the Unnamed Street ROW will require approval of a Limited Liability Agreement, or another similar agreement, by the Village Board. Since the public hearing, the applicant has revised the site plan on Sheet C-2 to include bike stalls within the Unnamed Street ROW, satisfying Staff's previous recommended condition of approval on the site.
- (c) Pedestrian circulation. The concept shows a sidewalk partially in the Unnamed Street ROW. The sidewalk terminates at the shared lot line with 4016 Terminal Drive where a small stormwater basin is located. Since the public hearing, the applicant has revised the site plan. Sheet C-2 includes a conceptual future 5' public sidewalk



constructed along the north side of the Unnamed Street ROW from Terminal Drive to the driveway entrance to Well Played. Additionally, the same sheet shows a 10' future bike path along the full frontage of Terminal Drive.

- (d) Phase 1's Landscaping Plan is found on Sheet L-1. Per Sec. 62-72 Bulk Standards, the schedule models C-H standards for minimum landscaping points. The minimum landscaping requirement for Phase 1, Well Played, is 252 (rounding up). The schedule also includes the addition of an "Entrance Landscaping Plant List." This includes plantings in the unnamed public street to the south. Staff's review of the landscaping plan found all species and symbols were accounted for on the site plan as listed in the plant schedule. However, the total point count for the schedules is incorrect. For Phase 1, the total should be 614 points provided. For the Entrance Landscape, the total is 520 points provided. The grand total points for all landscaping provided is 1,134, a surplus of 883 points. As a condition of approval, the applicant will coordinate with the Village Forester for appropriate landscaping plantings in the public ROW and warranty the trees for at least two-years.
- (e) At the Plan Commission's January 20, 2026 preapplication meeting, the applicant inquired about consideration of alternative durable metal exterior material. The Plan Commission was open to consideration. Staff's full summary is discussed in the following section.

Sec. 62-73 Terminal and Triangle Design Overlay (TTDO) Zoning District

The Applicant's submittal includes elevation drawings on Sheets A2.0 and A2.1, with additional descriptions included in section 3 of the Description of Detailed Plan for Phase 1 Development.

The Terminal and Triangle District Plan Section 4: Beltline-Oriented Commercial Subdistrict provides design and conceptual guidelines on the desired features for this subdistrict. The packet includes Staff's review of Appendix B-Beltline Oriented Commercial Subdistrict Design Guidelines. Supplemental Staff comments to Appendix B are included below.

Site Design

- 5. *Does the project locate service areas, mechanical equipment, and refuse containers to the rear of buildings and screen them?* Mechanical equipment is located inside the building. The refuse container is located in the front of the building on an island peninsula with a screened fence. Without sacrificing parking stalls, Phase 1 site locations are limited in space for a refuse container in alternative locations. At the January 20 preapplication meeting, the Plan Commission provided non-binding feedback that the location of the dumpster area was acceptable.

Signage. The General Plan and Phase 1 Detail Plan does not include any proposed freestanding ground signs for any of the proposed developments. Sign permits will be required for approval by the Building Inspector prior to installation of any exterior signs. Staff recommends the applicant revise the General Plan to show the location of one freestanding ground sign along the Terminal Drive frontage that can be used for all future businesses on the development site, rather than having a separate ground mounted sign for each business. Any additional common



ground mounted sign could be placed near the entrance to the Unnamed Public Street. Individual businesses would still be permitted to have separate wall mounted signs per the Sign Code.

Building Design & Materials

- *13. Does the project use high-quality natural building wall materials, such as stone, brick and glass?* The building's design utilizes a combination of metal siding of different colors and textures, EIFS, and includes windows on all sides of the building, including the taller "gym" portion of the building. The building design does not use any stone or brick. Sec. 62-310(e)(6)(e) of the Zoning Code (site design review, building design), also states that *"with the exception of the M-IC Zoning District, the front, sides, and rear of all commercial and industrial buildings shall be entirely faced with non-metallic or wood material."* At the January 20 preapplication meeting, the Plan Commission provided non-binding feedback that they would be open to not requiring stone or brick and allowing metallic material.

Page 24 of the TTOD plan provides the following additional building design guidelines:

- *"For larger buildings, use various techniques to reduce apparent scale and monotony, such as proper use of window patterns, structural bays, articulated entryways, roof overhangs, siding, awnings, moldings, and fixtures."*
- *"Use high-quality natural building wall materials, such as stone, wood, brick, and glass. Fabricated products, such as pre-cast concrete and hardi-plank siding, may also be considered. Avoid metal and vinyl siding, except where used as a deliberate and attractive architectural element or for a future building expansion wall."*

Sec. 62-310(e)(6)(e) also states that *"these requirements may be waived in whole or in part by the Plan Commission."* In addition, Sec. 62-73(c)(3) TTOD Design standards states, *The Plan Commission may waive or alter any of the design guidelines in the Terminal and Triangle District Neighborhood Plan as they apply to a particular development project, but only if all of the following criteria are met:*

- a. Such a waiver or alteration is approved by at least a three-quarters vote of Commissioners in attendance.*
- b. The waiver or alteration may be attributed to unique characteristics of the project or site rather than general characteristics applicable across various projects or the district.*
- c. Supplemental design elements or improvements are incorporated into the project that compensate for the waiver or alteration of the particular guideline.*
- d. The design guideline is not also an ordinance requirement included in this Chapter, in which case a variance would also be required under Section 62-366.*

Staff recommends the Plan Commission waive the prohibition on the use of metal siding and the



inclusion of stone and brick for the following reasons, per sub. a-d above:

- The design includes *techniques to reduce apparent scale and monotony, such as proper use of window patterns, structural bays, articulated entryways, roof overhangs, siding, awnings, moldings, and fixtures*. This is particularly emphasized in the portions of the building that are visible to the public. The east elevation of the "gym" portion of the building has the least amount of architectural variation in building design materials; however, this portion of the building is partially screened from public view by the existing building on 4016 Terminal Drive. It is likely that at some point in the future, 4016 will redevelop and any future building will also screen this side of the building. In Staff's opinion, the design requirements prohibiting the use of metal exterior materials are dated. New building materials and design for commercial buildings continue to improve and outpace existing plans and ordinances. Staff's interpretation of the 2005 design guidelines is an attempt to avoid boxed corrugated metal industrial buildings devoid of variations in architectural features, colors, material changes, and windows. While the design does use a high concentration of metal exterior materials, some of those materials are in a modern wood finish and are accented with EIFS materials. In addition, the proposed building design includes using design materials that add texture, depth, height variation, and windows. If the Plan Commission desires the use of some brick, stone, or masonry materials, the recommended modification might be along the lower base of the "non-gym" portions of the building to provide additional architectural variation for the portions most visible to the public. The brick, stone or masonry material should be brought up to the bottom edge of the windows. Staff does note that the use of brick, stone, and masonry should be considered for future phases of the development site that are more highly visible from Terminal Drive and don't include taller "gym" building features.

Department Staff Comment

The packet includes review letters from the Village Engineer, Director of Public Works and Fire & Rescue Chief. The Police Chief did not have any comments or concerns.

- Village Engineer and Director of Public Works provided a letter dated June 2, 2026 addressing new water and sewer connections and associated fees and surplus of landscaping in ROW to be determined for necessity.
- Fire & Rescue Chief's letter dated February 27, 2026 included general compliance, plans to include Fire Lane markings prior to approval, and a reminder on Knox box. The Applicant's latest plans within Sheet C-4 of the Utility Plan includes a 20'-wide Fire Lane with Knox box identified on Sheet C-2.

Public Comments

Notification of the public hearing on Ordinance 2026-05 was provided as a Class 2 Notice at the March 17 Plan Commission Meeting. Direct mail notice was sent to property owners within 400 feet of the previous meeting's public hearing and this meeting. A courtesy notice was provided to the same mailing list of property owners within 400 feet prior to the meeting.



Following the public hearing meeting and prior to publication of the meeting packet, the Department did not receive any written public comments in support or opposition to Ordinance 2026-05.

FINANCIAL/BUDGET IMPACT:

The applicant is seeking \$270,000 in tax increment financing development incentives for the Phase 1 development. Village Board approved a TIF Development Incentives Application in the amount of \$270,000 payable at building occupancy and an assessment guarantee of \$1,180,000 subject to Village Board approval of a development agreement. The Village Board will consider approval of the TIF development agreement and rezone at their June 23, 2026 meeting.

In section (j) of the applicant's response to Sec. 62-67(4) Planned Development Districts Standards, the applicant shared estimated value development of the buildings as follows: \$1,100,000 for Phase 1 play gym building, \$1,300,000 for pickleball facility, \$1,800,000 for 2-story bar/restaurant, \$5,000,000 for 4-story office or headquarters building, \$800,000 for retail building A, \$750,000 for retail building B, and \$800,000 for the quick service restaurant for a total estimated value of \$11,550,000. The proposed development does not include dwelling units, therefore library, park impact fee and parkland dedication are not applicable. The estimated impact fees for the Phase 1 project are provided using the Utility Plan from Sheet C-5 indicating 6" water and sanitary lateral costs.

- Public Safety Center - \$1,113.00 per 1,000 sq ft. of development; Building's footprint is 9,965 sq. ft; a total of \$11,091.05
- Public Water Well Fee (6") - \$55,850.00
- Public Water Tower Fee (6") - \$18,650.00
- Phase 1 Total Impact Fees: \$85,591.05

Values are subject to change based on the actual rate at the time a building permit is submitted and the terms of the final approved development agreement. The developer would be responsible for all project costs, including payment of applicable building permit, impact fees, and construction of street and utilities.

VILLAGE PLAN REFERENCE:

[2005, Terminal and Triangle Street District](#)

In Map 2: Planned Land Use of the Terminal and Triangle Street District Plan, the properties are identified within the Beltline-Oriented Commercial Subdistrict. This area is described to include the following uses: Hotel, Retreat/conference center, **Sit-down restaurant, Highway & job-oriented retail**, Clinics and daycare, **Office**, Limited fuel/convenience. The plan further includes Contractor shops/services, and other retail uses that do not compete with downtown businesses, such as those oriented to home products. The concepts include uses that include office, sit-down restaurant, retail, and recreational facilities. The current area already has gas stations and convenience stores. In staff's opinion, the proposed uses are consistent within this future land use category. Staff's notes on the review of Appendix B-Beltline Oriented Commercial Subdistrict -Building and Site Design Checklist is included in the staff summary



section.

[2017 Comprehensive Plan.](#)

Future Land Use Map & Figure 4.1 (page 35) The Village Comprehensive Plan Future Land Use Map identifies the proposed development site for future "Highway and General Commercial". Page 35 of Volume 2, gives the following general description of land uses allowed: "A range of retail, **commercial service, office, restaurant**, lodging, health care, outdoor sales, and institutional uses, with limited outdoor display and storage. Mapped mainly along Highway 51. All uses served by public sanitary sewer and water services." Figure 4.1 lists the Typical Implementation Zoning Districts in Highway and General Commercial area to include appropriate traditional zoning districts (e.g. C-H Highway Commercial, C-G General Commercial or PD or PD-I Planned Development Zoning). The proposed development models its minimum standards to the C-H Highway Commercial. In staff's opinion, the proposed uses are consistent within this future land use category.

[2024 Tax Increment District #6.](#)

The property is included within Tax Increment District #3 and #6. TIF District #3 was established on August 2004 with an expenditure period of 18 years (2022) and termination by 2027. Within the final 5 years of a TID, a municipality may not incur any additional debts or allocate new capital expenditures, such as development incentives from that TID. This is intended to begin a process which closes out financial obligations. The project will exceed this timeline, and additional direct incentives from TID #3 are no longer eligible. However, Tax Increment Financing District #6, which was created in July 2024 and has an expenditure period of 22 years ending in 2046 and termination in 2051. TID #3 also serves as a donor to TID #6 allowing the sharing of excess increment from TID#3 to TID #6. The Village's Community Development Authority and Village Board will review TIF applications the Village receives.

ORDINANCE REFERENCE:

[Sec. 62-67 PD Planned Development District](#)

[Sec. 62-71 Bulk Standards - Commercial Districts](#)

[Sec. 62-72 Terminal and Triangle Design overlay \(TTDO\) Zoning District](#)

[Appendix B Village of McFarland Landscaping Standards](#)

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion, and second, to recommend to the Village Board approval of Ordinance 2026-05, An ordinance rezoning parcel #0710-273-2001-1, 4008-4012 Terminal Drive, McFarland, WI from C-H Highway Commercial to PD - Planned Development General Plan Approved and Phase I Detailed Plan Approved. Requested by Ezra Properties, LLC, Ryan Quam with the following conditions of approval.

- 1. Applicant to provide an updated General and Detailed Plan with the Legal Description updated to Lot 1 of CSM 17070.*
- 2. Applicant to revise the General Plan to show the location of one freestanding ground sign along the Terminal Drive frontage that can be used for all future businesses in*



- the development site.*
3. *Applicant to provide an updated Landscaping Plan with the corrected point totals.*
 4. *Applicant to meet the requirements provided in the Village Engineer's letter dated June 2, 2026.*
 5. *Applicant to meet the requirements provided in the Fire Chief's letter dated February 27, 2026.*
 6. *Approval by the Village Board of an agreement for the construction and maintenance of the proposed private improvements and landscaping shown in the Unnamed Street public right-of-way in the Phase 1 Detailed Plan.*
 7. *Applicant to coordinate with the Village Forester on final placement of landscaping installed in the Unnamed Street public right-of-way.*

ATTACHMENTS:

1. 3.17.26 - Quam - 4018 Terminal - ord2026-005 - notice to paper
2. Ord 2026-05 Request for Rezone 4008-4012 Terminal Drive from CH to PD
3. Ord 2026-05 Exhibit A 4008-4012 Terminal Drive PUD General Plan and Phase 1 Detailed Plan_(revised_05.19.2026)
4. Appendix B-Beltline Oriented Commercial Subdistrict-Building and Site Design Checklist-Terminal and Triangle District Plan-02.26.2026
5. 4008-4018 Terminal Drive Phase 1 Detailed Plan Review - MFR Comments_02.27.2026
6. 4008-4018 Terminal Drive Phase 1 Detailed Plan_VE Letter of Review_06.02.2026

Please publish in the
Leader Independent on
February 26, 2026 and March 5, 2026

**VILLAGE OF MCFARLAND
NOTICE OF PUBLIC HEARING
BEFORE THE PLAN COMMISSION**

NOTICE IS HEREBY GIVEN that there will be a public hearing before the Plan Commission on Tuesday, March 17, 2026 at 7:00 p.m. in the Community Room of the Municipal Center, 5915 Milwaukee St., McFarland, Wisconsin, at which time interested parties and citizens shall have an opportunity to be heard concerning the following:

A request by Ezra Properties, LLC, Ryan Quam regarding Ordinance No. 2026-05, An Ordinance Rezoning Parcels #071027386201, #071027385158, #071027386401 and approximately 11,634 square feet of the west portions of #071027386651, properties in the vicinity of 4008 through 4016 Terminal Drive, McFarland, WI, from C-H Highway Commercial to PD – Planned Development General Plan Approved and Phase 1 Detailed Plan Approved.

A complete copy of the applicant's application is available for review online at www.mcfarland.wi.us/pendingrequests or at the Village of McFarland Municipal Center, Community & Economic Development Department, 5915 Milwaukee Street, McFarland, WI 53558 (Monday-Friday, 8:00 a.m. to 4:30 p.m.).

Residents wishing to attend the meeting can do so in-person at the Municipal Center or via Zoom by visiting <https://us02web.zoom.us/j/83189708596> or Telephone: Dial (for higher quality, dial a number based on your current location): US: +1 (312) 626-6799 Webinar ID: 831 8970 8596. Please Note: Virtual attendance is offered as a convenience, but technical difficulties beyond the Village's control may prevent or limit its availability at any meeting. The public is encouraged to attend the meeting in person to assure full access to the proceedings.

If you cannot attend the meeting, you may submit your written comments to the Plan Commission by email to community.development@mcfarland.wi.us or by mail to Community Development Department, Village of McFarland, P.O. Box 110, McFarland, WI 53558-0110. Submission must be received no later than the Wednesday prior to the meeting date to be included in the packet.

ORDINANCE 2026-05

AN ORDINANCE REZONING PARCEL #0710-273-2001-1, LOT 1 OF CSM 17070, 4008 AND 4012 TERMINAL DRIVE, MCFARLAND, WI, FROM C-H HIGHWAY COMMERCIAL TO PD – PLANNED DEVELOPMENT GENERAL PLAN APPROVED AND PHASE 1 DETAILED PLAN APPROVED.

Purpose: To rezone parcel #0710-273-2001-1, Lot 1 of CSM 17070, 4008 and 4012 Terminal Drive, McFarland, WI, from C-H Highway Commercial to PD – Planned Development.

Sponsor: Andrew Bremer, Community & Economic Development Director

Recommended Referral: Plan Commission (Required)

Public Hearing: Required; Preceded by Class 2 Notice

WHEREAS, on January 20, 2026, the Plan Commission approved the CSM of the lands under Section 1; and,

WHEREAS, on January 27, 2026, the Village Board approved Ordinance 2025-14, an ordinance rezoning parcel #0710-273-8620-1, Lot 2 of CSM 13560 in the vicinity of 4020 Terminal Drive, from M-IC Manufactured-Intensive Commercial to C-H Highway Commercial; and,

WHEREAS, Ryan Quam (Ezra Properties LLC) owns the lands described under Section 1 of this Ordinance; and,

WHEREAS, Quam has requested the lands under Section 1 of this Ordinance be rezoned from C-H Highway Commercial to PD Planned Development General Plan Approved and Phase 1 Detailed Plan Approved as described in Exhibit A; and,

WHEREAS, the Community Development Authority & Plan Commission held a joint preapplication meeting on October 21, 2025 to review a conceptual site plan from Ryan Quam for several potential commercial developments including office, restaurant, service and retail uses on the lands described in Section 1; and,

WHEREAS, the lands under Section 1 are identified for future Highway and General Commercial development within the Village’s approved 2017 Comprehensive Plan Future Land Use Map, and identified with the Beltline-Oriented Commercial Subdistrict of the Village’s approved 2005 Terminal and Triangle District Plan, which is adopted as a subarea plan of the 2017 Comprehensive Plan; and

WHEREAS, the Plan Commission held a public hearing on the proposed zoning amendment on March 17, 2026, preceded by a Class Two Notice; and,

WHEREAS, the Village Board is willing to grant approval of the request to rezone and the Village Board finds approval thereof is in the public interest and consistent with the Village's 2017 Comprehensive Plan;

NOW, THEREFORE, the Village Board of the Village of McFarland, does ordain as follows:

Section 62-62(a) of the McFarland Municipal Code and the Official Zoning Map are hereby amended so that the real estate described below is hereby rezoned from C-H Highway Commercial to PD Planned Development General Plan Approved and Phase 1 Detailed Plan Approved.

Lot 1 of Certified Survey Map 17070, recorded as Document No. 6100488, Volume 130, Page 182 of the Dane County Register of Deeds.

2. The Zoning Administrator is hereby directed to label these changes on the Official Zoning Map, once the rezoning is effective.

3. This ordinance constitutes approval of Phase 1 for construction which includes one approximate 9,965 square foot commercial building to be used as an indoor playground facility for future tenant, Well Played, regional stormwater management basins, and accessways. No construction of any other buildings within the General Development Plan is permitted on the parcel described in Section 1 of this ordinance until applicable Detailed Plans, site design review permits, erosion control and/or building permits are approved by the Village.

The above and foregoing Ordinance was duly adopted at a regular meeting of the Village Board of the Village of McFarland held on the 23rd of June, 2026.

Signatures to follow on next page.

APPROVED:

Stephanie Brassington, Village President

ATTEST:

Cassandra Suettinger, Deputy Administrator/Clerk

ORDINANCE 2026 – 05	
MOTION	SECOND
ACTION	DATE
Adopted	
Referred	
Tabled	
Withdrawn	
Defeated	
Published	
INDIVIDUAL	
VOTING RECORD	
Annen –	Leamy –
Boyd –	Neidinger –
Brassington –	Prill –
Fessler –	
VOTING RESULTS	
Motion Carried	
Motion Defeated:	

Plan Commission Application – 2026

~Application must be completed in full~

Applicant	Ezra Properties, LLC	Applicant's Agent	Ryan Quam
Property Owner (if different)		Name	Ryan Quam
Address	4008-4018 Terminal Drive	Address	4604 Siggelkow Rd, Ste A, McFarland
Email	rquam@quamengineering.com	Email	rquam@quamengineering.com
Phone #		Phone #	608-838-7750

Parcel No(s). Multiple Refer to PD General Plan **Type of Proposal – Please check boxes below that apply**

Requires Public Hearing (Class One)	FEES	Requires Public Hearing (Class Two)	FEES	Public Hearing Not required	FEES
<input type="checkbox"/> Preliminary Plat	\$500+AF	<input type="checkbox"/> Conditional Use	\$500+F	<input type="checkbox"/> Annexation	At cost
<input type="checkbox"/> Preliminary Plat (reapplication)	\$500+BF	<input checked="" type="checkbox"/> Rezoning (map)	\$500+F	<input type="checkbox"/> Dev. Agreement Including Addendums	\$400+F
<input type="checkbox"/> Certified Survey Map	\$300+FG	<input type="checkbox"/> Zoning Amendment (text)	\$500+F	<input type="checkbox"/> Final Plat	\$500+CF
<input type="checkbox"/> Condominium	\$300+EF	<input type="checkbox"/> USA/MMSD Annexation	At cost	<input type="checkbox"/> Final Plat (reapplication)	\$400+DF
<input type="checkbox"/> Comprehensive Plan Amendment	\$500+F			<input checked="" type="checkbox"/> Site/Design Review	\$400+F

+ = Plus publication and notification charges

A = Plus \$50.00 per lot

B = Any preliminary plat which has previously been reviewed/ revised within the last 36 months

C = Plus \$50.00 for each lot within the final plat

D = Any final plat which has been previously reviewed/ revised within the last 36 months

E = Plus \$40.00 for each unit shown

F = Plus actual legal, engineering and financial consulting costs incurred by the Village

G = Plus \$25.00 per lot for two or more lots.

Escrow Deposits
(covers costs for outside consultants; e.g., engineers, attorneys, etc.)

R-E, R-3 & PD (up to 50 acres) \$5,000

R-E, R-3 & PD (greater than 50 acres) \$10,000

Site/Design Review (less than 2,000 sq. ft.) \$1,000

Site/Design Review (2,000 sq. ft. or more) \$2,000

All Plats including condominiums \$5,000

Nature of the development proposal: Must provide address of proposed development, legal description, current zoning and description of proposal/request. (Attach additional papers if needed)

Parcel 071027386201: Development of the land with multiple commercial buildings, associated drive aisles, parking lots, and storm water pond as shown on the General Development Plan. Current zoning is C-H Highway Commercial. Detailed plan for phase 1 building being a play gym

PLEASE READ AND SIGN AT THE BOTTOM ON THE REVERSE SIDE

Has this specific proposal been previously discussed or acted upon by the Plan Commission?

YES NO (If "yes" state the nature and the date(s) of the previous application.)

~~Discussed at (Village Board meeting on 08/12/25)~~ _____

Submittal Requirements: One (1) hard copy 8 ½ x 11, except site plan sheets which should be 11 x 17, and one (1) electronic (pdf) copy. A completed in full application can be submitted to the Community Development Department (5915 Milwaukee Street, McFarland, WI 53558, community.development@mcfarland.wi.gov), with fees included with submittal **by *NOON of the deadline day**, according to the schedule below.

Village of McFarland Plan Commission 2026 Schedule

The Village of McFarland Plan Commission normally conducts meetings on the third Tuesday of each month, unless otherwise noted below at 7:00 p.m. at the McFarland Municipal Center in the Community Room. To ensure adequate time for staff review, and publication of legal notices, potential agenda item materials are required to be submitted per the schedule listed below.

***Submittal Deadline Noon on:**

For Scheduled 2026 Meeting date of:

December 9 (2025)-----	January 20
January 6-----	February 17
February 3-----	March 17
March 10-----	April 21
April 7-----	May 19
May 5-----	June 16
June 9-----	July 21
July 7-----	August 18
August 4-----	September 15
September 8-----	October 20
October 6-----	November 17
November 3-----	December 15
December 8-----	January 19, 2027

Applications requiring a public hearing will be scheduled for a hearing according to the schedule above. If there is written or verbal public opposition submitted as part of the public hearing the Plan Commission will postpone action on the application to a subsequent meeting so that concerns can be analyzed if concerns can't be addressed during the hearing. If there is no public opposition and no unresolved issues by Village Staff or Plan Commission members, the Plan Commission may take action on the application at the same meeting as the public hearing. Applicants are encouraged to contact the Community & Economic Development Director for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Acknowledgements:

- I understand failure to provide required materials/information/fees by the submittal deadline can result in this application being withdrawn for consideration by the Plan Commission. Materials submitted for review after the submittal deadline date, or incomplete submittals, may be held over until the next scheduled meeting.
- I understand any fees not paid for (i.e. legal notices, mailings, consultant review costs, etc.) will require any permits to be withheld until all payments are made in full. In addition, all application fees are non-refundable.
- I understand Plan Commission applications requiring a Public Hearing may not be acted on the same night as the Public Hearing.

X

Signature of Applicant/Agent

2/3/2026

Date

Site and Design Plans

Check List

Date received: _____
Subject property address: 4012 Terminal Drive

Landowner's name: Ezra Properties, LLC
Landowner's address: 4604 Siggelkow Rd, McFarland
WI 53558

Landowner's phone/fax: 608-838-7750

Landowner's email: rquam@quamengineering.com

Agent's name: _____
Agent's address: _____ _____
Agent's phone/fax: _____
Agent's email: _____

- A. Title Block that indicates name and address of the current property owner.
- B. Name and signature of the designer.
- C. Date of original plan and latest date of revised plan.
- D. North arrow and graphic scale. Said scale shall not be smaller than 1 inch equals 100 ft.
- E. Existing zoning PD Proposed rezoning yes no
- F. All property lines, and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- G. All required building setback lines.
- H. The location of all access points and connections to public streets, off-street parking, and loading areas on the subject property including a summary of the number of parking stalls, accessible parking stalls, and labels indicating the dimension of such areas.
- I. All existing and proposed building structures and paved areas, including walks, drives, decks, patios, balconies, fences, retaining walls, utility poles, exterior utility and mechanical equipment, and any accessory structures.
- J. Existing and proposed site and building signage.
- K. Color exterior façade elevations of all proposed buildings including descriptions of materials and colors.
- L. The location of all outdoor storage areas; including proposed screening materials and colors. N/A
- M. The location of existing and proposed drainage facilities including stormwater and erosion control plan.
- N. The location and type of any permanently protected green space areas.
- O. The location and elevation of any wetlands or floodplains.

X P. Grading Plan including existing & proposed topography shown at a contour interval of not more than two (2) ft.

 X Q. In the legend, data for the subject property:

(1) Lot area

(2) Building area

(3) Paved area

(4) Total impervious area

(5) Landscaping points provided and required for building foundations, gross floor area, street frontage, and paved area.

(5) Building height

(6) Existing zoning, proposed zoning

(7) Number of parking stalls provided and required.

 X R. Landscaping Plans including proposed species, quantity and planting size. Refer to Appendix B of the Village's Zoning Code for more information.

 X S. Hydrant locations and Fire Department Connection.

 X T. Lighting Plans including photometrics and description of fixture types, heights and orientation.

 X U. Utility plans, including the location of existing and proposed overhead or underground site utilities, including piping and meter sizes and associate appurtenances.

 X V. Existing or proposed easements.

 X W. A legal description of the subject property.

General Comments: _____

Note: In addition to Site and Design Permit approval, a building permit from the Village Building Inspector is required prior to the start of construction of any building, fence, or sign.

**General Development Plan and
Detailed Development Plan for Phase 1**

Statement of Owners Intent,
And General Plan for Staged
Development, and Detailed
Plan for Phase 1 Development

02-13-2026

Project:
4012 Terminal Drive Development

Owner:
Ezra Properties, LLC
Attn: Ryan Quam

Statement of Owners Intent

It is the intent of the Owner to develop the lands controlled by the Owner as a Commercial Highway development in general conformance with the TIF plan. The purpose of this submittal is to seek the following Village approvals:

- 1) General Plan for Staged Development for all controlled lands;
- 2) Detailed Plan for Phase 1 Development;

Legal Description

The lands controlled by the Owner address is 4008, 4012 Terminal Drive and the legal description is as follows:

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW ¼ of the SW ¼ of Section 27, T7N., R10E., Village of McFarland, Dane County Wisconsin and Parcel A:

A part of Lot 2 of Certified Survey Map (CSM) No. 15071, recorded on March 12, 2019 in Volume 106 of Certified Survey Maps, on Pages 269 through 271 as Document No. 5474534, being a part of the Northwest one-quarter of the Southwest one-quarter of Section 27, Town 7 North, Range 10 East, Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

BEGINNING at a found 1" iron pipe at the Southwest corner of said Lot 2;
thence, along the West line of said Lot 2, North 01°02'42" East, 170.84 feet to a found 1-1/4" iron pipe at the Northwest corner of said Lot 2;
thence, along the North line of said Lot 2, North 89°26'12" East, 66.16 feet;
thence South 00°00'00" West, 172.79 feet to a point on the South line of said Lot 2;
thence, along said South line, North 89°54'16" West, 69.29 feet to the POINT OF BEGINNING. Said Parcel A contains 11,634 square feet or 0.2671 acres, more or less, and is SUBJECT TO all easements and agreements, if any, of record and/or fact and is shown on the map, Exhibit B, prepared by Quam Engineering, LLC for Project No. DB-21-24, dated February 4, 2026 attached hereto, and by this reference made a part hereof.

See also attached Lot 1 of Draft CSM being reviewed for approval by Village.

Existing Site

The Existing Site Plan is included as sheet C-1 and site features are as follows:

- 1) 6.2917 total acres;
- 2) In the process of being rezoned Commercial Highway.
- 3) Dane County Lands are adjacent to the west and South;
- 4) Existing commercial building is adjacent to the southeast;
- 5) Existing Oil Terminal is adjacent to the north;
- 6) Existing gas station is adjacent to the northeast;
- 7) Terminal Drive are adjacent to the east;
- 8) Public sanitary sewer and water main is available beneath Terminal Drive;

Description of General Plan for Staged Development

The General Plan proposes the development of the land with six buildings and associated drive aisles, parking lot, and regional ponds as shown on the General Development Plan included as sheet C-2. In general, the intent of the General Plan is for the buildings to follow the Village's C-

H Zoning Code Regulations, with the exceptions noted in the tables that follow. The applicable commercial bulk standards for the building phases are described in the tables under “PUD-GP Standard”. The tables include the “C-H Standard” informational purposes only. In addition to the minimum principal building setbacks described in the following tables, a 75-foot wetland setback applies to building phases as shown in the General Development Plan site plan. The 75-foot setback applies to principal and accessory structures as well as impervious surfaces as required for Environmental Corridor policies of the Capital Area Regional Planning Commission, as administered by the Village of McFarland. Unless otherwise stated within this General Plan, or future approved Detailed Plans, applicable building and zoning requirements shall be those of the Village’s Building and Zoning codes, including but not limited to, permitted obstructions in required yards (e.g. flagpoles, overhanging eaves and gutters, etc.), accessory uses and structures, fences, and exterior signage. The buildings and site layout are described as follows:

1) Phase 1

- 9,965 square foot commercial building which will be described in the Detailed Plan for Phase 1 Development portion of this submittal;
- 32 parking stalls and associated drive aisles and sidewalk;
- Sanitary sewer connection at Terminal Drive;
- Water main connection at Terminal Drive;
- Stormwater management ponds;

	C-H Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	12,000	12,000
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35 (None with conditional use permit)	35
Minimum Front and Street Yard Setback (ft.)	35	6
Minimum Side Yard Setback (ft.)	10	10
Minimum Side Yard Setback both sides combined (ft.)	20	20
Minimum Rear Yard Setback (ft.)	30	30

2) Future Phase

- 4-story, approximately 16,810 square foot office or headquarters building with 38 underground parking stalls;
- Approximately 168 shared surface parking stalls and associated drive aisles and sidewalk;

	C-H Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	12,000	12,000
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35 (None with conditional use permit)	None
Minimum Front and Street Yard Setback (ft.)	35	35
Minimum Side Yard	10	10

Setback (ft.)		
Minimum Side Yard Setback both sides combined (ft.)	20	20
Minimum Rear Yard Setback (ft.)	30	30

3) Future Phase

- 2-story, approximately 4,988 square foot bar/restaurant with attached approximately 30,279 square foot indoor pickleball facility;
- Approximately 168 shared surface parking stalls and associated drive aisles and sidewalk;

	C-H Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	12,000	12,000
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35 (None with conditional use permit)	35
Minimum Front and Street Yard Setback (ft.)	35	35
Minimum Side Yard Setback (ft.)	10	6
Minimum Side Yard Setback both sides combined (ft.)	20	20
Minimum Rear Yard Setback (ft.)	30	30

4) Future Phase

- 6,000 square foot retail building A;
- Approximately 50 shared surface parking stalls and associated drive aisles and sidewalk;

	C-H Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	12,000	12,000
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35 (None with conditional use permit)	35
Minimum Front and Street Yard Setback (ft.)	35	35
Minimum Side Yard Setback (ft.)	10	10
Minimum Side Yard Setback both sides combined (ft.)	20	20
Minimum Rear Yard Setback (ft.)	30	30

5) Future Phase

- 3,000 square foot retail building B;
- Approximately 50 shared surface parking stalls and associated sidewalk;

	C-H Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	12,000	12,000
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35 (None with conditional use permit)	35
Minimum Front and Street Yard Setback (ft.)	35	25
Minimum Side Yard Setback (ft.)	10	10
Minimum Side Yard Setback both sides combined (ft.)	20	20
Minimum Rear Yard Setback (ft.)	30	30

6) Future Phase

- 2,765 square foot quick service restaurant building;
- Approximately 50 shared surface parking stalls and associated sidewalk and drive through lane;

	C-H Standard	PUD-GP Standard
Minimum Lot Area (sq.ft.)	12,000	12,000
Minimum Lot Width (ft.)	80	80
Maximum Building Height (ft.)	35 (None with conditional use permit)	35
Minimum Front and Street Yard Setback (ft.)	35	25
Minimum Side Yard Setback (ft.)	10	10
Minimum Side Yard Setback both sides combined (ft.)	20	20
Minimum Rear Yard Setback (ft.)	30	30

7) Site Layout

- Approximately 250 above ground parking stalls are proposed to supplement the 38 underground parking and to meet overall parking requirements;
- One regional detention pond will meet rate runoff control, sediment control requirements and one infiltration pond will meet infiltration requirements for all proposed impervious areas;
- 67,240 approximate gross square feet of office/head quarters space;
- 63,375 gross square feet of commercial space;

8) Anticipated Schedule

- Phase 1 Commercial “Well Played, Play Gym” building to open in November 2026;
- Indoor pickleball facility to open in December 2026 (to be determined);
- Retail building B to open in May 2027 (to be determined);
- 2-story bar/restaurant to open in May 2028 (to be determined);
- Retail building A to open in May 2028 (to be determined);
- Quick service restaurant open in October 2028 (to be determined);

- 4-story office or headquarters building to open in May 2030 (to be determined);

Description of Detailed Plan for Phase 1 Development

A commercial indoor play gym with future mezzanine is proposed as the first phase of development and the details are as follows:

- 1) The Site Plan is included as sheet C-3 with features as follows:
 - 9,965 square foot building footprint;
 - 32 above ground parking stalls;
- 2) The Grading Plans are included as sheets C-4.1 and C-4.2 with features as follows:
 - Two man doors and an overhead door along the western façade of the building, and an additional man door in the southeast corner of the building;
 - One regional detention pond to meet rate runoff control, sediment control requirements and one infiltration pond to meet infiltration requirements for all proposed impervious areas;
- 3) The Building Exterior Elevations drawings are included
 - Wall materials include two metal colors and E.I.F.S.;
 - Wall geometry includes building jogs and north wall angle;
 - Low roof includes parapet wall to better balance building height and screen mechanicals;
- 4) The Utility Plan is included as sheet C-5
 - The 8” sanitary sewer will connect to the existing sanitary sewer line under Terminal Drive with a sanitary manhole to provide 6” sanitary sewer laterals to serve the phase 1 building.
 - The 8” water main will connect to the water main to the existing 10” water main under Terminal Drive to provide 6” water services to serve the phase 1 building.
 - Inlets and catch basins will collect runoff from all impervious areas and storm sewer will carry runoff to the detention pond and infiltration pond;
- 5) The Landscape and Lighting Plan is included as sheet L-1
- 6) The Play Gym First Floor Plan is included (subject to tenant’s changes or uses)
 - 5,000 square foot open play area;
 - Three (3) party rooms;
 - 660 square foot lounge area;
 - 400 square foot coffee bar/micro market area;
 - One (1) 80 square foot utility room;
 - Three (3) storage rooms (226 square feet total);
 - Two (2) 162 square foot bathrooms;
 - One (1) 150 square foot quiet room;
 - One (1) 240 square foot office;
 - One (1) 790 square foot reception and check in area;
- 7) The future Mezzanine Floor Plan is included (subject to tenant’s changes or uses)
 - 658 square foot storage area;
 - 732 square foot lounge area with stairway to open play area below;
- 8) Variances
 - PDD Front yard setback of 6.0’ (versus C-H front yard setback of 35 feet);
 - Parking, sidewalk, and landscaping within the Village right-of-way;

Planned Development District Standards and Responses

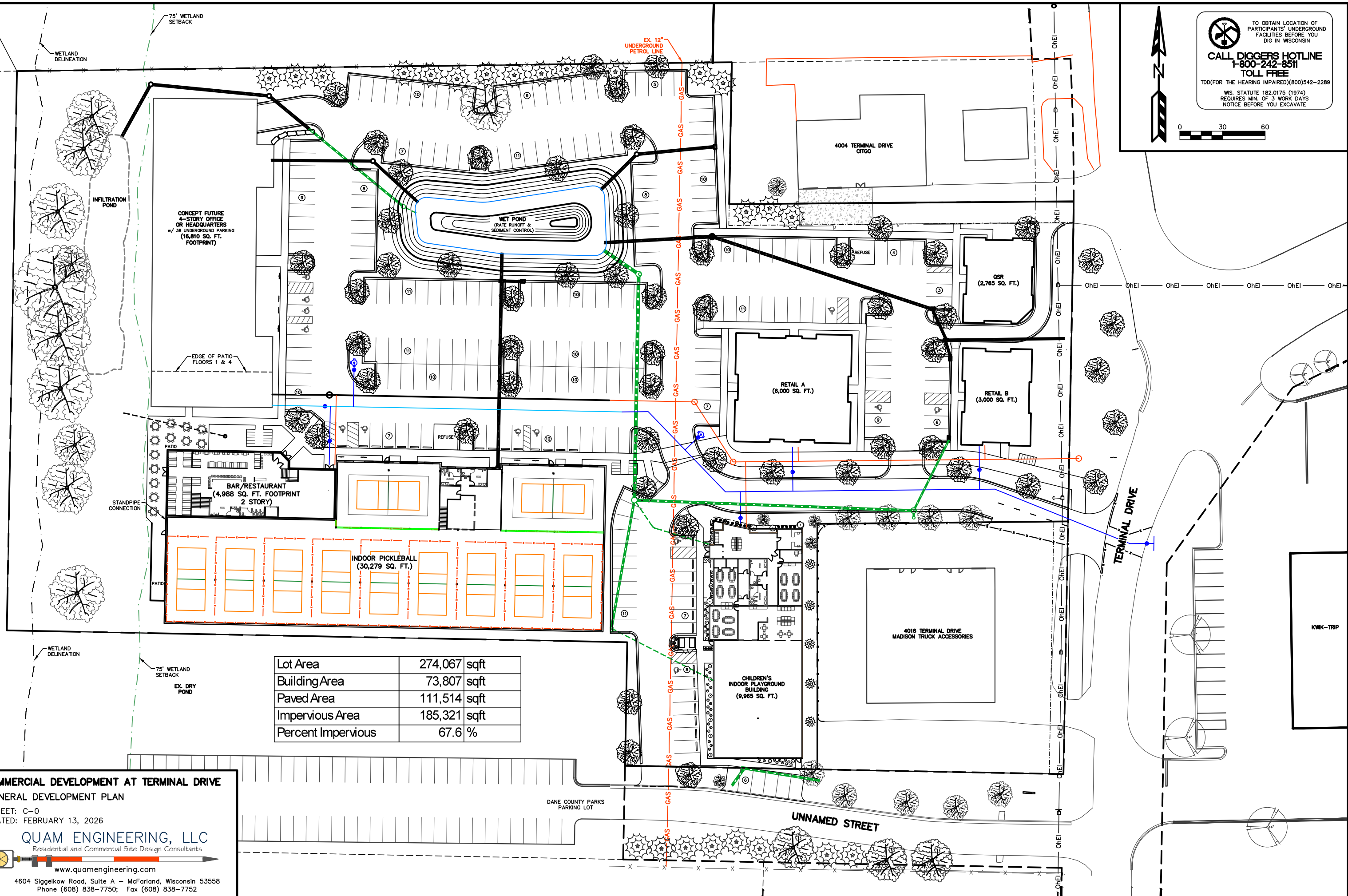
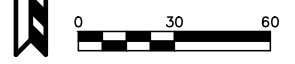
Section 62-67(4) lists the standards shall apply in the review of all general or detailed plans proposed for the Planned Development District. The standards and this submittal responses are as follows:

- a) *“The uses proposed in the planned development shall be in general conformance with the Village Comprehensive Plan”*. This application includes a proposed use in conformance with the future land use map of “Highway and General Commercial”.
- b) *“The establishment, maintenance or operation of the uses proposed in the planned development shall not substantially impair or diminish the use value and enjoyment of other properties within the neighborhood”*. The proposed General Plan for Staged Development, and Detailed Plan for Phase 1 Development will not substantially impair or diminish the use value and enjoyment of the adjacent properties. Commercial buildings, gas stations, oil terminals and County Lands are the adjacent properties, and the proposed setbacks to adjacent developments are in excess of the required setbacks.
- c) *“Traffic circulation into and within the development shall be designed to minimize traffic congestion and traffic hazards, provide for the accessibility of all uses and buildings and also provide for the safe and convenient movement of both vehicles and pedestrians”*. The proposed 24 foot private drive aisles from Terminal Drive to the east and the unnamed public street to the south will provide safe and convenient movement of vehicles and the adjacent sidewalk will provide safe movement for pedestrians within the development.
- d) *“The planned development shall incorporate environmental design considerations, including the preservation of topography, trees and ground cover, streams and natural bodies of waters, and other significant natural features and control of erosion and runoff in accord with the Village Erosion Control and Stormwater Management Ordinances”*. The proposed buildings are located a minimum of 75’ from the delineated wetlands. Stormwater runoff from the development will pass through detention ponds and infiltration ponds. The proposed development will include storm sewer, detention ponds, and infiltration ponds to meet Village Erosion Control and Stormwater Management Ordinances. Many large cotton wood trees and one black cherry tree will be protected during construction in order to remain. The Landscape Plan will meet Village landscaping ordinances for C-H properties.
- e) *“The planned development shall provide for convenient and harmonious groups of buildings, structures and uses; and buildings shall be spaced and sited to ensure adequate safety, light, ventilation and privacy”*. The proposed buildings will be designed with similar materials and architectural style. The proposed landscaping will be installed to maximize privacy to the neighboring properties. Building uses will be chosen to allow for shared parking.
- f) *“In a planned development for residential use, adequate open space and recreational areas shall be provided in appropriate locations, and all public and common open spaces shall be designed and located to provide safe and convenient access to residents”*. Although not residential development, the lawn and landscaped areas will provide a common open space that is safe and accessible to residents of McFarland and there will be a patio area for customer use at the bar/restaurant and pickleball facility building.
- g) *“Planned Development Districts housing impacts on community resources in the same manner as other new development, which are characterized by division of land into lots. In particular, the additional population density places demands upon Village parks and recreation areas. Accordingly, each dwelling unit newly established shall be required to dedicate land or provide fees in lieu of land, in*

accordance with the procedures set forth in Section 62-64". There are no proposed dwelling units for this development.

- h) *"The planned development will not adversely affect the ability of public agencies to provide school or other municipal services"*. The planned development will not adversely affect the ability of public agencies to provide school or other municipal services
- i) *"The width of street rights-of-way, width of paving, width and location of street or other paving, outdoor lighting, location of sewer and water lines, provision for stormwater drainage or other similar environmental engineering considerations shall be based on a determination and the appropriate standards necessary to implement the specific function in the specific situation; provided, however, that in no case shall standards be less than those necessary to ensure the public safety and welfare as determined by the Village"*. The constructions will meet Village and State requirements.
- j) *"The proponents of a Planned Development District application shall provide evidence satisfactory to the Village Board of its economic feasibility of available adequate financing and that it would not adversely affect the economic prosperity of the Village or the values of surrounding properties"*. The applicant feels that this proposal will be a benefit to the Village and not adversely affect surrounding properties. The estimated value of this development is as follows: \$1,100,000 for Phase 1 play gym building, \$1,300,000 for pickleball facility, \$1,800,000 for 2-story bar/restaurant, \$5,000,000 for 4-story office or headquarters building, \$800,000 for retail building A, \$750,000 for retail building B, and \$800,000 for the quick service restaurant for a total estimated value of \$11,550,000;
- k) *"The proponents of a Planned Development District shall submit a reasonable schedule for the implementation of the development of the development to the satisfaction of the Village Board, including suitable provisions for assurance that each phase could be brought to completion in a manner that would not result in an adverse effect upon the community as a result of termination at that point"*. The anticipated development schedule is included on page 2 of this submittal.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



Lot Area	274,067	sqft
Building Area	73,807	sqft
Paved Area	111,514	sqft
Impervious Area	185,321	sqft
Percent Impervious	67.6	%

COMMERCIAL DEVELOPMENT AT TERMINAL DRIVE
 GENERAL DEVELOPMENT PLAN
 SHEET: C-0
 DATED: FEBRUARY 13, 2026

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

TEST PIT #2 (2024)

EX. 12" UNDERGROUND PETROL LINE

TEST PIT #1 (2024)

TEST PIT #6 (2024)

USLE SLOPE LINE (100' @ 1.0%)

EX. 18" CMP CULVERT
NE IE=854.34
SW IE=854.11

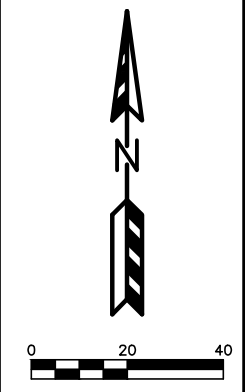
EX. 12" HDPE CULVERT
N IE=856.60

TERMINAL DRIVE

UNNAMED PUBLIC STREET

LOT 2 OF CSM 15071
4016 TERMINAL DRIVE

4012 TERMINAL DRIVE



WELL PLAYED, PLAY GYM
 EXISTING SITE AND TEST PITS
 SHEET: C-1
 DATED: MAY 19, 2026

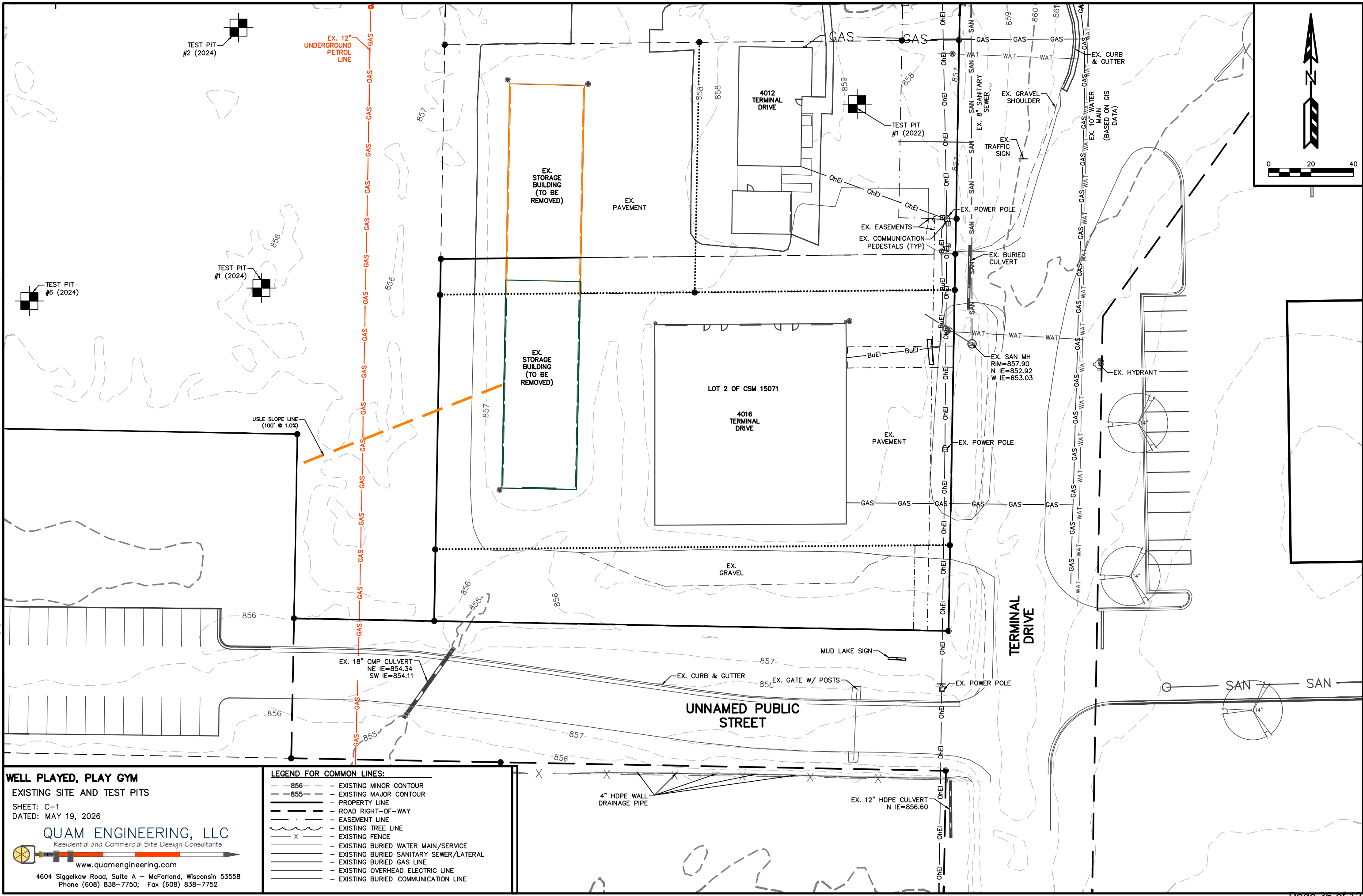
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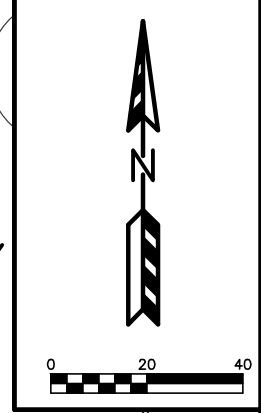
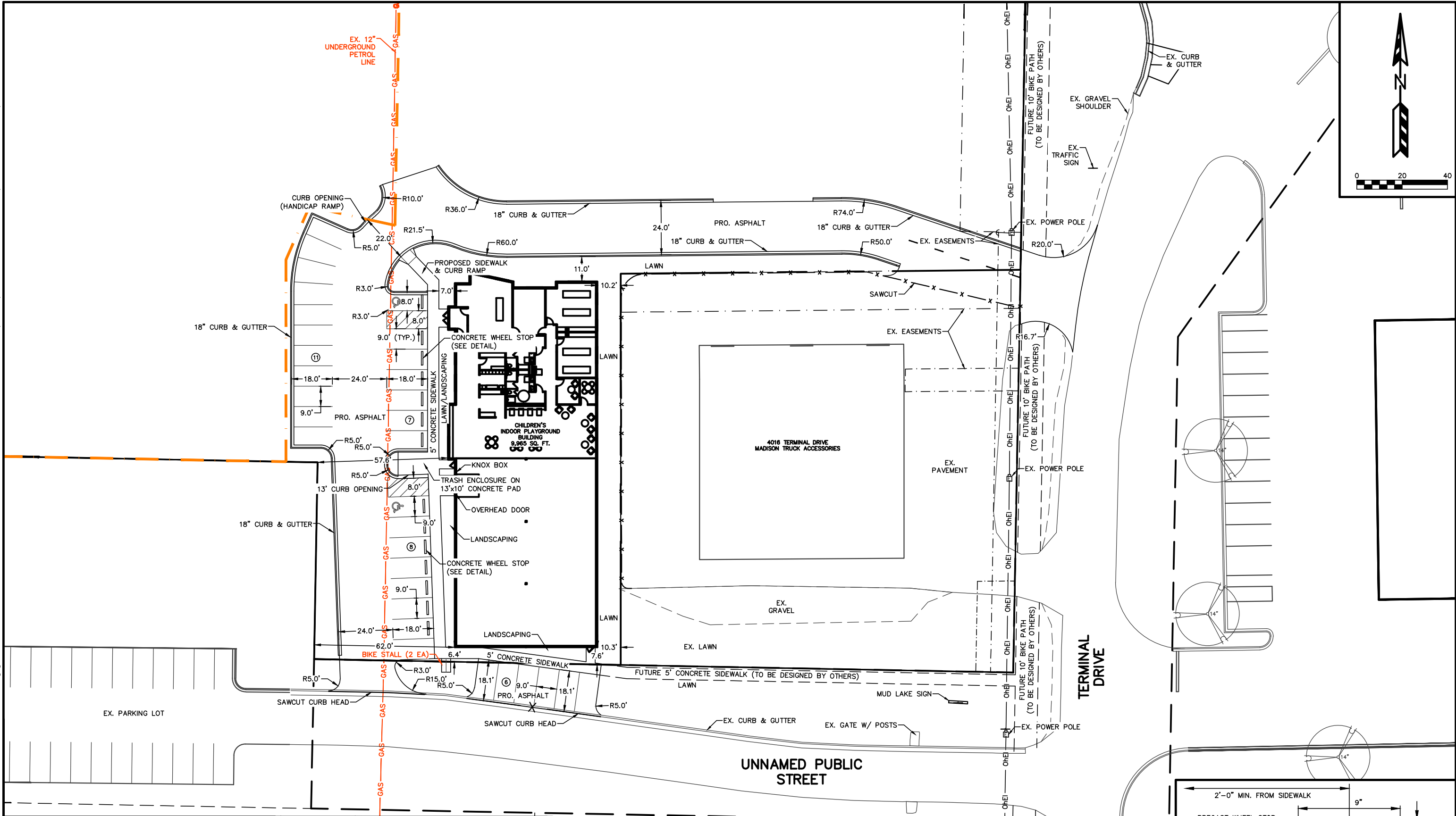
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LEGEND FOR COMMON LINES:

	856	EXISTING MINOR CONTOUR
	855	EXISTING MAJOR CONTOUR
		PROPERTY LINE
		ROAD RIGHT-OF-WAY
		EASEMENT LINE
		EXISTING TREE LINE
	X	EXISTING FENCE
		EXISTING BURIED WATER MAIN/SERVICE
		EXISTING BURIED SANITARY SEWER/LATERAL
		EXISTING BURIED GAS LINE
		EXISTING OVERHEAD ELECTRIC LINE
		EXISTING BURIED COMMUNICATION LINE

4" HDPE WALL DRAINAGE PIPE



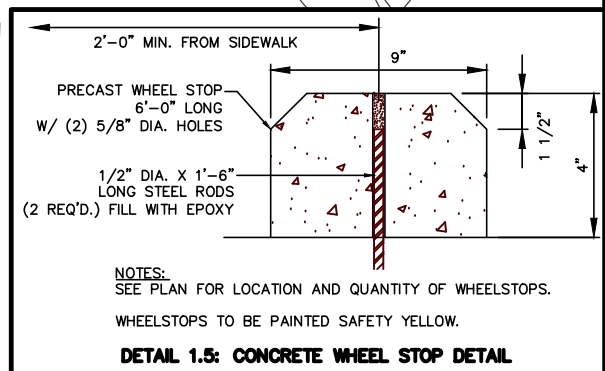


WELL PLAYED, PLAY GYM
SITE PLAN
 SHEET: C-2
 DATED: MAY 19, 2026

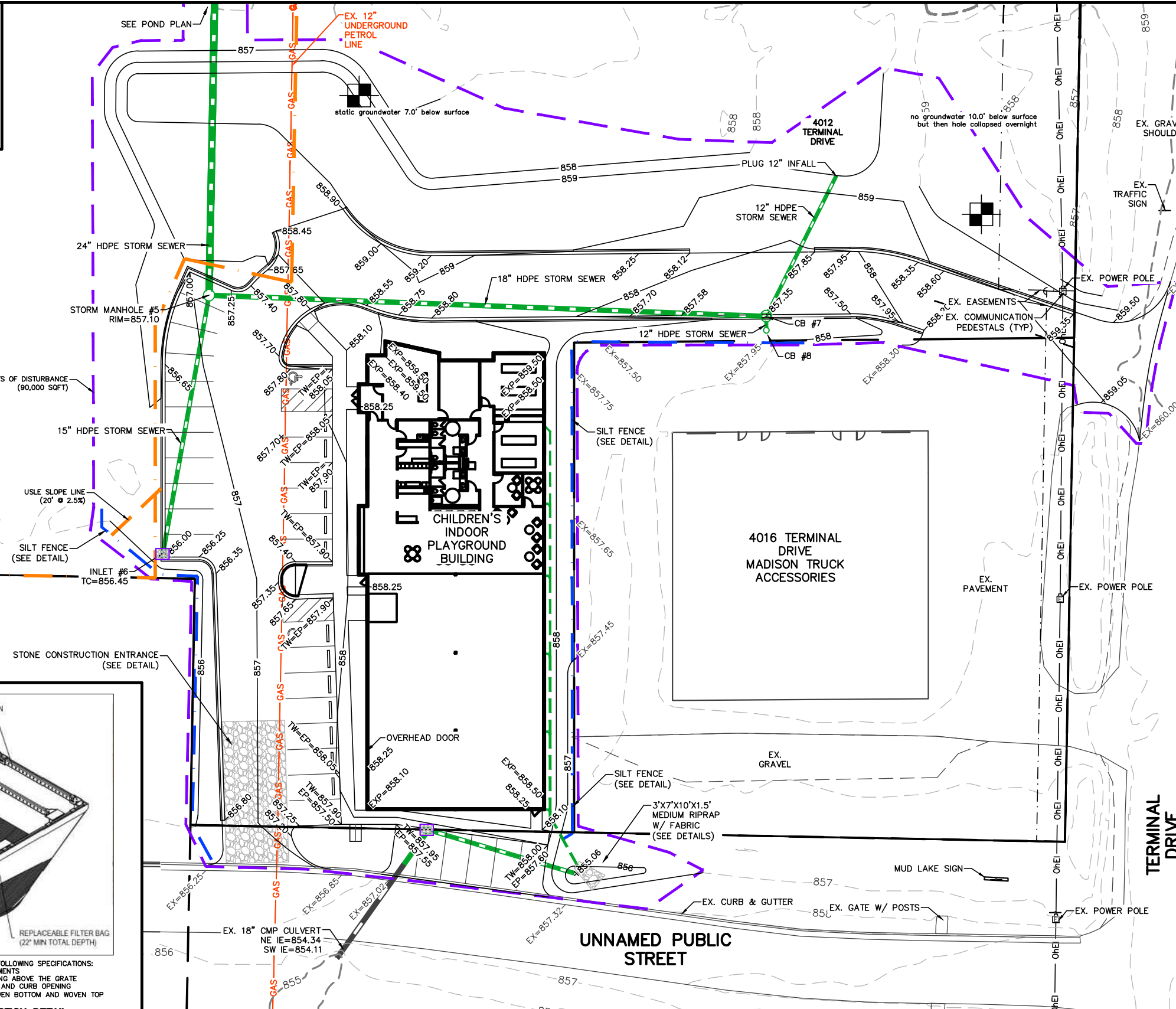
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INSTALL FLEXSTORM CATCH-IT BAG DURING CONSTRUCTION (SEE DETAIL), REPLACE WITH FLEXSTORM PURE INLET FILTER WITH PCP BAG DURING FINAL RESTORATION FOR OIL AND GREASE CONTROL

EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. SEDIMENT REACHING PUBLIC STREET SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
 ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
 PERIMETER CONTROL SHALL BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHALL BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

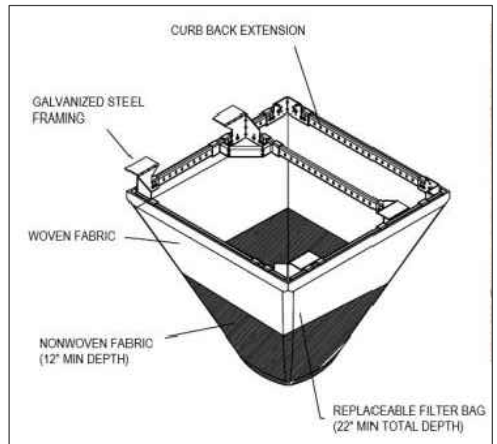
TIME SCHEDULE:

APRIL 15, 2026	INSTALL EROSION CONTROL MEASURES.
APRIL 15 - MAY 15, 2026	CONSTRUCT DETENTION POND AND RESTORE DISTURBED AREAS.
MAY 1 - OCTOBER 31, 2026	ROUGH GRADE SITE, EXCAVATE AND CONSTRUCT FOUNDATION, INSTALL SITE UTILITIES, INSTALL PAVEMENT BASE, CONCRETE SIDEWALKS, AND ASPHALT.
SEPTEMBER 1 - 15, 2026	RESTORE ALL REMAINING DISTURBED AREAS (EXCEPT LANDSCAPE BEDS) WITH SEED AND MULCH OR EROSION MAT.
OCTOBER 1 - 31, 2026	INSTALL LANDSCAPE TREES, SHRUBS, EDGING, AND WOOD CHIPS.
SEPTEMBER 15 - NOVEMBER 15, 2026	PERMANENT VEGETATION ESTABLISHMENT PERIOD.
NOVEMBER 15, 2026	REMOVE EROSION CONTROL MEASURES.

RESTORATION NOTES:
 RESTORATION SHALL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL.
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH OR EROSION MAT. EROSION MAT LIMITS ARE SHOWN ON THE GRADING & EROSION CONTROL PLAN. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIX SUPPLIED BY AGRECO, OR EQUIVALENT SHALL BE USED FOR THE SIDES OF THE WET POND. SEED MIXTURE 40 SHALL BE USED ON ALL OTHER DISTURBED AREAS. ALL SEED MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER. FERTILIZER SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8% POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURE 40 SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE. WET DETENTION SEED MIX SHALL BE APPLIED AT THE RATE OF EIGHT (8) POUNDS PER ACRE. WHEN SEEDING THE WET DETENTION SEED MIX WITH A CONVENTIONAL SPREADER, AN INERT CARRIER SUCH AS VERMICULITE, FINE GRADE PINE SHAVINGS, OR MILORGANITE MAY BE INCORPORATED TO BULK UP THE SEED.
 SEEDING FROM SEPTEMBER 16 THROUGH NOVEMBER 15 IS TO BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. DORMANT SEEDING, IF NECESSARY, SHALL BE COMPLETED AFTER NOVEMBER 15. DORMANT SEEDING SHALL NOT BE APPLIED ON TOP OF SNOW. DISTURBED AREAS SHALL HAVE EROSION MAT APPLIED OVER DORMANT SEEDING. IF DORMANT SEEDING DOES NOT RESULT IN AT LEAST 70% COVER BY MAY 15, ADDITIONAL SEEDING SHALL BE REQUIRED.

OWNER:
 EZRA PROPERTIES, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



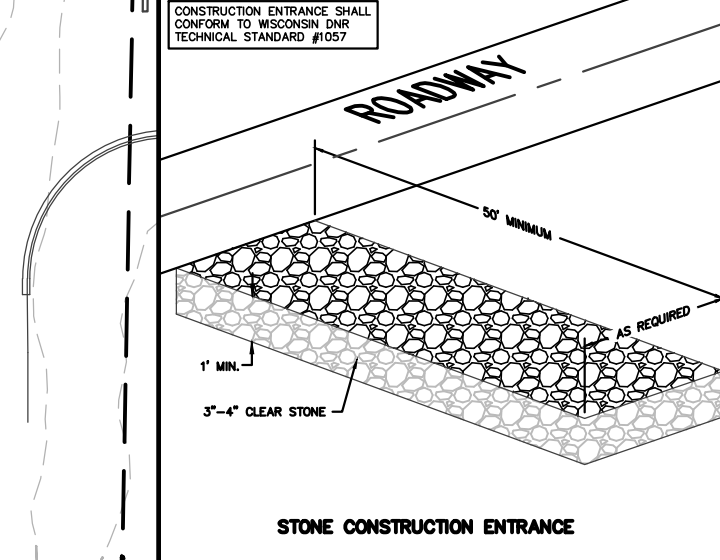
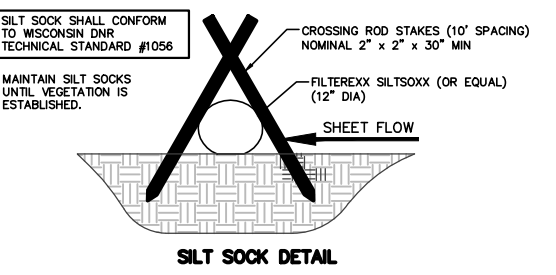
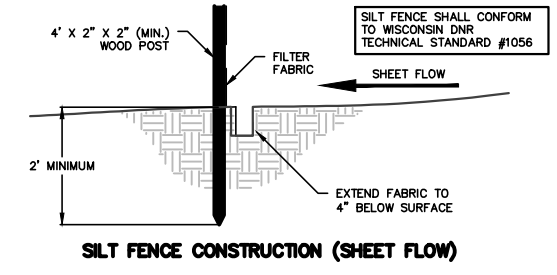
FRAMED INLET PROTECTION MUST MEET THE FOLLOWING SPECIFICATIONS:
 • ALL ASTM STANDARD D8057-17 REQUIREMENTS
 • NO PART OF INLET PROTECTION PROJECTING ABOVE THE GRATE
 • CAPTURE RUNOFF ENTERING BOTH GRATE AND CURB OPENING
 • "DUAL FABRIC" FILTER BAG, WITH NONWOVEN BOTTOM AND WOVEN TOP

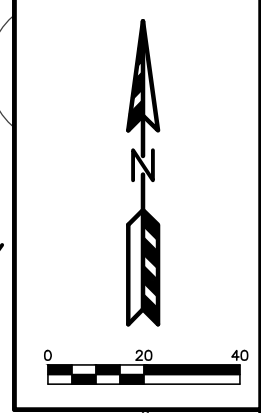
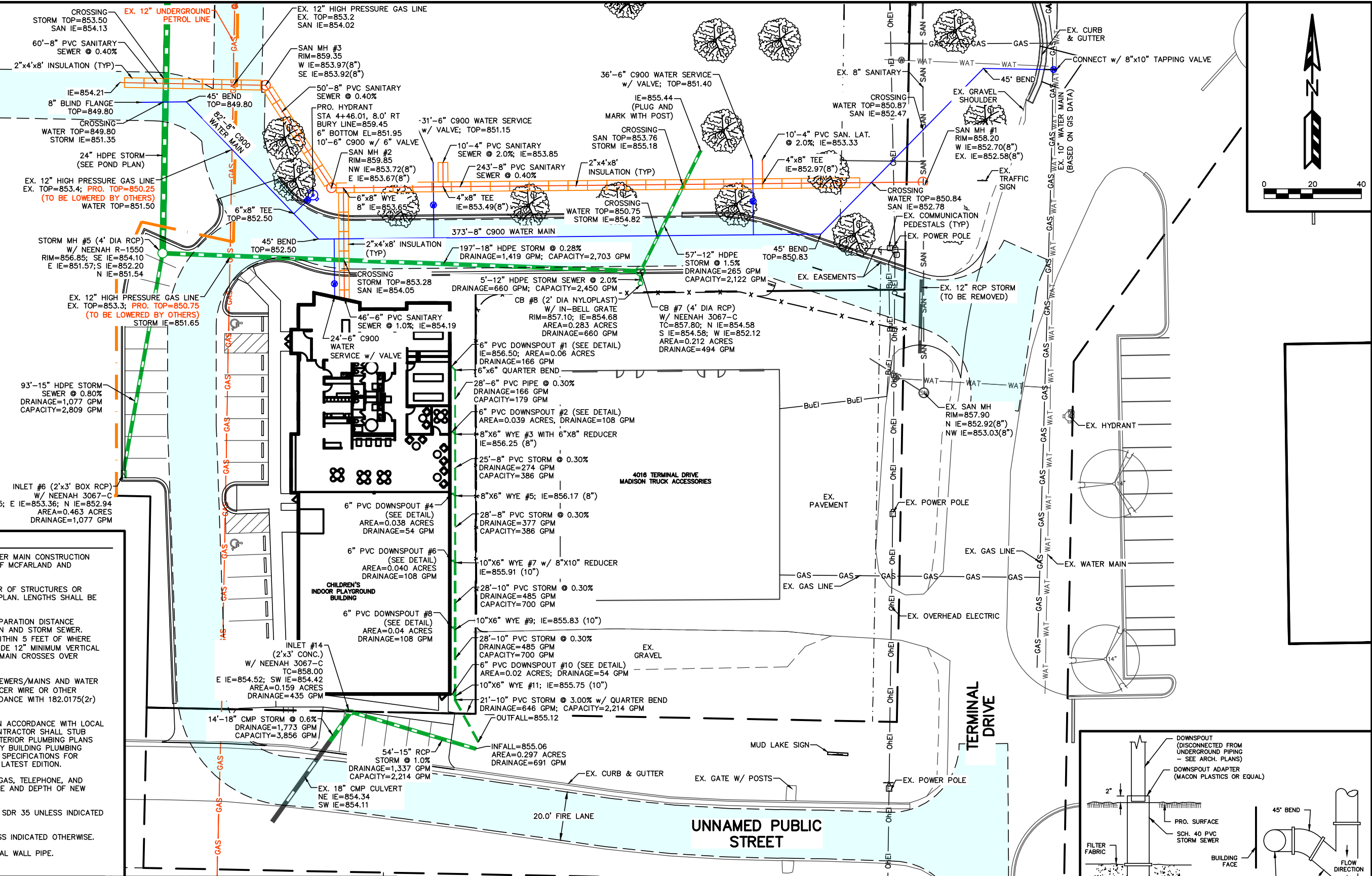
WELL PLAYED, PLAY GYM
GRADING PLAN
 SHEET: C-3
 DATED: MAY 19, 2026

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---	EXISTING BURIED GAS LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING BURIED COMMUNICATION LINE





UTILITY NOTES:

ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE VILLAGE OF MCFARLAND AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WITHIN 5 FEET OF WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 12" MINIMUM VERTICAL SEPARATION WITHIN 5 FEET OF WHERE WATER MAIN CROSSES OVER SEWER.

ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0175(2r) OF STATE STATUTES.

BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION.

CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.

SANITARY SEWER SHALL BE PVC ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.

WATER SERVICE SHALL BE DUCTILE IRON UNLESS INDICATED OTHERWISE.

HDPE STORM SEWER SHALL BE HDPE N-12 DUAL WALL PIPE.

WELL PLAYED, PLAY GYM

UTILITY PLAN

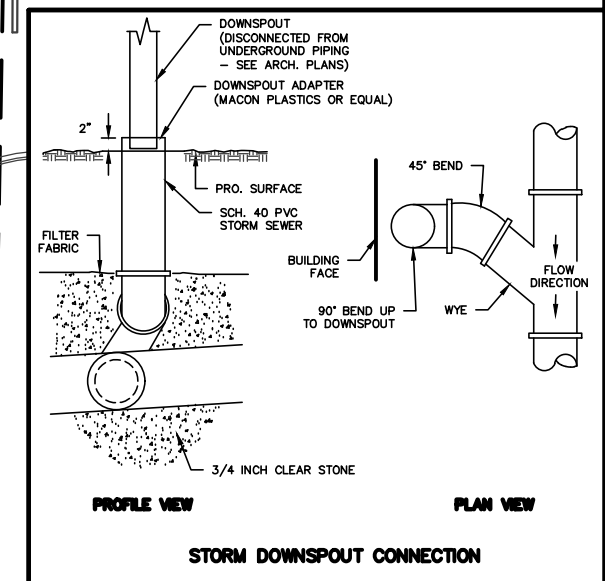
SHEET: C-4
DATED: MAY 19 2026

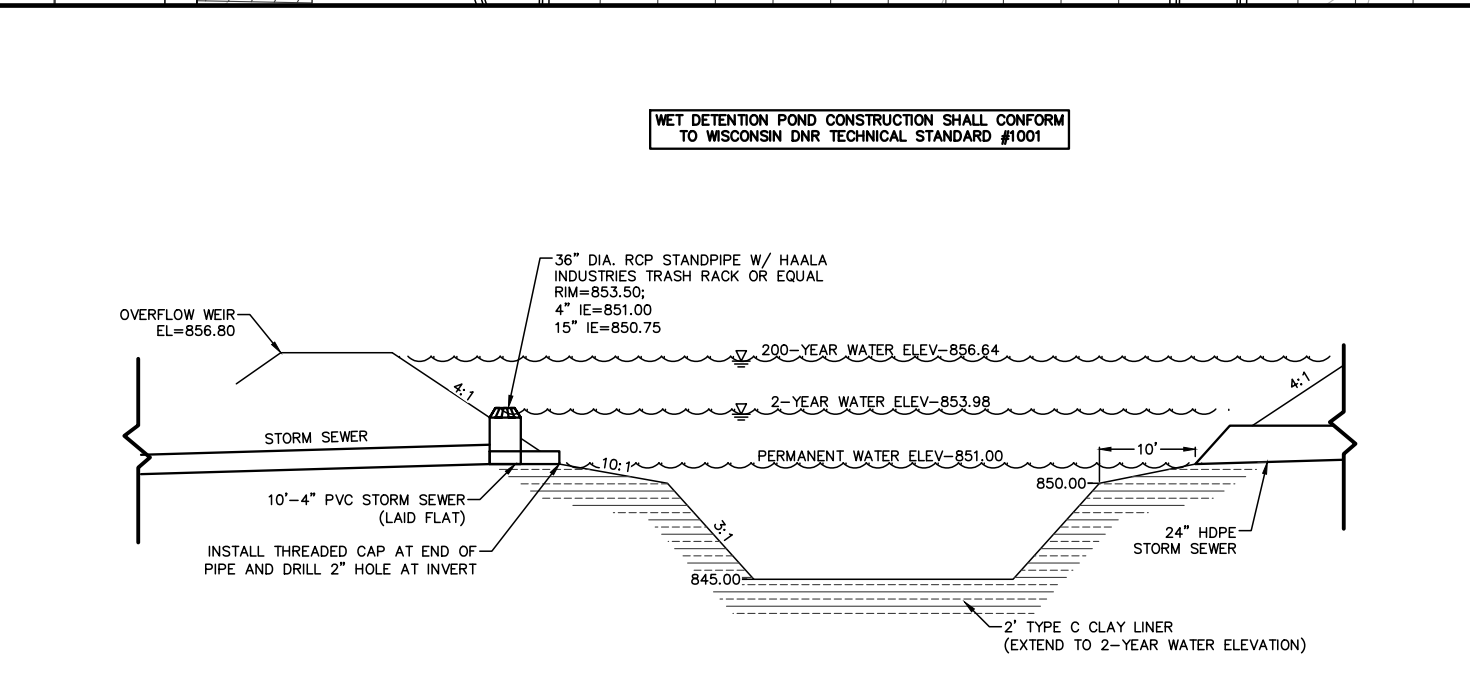
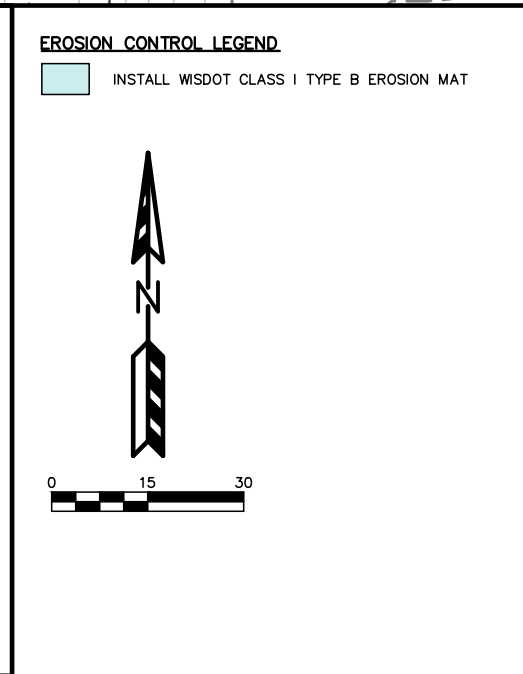
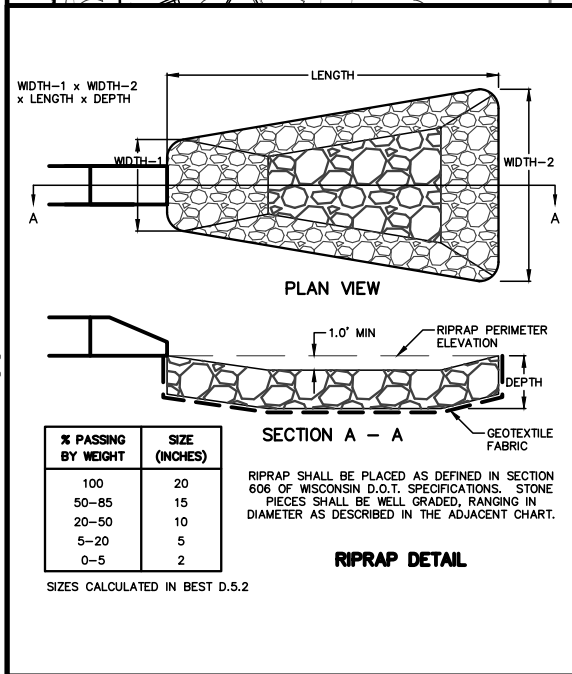
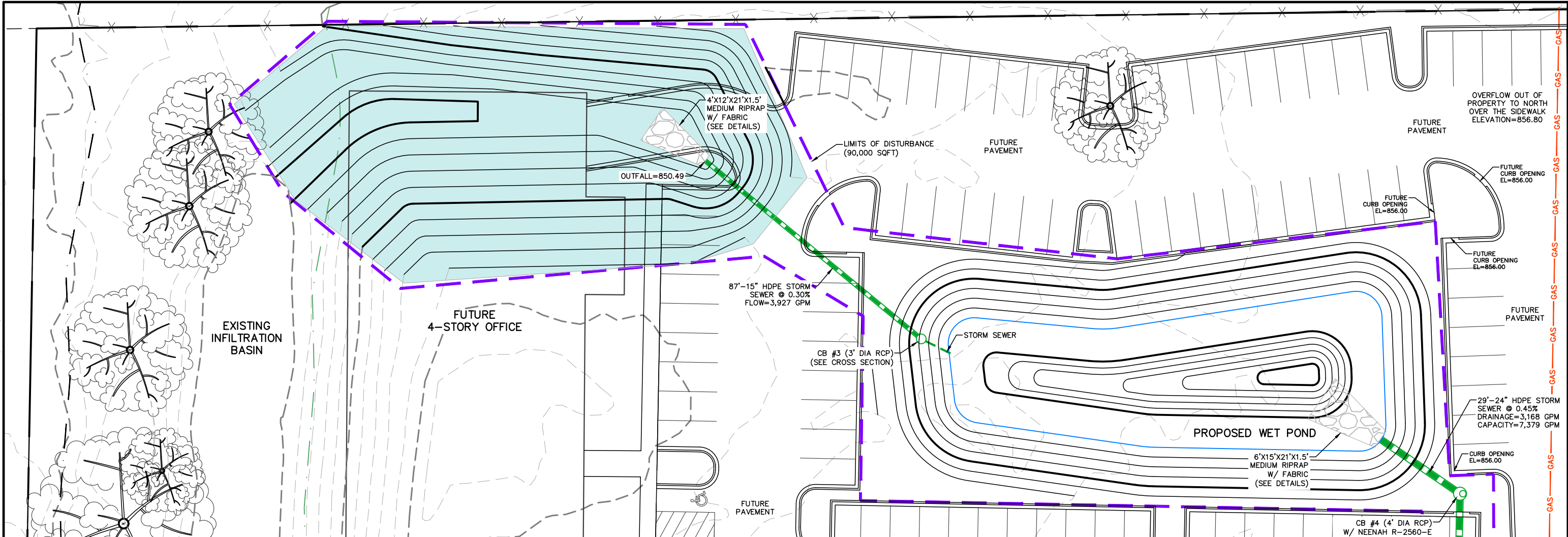
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LEGEND FOR COMMON LINES:

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---	EXISTING BURIED SANITARY SEWER/LATERAL
---	EXISTING BURIED GAS LINE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING BURIED COMMUNICATION LINE





WET POND PEAK ELEVATIONS	
STORM	ELEV
1-YR	853.81
2-YR	853.98
10-YR	854.81
100-YR	856.31
200-YR	856.64

CONTRACTOR SHALL NOTIFY ENGINEER WHEN POND IS GRADED TO FINISH ELEVATIONS FOR AS-BUILT TOPOGRAPHIC COLLECTION. IF PUMPING IS REQUIRED TO ALLOW THE BOTTOM TO BE COLLECTED, CONTRACTOR SHALL ARRANGE FOR PUMPING.

WELL PLAYED, PLAY GYM

WET POND PLAN

SHEET: C-4.1
DATED: MAY 19, 2026

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EROSION NOTES:
 THE STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING PUBLIC STREETS SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 4:1.

ALL DISTURBED AREAS MUST BE TEMPORARILY STABILIZED WITHIN 14 DAYS OF LAST ACTIVITY. ALL DISTURBED AREAS SHOULD BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

PERIMETER CONTROL SHOULD BE INSTALLED AROUND STOCKPILES, AND STOCKPILES SHOULD BE STABILIZED THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE.

TIME SCHEDULE:

APRIL 15, 2026	INSTALL EROSION CONTROL MEASURES.
APRIL 15 - MAY 15, 2026	CONSTRUCT DETENTION POND AND RESTORE DISTURBED AREAS.
MAY 1 - OCTOBER 31, 2026	ROUGH GRADE SITE, EXCAVATE AND CONSTRUCT FOUNDATION, INSTALL SITE UTILITIES, INSTALL PAVEMENT BASE, CONCRETE SIDEWALKS, AND ASPHALT.
SEPTEMBER 1 - 15, 2026	RESTORE ALL REMAINING DISTURBED AREAS (EXCEPT LANDSCAPE BEDS) WITH SEED AND MULCH OR EROSION MAT.
OCTOBER 1 - 31, 2026	INSTALL LANDSCAPE TREES, SHRUBS, EDGING, AND WOOD CHIPS.
SEPTEMBER 15 - NOVEMBER 15, 2026	PERMANENT VEGETATION ESTABLISHMENT PERIOD.
NOVEMBER 15, 2026	REMOVE EROSION CONTROL MEASURES.

RESTORATION NOTES:

RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SLOPES GREATER THAN 20% SHALL BE RESTORED WITHIN 30 DAYS.

ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

FERTILIZER SHALL ME THE FOLLOWING MINIMUM REQUIREMENTS: NITROGEN, NOT LESS THAN 16% PHOSPHORIC ACID, NOT LESS THAN 8% POTASH, NOT LESS THAN 8% FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF TWO (2) TONS PER ACRE.

SEEDING FROM SEPTEMBER 16 THROUGH NOVEMBER 15 SHOULD BE AVOIDED TO PREVENT FREEZING OF NEW GROWTH. ADD WINTER WHEAT SEED AT ONE POUND PER 1,000 SQUARE FEET FOR SEEDING AFTER NOVEMBER 15.

OWNER:

EZRA PROPERTIES, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI, 53558

ENGINEER:

QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

UTILITY NOTES:

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

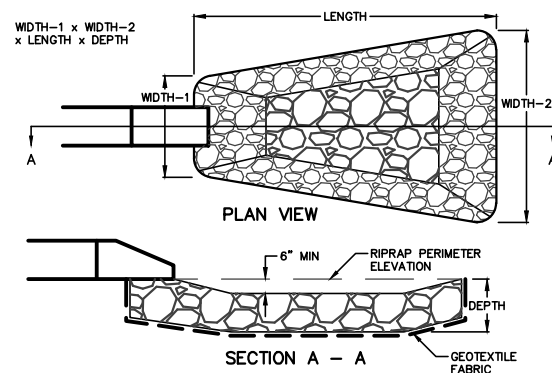
PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 12" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

ALL WATER SERVICES, PRIVATE WATER MAIN, FIRE HYDRANTS AND VALVES WITHIN THE DEVELOPMENT SHALL BE INSTALLED IN ACCORDANCE WITH VILLAGE OF WINDSOR STANDARD MATERIALS AND INSTALLATION REQUIREMENTS.

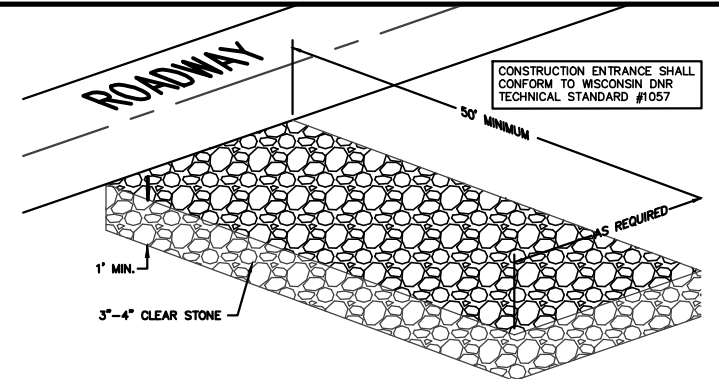


% PASSING BY WEIGHT	SIZE (INCHES)
100	20
50-85	15
20-50	10
5-20	5
0-5	2

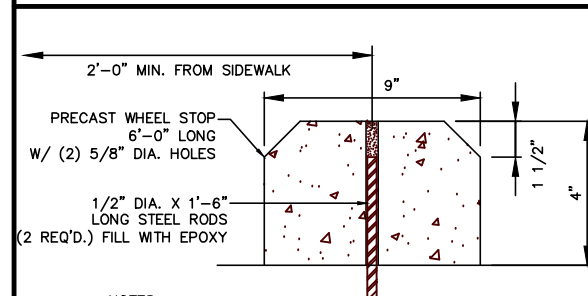
SIZES CALCULATED IN BEST D.5.2

RIPRAP SHALL BE PLACED AS DEFINED IN SECTION 606 OF WISCONSIN D.O.T. SPECIFICATIONS. STONE PIECES SHALL BE WELL GRADED, RANGING IN DIAMETER AS DESCRIBED IN THE ADJACENT CHART.

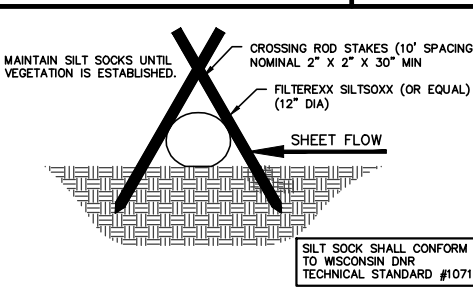
DETAIL 1.4: RIPRAP DETAIL



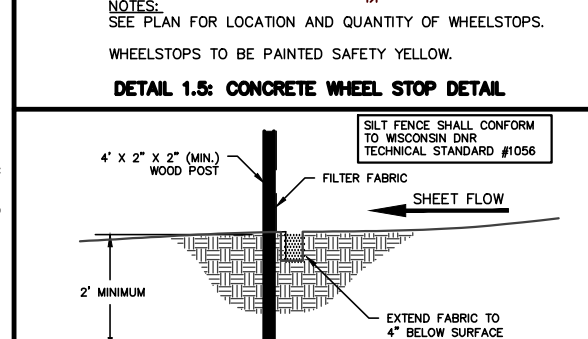
DETAIL 1.9: STONE CONSTRUCTION ENTRANCE



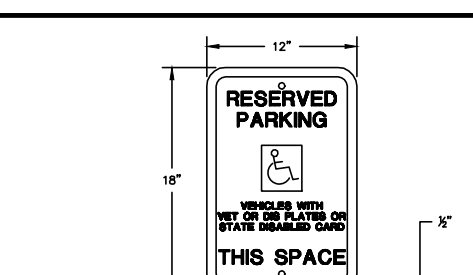
DETAIL 1.5: CONCRETE WHEEL STOP DETAIL



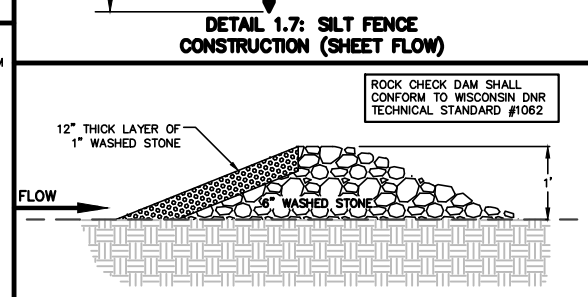
DETAIL 1.6: SILT SOCK DETAIL



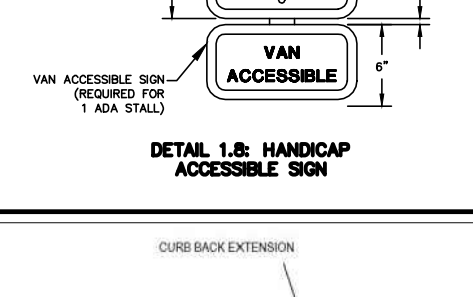
DETAIL 1.7: SILT FENCE CONSTRUCTION (SHEET FLOW)



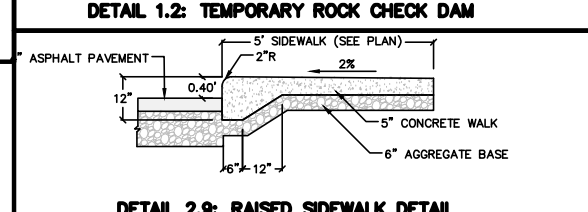
DETAIL 1.8: HANDICAP ACCESSIBLE SIGN



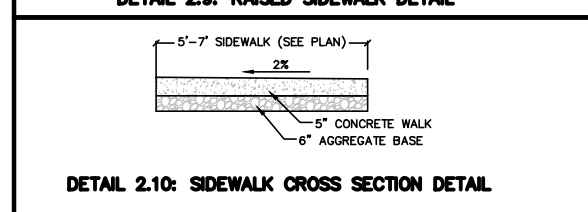
DETAIL 1.2: TEMPORARY ROCK CHECK DAM



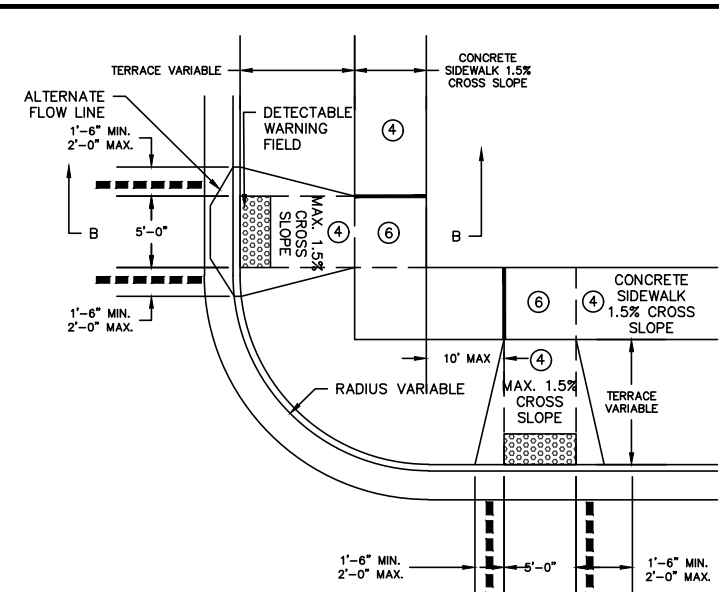
DETAIL 2.8: FLEXSTORM INLET PROTECTION DETAIL



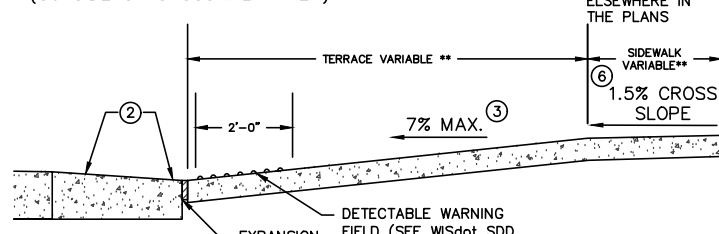
DETAIL 2.9: RAISED SIDEWALK DETAIL



DETAIL 2.10: SIDEWALK CROSS SECTION DETAIL



PLAN VIEW TYPE 3 RAMP (OUTSIDE OF CROSSWALK AREA)

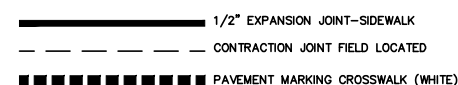


DETAIL 1.10: CURB RAMP

AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTION IN FRONT OF RAMP ACCESS AREAS.

DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL BE FROM THE SAME MANUFACTURER.

- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE ALLOWED. SLOPE OF CURB HEAD OPENING SHALL MATCH THE RAMP SLOPE, MINIMALLY 1.5% AND NOT TO EXCEED 7%. WHEN ADJACENT TO 1.5% LANDING, CONSTRUCT CURB HEAD OPENING AT 1.5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD LANDING SIZE IS 5 FEET X 5 FEET.

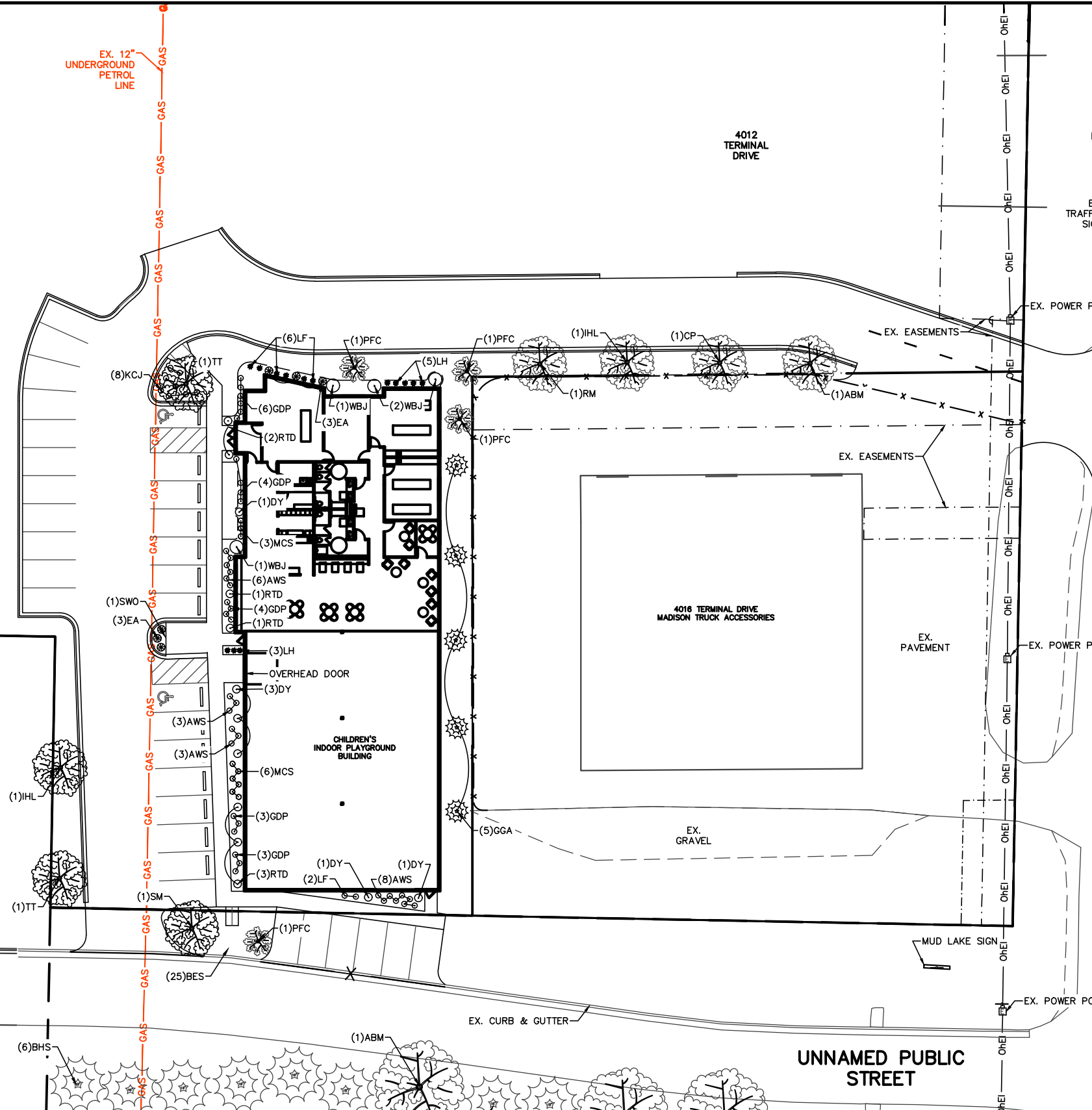


WELL PLAYED, PLAY GYM

DETAILS

SHEET: C-6
 DATED: MAY 19, 2026

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



Landscape Worksheet
Well Played, Play Gym

Site Measurement	Minimum Landscape Points for C-H	Points Required
Building Foundation (FT)	477 20 per 100 FT	96
Gross Floor Area (SF)	11500 5 Per 1,000 SF	58
Street Frontage (FT)	135 20 per 100 FT	27
Paved Area (SF)	17638.1 40 per 10,000 SF	71
Well Played, Play Gym Total Points Required		252
Well Played, Play Gym Points Provided		1028
Entrance Points Provided		760
Total Points Provided		1788

Well Played, Play Gym Landscape Plant List

KEY	QUANTITY	SIZE	COMMON NAME	ROOT	POINTS	
Large Deciduous Trees (40 Points)						
IHL	1	2"	Imperial Honey Locust	BB	40	
SM	1	2"	Sugar Maple	BB	40	
SWO	1	2"	Swamp White Oak	BB	40	
TT	2	2"	Tulip Tree	BB	80	
Low Deciduous Trees (15 Points)						
FFC	4	1 1/2'	Prairie Fire Crab	BB	60	
Tall Deciduous Shrubs (5 Points)						
RTD	7	24"	Red Twig Dogwood	Pot	35	
Low Deciduous Shrubs (1 Points)						
AWS	20	18"	AW Spirea	Pot	20	
GDP	20	18"	God Drop Potentilla	Pot	20	
MCS	9	18"	Magic Carpet Spirea	Pot	9	
Tall Evergreen Trees (30 Points)						
GGA	5	2"	Green Giant Arborvitae	BB	150	
Medium Evergreen Shrub (5 Points)						
EA	6	4'	Emeral Arborvitae	BB	30	
KCJ	8	18"	Kallay's Compact Juniper	Con	40	
WBJ	4	5'	Wichita Blue Juniper	BB	20	
DY	6	24"	Densiform Yew	Con	30	
Perennials						
LF	8	1G	Lady Fern	Con		
LH	8	1G	Loyalist Hosta	Con		
BES	25	1G	Black Eyed Susans	Con		
					Total Points Provided	1028

Entrance Landscape Plant List

KEY	QUANTITY	SIZE	COMMON NAME	ROOT	POINTS	
Large Deciduous Trees (40 Points)						
ABM	2	2"	Autumn Blaze Maple	BB	80	
CP	2	2"	Common Planetree	BB	80	
IHL	1	2"	Imperial Honey Locust	BB	40	
RM	2	2"	Red Maple	BB	80	
Tall Evergreen Trees (30 Points)						
BHS	8	2"	Black Hills Spruce	BB	240	
					Total Points Provided	760

LEGEND FOR COMMON LINES:

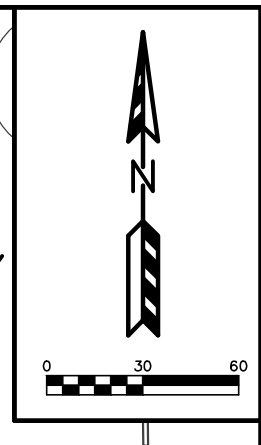
- - - 856 - - - EXISTING MINOR CONTOUR
- - - 855 - - - EXISTING MAJOR CONTOUR
- — — — — PROPERTY LINE
- — — — — ROAD RIGHT-OF-WAY
- - - - - EASEMENT LINE
- - - - - EXISTING TREE LINE
- - - - - EXISTING FENCE
- - - - - EXISTING BURIED WATER MAIN/SERVICE
- - - - - EXISTING BURIED SANITARY SEWER/LATERAL
- - - - - EXISTING BURIED GAS LINE
- - - - - EXISTING OVERHEAD ELECTRIC LINE
- - - - - EXISTING BURIED COMMUNICATION LINE

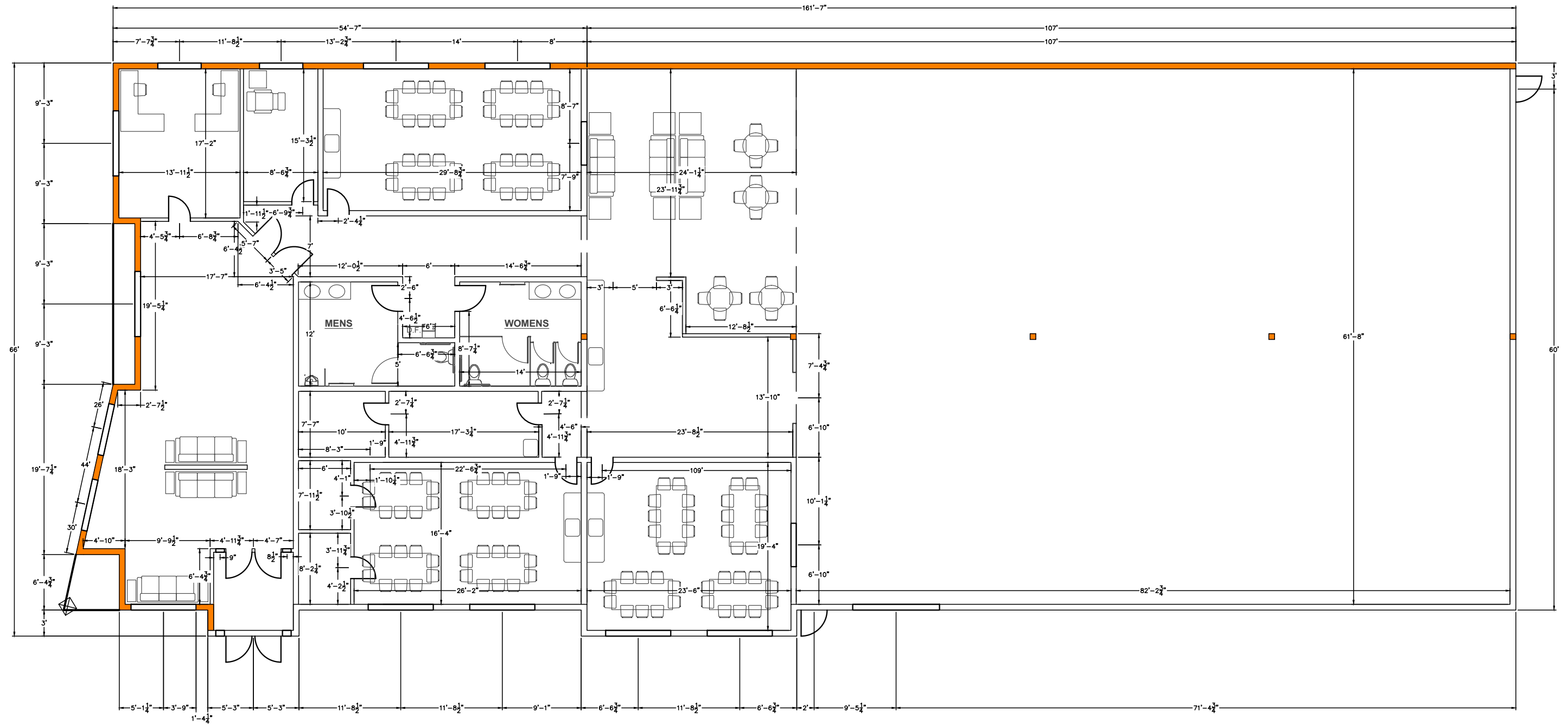
WELL PLAYED, PLAY GYM
LANDSCAPE PLAN

SHEET: L-1
DATED: MAY 19, 2026

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Residential and Commercial Site Design Consultants
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Phone (608) 838-7750; Fax (608) 838-7752





WELL PLAYED - PLAY GYM

FIRST FLOOR PLAN

SHEET: A1.0

DATED: JANUARY 30, 2026

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

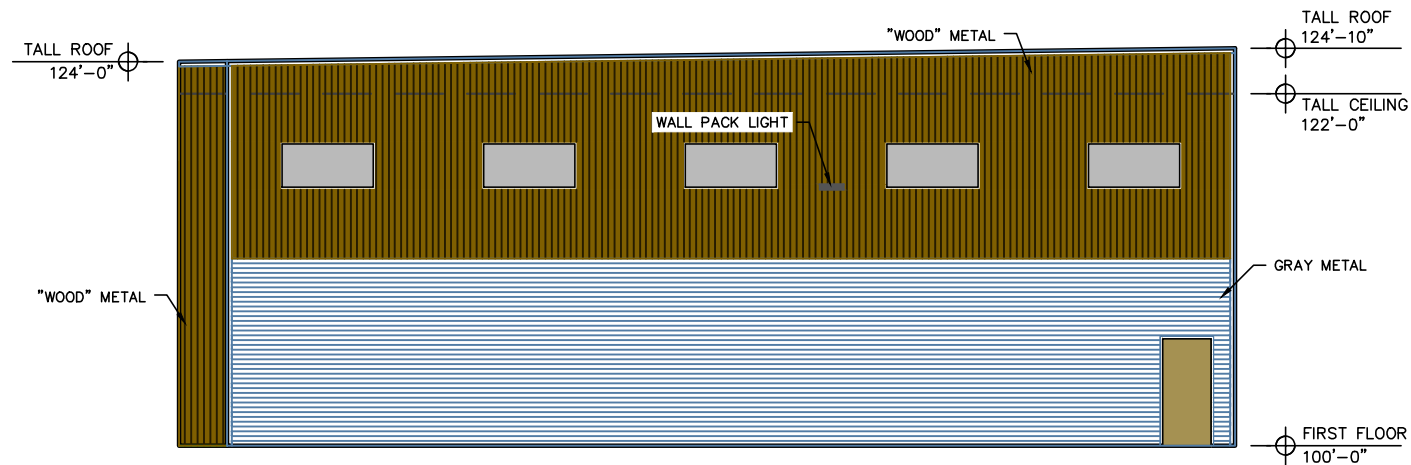


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WEST ELEVATION



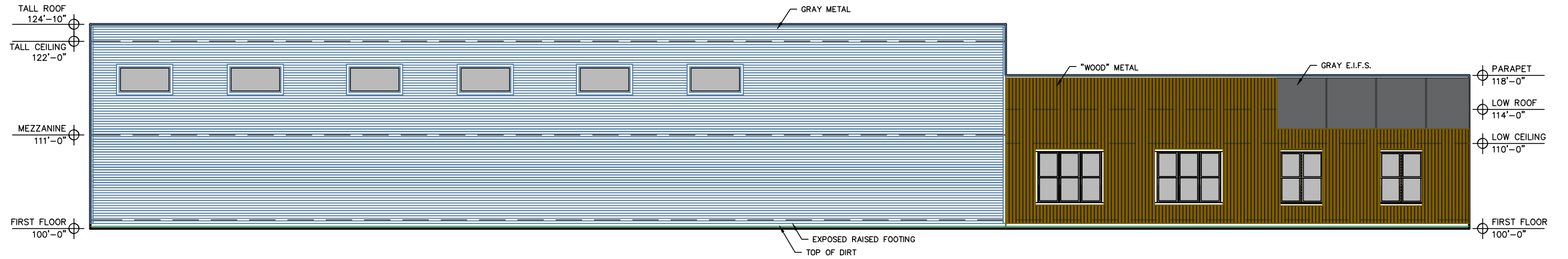
SOUTH ELEVATION

WELL PLAYED - PLAY GYM
ELEVATION DRAWINGS

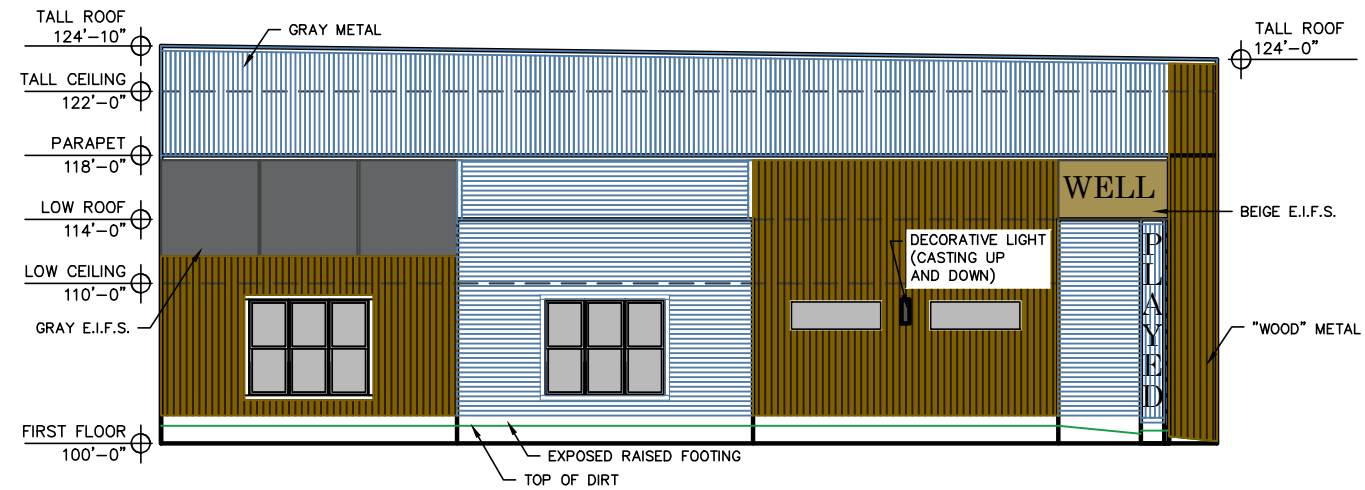
SHEET: A2.0
DATED: JANUARY 30, 2026

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EAST ELEVATION



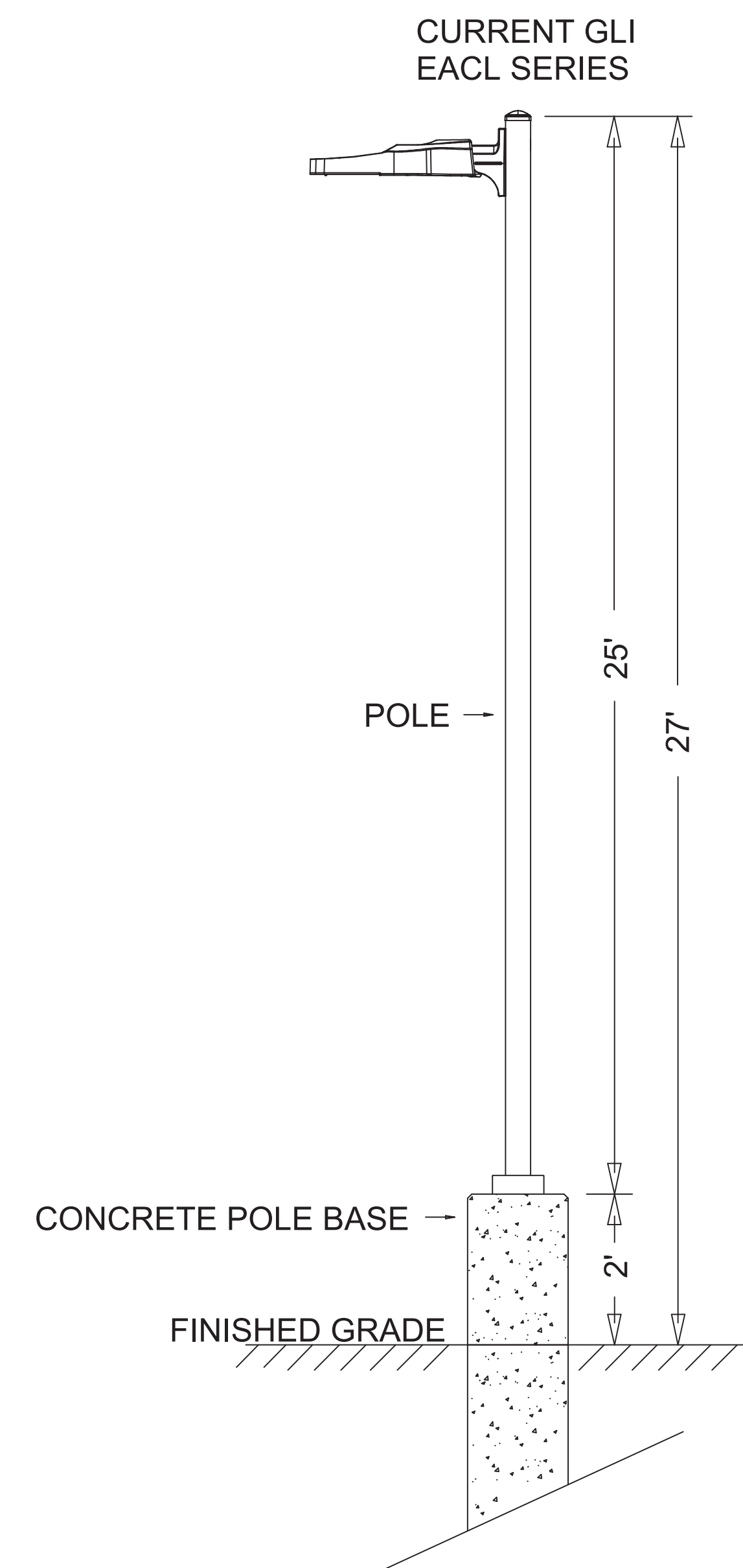
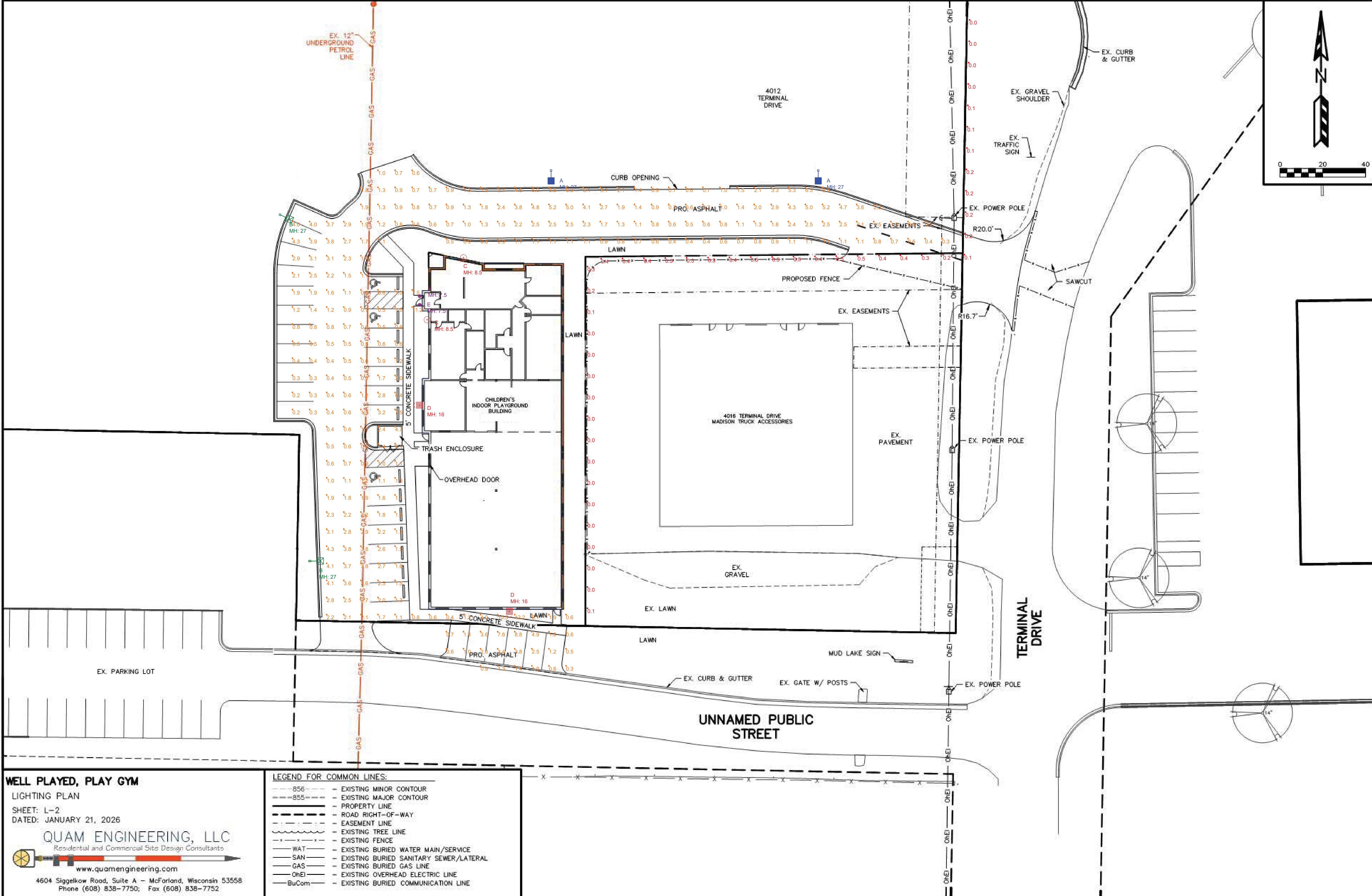
NORTH ELEVATION

WELL PLAYED - PLAY GYM
ELEVATION DRAWINGS

SHEET: A2.1
DATED: JANUARY 30, 2026



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Phone (608) 838-7750; Fax (608) 838-7752



WELL PLAYED, PLAY GYM
 LIGHTING PLAN
 SHEET: L-2
 DATED: JANUARY 21, 2026

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

LEGEND FOR COMMON LINES:

- - - - - 856 - EXISTING MINOR CONTOUR
- - - - - 855 - EXISTING MAJOR CONTOUR
- - - - - - - - - PROPERTY LINE
- - - - - - - - - ROAD RIGHT-OF-WAY
- - - - - - - - - EASEMENT LINE
- - - - - - - - - EXISTING TREE LINE
- - - - - - - - - EXISTING FENCE
- - - - - - - - - WAT - EXISTING BURIED WATER MAIN/SERVICE
- - - - - - - - - SAN - EXISTING BURIED SANITARY SEWER/LATERAL
- - - - - - - - - GAS - EXISTING BURIED GAS LINE
- - - - - - - - - OHEI - EXISTING OVERHEAD ELECTRIC LINE
- - - - - - - - - BuCom - EXISTING BURIED COMMUNICATION LINE

FIXTURE MOUNTING HEIGHT: SHOWN AS "MH" IN FEET ABOVE GRADE

Symbol	Label	Qty	Arrangement	Manufacturer	Description	Luminaire Watts	Luminaire Dimming	Luminaire Lumens	LLF
■	A	2	Single	VERSALD	EACL010P2AN7400DD1DKBZ + SSS2540A1E2DKBZ	122	0-10V	15100	0.890
■	B	2	Single	VERSALD	EACL010P3AN7400DD1DKBZ + SSS2540A1E2DKBZ	122	0-10V	15300	0.890
○	C	2	Single	NORA	NYUD-3L1346BZ 4000K	35	0-10V	1446	0.890
■	D	2	Single	VERSALD	WP28-C-1L-0T-40K 4000K	72	0-10V	8568	0.890
■	E	2	Single	VERSALD	RCAN11-EN-4-1L-0T-SCT + ARC-EN-NCP	19	0-10V	1900	0.890

MAINTAINED FOOTCANDLES SHOWN AT GRADE

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Areas	Fc	1.94	12.2	0.2	9.70	61.00
Property Lines	Fc	0.19	0.5	0.0	N.A.	N.A.

ERI ENGINEERED REPRESENTATION INC.
 www.engineeredrepinc.com
 262.542.6285 Wauwatosa
 920.751.3922 Neenah
 apps@eriwi.com

Date: 1/27/2026 Scale: 1"=20' Layout By: Andy
 Project: WELL PLAYED - MCFARLAND, WI
 Filename: 260121QU1AKCR2.AGI

LIGHT LEVELS SHOWN ARE STRICTLY FOR PURPOSES OF ESTIMATING BILL OF MATERIALS AND THE RESULTS ARE BASED ON PROJECT DETAILS GIVEN TO ENGINEERED REPRESENTATION INC. / WALLACK DAVIES & COMPANY LLC. BEFORE OCCUPANCY OF SPACE. ALL PROJECT DETAILS AND LIGHT LEVELS SHOULD BE VERIFIED TO COMPLY WITH SAFETY AND MUNICIPAL CODES.



CUSTOMER NAME _____
 PROJECT NAME _____
 DATE _____ TYPE _____
 CATALOG NUMBER _____

SSSE Series Poles

Square | Straight | Steel

Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location.

Construction

Shaft:	One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
Base Cover:	Two-piece square aluminum base cover included standard
Pole Cap:	Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
Hand Hole:	Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
Anchor Bolts:	Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling
Anchor Bolt Part Numbers:	<ul style="list-style-type: none"> • 3/4 x 30 x 3 — TAB-30-M38 • 1 x 36 x 4 — TAB-36-M38

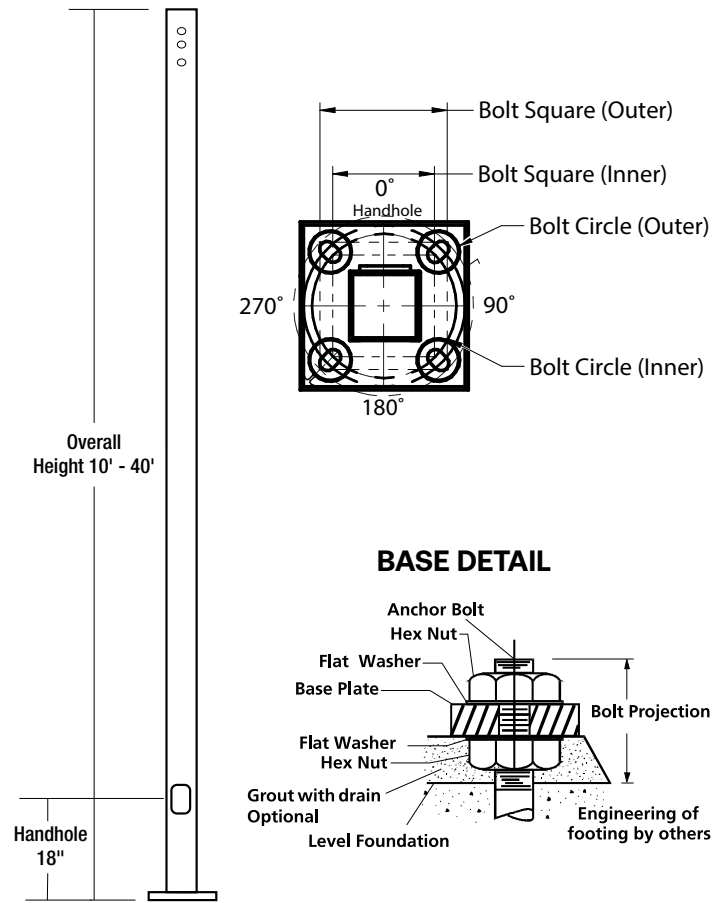
Finish

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

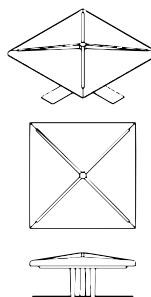


10 Day - Evolve Express Ship Program

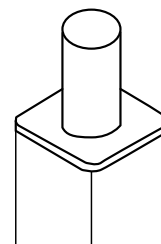
- Ships in 10 days
- Limit of 15 poles



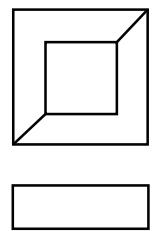
POLE CAP



TENON



BASE COVER



CUSTOMER NAME _____
 PROJECT NAME _____
 DATE _____ TYPE _____
 CATALOG NUMBER _____

Example: SSSE25-40A-2-E2-DKBZ-UL

SSSE

E2

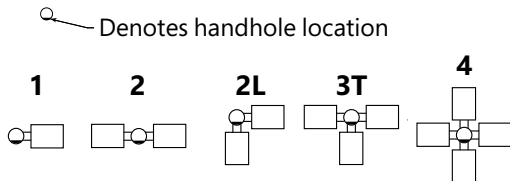
SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	POLE DRILLING	FINISH	OPTIONS
SSSE = Evolve Square Straight Steel Pole EXS	10=10 ft.	40=4" Square	A=0.125"	1 = Single arm mount EXS	E2 = Evolve Square Pole E17 = Evolve Round Pole UDP01⁵ = 3/8in HDW range 1.69 - 2.24 UDP02⁵ = 1/2in HDW range 1.69 - 2.24 UDP03⁵ = 3/8in HDW range 2.25 - 2.99 UDP04⁵ = 1/2in HDW range 2.25 - 2.99 UDP05⁵ = 3/8in HDW range 3.00 - 3.75 UDP06⁵ = 9/16in HDW range 3.00 - 3.75 UDP07⁵ = 3/8in HDW range 3.76 - 4.49 UDP08⁵ = 9/16in HDW range 3.76 - 4.49 UDP09⁵ = 3/8in HDW range 4.50 - 5.49 UDP10⁵ = 9/16in HDW range 4.50 - 5.49 UDP11⁵ = 3/8in HDW range 5.50 - 6.00 UDP12⁵ = 9/16in HDW range 5.50 - 6.00	DKBZ = Dark Bronze EXS BLCK = Black GRAY = Gray <i>* Contact factory for custom color options</i>	GFI² = 20 Amp GFCI Receptacle and Cover EHH² = Extra Handhole C05² = 0.5" Coupling C07² = 0.75" Coupling C20² = 2" Coupling MPB² = Mid-pole Luminaire Bracket VM1 = 1st mode vibration damper EXS VM2⁶ = 2nd mode vibration damper EXS LAB = Less Anchor Bolts EXS UL = UL Certified
	12=12 ft.	40=4" Square	A=0.125"	2 = Two fixtures at 180° EXS			
	14=14 ft.	40=4" Square	A=0.125" B=.188"	2L = Two fixtures at 90° EXS			
	16=16 ft.	40=4" Square	A=0.125" EXS B=.188"	3T = Three fixtures at 90° EXS			
		50=5" Square	B=.188"	4 = Four fixtures at 90° EXS			
	18=18 ft.	40=4" Square	A=0.125" EXS B=.188"	TA ³ = Tenon (2.38" OD x 4" Tall) EXS			
		50=5" Square	B=.188"	TB ³ = Tenon (2.88" OD x 4" Tall) EXS			
		60=6" Square	B=.188" C=.25"	TC ³ = Tenon (3.5" OD x 6" Tall)			
	20=20 ft.	40=4" Square	A=0.125" EXS B=.188"	TR ¹ = Removable Tenon (2.38" x 4") EXS			
		50=5" Square	B=.188"	OT = Open Top (includes pole cap) EXS			
		60=6" Square	B=.188"				
	25=25 ft.	40=4" Square	A=0.125" EXS B=.188"				
		50=5" Square	B=.188"				
		60=6" Square	B=.188" C=.25"				
	30=30 ft.	40=4" Square	B=.188" EXS				
		50=5" Square	B=.188" EXS C=.25"				
60=6" Square		B=.188"					
35=35 ft.	60=6" Square	B=.188"					
40=40 ft.	60=6" Square	B=.188"					

NOTES:

- Removable tenon used in conjunction with side arm mounting. First specify desired arm.
- Specify option location using MOUNTING ORIENTATION logic shown on this page.
- Not available with VM1 - Mode Vibration Damper.
- VM1 recommended on poles 20' and taller with EPA of less than 1. Field installed.
- UDP allow mounting of most popular fixtures on the market
- Factory Installed.
- Must be used with EAP1 area light with universal arm mount. EAP1 is not compatible with E2 drill pattern. For other Evolve fixtures, recommend E2 drill pattern on square poles.

EXS Indicates availability in the **EXS 10 Day Evolve Express Ship Program**

Mounting Orientation



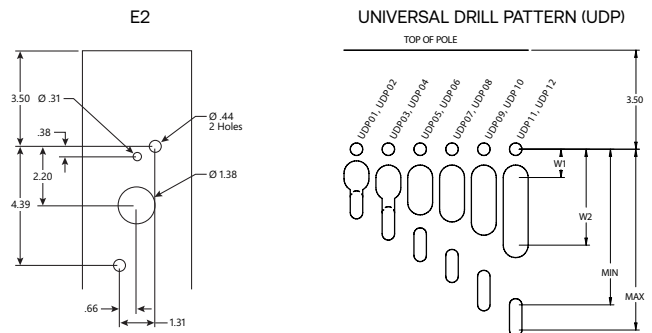
Accessories- Order Separately

CATALOG NUMBER	DESCRIPTION
VM1 ³	1st mode vibration damper
VM2SXX*	2nd mode vibration damper

* XX = 08 for 8', 12 for 12', 15 for 16', 20 for 20', and 24' for 24'.

Note: Field Installed through handhole

Drill Patterns



MOUNTING HARDWARE	Universal Mounting Patterns					
	UDP01	UDP02	UDP03	UDP04	UDP05	UDP06
3/8" x 1/2"	UDP01	UDP02	UDP03	UDP04	UDP05	UDP06
7/16" x 1/2"	UDP07	UDP08	UDP09	UDP10	UDP11	UDP12
*BODY ATTACHMENT DIMENSIONS	1.89	2.25	3.00	3.76	4.50	5.50
*MAX ATTACHMENT DIMENSIONS	2.24	2.89	3.73	4.63	5.49	6.50
W1 (Wireway min)	0.85	1.00	1.00	1.00	1.00	1.00
W2 (Wireway max)	1.05	1.84	1.88	2.13	2.60	3.00

CATALOG NUMBER	HEIGHT		NOMINAL SHAFT DIMENSIONS	WALL THICKNESS	BOLT CIRCLE (SUGGESTED)	BOLT CIRCLE (RANGE)	BOLT SQUARE (RANGE)	BASE PLATE SQUARE	ANCHOR BOLT SIZE	BOLT PROJECTION	POLE WEIGHT
	FEET	METERS									
SSSE10-40A	10	3.0	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	77
SSSE12-40A	12	3.7	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	90
SSSE14-40A	14	4.3	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	103
SSSE16-40A Exs	16	4.9	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	116
SSSE18-40A Exs	18	5.5	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	129
SSSE20-40A Exs	20	6.1	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	142
SSSE25-40A Exs	25	7.6	4" square	0.125"	9"	8"-10"	5.66"-7.07"	9"	3/4"x30"x3"	3.5	175

SSSE14-40B	14	4.3	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	152
SSSE16-40B	16	4.9	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	171
SSSE18-40B	18	5.5	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	190
SSSE20-40B	20	6.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	209
SSSE25-40B	25	7.6	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	257
SSSE30-40B Exs	30	9.1	4" square	.188"	11"	10"-12"	7.07"-8.48"	10.50"	3/4"x30"x3"	3.5	304

SSSE16-50B	16	4.9	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	219
SSSE18-50B	18	5.5	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	243
SSSE20-50B	20	6.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	267
SSSE25-50B	25	7.6	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	327
SSSE30-50B Exs	30	9.1	5" square	.188"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	387

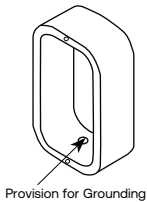
SSSE25-50C	25	7.6	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	427
SSSE30-50C	30	9.1	5" square	.25"	11"	10.25"-13.25"	7.25"-9.37"	11.50"	1"x36"x4"	4.5	507

SSSE20-60B	20	6.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	329
SSSE25-60B	25	7.6	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	404
SSSE30-60B	30	9.1	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	479
SSSE35-60B	35	10.7	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	554
SSSE40-60B	40	12.2	6" square	.188"	12"	11.00"-13.25"	7.81"-9.37"	12.25"	1"x36"x4"	5.0	629

NOTES:

1. Factory supplied template must be used when setting anchor bolts. Current will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

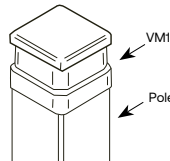
**EHH
EXTRA
HANDHOLE**



**C05 - C07
- C20 -
COUPLING**



**VM1 -
VIBRATION DAMPER
1ST MODE**



Field Installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 20' and taller with a total EPA of 1.0 or

**VM2 -
VIBRATION DAMPER 2ND
MODE**



Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

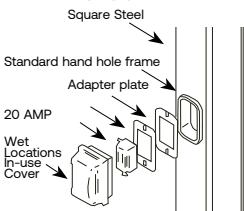
**VM2SXX -
VIBRATION DAMPER
2ND MODE**



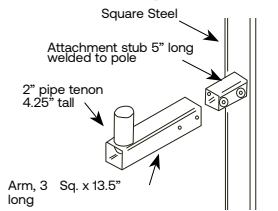
VM2S08 - 8'
VM2S12 - 12'
VM2S16 - 16'
VM2S20 - 20'
VM2S24 - 24'

Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.

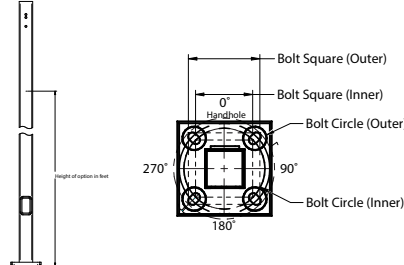
**GFI - 20 AMP
GFCI RECEPTACLE
& COVER**



**MPB -
MID POLE
BRACKET**



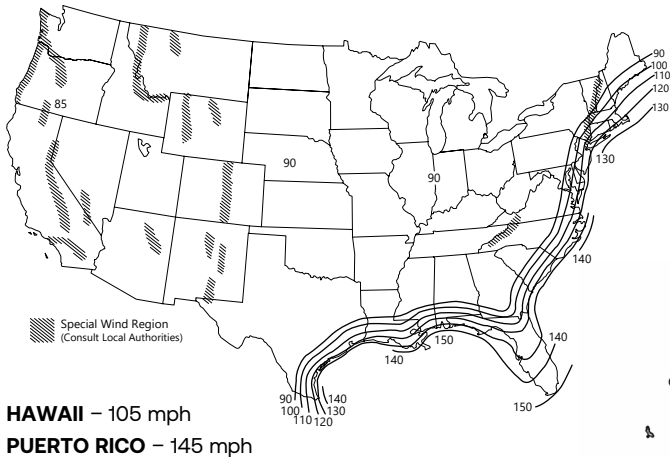
OPTION ORIENTATION



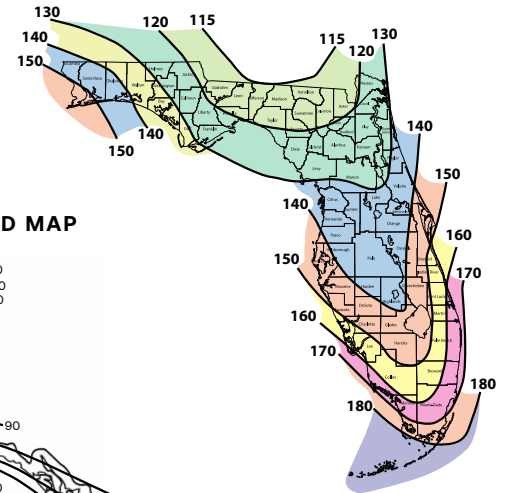
Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet).

Example:
Option C07 should be ordered as: SSSE20-40A-TA-E2-DBT-C07-0-15 (.5 coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.

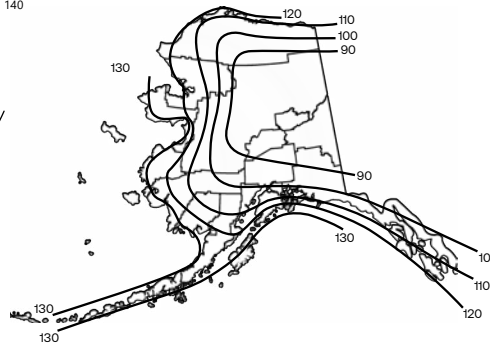
ASCE7-05 WIND MAP



FLORIDA REGION WIND MAP



ALASKA REGION WIND MAP



Florida region wind map above is based upon 3-second gust winds and the 2017 Florida Building Code

*Printed with permission from ASCE

ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds (Use for all locations except Florida)										
Catalog Number	85	90	100	105	110	120	130	140	145	150
SSSE10-40A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSSE12-40A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSSE14-40A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSSE16-40A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSSE18-40A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSSE20-40A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSSE25-40A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds (Use for Florida only)								
Catalog Number	115	120	130	140	150	160	170	180
SSSE10-40A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSSE12-40A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSSE14-40A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSSE16-40A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSSE18-40A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSSE20-40A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSSE25-40A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR

SSSE14-40B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSSE16-40B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSSE18-40B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSSE20-40B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSSE25-40B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSSE30-40B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR

SSSE14-40B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSSE16-40B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSSE18-40B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSSE20-40B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSSE25-40B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSSE30-40B	3.2	2.1	NR	NR	NR	NR	NR	NR

SSSE16-50B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSSE18-50B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSSE20-50B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSSE25-50B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSSE30-50B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR

SSSE16-50B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSSE18-50B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSSE20-50B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSSE25-50B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSSE30-50B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSSE25-50C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSSE30-50C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR

SSSE20-60B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSSE25-60B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSSE30-60B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSSE35-60B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSSE40-60B	8.1	5.8	2.2	NR	NR	NR	NR	NR	NR	NR

SSSE20-60B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSSE25-60B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SS-E30-60B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSSE35-60B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSSE40-60B	1.8	NR	NR	NR	NR	NR	NR	NR

CUSTOMER NAME _____
PROJECT NAME _____
DATE _____ TYPE _____
CATALOG NUMBER _____

Notes

1. Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
2. The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
3. Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
4. Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
5. Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Current's Pole Vibration Application Guide for environmental risk factors and design considerations:
<http://images.salsify.com/image/upload/s--Uk0Lfj10--/bf7prkg0aey64uqoipso>
6. Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

Unwrap poles immediately upon receipt to avoid condensation build up and possible corrosion.

Note: There will be a weld witness mark on the side of the pole with the Factory installed VM2.



CUSTOMER NAME _____
 PROJECT NAME _____
 DATE _____ TYPE _____
 CATALOG NUMBER _____

EACL® Series

LED Area Light/Compact Low Wattage

Current's EAL Series of Area Light Luminaires offer a wide range of optical patterns, color temperatures, lumen packages, and mounting configurations to optimize area light applications, as well as provide versatility in lighting design within the same form factor.

Construction

Housing:	Die-cast aluminum housing with integral heat sink for maximum heat transfer
Paint:	Corrosion resistant polyester powder paint, minimum 2.0 mil thickness Standard = Black, Dark Bronze Gray, White (RAL & custom colors available) Optional coastal finish available.
Weight:	18 lbs (8.16 kg) Max depending on configuration

Optical System

Lumens:	2,900 - 20,400
Distribution:	Asymmetric Forward Type IV Asymmetric Wide Type III Asymmetric Narrow/Auto Type II
Efficacy:	123 - 143 LPW
CCT:	3000K, 4000K, 5000K
CRI:	≥70

Electrical

Input Voltage:	120-277V & 347-480V
Input Frequency:	50/60Hz
Power Factor:	> 90% at rated watts
Total Harmonic Distortion:	< 20% at rated watts

Surge Protection*

TYPICAL (120 STRIKES)	ENHANCED (40 STRIKES)
6kV/3kA*	10kV/5kA*

*Per ANSI C136.2-2015

Warranty

5 Year (Standard)

Lumen Maintenance

Projected Lxx per IES TM-21-11 at 25°C

LUMEN CODES	LXX(10K) @ HOURS		
	25,000 HR	50,000 HR	60,000 HR
A2, A3, A4, B2, B3, B4, C2, C3, C4D2, D3, D4, E2, E3, E4, F2, F3, F4	L94	L90	L88
H2,H3, H4	L97	L96	L96

Note: Projected Lxx based on LM80 (≥ 10,000 hour testing). Accepted Industry tolerances apply to initial luminous flux and lumen maintenance measurements.

Luminaire Ambient Temperature Factor

AMBIENT TEMP (°C)	INITIAL FLUX FACTOR	AMBIENT TEMP (°C)	INITIAL FLUX FACTOR
10	1.02	30	0.99
20	1.01	40	0.98
25	1.00	50	0.97

Ratings

Operating Temperature:	-40°C to 50°C
Vibration:	3G vibration per ANSI C136.31-2018
LM-79:	Testing in accordance with IESNA Standards

Controls

Dimming:	Standard - 0-10V Optional - DALI (Option U)
Sensors:	Photo Electric Sensors (PE) available LightGrid+™ and Daintree Compatible



Not all product variations listed on this page are DLC qualified. Visit www.designlights.org/search to confirm qualifications.

CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

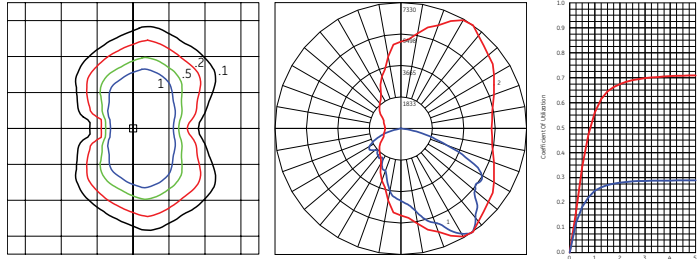
CATALOG NUMBER _____

OPTICAL CODE	DIST CODE	CLASSIFICATION	TYPICAL LUMENS		TYPICAL SYSTEM WATTAGE		BUG RATING	
			3000K	4000K & 5000K	120-277V	347-480V	3000K	4000K & 5000K
A4	AF	TYPE IV	2900	2900	21	23	B1-UO-G1	B1-UO-G1
B4			4900	4900	36	38	B1-UO-G1	B1-UO-G1
C4			7300	7300	55		B1-UO-G2	B1-UO-G2
D4			9800	9800	73		B2-UO-G2	B2-UO-G2
E4			12200	12200	95		B2-UO-G2	B2-UO-G2
F4			14700	14700	122		B2-UO-G2	B2-UO-G2
H4			19000	19000	153		B3-UO-G3	B3-UO-G3
A3			AW	TYPE III	2900	3000	21	23
B3	4900	5100			36	38	B1-UO-G1	B1-UO-G1
C3	7400	7600			55		B1-UO-G2	B1-UO-G2
D3	9900	10200			73		B2-UO-G2	B2-UO-G2
E3	12400	12700			95		B2-UO-G2	B2-UO-G2
F3	14900	15300			122		B2-UO-G2	B2-UO-G2
H3	19300	20400			153		B3-UO-G2	B3-UO-G2
A2	AN	TYPE II			2900	3000	21	23
B2			4900	5000	36	38	B1-UO-G1	B1-UO-G1
C2			7300	7500	55		B2-UO-G1	B2-UO-G2
D2			9800	10100	73		B2-UO-G2	B2-UO-G2
E2			12300	12600	95		B2-UO-G2	B2-UO-G2
F2			14700	15100	122		B3-UO-G2	B3-UO-G3
H2			19100	20200	153		B3-UO-G3	B3-UO-G3

For additional information on Non-Shielded and Shielded EACL IES files, please refer to LED.com

EACL - Type II - Very Short

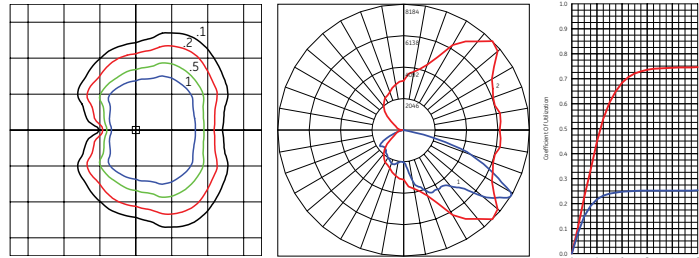
15,100 lumens
EACL01_F2AN750___.IES



Grid Distance in Units of Mounting Height at 20° Initial Footcandle Values at Grade — Vertical plane through horizontal angle of maximum candlepower at XX°
— Vertical plane through horizontal angle of XX°

EACL - Type III - Short

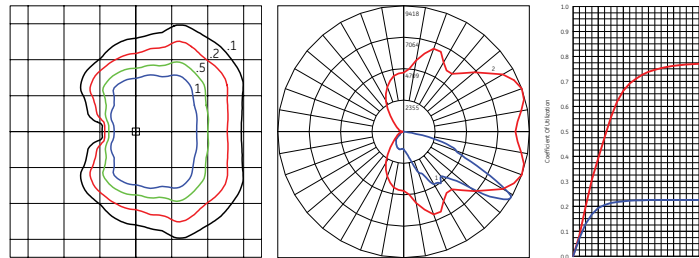
15,300 lumens
EACL01_F3AW750___.IES



Grid Distance in Units of Mounting Height at 20° Initial Footcandle Values at Grade — Vertical plane through horizontal angle of maximum candlepower at XX°
— Vertical plane through horizontal angle of XX°

EACL - Type III - Very Short

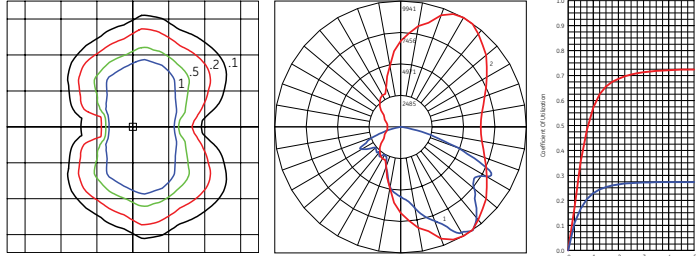
15,000 lumens
EACL01_F4AF750___.IES



Grid Distance in Units of Mounting Height at 20° Initial Footcandle Values at Grade — Vertical plane through horizontal angle of maximum candlepower at XX°
— Vertical plane through horizontal angle of XX°

EACL - Type II - Very Short

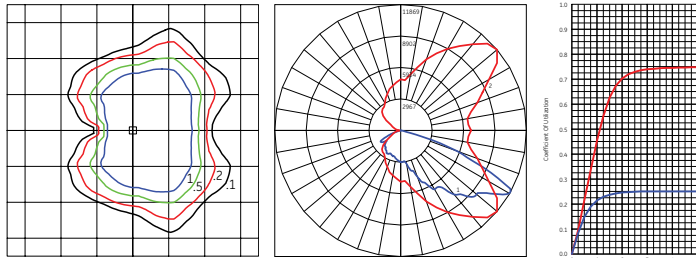
20,200 lumens
EACL01_H2AN750___IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade — Vertical plane through horizontal angle of maximum candlepower at XX°
— Vertical plane through horizontal angle of XX°

EACL - Type III - Short

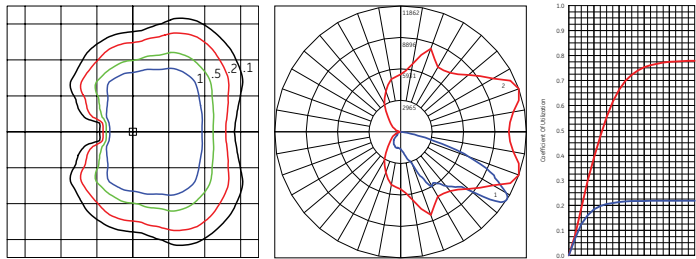
20,400 lumens
EACL01_H3AW750___IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade — Vertical plane through horizontal angle of maximum candlepower at XX°
— Vertical plane through horizontal angle of XX°

EACL - Type IV - Very Short

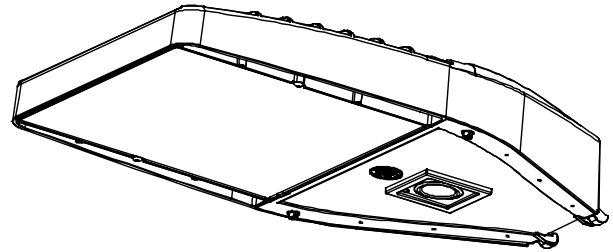
20,000 lumens
EACL01_H4AF750___IES



Grid Distance in Units of Mounting Height at 20' Initial Footcandle Values at Grade — Vertical plane through horizontal angle of maximum candlepower at XX°
— Vertical plane through horizontal angle of XX°

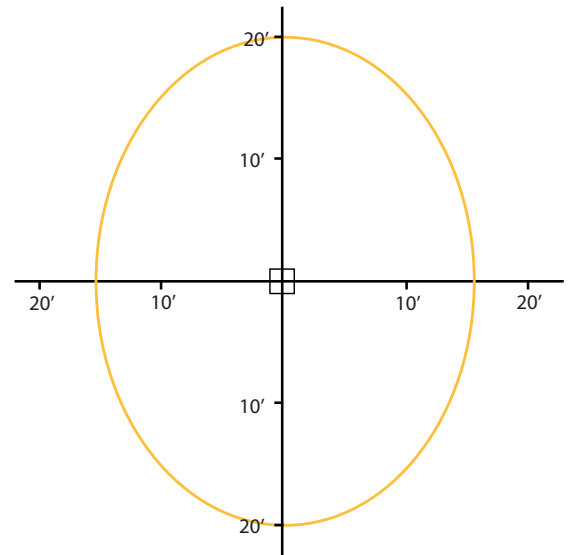
H-Motion Sensing Option

- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Coverage Radius: 15-20' (4.6-6.1 m).
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
 - Output: Occupied - 100%/Unoccupied - 50%
 - Integral PE Sensor.
 - 5 minute post-occupancy time delay, 5 minute dimming ramp-down.
- Fixture power increase of 1W expected with sensor use.



H1/4 - Motion Sensing Option (WattStopper)

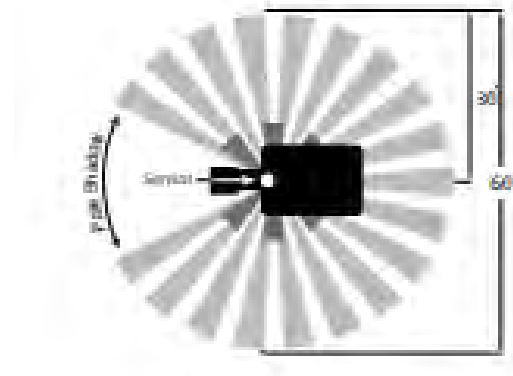
- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Coverage Radius: 15-20' (4.6-6.1 m).
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
 - Output: Occupied - 100%/Unoccupied - 10%
 - PE Sensor: Disabled
 - Ramp/Fade: Disabled
- Adds < 1W to fixture power rating
- Field programmable using FSIR-100 hand held programmer



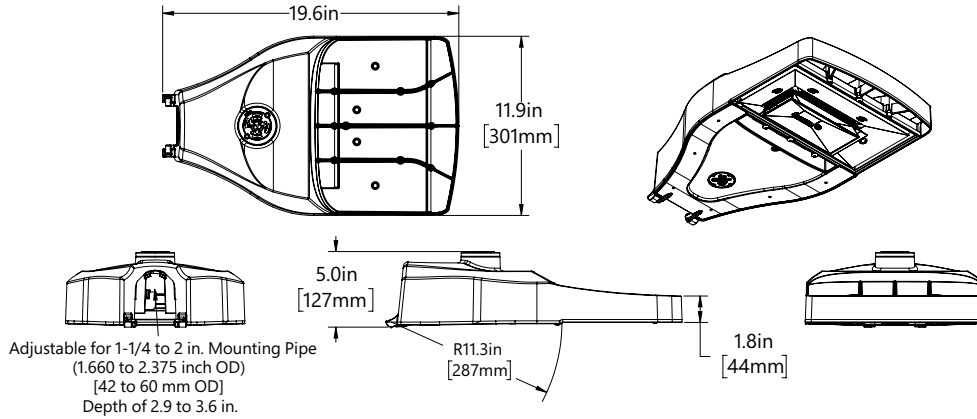
Sensing Pattern Area Fixture
Up to 30 ft. Mounting Height

H2 - Motion Sensing Option (Daintree)

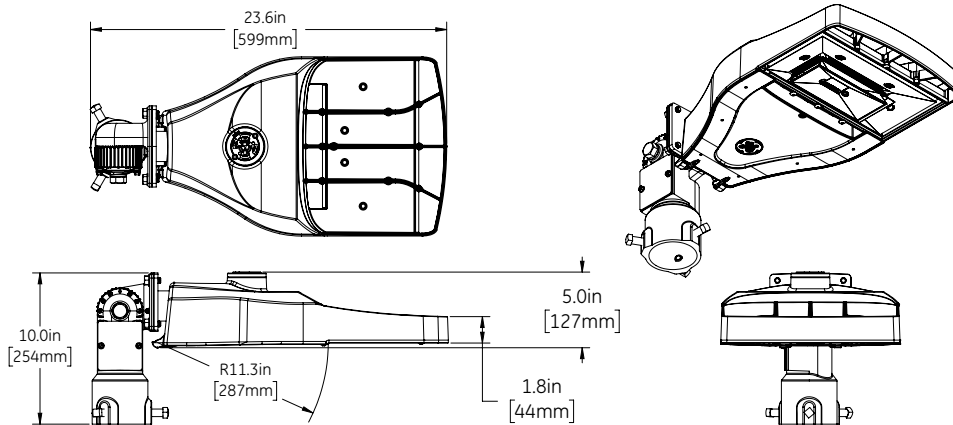
- Recommended Mounting Height: 15-30' (4.6-9.1m)
- For mounting heights exceeding 30 ft., pole mounted sensors are recommended
- Provides a coverage area radius for walking motion of 15-20 ft. (4.57-6.10m)
- Provides 270 degree of coverage (approx 90 is blocked by the pole)
- Default Settings:
 - Output: Occupied - 100%/Unoccupied - 50%
 - PE Sensor: None
 - Ramp/Fade: 5 Minutes/5 Minutes
- Adds < 1W to fixture power rating
- Requires Daintree Enterprise and wide area control (WAC)



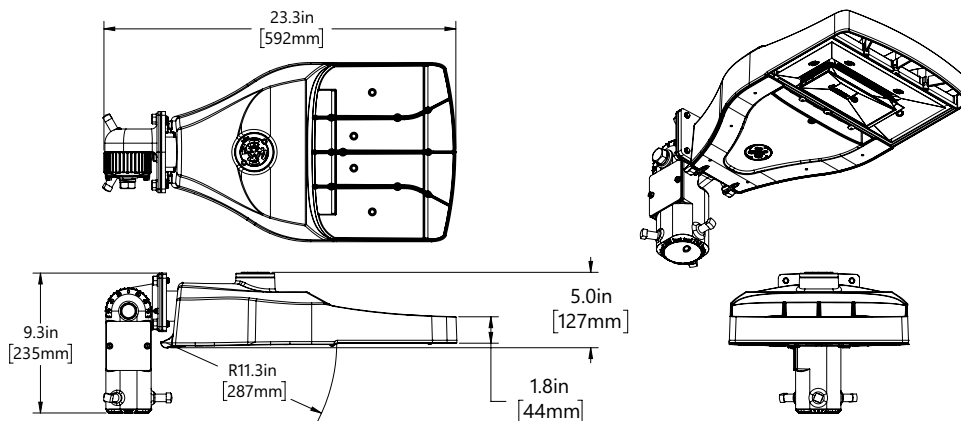
Integral Slipfitter: C1



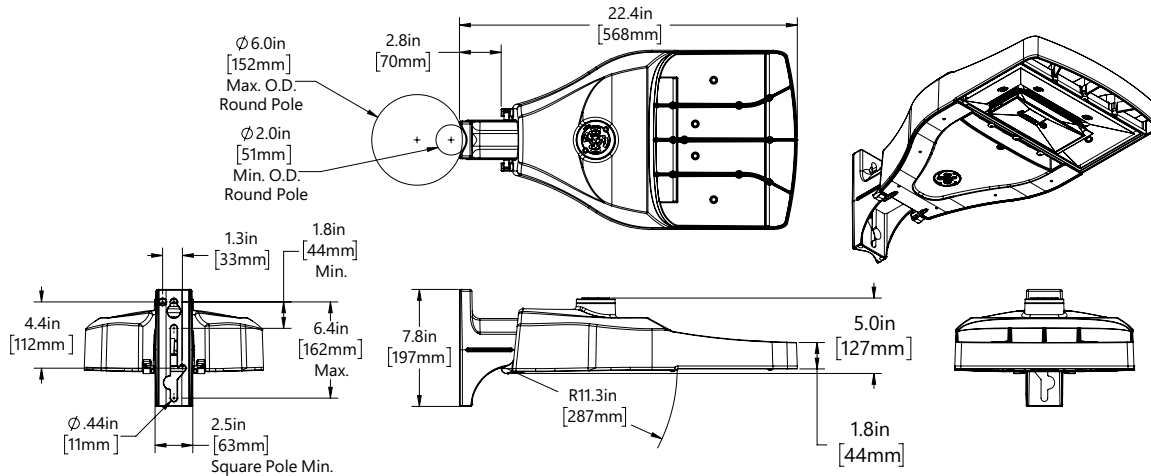
Knuckle Slipfitter: S1



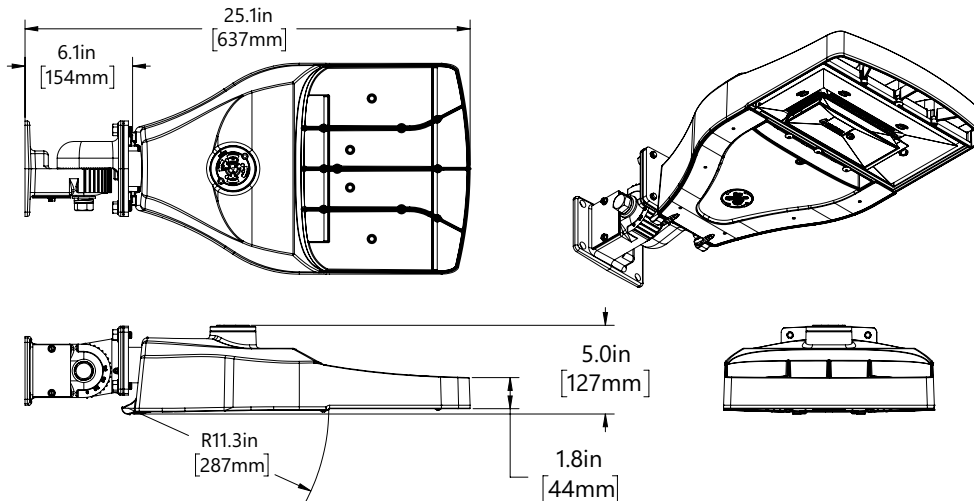
Knuckle Slipfitter: K1



Universal Mounting Arm: D1



Knuckle Wall Mount: V1



Weight

- 18 lbs (8.16 kg) Max depending on configuration

Effective Projected Area

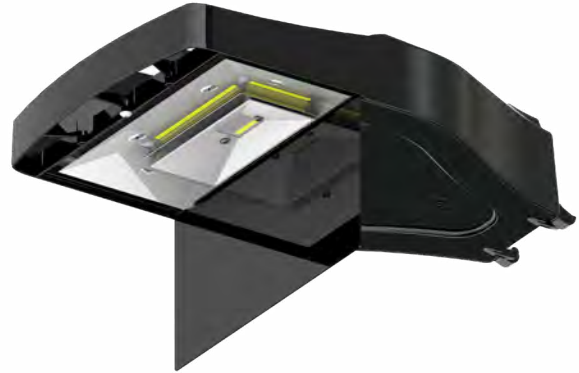
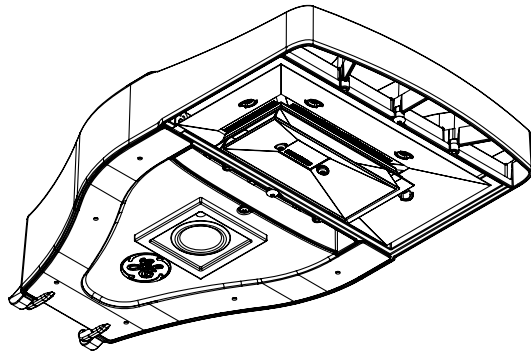
- Integral Slipfitter C1, EPA = 0.31 Min/0.37 Max
- Universal Arm Mount D1, EPA = 0.31 Min / 0.52 Max
- Knuckle Slipfitter S1, K1 downward aim, EPA = 0.46 Min / 0.56 Ma
- Knuckle Slipfitter S1, K1 45° aim, EPA = 0.56 Min / 1.03 Max

CUSTOMER NAME _____

PROJECT NAME _____

DATE _____ TYPE _____

CATALOG NUMBER _____



PE Accessories (To Be Order Separately)

SAP NUMBER	PART NUMBER	DESCRIPTION
93123552	WANSI - 277	ANSI 136.41 Dimming PE Danitree Enable, 105-305V
93123553	WANSI - 480	ANSI 136.41 Dimming PE Danitree Enable, 312-530V
93029237	PED-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V
93029238	PED-347-LED-7	ANSI C136.41 Dimming PE, 347V
93029239	PED-480-LED-7	ANSI C136.41 Dimming PE, 480V

SAP NUMBER	PART NUMBER	DESCRIPTION
28299	PEC0TL	STANDARD 120-277V
28294	PEC5TL	STANDARD 480V
80436	PECDTL	STANDARD 347V
73251	SCCL-PECTL	Shorting cap

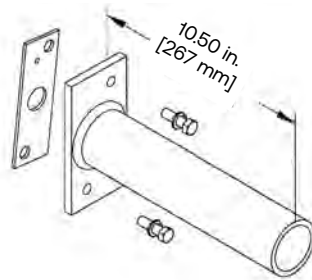
Back Light Shield

SHIELD ORIENTATIONS	CUTOFF DISTANCE	SHIELD ORDER LOGIC
Back	Long	ELS-EACL-RBL-BLCK

Mounting Arms for Slipfitter Order separately with Mounting Option C1 (Slipfitter)

Square pole mounting arm

- 3.5 to 4.5-inch (89 to 114mm) square (will allow 4 fixtures per pole @ 90 degrees.)

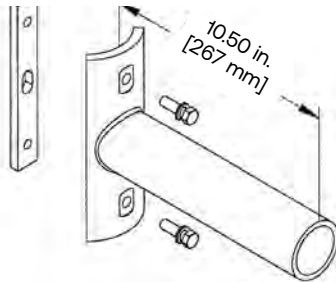


Order separately from fixture as catalog number

- SPA-EAMT10BLCK "Black"
- SPA-EAMT10DKBZ "Dark Bronze"
- SPA-EAMT10WHTE "White"
- SPA-EAMT10GRAY "Gray"

Round Pole Mounting Arm

- 3.5 to 4.5-inch (89 to 114mm) od (will allow 4 fixtures per pole @ 90 degrees.)



Order separately from fixture as catalog number

- RPA-EAMT10BLCK "Black"
- RPA-EAMT10DKBZ "Dark Bronze"
- RPA-EAMT10WHTE "White"
- RPA-EAMT10GRAY "Gray"

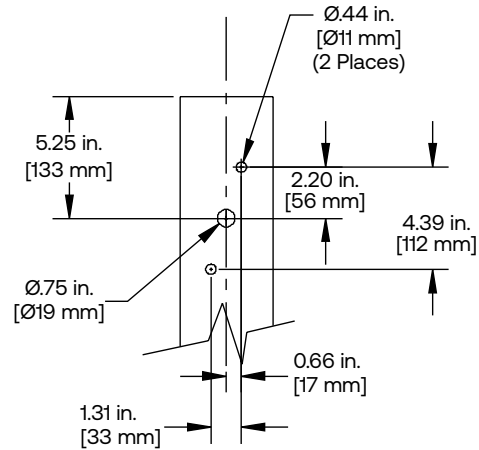
Wall Mounting Bracket Adapter Plate

Order separately from fixture as catalog number
WMB-EAMT06

*NOTE: For Wall Mounting, order luminaire with mounting arm: C1 = Slipfitter 2" Pipe (2.378 in. OD) supplied with leads.

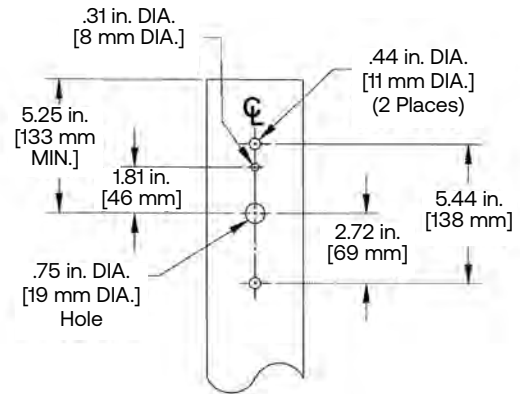
Other mounting patterns are available for retrofit installations. Contact manufacturing for other available mounting patterns.

Square pole mounting drilling template

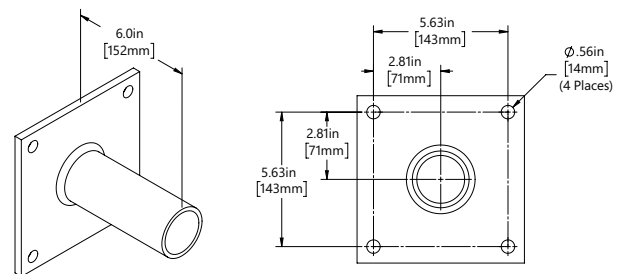


Round Pole Mounting Drilling Template

- 3.5 TO 4.5-inch (89 to 114mm) OD round pole mounting arm



Wall MOUNTING Bracket Hole Pattern



NYUD-3

3" Up & Down Wall Mounted Cylinder

Source: 35W

3000lm (1500lm per side)

Type

Project

Catalog No.

Notes

PRODUCT DESCRIPTION

Architectural grade ADA Compliant up-and-down wall mount cylinder with dedicated LED attached to a deep cone reflector for optimal visual comfort. This minimalist yet versatile design can be changed to single direction or up & downlight. Cylinders also include a selectable CCT switch located on the cover plate.

FEATURES

- Two built-in switches to control direction of light and color temperature
- Selectable CCT (3000K / 4000K / 5000K)
- Versatile up-and-down lighting design (up, down, or both)
- ADA compliant
- Suitable for Indoor/Outdoor applications
- 3 Step SDCM

SPECIFICATION

Construction:

- Extruded aluminum cylinder body
- Die-cast aluminum canopy
- Silicone sealed glass lens in gasketed end caps ensure fixture is watertight
- Durable powder coat finish

Mounting: Cylinder is supplied with hardware to mount directly over junction box. Compatible junction boxes: 4" Square, 4" Octagonal and 3" Octagonal

ELECTRICAL

Input Voltage: 120-277VAC

Lumens / Wattage: 3000lm (1500lm per side) / 35W

Direction of Light: Selectable Direction (up / down / both)

Note: Preset to indirect & direct position

Color Rendering Index: 90+ CRI

Beam Spread: 31° Narrow Flood

Color Temperature: Selectable CCT: 3000K / 4000K / 5000K (*Note: Preset to 3000K*)

Operating Temperature: 0-40°C

Dimming: 0-10V

Lifetime: 55,000 hours @ L70

EMERGENCY BATTERY BACKUP

NEPK-20LEDUNV: 20W Emergency with Remote Test Switch

NEPKA-20/23LEDRTS: Ribbon Test Switch for NEPK-20LEDUNV

Emergency: Luminaire is compatible with NEPK-20LEDUNV (ordered separately). Remote mounted battery operates luminaire for 90 minute emergency operation with a fully charged battery. Emergency includes remote test switch, ribbon test switch accessory (NEPKA-20/23LEDRTS) ordered separately.

LISTINGS AND WARRANTY

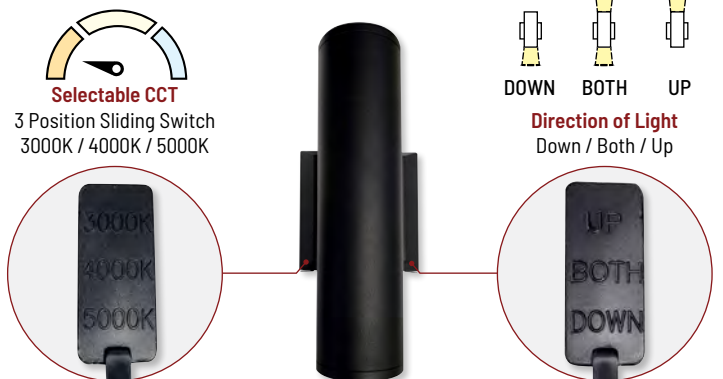
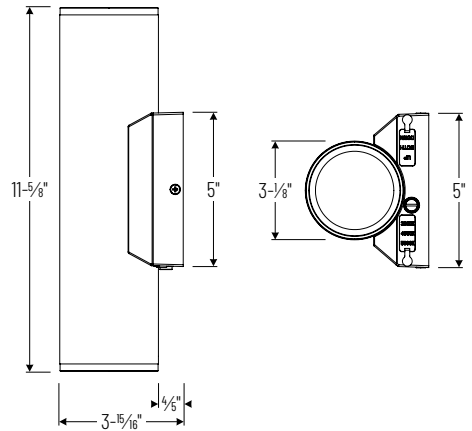
- cETLus Listed for Outdoor Wet Locations
- IP65 rated
- [5-Year Limited Warranty](#)
- RoHS Compliant
- Certified to the high efficacy requirements of California Title 24 JA8-2025



Performance Data		
Part Number	Lumens	CCT
NYUD-3L1345	1356lm	3000K
NYUD-3L1345	1446lm	4000K
NYUD-3L1345	1518lm	5000K

Delivered lumens is based on downlight only

PRODUCT IMAGES AND DIMENSIONS



3" Up & Down Wall Mounted Cylinder	Emergency Battery Backup
Finish NYUD-3L1345B = Black NYUD-3L1345BZ = Bronze NYUD-3L1345MPW = White	Description NEPK-20LEDUNV = Battery w/ Remote Test Switch NEPKA-20/23LEDRTS = Ribbon Test Switch

Example: NYUD-3L1345MPW = 3" Up & Down Wall Mounted Cylinder, 3000lm / 35W, Selectable CCT, White finish

NYUD-3

3" Up & Down Wall Mounted Cylinder Accessories

Type _____

Project _____

Catalog No. _____

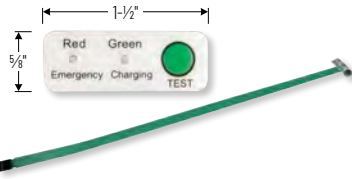
Notes _____



20W Emergency LED Driver with Remote Test Switch

NEPK-20LEDUNV

100-347V Emergency battery operates luminaire for 90 minute emergency operation with a fully charged battery. Requires 24 hours to charge the battery.



Ribbon Test Switch for NEPK-20LEDUNV

NEPKA-20/23LEDRTS

Ribbon test switch replaces remote test switch included with emergency driver. Double sided tape is pre-installed.

PHOTOMETRICS

3" Up & Down Wall Mounted Cylinder

Type

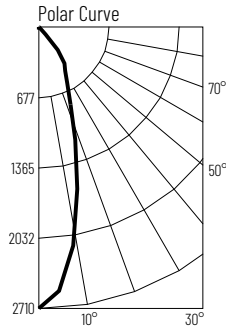
Project

Catalog No.

Notes

Test Information

Test Number: NTC11018R1
 Part Number: NYUD-3L1345MPW
 Beam Spread: 32° Narrow Flood
 Lumens: 1356lm
 Wattage: 16.9W
 Efficacy: 80lpw
 CCT / CRI: 3000K / 90 CRI
 Spacing Criteria (0°-180°): 0.56
 Spacing Criteria (90°-270°): 0.54



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
4'	169fc	2'-4"
6'	75.3fc	3'-6"
8'	42.3fc	4'-7"
10'	27.1fc	5'-10"
12'	18.8fc	6'-11"

Zonal Lumen Summary

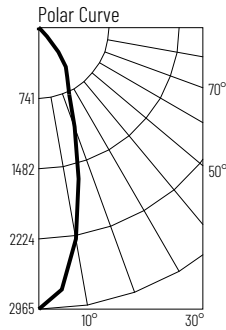
Zone	Lumens	% Luminaire
0-30	967	71.3
0-40	1238	91.3.0
0-60	1344	99.1
0-90	1348	99.4
90-180	0	0
0-180	1356	100

Candela Table

Vertical Angles	Candela
0	2710
5	2551
15	1568
25	726
35	464
45	121

Test Information

Test Number: NTC11019R1
 Part Number: NYUD-3L1345MPW
 Beam Spread: 31° Narrow Flood
 Lumens: 1446lm
 Wattage: 17.02W
 Efficacy: 85lpw
 CCT / CRI: 4000K / 90 CRI
 Spacing Criteria (0°-180°): 0.54
 Spacing Criteria (90°-270°): 0.54



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
4'	185fc	2'-2"
6'	82.4fc	3'-4"
8'	46.3fc	4'-5"
10'	29.6fc	5'-6"
12'	20.6fc	6'-8"

Zonal Lumen Summary

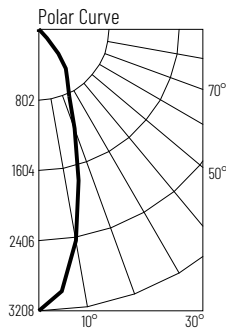
Zone	Lumens	% Luminaire
0-30	1033	71.4
0-40	1322	91.4
0-60	1433	99.1
0-90	1438	99.4
90-180	0	0
0-180	1446	100

Candela Table

Vertical Angles	Candela
0	2965
5	2770
15	1644
25	771
35	497
45	123

Test Information

Test Number: NTC11020R1
 Part Number: NYUD-3L1345MPW
 Beam Spread: 31° Narrow Flood
 Lumens: 1518lm
 Wattage: 17.06W
 Efficacy: 89lpw
 CCT / CRI: 5000K / 90 CRI
 Spacing Criteria (0°-180°): 0.54
 Spacing Criteria (90°-270°): 0.52



Illuminance at a Distance

Distance from Luminaire	FC at Nadir	Beam Diameter
4'	200fc	2'-1"
6'	89.1fc	3'-3"
8'	50.1fc	4'-4"
10'	32.1fc	5'-5"
12'	22.3fc	6'-5"

Zonal Lumen Summary

Zone	Lumens	% Luminaire
0-30	984	64.8
0-40	1284	84.6
0-60	1504	99.1
0-90	1510	99.4
90-180	0	0
0-180	1518	100

Candela Table

Vertical Angles	Candela
0	3208
5	2961
15	1718
25	821
35	524
45	113

SPECIFICATIONS

OUTDOOR

HOUSING

- Heavy duty die cast aluminum housing
- Bronze powdercoat finish
- Corrosion resistant housing and hardware
- OxyShield 9-stage anti-oxidation process
- Silicone rubber gasket
- Includes quick mount back plate for easy wall mounting

ELECTRICAL

- Quad Tap (QT) - 120/208/240/277V
- 0-10V Dimmable driver standard
- Operating Temperature: -40°C (-40°F) - 40°C (104°F)

OPTICAL SYSTEM

- UV-resistant borosilicate glass lens
- High quality heat sinks for temperature control
- IC current controlled LED circuits
- MCT (30K/40K/50K)
- CRI > 70
- PF > 0.90
- THD < 20%

CODE COMPLIANCE

- cULus Listed for Wet Locations
- DLC Listed
- CEC Title24 Compliant
- RoHS Compliant

WARRANTY

- 5 Year



WP28-C-MCT

Wattage Selectable

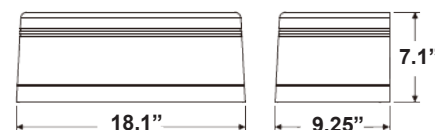
LED Wall Pack

ORDERING INFORMATION

CATALOG #	Wattage	Lumens
WP28-C-1L-QT-MCT	30W / 50W / 72W	3800 / 6400 / 8600Lm

OPTIONS (Factory Installed)

EM	- 8W Emergency Battery
OCS	- Occupancy Sensor
PC	- Photocell
SGP	- 10kV Surge Protection
WT	- Wide Throw Distribution



SPECIFICATIONS

MULTIFAMILY

HOUSING

- Aluminum housing in a smooth white finish
- Canless module does not require housing; no housing required for remodel
- Use a new construction plate for new construction

ELECTRICAL

- QT (120-277V);
- 120-347V (2L Models)
- 0-10V Dimming down to 5%
- Operating temperature: -40° - 237° C (-40° - 114° F)
- 2.5Kv Surge Protector
- 4" & 6": Dimmable 0-10V; 8" & 10": 0-10V down to 5%

ILLUMINATION

- Wattage Selectable
- 5CT (27K/30K/35K/40K/50K)
- Wattage and Color switchable with housing switches
- Frosted polycarbonate lens
- CRI > 90
- Beam angle: 4", 5", 6": 80°; 10":90°
- 70,000 hours @ L₇₀

MOUNTING

- External J-Box and spring mount clips for easy installation

CODE COMPLIANCE

- cETLus Listed for Wet Location
- Energy Star Certified
- CA Title 24
- FCC CFR 47, GCC Part 15

WARRANTY

- 5 Year



RCAN11-EN LED Wattage and Color Selectable

ORDERING INFORMATION

CATALOG #	Size	Wattage	Lumens	Color Temp
RCAN11-EN-4-1L-QT-5CT	4"	9W, 14W, 19W	750, 1000, 1500 Lumens	27K/30K/35K/40K/50K
RCAN11-EN-6-1L-QT-5CT	6"	9W, 13W, 18W	800, 1200, 1600 Lumens	27K/30K/35K/40K/50K
RCAN11-EN-6-2L-347V-5CT	6"	15W, 20W, 30W	1500, 2000, 3000 Lumens	27K/30K/35K/40K/50K
RCAN11-EN-8-1L-QT-5CT	8"	16W, 23W, 29W	1500, 2000, 2500 Lumens	27K/30K/35K/40K/50K
RCAN11-EN-8-2L-347V-5CT	8"	20W, 25W, 36W	2000, 2500, 3500 Lumens	27K/30K/35K/40K/50K
RCAN11-EN-10-1L-QT-5CT	10"	21W, 30W, 38W	2000, 2500, 3300 Lumens	27K/30K/35K/40K/50K

Trims

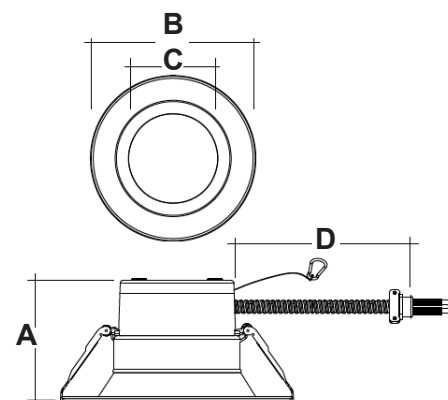
- RCAN11-EN-*BLS - Black Smooth
- RCAN11-EN-*CLH - Clear-Specular Haze
- RCAN11-EN-*WHW - White Wall Wash**

*Specify Trim Size (4,6,8,10)

**Only for 4"6", and 8" models

Accessories

- EM25W-EN - External Emergency Battery (25W)
- RCAN2-EN-MTGP - Universal Pre-Mounting Plate (new construction)
- ARC-EN-NCP - Commercial New Construction Plate with Joist Bar and JBox



	A	B	C	D	Cut-Out Size
4"	4.2"	6"	4.7"	27"	Ø4 ^{7/8} "
6"	4.8"	8.4"	6"	27"	Ø6 ^{1/8} " ~7 ^{3/16} "
8"	5"	10"	7 ^{9/16} "	27"	Ø7 ^{1/2} " ~8 ^{7/8} "
10"	5.5"	11"	9"	27"	Ø9" ~10"

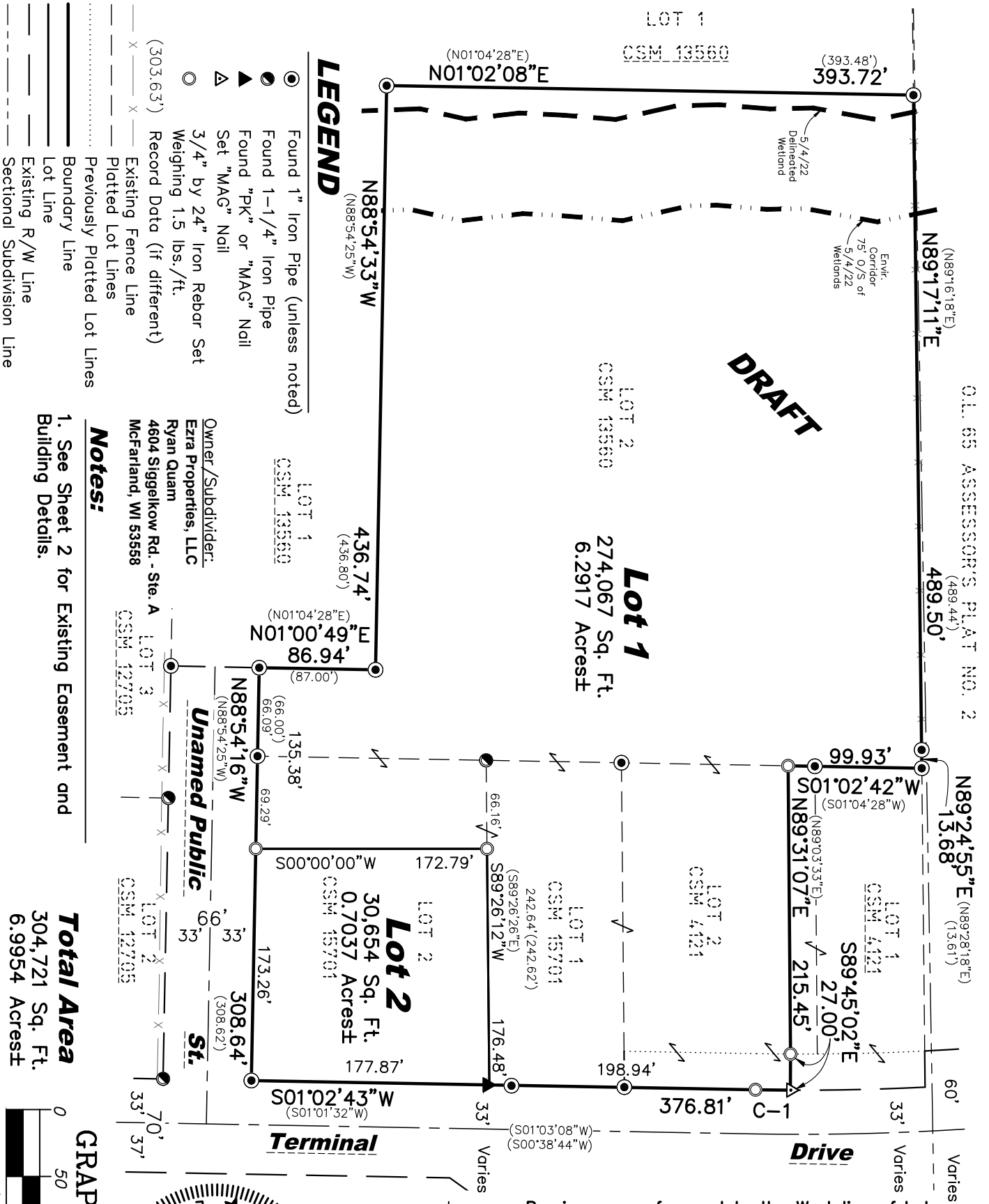
DANE COUNTY CERTIFIED SURVEY MAP

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

C.S.M. No. _____

Doc. No. _____

Vol. _____ Page _____



Bearings are referenced to the West line of Lot 2 of CSM 13560, which bears North 01°02'08" East on the Dane County Coordinate System.



QUAM ENGINEERING, LLC

4604 SIGLEKOW ROAD - SUITE A McFARLAND, WI 53558

608-838-7750 www.quamengineering.com

Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP

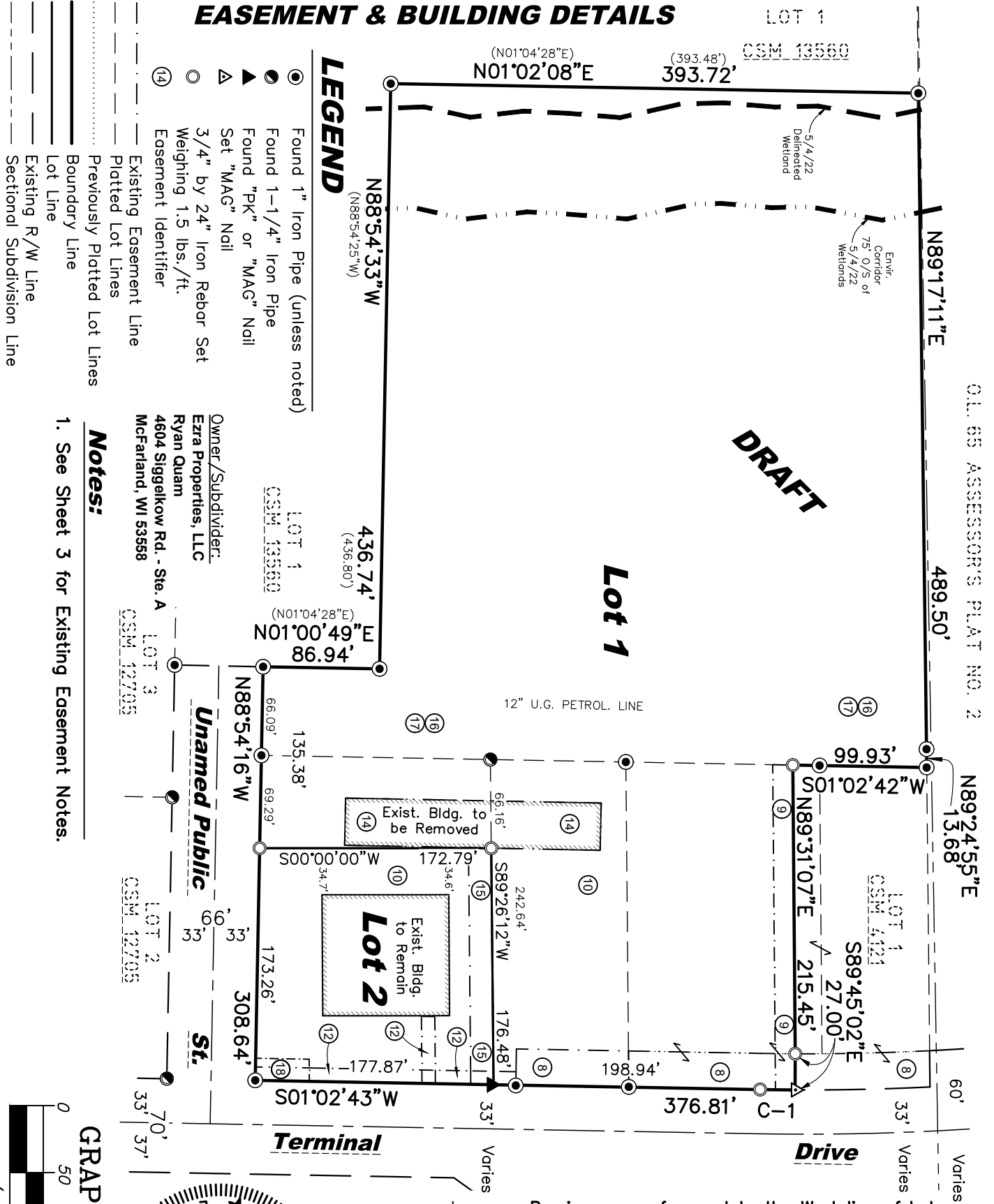
C.S.M. No. _____

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

Doc. No. _____

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EASEMENT & BUILDING DETAILS



- LEGEND**
- Found 1" Iron Pipe (unless noted)
 - Found 1-1/4" Iron Pipe
 - ▲ Found "PK" or "MAG" Nail
 - △ Set "MAG" Nail
 - 3/4" by 24" Iron Rebar Set Weighing 1.5 lbs./ft.
 - Easement Identifier
 - Existing Easement Line
 - Platted Lot Lines
 - Previously Platted Lot Lines
 - Boundary Line
 - Lot Line
 - Existing R/W Line
 - Sectional Subdivision Line

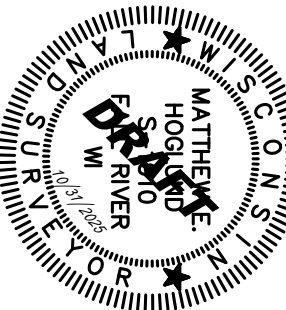
Notes:
1. See Sheet 3 for Existing Easement Notes.

Owner/Subdivider:
Ezra Properties, LLC
Ryan Quam
4604 Sigglekow Rd. - Ste. A
McFarland, WI 53558

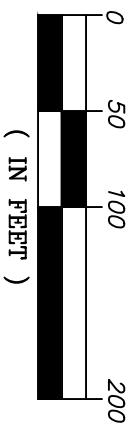
Unamed Public St.

Curve Data:

C-1
R=1877.00'
A=00°47'44"
L=26.06'
CH=S00°38'51"W
26.06'



GRAPHIC SCALE



Bearings are referenced to the West line of Lot 2 of CSM 13560, which bears North 01°02'08" East on the Dane County Coordinate System.



QUAM ENGINEERING, LLC

4604 SIGGLEKOW ROAD - SUITE A MCFARLAND, WI 53558
608-838-7750 www.quamengineering.com
Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP # _____

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

C.S.M. No. _____

Doc. No. _____

Vol. _____ Page _____

EASEMENT NOTES:

Circled items are plotted on Sheet 2 hereof - notes in (italics) are clarifications added by the surveyor:

- (8) Easements, if any, of the public or any school district, utility, municipality or person, as provided in Section 66.1005(2) of the Wisconsin Statutes, for the continued use and right of entrance, maintenance, construction and repair of underground or overground structures, improvements or service in that portion of the insured premises which were formerly a part of Terminal Drive Street, partially vacated.
- (9) Joint Driveway Easement Agreement, by and between Mangat Enterprises, L.L.C. and Wealthbuilders Mortgage Corporation, recorded on December 8, 2005 as Document No. 4141163.
- 10. Agreement, by and between Roger Segebrecht and George Medchill, recorded on June 7, 1983 as Document No. 1783651, (as the agreement was based on prior lot configurations & ownership the client is advised to seek counsel of an attorney on this item to determine the impact, if any, on the current property.)
- 11. Easement for right of ingress and egress as set forth on Warranty Deed, recorded as Document No. 1869863. (the easement was over the existing driveway on Lot 3 of CSM 4121 as it existed in February of 1985 - as this location is unknown, it could not be plotted hereon.)
- (12) Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Madison Gas and Electric Company, for utility purposes, recorded on May 30, 1985, as Document No. 1881713.
- (14) Encroachment Easement Agreement, by and between AMBR II LLC and Richard L. Grams and TNTB Properties, LLC, recorded on November 15, 2019 as Document No. 5540619. (for the existing building shown - see recorded document for details)
- (15) Driveway Easement Agreement, by and between AMBR II LLC and Richard L. Grams and TNTB Properties, LLC, recorded on December 9, 2019 as Document No. 5547351.
- (16) Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Shell Oil Company, a Delaware corporation, for pipeline purposes, recorded on October 31, 1960, as Document No. 1012837. (No easement width is defined of record - note that the document gives the Grantor (randomner) the right to fully use and enjoy the property and requires the Grantee to relocate or encase the pipeline within 60-days after notification by the Grantor (randomner) - see recorded document for full particulars.)
- (17) Agreement, by and between Conoco Inc., Sunmark Refining and Marketing Company, Getty Refining and Marketing Company, and Terminal Oil Group, recorded on August 16, 1982 as Document No. 1748980. (assignment of easement per Doc. No. 1012837 to Terminal Oil Group)
- (18) Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to General Telephone Company of Wisconsin, a Wisconsin corporation, for utility purposes, recorded on May 14, 1985, as Document No. 1879487.

The following appear to be the notes from CSM 13560 that are critical to development constraints for the property in question shown hereon. Users of this map are to refer to CSM 13560 in its entirety and all notes listed thereon for full disclosure and additional information, restrictions and requirements.}

CSM 13560 - Sheet 1 Notes:

10. Per the Capital Area Regional Planning Commission "There is a 75 foot wide Environmental Corridor from the edge of the wetland. The corridor shall serve as a vegetative buffer and no pavement is allowed." (The wetland delineated by Meiert, Inc. on 5/4/2022 was offset 75 feet and shown hereon for the limits of the Environmental Corridor.)

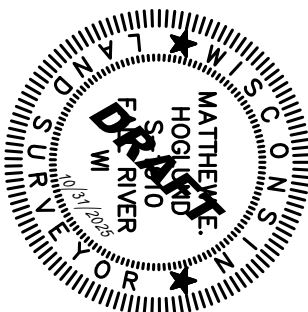
CSM 13560 - Sheet 2 Notes:

3. Lots 3 and 4 of this CSM are subject to apparent cross-access easements for vehicular and pedestrian traffic serving Lots 3 and 4 of this CSM as well as Lot 2, CSM 4121. Lot 3 is also subject to and benefits from an apparent easement for drainage purposes. (blanket in nature and therefore not shown hereon)

4. Lots 3 & 4 of this CSM are subject to Restrictive Covenants as prescribed in document recorded in Volume 4568 of Records, Page 88, as Document No. 1783994. (as Doc. No. 1783994 was not listed as an exception in the Title Policy, so the effect, if any, of these restrictive covenants on the current property is unknown)

Notes:

1. See Sheet 3 for Existing Easement Notes.



QUAM ENGINEERING, LLC

4604 SIGGLEKOW ROAD - SUITE A McFARLAND, WI 53558

608-838-7750 www.quamengineering.com

Project # DB-21-24

SHEET 3 OF 8

Drawn By: MEH
Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, Matthew E. Hoglund, Professional Land Surveyor, do hereby certify to the best of my knowledge and belief, that I have surveyed, divided, and mapped the following Certified Survey, being Lot 2 of Certified Survey Map (CSM) No. 4121, recorded on June 3, 1983 in Volume 17 of Certified Survey Maps, on Page 181, as Document No. 1782805, excepting therefrom the North 20 feet thereof, and that part of Vacated Terminal Drive per Document No. 1810427 lying Easterly of and adjacent thereto, together with Lots 1 and 2 of Certified Survey Map (CSM) No. 15071, recorded on March 12, 2019, in Volume 106 of Certified Survey Maps, on Pages 269-271, as Document No. 5474534, and Lot 2 of Certified Survey Map (CSM) No. 13560, recorded on August 9, 2013, in Volume 88 of Certified Survey Maps, on Pages 278-281, as Document No. 5015365, all being a part of the Northwest one-quarter of the Southwest one-quarter of Section 27, Town 7 North, Range 10 East, in the Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

BEGINNING at the Northwest corner of said Lot 2 of CSM No. 13560; thence, along the North line of said Lot 2, North 89°17'11" East, 489.50 feet;

thence, continuing along said North line, North 89°24'55" East, 13.68 feet to the Northeast corner of said Lot 2;

thence, along the East line of said Lot 2, South 01°02'42" West, 99.93 feet to its intersection with a line lying 20.00 feet Southerly, as measured at right angles and parallel to, the North line of said Lot 2 of CSM 4121;

thence, along said parallel line, North 89°31'07" East, 215.45 feet to its intersection with the former Westerly right-of-way line of Terminal Drive,

thence South 89°45'02" East, 27.00 feet to the current Westerly right-of-way line of Terminal Drive per said Document No. 1810427, said point being the beginning of a non-tangent curve, being concave Westerly, having a radius of 1877.00 feet and a chord which bears South 00°38'51" West, 26.06 feet;

thence, along said Westerly right-of-way line, Southerly, 26.06 feet along the arc of said curve through a central angle of 00°47'44" to the Point of Tangency thereof;

thence, continuing along said Westerly right-of-way line, South 01°02'43" West, 376.81 feet to the Southeast corner of aforesaid Lot 2 of CSM 15071;

thence, along the South line of last said Lot 2, North 88°54'16" West, 242.55 feet to the Southwest corner of last said Lot 2, said corner also being the Southeast corner of aforesaid Lot 2 of CSM 13560;

thence, along the South line of last said Lot 2, North 88°54'16" West, 66.09 feet to a corner of last said Lot 2;

thence, along the boundary of last said Lot 2, North 01°00'49" East, 86.94 feet to a corner of last said Lot 2;

thence, continuing along the boundary of last said Lot 2, North 88°54'33" West, 436.74 feet to a corner of last said Lot 2;

thence, continuing along the boundary of last said Lot 2, North 01°02'08" East, 393.72 feet to the **POINT OF BEGINNING**, containing 304,721 square feet or 6.9954 acres, more or less, and **BEING SUBJECT TO** all easements and agreements, if any, of record and/or fact.

I further certify, to the best of my knowledge and belief, that this map is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made; that I have made such survey, land division, and map by the direction of Ryan Quam of Ezra Properties, LLC, the owner of said land; that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the Village of McFarland Subdivision Regulations in surveying, dividing, and mapping the same.

Dated this 31st day of October, 2025.



Quam Engineering, LLC
By: Matthew E. Hoglund
P.L.S. S-1910

VILLAGE OF McFARLAND PLAN COMMISSION CERTIFICATE:

This land division is hereby approved by the Plan Commission of the

Village of McFarland on this ____ day of _____, 20__.

C.S.M. No. _____

Doc. No. _____

Vol. _____ Page _____

Cassandra Suettinger, Clerk, Village of McFarland

Drawn By: MEH
Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP # _____

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

OWNER'S CERTIFICATE:

We, Ezra Properties, LLC, as owner, do hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented on this map. We further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of McFarland

IN WITNESS WHEREOF, said Ezra Properties, LLC, have caused these presents to be signed at _____, Wisconsin, and our signature to be hereunto affixed on this _____, day of _____, 20__.

In the presence of: _____
Ryan Quam, Managing Member

STATE OF WISCONSIN)
COUNTY DANE) SS

Personally came before me this ___ day of _____, 20__, Ryan Quam, to me known to be the person who executed the foregoing instrument and acknowledged the same.

(Notary Seal) _____ Notary Public, _____, Wisconsin

My commission expires _____.



VILLAGE OF McFARLAND BOARD CERTIFICATE:

Resolved, that this Certified Survey Map is hereby approved and dedications accepted by the Village Board of the Village of McFarland.

Dated this ___ day of _____, 20__.

Cassandra Suettinger, Clerk, Village of McFarland

REGISTER OF DEEDS CERTIFICATE:

Received for recording this ___ day of _____, 20__, at _____ o'clock __M. and recorded in Volume _____ of Certified Survey Maps on Pages _____ as Document No. _____.

Kristi Chlebowski, Dane County Register of Deeds

Drawn By: MEH
Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP # _____

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedication of the land described on this map, and does hereby consent to the above certificate of Ezra Properties, LLC, owner.

IN WITNESS WHEREOF, the said One Community Bank has caused these presents to be signed by _____, its _____ and countersigned by _____, its _____, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____, day of _____, 20__.

In the presence of:

_____ (Corporate Seal)

_____, Date: _____
By: _____ Title: _____
(Print Name)

_____, Date: _____
By: _____ Title: _____
(Print Name)

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this ___ day of _____, 20__, _____, its _____, and countersigned by _____, its _____ of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ and _____ of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

(Notary Seal) _____ Notary Public, _____, Wisconsin

My commission expires _____.



C.S.M. No. _____

Doc. No. _____

Vol. _____ Page _____

Drawn By: MEH
Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP # _____

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

OWNER'S CERTIFICATE:

We, TNTB PROPERTIES LLC, as owner, do hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented on this map. We further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Village of McFarland

IN WITNESS WHEREOF, _____ have caused these presents to be signed at _____, Wisconsin, and our signatures to be hereunto affixed on this _____, day of _____, 20__.

In the presence of: _____

STATE OF WISCONSIN)
COUNTY DANE) SS

Personally came before me this ___ day of _____, 20__, _____ and _____, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

(Notary Seal) _____ Notary Public, _____, Wisconsin

My commission expires _____.



Drawn By: MEH
Project # DB-21-24

DANE COUNTY CERTIFIED SURVEY MAP # _____

Lot 2 of CSM 4121, except the North 20' thereof, a part of vacated Terminal Drive, Lots 1 & 2 of CSM 15071 and Lot 2 of CSM 13560, all being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedication of the land described on this map, and does hereby consent to the above certificate of TNTB PROPERTIES LLC, owner.

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by _____, its _____ and countersigned by _____, its _____, at _____, Wisconsin, and its corporate seal to be hereunto affixed on this _____, day of _____, 20__.

In the presence of:

_____ (Corporate Seal)

_____, Date: _____
By: _____ Title: _____
(Print Name)

_____, Date: _____
By: _____ Title: _____
(Print Name)

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this ___ day of _____, 20__, _____, its _____, and countersigned by _____, its _____ of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ and _____ of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

(Notary Seal) _____ Notary Public, _____, Wisconsin

My commission expires _____.



C.S.M. No. _____

Doc. No. _____

Vol. _____ Page _____

LEGAL DESCRIPTION

Parcel A:

A part of Lot 2 of Certified Survey Map (CSM) No. 15071, recorded on March 12, 2019 in Volume 106 of Certified Survey Maps, on Pages 269 through 271 as Document No. 5474534, being a part of the Northwest one-quarter of the Southwest one-quarter of Section 27, Town 7 North, Range 10 East, Village of McFarland, Dane County, Wisconsin, being more particularly described as follows:

BEGINNING at a found 1" iron pipe at the Southwest corner of said Lot 2;

thence, along the West line of said Lot 2, North 01°02'42" East, 170.84 feet to a found 1-1/4" iron pipe at the Northwest corner of said Lot 2;

thence, along the North line of said Lot 2, North 89°26'12" East, 66.16 feet;

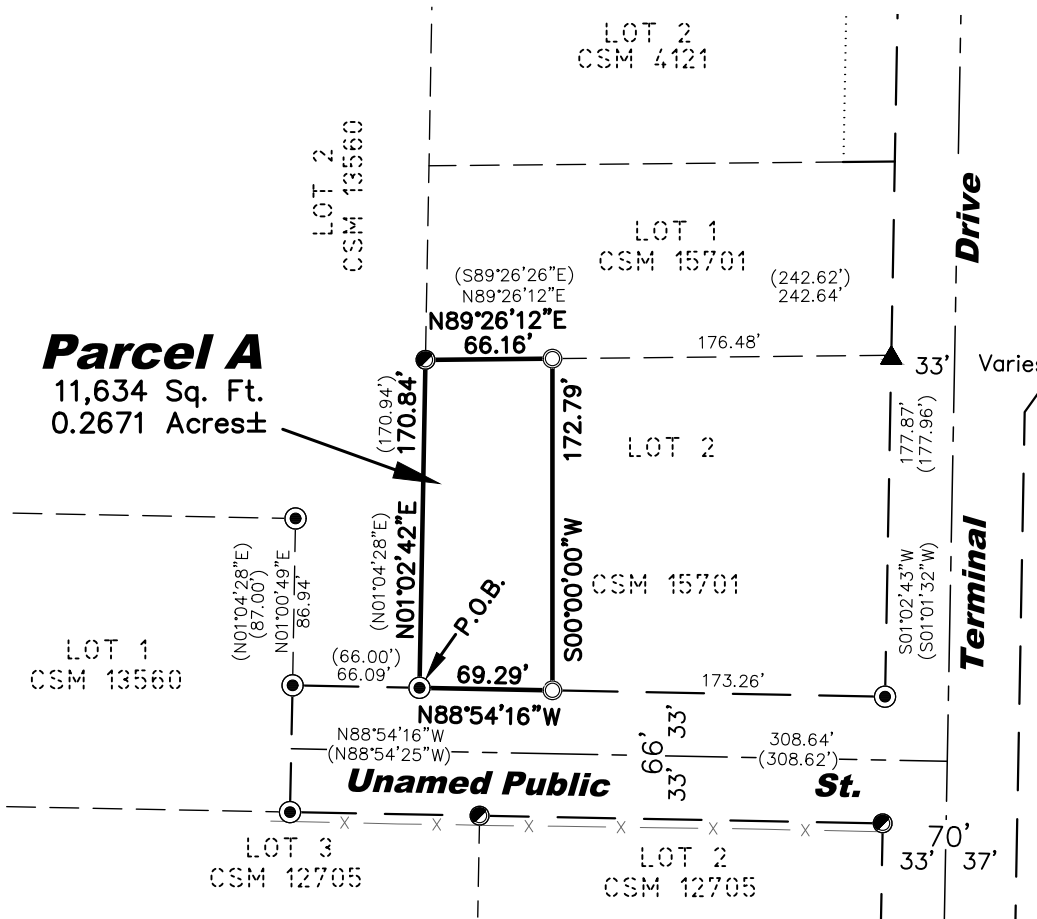
thence South 00°00'00" West, 172.79 feet to a point on the South line of said Lot 2;

thence, along said South line, North 89°54'16" West, 69.29 feet to the **POINT OF BEGINNING**.

Said Parcel A contains 11,634 square feet or 0.2671 acres, more or less, and is **SUBJECT TO** all easements and agreements, if any, of record and/or fact and is shown on the map, Exhibit B, prepared by Quam Engineering, LLC for Project No. DB-21-24, dated February 4, 2026 attached hereto, and by this reference made a part hereof.

Exhibit B

A part of Lot 2 of CSM 15071, being located in the NW 1/4 of the SW 1/4 of Section 27, T7N., R10E., Village of McFarland, Dane County, Wisconsin.



Parcel A
11,634 Sq. Ft.
0.2671 Acres±

Bearings are referenced to the South line of Lot 2 of CSM 15701, which bears North 88°54'16" West on the Dane County Coordinate System NAD'83(2011).

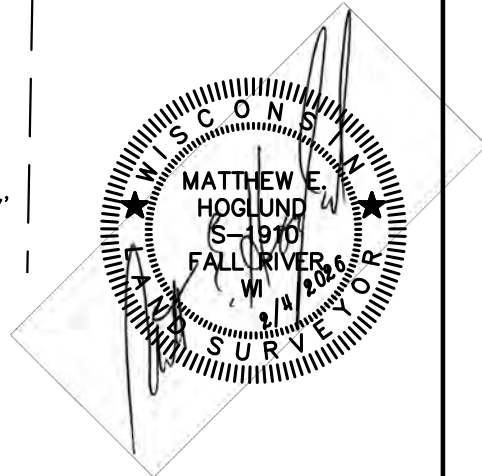


Note:

A legal description has been provided on a separate sheet as Exhibit A.

LEGEND

- Found 1" Iron Pipe (unless noted)
- Found 1-1/4" Iron Pipe
- ▲ Found "PK" or "MAG" Nail
- 3/4" by 24" Iron Rebar to be set on CSM - Weighing 1.5 lbs./ft.
- (303.63') Record Data (if different)
- x — x — Existing Fence Line
- — — — — Platted Lot Lines
- — — — — Boundary Line
- — — — — Existing R/W Line
- — — — — Centerline



GRAPHIC SCALE

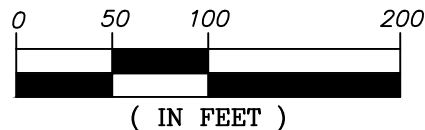


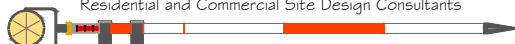
Exhibit B

Purchase Parcel A

PROJECT NO. DB-21-24 SHEET 1 OF 1

QUAM ENGINEERING, LLC

Residential and Commercial Site Design Consultants



www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

Beltline Oriented Commercial Subdistrict

Guidelines	Yes	No
Site Design		
1. Does the project coordinate vehicular and pedestrian circulation with development on adjacent lots?	✓	
2. Does the project include sidewalks?	✓	
3. Does the project connect building entries to sidewalks and crosswalks?	✓	
4. Does the project provide bicycle parking? In future phases, but not Phase 1.	N/A	
5. Does the project locate service areas, mechanical equipment, and refuse containers to the rear of buildings and screen them?		✓
6. Does the project minimize curb cuts and access points to public streets and coordinate with the recommended street pattern?	✓	
7. Does the project construct parking areas and landscaped islands with curbs and gutters at edges?	✓	
8. Does the project include landscaped front yards and parking areas with plantings that reflect the location of this area near wetlands and the lake edge, reflecting the desired nature-based recreation design theme?	✓	
9. Does the project convey storm water to on-site or in district infiltration areas?	✓	
10. Does the project preserve woods and lake views?	✓	
11. Does the project have a FAR between 0.35 and 1.5? FAR for whole site = 0.48	✓	
12. Is a minimum of 50% of the front building wall at 10' to 30' from Terminal Drive or a minimum of 50% of the front building wall at 30' to 80' from Highway 51 right-of-way?	N/A	
Building Design & Materials For Phase 1 only		
1. Does the project include buildings which are between one and four stories in height?	✓	
2. Does the project create prominent building profiles?	✓	
3. Does the project include buildings which are compatible with the desired gateway character of the Village?	✓	
4. Does the project include buildings which continue the architectural theme, design elements, and detailing on all sides (particularly on all facades adjoining public streets)?	✓	
5. Does the project include loading docks or overhead doors on street-facing facades?		✓
6. Does the project screen loading docks or overhead doors on other facades? Does not face ROW		✓
7. Does the project provide overhangs for pedestrian shelter?	N/A	
8. Does the project include buildings which are compatible in height and scale to surrounding buildings, or provide appropriate transitions?	✓	
9. Does the project screen rooftop mechanical equipment? Located inside.	N/A	
10. Does the project vary building facades by using different but complementary colors, material arrangements, wall setbacks, roof lines, and/or windows?	✓	
11. Does the project include large buildings? If so, are techniques used to reduce apparent scale and monotony? Surplus landscaping is proposed to soften the mostly metal exteriors.	✓	
12. Does the project include multiple buildings? If so, is each building designed to create a visual relationship among all buildings? TBD in future phases.	N/A	
13. Does the project use high-quality natural building wall materials, such as stone, brick and glass? No stone or brick		✗

Guidelines	Yes	No
Building Orientation		
1. Does the project consider and placement and orientation of surrounding buildings and streets for cohesion between sites and an attractive street scene?	✓	
2. Does the project orient building facades parallel to the primary abutting street, with entrances and storefronts oriented toward that street? Not all facing street.	N/A	
3. Does the project make public entrances clearly identifiable and accessible?	✓	
4. Does the project site buildings to allow for safe and connected pedestrian and vehicular circulation?	✓	
5. Does the project avoid deep setbacks behind large parking lots or vacant land?	✓	
6. Does the project avoid linear, “strip commercial” development patterns?	✓	
Lighting		
1. Does the project include pedestrian scale lighting in front of buildings to not exceed 15 feet in height? TBD with each future phases.	✓	
2. Does the project include parking lot lighting to not exceed 25 feet in height?	✓	
3. Are all exterior light fixtures at least three feet from all lot lines and within landscaped islands or outside parking lot edges?	✓	
4. Does the project utilize incandescent or high-pressure sodium (HPS) light fixtures?		✓
5. Does the project use ninety-degree down-cast, cutoff fixtures for all lighting?	✓	
6. Do average illumination levels in parking lots exceed 5 footcandles?		✓
7. Do average illumination levels under gas canopies and mounted to buildings exceed 30 footcandles?		✓
8. Do illumination levels at lot lines exceed 0.5 footcandles?		✓
Parking		
1. Does the project rely on on-street parking?	✓	
2. Does the project site parking to the rear or non-street side of the main building?	✓	
3. Does the project share parking between adjacent buildings? Yes, with future phases.	✓	
4. Does the project divide larger parking lots into pods, each not containing more than 100 spaces? Retention pond breaks up the concentration of parking lot.	✓	
5. Does the project provide landscaped islands, each a minimum of 200 square feet, and at a minimum rate of one island for every 12 parking spaces (24 for double rows)?	✓	
6. Does the project encourage safe pedestrian walkways through the parking lot to the building?	✓	
7. Does the project include paved parking areas?	✓	
Signage TBD, no signage included in General Development Plan or the Phase 1 Detailed Plan		
1. Does the project locate signage on-building or on-site per the Village’s Sign Ordinance?		
2. Does the project emphasize building visibility from the Beltline rather than sign visibility?		
3. Does the project integrate signage location, shape, and size with building design?		
4. Does the project use durable base materials for monument signs that are similar to main building materials, and place landscaping near the base?		
5. Does the project encourage combining signage onto one ground mounted sign where there is more than one business on a lot, rather than having a separate ground mounted sign for each business?		
6. Does the project screen external spot or flood lighting of signs from direct view from public streets, driveways, or adjacent properties, and to avoid light spill-over into the night sky?		

McFarland

VILLAGE OF

Fire & Rescue

www.mcfarland.wi.us | 6001 Broadhead Street, McFarland, WI 53558 | 608.838.3278

February 27, 2026

Re: PUD Detailed Plan Review for Phase 1 for 4008-4018 Terminal Drive

We have completed our review of the detailed plan dated February 2, 2026, for 4008-4018 Terminal Drive. The submittal demonstrates general compliance with the requirements identified during previous reviews. It should be noted that Fire Lane marking was not included and will require approval prior to any occupancy being approved by the Fire & Rescue Department. Additionally, a reminder that each building will require a department-approved key box, as only one building indicates a box being provided.

Sincerely,



Christopher C. Dennis, Chief

June 2, 2026

Mr. Andrew Bremer, Community & Economic Development Director
Village of McFarland
5915 Milwaukee Street, P.O. Box 110
McFarland, WI 53558

Subject: 4008 - 4018 Terminal Drive Planned Unit Development – Revised GDP and Partial SDP Review

Dear Andrew:

We have received the revised submittal for a General Development Plan and Partial Specific Development Plan for the initial business site (an indoor children's playground) for an approximately 6-acre site located at the current 3008-4018 Terminal Drive. The original GDP/Partial SDP plans were submitted in early 2026. This current package is dated May 19, 2026.

This recent submittal addresses most of the comments from our March 2026 letter. There are a small number of remaining comments below, related to public works and utility items.

Stormwater Management and Erosion Control Plan

- We recommend Village approval.

Sheet C-5

- The proposed sanitary sewer connection to the public sewer should be made with a booted manhole given the potential for shallow groundwater in this area. Any repairs to the public main must be done with PVC pipe and Strongback Fernco fittings.

Sheet L-1

- A large number of trees and plantings are still proposed within the street right-of-way. The Village should confirm these are desired and, if so, species and size (as this will likely require maintenance in the future).

Please feel free to contact us with any questions.

Very truly yours,
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.
President

cc: Mr. Lee Igl, Public Works Director, Village of McFarland (*via email*)

BRB:sai

J:\JOB#\S\McFarland\MC-235-M6 4010 Terminal Drive Redevelopment\1. Admin and PM\June 2026 GDP-SDP Review.docx


VILLAGE OF
McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 16, 2026

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion and recommendation to the Village Board on a Limited Liability Agreement with Ezra Properties, LLC, Ryan Quam for various improvements within the public right-of-way areas south of Lot 1 of CSM 17070.

PREVIOUS ACTION:

ISSUE SUMMARY:

Ryan Quam (Ezra Properties) is requesting the addition of 6 parking stalls, sidewalk, bicycle parking, stormwater utilities, and landscaping within the Unnamed Public Street right-of-way as shown within the Phase 1 Planned Development Detailed Plan described in agenda item 5.a.

The packet includes a limited liability agreement, drafted by the Village Attorney, describing the rights and responsibilities of construction and maintenance of these improvements.

FINANCIAL/BUDGET IMPACT:

VILLAGE PLAN REFERENCE:

ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

Recommended motion:

Motion, and second, to recommend to the Village Board approval of Limited Liability Agreement with Ryan Quam, Ezra Properties, LLC for various improvements within the public right-of-way areas south of Lot 1 of CSM 17070.

ATTACHMENTS:

1. Ezra Properties Lot 1 CSM 17070 LLA

LIMITED LICENSE AGREEMENT
Between the Village of McFarland and Ezra Properties, LLC

This Agreement is entered into effective as of the last date of signature below, by and between the Village of McFarland, Wisconsin, a municipal corporation, (hereafter referred to as “the Village”) and Ezra Properties, LLC, a Wisconsin limited liability company (“Ezra”), having its principal office at 4604 Siggelkow Road, Suite A, McFarland, Wisconsin.

WHEREAS, EZRA owns the property legally described as Lot 1, Certified Survey Map No. 17070, recorded in the Office of the Register of Deeds for Dane County in Vol. 130 of Certified Survey Maps, Pages 182-189 as Document No. 6100488, in the Village of McFarland, Dane County, Wisconsin (the “Property”); and

WHEREAS, the Property is bounded on its south by dedicated but unnamed road (the “Road”); and

WHEREAS, the Developer is in the process of developing a commercial building and related improvements on the Property and has requested authorization by the Village to make certain improvements to the Road for the benefit of the Property; and

WHEREAS, the Village is willing to allow certain improvements at the sole cost and expense of Ezra for both construction and continued maintenance on the terms and conditions contained herein and Ezra is willing to accept those obligations;

NOW, THEREFORE, in consideration of the mutual promises and obligations contained herein, and other valuable consideration, the receipt and sufficiency of which are hereby mutually acknowledged, the parties agree as follows:

1. Grant of License. The Village hereby grants to EZRA a limited license to occupy and use that portion of the public right-of-way of that portion of the Road adjacent to the Property (the “Licensed Area”) for the purpose of constructing and maintaining parking stalls, storm sewer facilities, street trees and other landscaping (collectively, the “Improvements”). The Improvements, and any subsequent additions, alterations, modifications or removal thereof, shall be consistent with a Planned Development General and Detailed Plan submitted by Ezra and approved by the Village Plan Commission and Village Board pursuant to §62-67 of the McFarland Municipal Code and with plans and specifications approved by the Village Engineer. In addition, prior to commencement of any work within the Licensed Area, Ezra shall enter into a standard Village infrastructure development agreement providing for inspection of the Improvements, insurance, indemnification and other requirements customarily imposed by the Village on developers installing public infrastructure.

2. Ownership of Improvements. All trees planted within the Licensed Area shall be owned by the Village beginning two (2) years after planting, provided, however, that any unhealthy, diseased, dead or dying trees shall be replaced by Ezra during such two-year period and each replacement shall be guaranteed by Ezra for a two-year period from the date of

replacement. All other Improvements in the Licensed Area shall be owned and maintained by Ezra in a neat, attractive and workmanlike condition consistent with the then-existing standard of maintenance generally applied by the Village to its public infrastructure improvements, throughout the term of this Agreement.

3. Work in Right-of-Way. All work performed by Ezra within the Road right-of-way, other than mowing, pruning and similar minor landscape maintenance, shall be undertaken pursuant to a permit issued by the Village as provided in Article 53-IV of the McFarland Municipal Code.

4. Compliance with Laws. All construction and maintenance of the Improvements shall be undertaken and completed in compliance with all applicable state and federal laws and regulation and Village Ordinances.

5. Indemnification. EZRA shall indemnify and hold the Village harmless from and against any and all liability and damages arising from EZRA's use of the Licensed Area as authorized by this Agreement. The term "liability" shall include all claims, suits, actions, costs, penalties, fines, forfeitures, remedial action or abatement expenses, attorney fees, litigation expenses, damages, judgments or decrees.

6. No Vested Rights. EZRA acknowledges that this Agreement does not grant it any rights to, or interest in, the Licensed Area other than a limited license to construct and maintain the Improvements, subject to the terms, conditions and limitations contained, herein. The Village makes no warranty or representation that the Licensed Area is suitable for the uses authorized hereby. The rights granted hereby may be terminated by the Village on 10 days' written notice pursuant to §66.0425, Wis. Stats.

7. No Village Liability. EZRA shall be solely responsible for the conduct of its activities within the Licensed Area and the protection of the Improvements within the Licensed Area and the Village shall have no liability therefor including, but not limited to, unintentional damage that may occur arising from the Village's maintenance of its public rights-of-way. Pursuant to §66.0425, Wis. Stats. Ezra assumes primary liability for damages to persons or property by reason of the granting of the license provided in this Agreement.

8. Removal of Improvements. The rights granted to EZRA by this Agreement are subject and subordinate to the rights of the Village in the use of the public right-of-way of the Road. In the event the Village undertakes any public work within such right-of-way, EZRA shall, on 10 days' notice from the Village, temporarily or permanently, as directed by the Village, remove the Improvements to facilitate such work at its sole expense. In the event EZRA fails to do so within the time allowed by the Village, EZRA waives any and all claims it may have resulting from damage to, or destruction of, any such Improvements and agrees to reimburse the Village for any costs incurred for its removal of the Improvements or additional construction or other project costs resulting from the failure to remove them.

9. Reserved Powers. Nothing contained in this Agreement constitutes a waiver of the Village's sovereign immunity under applicable law. All rights are reserved. The Developer

understands and acknowledges that as a governmental entity, the Village cannot surrender its governmental authority by contract, and nothing in this Agreement shall be construed to preclude or limit the exercise by the Village of any governmental authority vested in it by law, including, but not limited to, full regulatory authority over the Road, including the improvements.

10. Termination. EZRA acknowledges and agrees that, pursuant to §66.0425, Wis. Stats., the rights granted by this Agreement may be terminated on 10 days' notice from the Village. EZRA further waives any and all right it may have to contest in any manner the validity of §66.0425, Wis. Stats. on any basis whatsoever.

11. Village Remedies. In the event of a default in any obligation of Ezra which continues after reasonable notice, the Village may perform such maintenance or other work as may be necessary to cure the default and levy the cost thereof against the Property as a special charge pursuant to §66.0627, Wis. Stats. or special assessment pursuant to §§66.0701 or 66.0703. For purposes of such charges or assessments, Ezra agrees, for itself, its successors and assigns, that the Property is the only property benefitted by the Improvements and the Property shall be responsible for the entire cost of such work.

12. Independent Contractor. Notwithstanding any other provisions of this Agreement to the contrary, the Developer is an independent contractor, and nothing herein shall be construed so as to make the Developer, its Contractors, or its consultants agents of the Village, or the Village, its employees, agents, or consultants agents of the Developer. Furthermore, nothing contained in this Agreement shall be construed as creating any contractual relationship whatsoever between the Developer and the Village's consultants (planning, engineering, financial, and legal) or any persons or entities other than the Village.

13. Successors and Assigns. The license granted by this Agreement and the obligations of Ezra hereunder shall run with the Property and shall be binding upon and inure to the benefit of Ezra, the Village and their respective heirs, administrators, successors in interest and assigns.

14. Recording. Either party may record this Agreement or a memorandum providing notice hereof in the office of the Register of Deeds for Dane County.

15. Neutral Construction. The parties acknowledge that this Agreement is the product of negotiations between the parties and that, prior to the execution hereof, each party has had full and adequate opportunity to have this Agreement reviewed by, and to obtain the advice of, its own legal counsel with respect hereto. Nothing in this Agreement shall be construed more strictly for or against either party because that party's attorney drafted this Agreement or any part hereof.

IN WITNESS WHEREOF, the parties have executed this Agreement effective as of the last date of signature below.

[Signature blocks appear on following page]

VILLAGE OF McFARLAND

EZRA PROPERTIES, LLC

By: _____
Stephanie Brassington (date)
Village President

By: _____
Ryan Quam (date)
Managing Member

Attest: _____
Cassandra Suettinger (date)
Village Clerk/Treasurer



McFarland
SUMMARY SHEET

MEETING DATE: Tuesday, June 16, 2026

SECTION: Business

DEPARTMENT: Community Development

CONTACT: Andrew Bremer, Comm & Eco Dev Director

AGENDA ITEM: Discussion regarding creation of a new tax increment finance district near the intersection of Elvehjem Road and CTH AB related to the potential relocation of Bliffert Lumber.

PREVIOUS ACTION:

February 11, 2026, CDA reviewed the draft conceptual site plan from Bliffert Lumber and discussed the potential parcels to include in the TID and the type of TID to create.

April 23, 2026, CDA reviewed the draft TID Project Plan maps.

May 13, 2026, CDA reviewed the first draft of the TID Project Plan.

June 10, 2026, CDA reviewed the second draft of the TID Project Plan.

ISSUE SUMMARY:

Included in the packet is a copy of the draft TID Project Plan related to the potential relocation of Bliffert Lumber. Village staff have been working with our consultant, Becker Professional Services, and the CDA to create and refine the draft Project Plan. The draft Project Plan will continue to be refined as the Village progresses toward final approval of the TID. The purpose of this agenda item is to introduce the draft Project Plan to the Plan Commission in preparation for a public hearing at the July 21st meeting. Prior to holding the public hearing the Village is planning to hold a public information meeting on the proposed TID on Thursday, July 9, 2026 at the Municipal Center at 6PM. Per Village ordinance, written notification regarding the PIM and public hearing will be mailed to all property addresses within the Village and within 400 feet of the proposed TID. Refer to Table 1 in the draft Project Plan for more information on the anticipated project schedule.

The TID Project Plan is a document that explains:

- The area (Tax Increment District) where the Village intends to use Tax Increment Financing (TIF) to support community and economic development goals.
- The projects the Village intends to undertake over the life of the TID and the estimated costs of those projects.
- The development outcomes the Village anticipates will occur over the life of the TID due to the completion of the proposed projects, including projected tax increment revenues.
- The projected financial feasibility of the TID (cash flow) based on the projected project costs and tax increment revenues.



It is important to note that approval of a TID Project Plan does not approve any specific project expenditures or approve any specific development proposals contemplated in the Project Plan.

After a TID Project Plan is approved by the Plan Commission, Village Board, and Joint Review Board, any specific project expenditure will need to be approved by the Village Board on a case by case basis. It is at that time that more specific information on the design and costs of the proposed project will be available. Similarly, the proposed development envisioned in the Project Plan will need approval by the Village Board or Plan Commission once more detailed zoning, site and building design plans are submitted by property owners for approval.

In preparing the Project Plan, the Village must demonstrate that the projected revenues will be sufficient to pay for the projected expenditures prior to the TID's closure (year 2047). In developing financial cash flow projections, it is common to take a conservative approach regarding revenue projections (e.g. new development, property appreciation rate, and annual changes in tax rate) and assume higher estimated project expenditures. This approach often leads to Project Plans that only show a positive cash flow occurring in the final years of a TID's life. This is the case with the draft Project Plan provided in the packet as shown in Table 8 (page 22). The actual cash flow of the TID will depend on the actual costs and revenues for every year over the life of the TID. The actual performance of the TID is analyzed on a yearly basis by the Village's financial auditors, staff, and Village Board.

The public road and utility cost estimates were provided by the Village Engineer and the estimated rail improvements were provided by railroad design engineers at WATCO, which oversees operations of the Wisconsin & Southern Railroad. The Project Plan assumes the Village is able to obtain a loan from the WisDOT for the rail improvements under their [Freight Rail Road Infrastructure Improvement Program \(FRIIP\)](#). Through this program, the Village can obtain a 10-year loan at 2% interest, which is roughly half the interest rate of the 2025 capital projects borrowing. The Village also submitted a request for Federal appropriations through Senator Baldwin and Representative Pochan offices for an 80% Federal match for the rail improvements. Unfortunately, neither office elected to submit our project to the Appropriations Committee for consideration in the upcoming federal funding bill due to limited funding and the number of requests received for those funds.

The three parcels proposed for the new TID are further described below. Included in the packet is a map that illustrates development concepts for each property. The concept for Parcel #3 has already been approved by the Village.

- Parcel #1 is 22.3 acres and includes the proposed Elvehjem Acres business park including the proposed Bliffert Lumber lot and three additional lots ranging in size from 1.8 to 2.0 acres. There are no specific users identified for the non-Bliffert lots at this time. This concept has not been officially approved by the Village, nor has any rezone or subdivision plat; however, the intent of the concept is to support planning for the project TID Project Plan.
- Parcel #2 is a 15.7 acres and is owned by the same owner (Kevin Urso) as Parcel #1. The majority of this parcel is open space/wetland. Urso previously presented to the Plan Commission a concept for 7 townhouse units on this parcel. Urso is considering creating



a plat of condominium for the townhouses (owner occupied); however, a final determination regarding owner vs. renter occupied units has not been determined. This concept has not been officially approved by the Village, nor has any rezone or subdivision plat; however, the intent of the concept is to support planning for the proposed TID Project Plan.

- Parcel #3 is 7.4 acres and is owned by Lakestone Properties. This is Lot 18 of the Sperle Corners subdivision and is planned for three multifamily apartment buildings totaling 117 units. This subdivision plat was approved by the Village Board on October 28, 2025.

Background information regarding Tax Increment Financing from the February 12, 2026 CDA Meeting

Tax Increment Financing (TIF) is the most commonly and widely used economic development tool for municipalities in the State and has been in existence since 1976. The process to create, manage, amend, and close TIF districts (TIDs) is regulated under [Wis. Statute 66.1105](#). The Wisconsin Department of Revenue provides State oversight of TIF districts. According to the DOR, there are 1,400 active TIDs in the State. The DOR maintains a [TIF Manual](#) for those interested in a deeper dive into the TIF mechanics, processes and requirements. Common definitions and terms related to Tax Increment Financing:

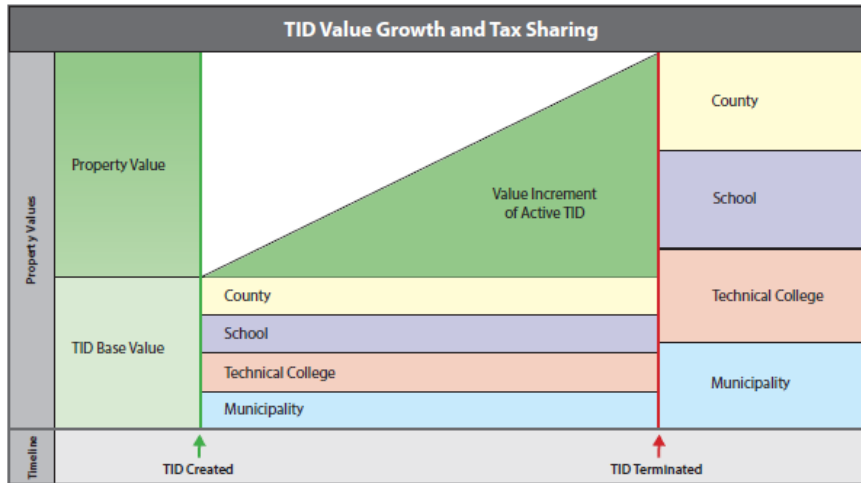
- TIF (Tax Increment Financing). An economic development financing tool.
- TID (Tax Increment District). The area/boundary where TIF is used.
- Project Plan. A document explaining the financial details, development plans and maps for the TID.
- Base Value. The total value, as equalized by DOR, of the real property located within the TID as of the creation date of the TID.
- Current Value. The total equalized value of the real property in the TID as of January 1 of the current year, certified annually on approximately October 1.
- Tax Increment. The taxes levied by all overlying taxing jurisdictions on the value between the base value and the current value of the TID. The municipality that manages the TID uses these taxes to pay for the approved project costs.
- Value Increment. The difference in value between the Base Value and the Current Value of the TID. This is the amount of property value that can be attributed to the TID investment used to generate the tax increment that pays for the investments.

Below is a graphic from the DOR TIF Manual that explains how TIF works:

B. How TIF Works

When a municipality creates a TID, the municipality and other taxing jurisdictions agree to support their operation from the existing tax base within the TID. They agree the municipality will use the taxes on the value increase in the TID to pay for the investment.

1. Sharing the tax base



Essentially, TIF allows a municipality to use the Tax Increment generated within the TID to pay for investments made within the TID that lead to the generation of the Tax Increment. The basic tenants of the creation of a TID is the finding that *but for* the use of TIF the development proposed (Tax Increment) would not occur or would occur to a lesser extent or timeframe; the economic benefits of the TID, as measured by increased employment, business and personal income and property value (Value Increment), are sufficient to compensate for the cost of the improvements; and the benefits of the proposed TID outweigh the anticipated tax increments to be paid to the overlaying taxing jurisdictions.

Generally speaking, there are five types of TIDs: Industrial (15/20), Mixed-Use (15/20), Blighted (22/27), Rehabilitation & Conservation (22/27), and Environmental (22/27). Each type of TID has a maximum expenditure period (first value) and maximum life (second value). The maximum expenditure period is the time during the life of a TID where the municipality may complete projects within the TID, including public works projects or development incentives.

During the remaining five years of the TID, a municipality may only continue to pay down existing TID related debt service and pay for administrative, organizational, legal and accounting services related to managing the TID. The declaration of TID type is based on the type of land that makes up 50% or more of the area in the TID. The proposed TID boundary corresponds with areas identified for Business Park and Medium Density Residential in the [Village's 2023 East Side Neighborhood Plan](#).

Mixed-Use TIDs can only include lands proposed for newly platted residential use if it does not exceed 35%, by area, of the real property in the TID and the residential development meets other qualifications. "Newly platted" refers to land that has not been previously subdivided or is currently subject to a replat as defined in Wis. Stat. 236.02(11). The proposed TID includes approximately 14% of the area for newly platted residential uses. Under state law, increment revenue may only be spent on newly platted residential development in a mixed-use TID if the



TID includes less than 35% of lands proposed for newly platted residential use and if one of the following applies:

1. Density of the residential housing is at least three units per acre. Proposed multi-family residential development in TID #7 would correspond to the Village's East Side Neighborhood Medium Density Residential Future Land Use Category. Chapter 4 of the plan describes these areas as having typical net densities of 5-15 units per acre with individual developments up to 20 dwelling units per acre, with further increases considered for legally restricted affordable housing or developments along existing or future transit corridors.
2. Residential housing is located in a conservation subdivision (not applicable)
3. Residential housing is located in a traditional neighborhood development (not applicable)

Other customary TID boundary creation requirements include that only properties within the municipality can be included in the TID, only whole parcels can be included, and the boundaries of the TID must be continuous. The draft TID boundary map follows these state statute requirements. There are three proposed properties for inclusion in the TID totaling 46 acres.

The total Base Value (current assessment values) is approximately \$470,000. State Statute requires that the total assessment value of parcels proposed for inclusion in a new TID, plus the Value Increment of all existing TIDs in the municipality (\$137,815,000), can't exceed 12% of the Total Equalized Value of properties in the municipality (\$1,836,335,200). This is known as the 12% compliance test. According to the DOR, the Village's 2025 percentage is 7.50%. The creation of the new TID is anticipated to increase this value to approximately 7.53%. Thus, even with the creation of the new TID, the Village will have remaining capacity to create or amend existing TIDs in the future.

Future CDA meetings will be held to review and recommend the Project Plan for the TID. This includes a deeper dive into the projected TID revenues and expenses within the draft Project Plan. It is important to note, that the creation of a TID in itself does not create specific obligations of the municipality in terms of approval of certain development proposals or the expenditure of funding. Those decisions are made on a case-by-case basis after the TID is created.

In addition to the CDA's role in developing the draft TID Project Plan other meetings will need to be held in order to consider approval of the new TID. This includes a public hearing by the Plan Commission, approval by the Plan Commission, approval by the Village Board and approval by the Joint Review Board. Under Wis. State Statute 66.1105, the final decision regarding whether to create or amend the boundaries of an existing TIF District is under the authority of the Joint Review Board (JRB). The JRB is made up of the Village President, Public Member nominated by the Village President, a member of the McFarland School District, a member of Dane County, and a member of Madison Technical College. Once a TIF District is created, the Village Board has final authority over the annual budgeting and use of TIF district revenues.



FINANCIAL/BUDGET IMPACT:

The Village's 2026 Capital Improvement budget includes \$25,000 in funding related to various expenses to create the TID. This includes funding for consultant expenses to create the TID Project Plan, public notification expenses, and required Department of Revenue creation fee (\$1,000). These costs are reimbursable from future tax increment if the TID is approved. Costs to provide assistance with land acquisition, railroad, road, and utility infrastructure, and the costs to acquire the existing Downtown lumberyard would be finalized as part of the proposed real estate and development agreements contemplated in the predevelopment agreement. These expenses would then likely occur in 2027, allowing the Village to plan for those expenditures as part of the 2027-2031 Capital Improvement Plan and 2027 Budget. Funding for the potential acquisition of the existing Bliffert Lumber properties would be from existing Tax Increment District #4, via donation of surplus revenue from TID #3.

VILLAGE PLAN REFERENCE:

This proposed project is supported by a number of existing Village plans.

[2025-2026 Village Board Strategic Plan](#)

- *Objective 1: Attract and enhance new and existing restaurants, retail, light industrial, office, mixed-use, and civic uses in the downtown area, USH 51/Farwell corridor, East Side Growth Area, and surrounding areas.*
- *Objective 2: Develop incentives for business growth such as incubator programs, tax increment financing districts, and recruitment/retention.*
- *Action Step III: Consider development opportunities created through Pre-Development Agreement with Bliffer Lumber and Elvehjem Acres.*

2023 East Side Plan

The Elvehjem Acres property is identified in [Chapter 4, Master Plan Concept](#), for future Business" or Medium Density Residential, including Map Note #2 which further explains: *This 22-acre parcel is adjacent to an existing rail corridor, which offers an opportunity for a niche rail-support industry. The property is uniquely buffered by wetlands and a major road. Siting an industrial use should take advantage of these buffers, as well as use building architecture to minimize its impact on adjacent uses. If a niche industrial use is not found, medium-density residential is preferred.* Chapter 4 describes the "Business" future land use category as *"including office buildings, office-showrooms, warehouses, and light industrial buildings that offer retail trade, or services for individuals or businesses. Typical implementing zoning districts include: General Commercial (C-G), Commercial Park (C-P), Highway-Commercial (C-H), Limited Commercial (C-L), and Manufactured-Intensive Commercial (M-IC)."*

[2023 Economic Strategic Plan](#)

Strategy #2: Expand Commercial and Industrial Land Base. McFarland only has one remaining vacant industrial zoned property and needs additional commercial and industrial land. The Village is in the unique position to be programming new space in the community via the East Side Plan as the property along McFarland's east side is available and prime for development to meet the community's needs for the next several years. Additional work to be



done in tandem with development includes extending utilities, road construction, and potentially creating Tax Increment Districts. Expanding the land available for commercial and industrial development is an invitation for investment which facilitates wage and income growth, growth in the tax base, and quality of life for residents. Expanding the land base allows for existing businesses to grow locally - retaining the relationships between themselves and their labor force as well as the communities that have nurtured them. Additionally, land availability can be a competitive advantage to attract outside investment into the community.

Strategy #6: Attract New Commercial/Retail/Service Businesses. Retail and commercial businesses will be best located in existing commercial corridors, downtown, and newly planned mixed-use buildings within the East Side neighborhood. The redevelopment of the existing lumberyard is specifically mentioned on page 30: The lumberyard and several of the older residential lots present opportunities for redevelopment to higher density residential, mixed-use, and commercial development and on page 44: "The current site of Chase Lumber near downtown is a prime redevelopment site. Village staff should engage in conversation with company representatives to initiate or continue the discussion."

2017 Comprehensive Plan

The [Future Land Use Map](#) identifies the existing lumberyard property for future Downtown uses. Figure 4.1 further defines this as *"land uses and activities here are designed to create vibrant places and community gathering spots. Desirable land uses include commercial services, retail, restaurants, lodging, office, multiple family residential (mainly in upper stories), and institutional, including on sites and/or buildings that mix uses."* Redevelopment of the Downtown lumberyard is also supported by the following:

- *Land Use Initiative #4: Implement and Update Plans for Downtown Revitalization.*
- *Land Use Policy #5: Actively promote infill development and redevelopment where opportunities present themselves, particularly for underutilized properties along Terminal and Triangle Drive, Highway 51, Farwell Street, and the downtown area.*

In 2023, the Comprehensive Plan was amended to include the 2023 East Side Plan. The Future Land Use Map identifies the Elvehjem Acres property for future Mixed-Use/Flex Commercial with additional details regarding preferred land uses and policies as provided within the 2023 East Side Plan.

2010 Downtown Strategic Market Analysis

Page 19: Chase Lumber - As an operating business that generates activity, the lumber yard brings benefits to the downtown. Pursuing a relocation strategy for the business should not be a near-term priority. Particularly given that the current economic situation will limit near-term private development. However, in the longer term, utilizing the lumber yard site for development that is more appropriate for its central and highly-visible downtown location may become a priority.

2008 Tax Increment District #4

The existing lumber yard is located within TID #4. Map 4 of the Project Plan identifies the



existing lumberyard as a future redevelopment site.

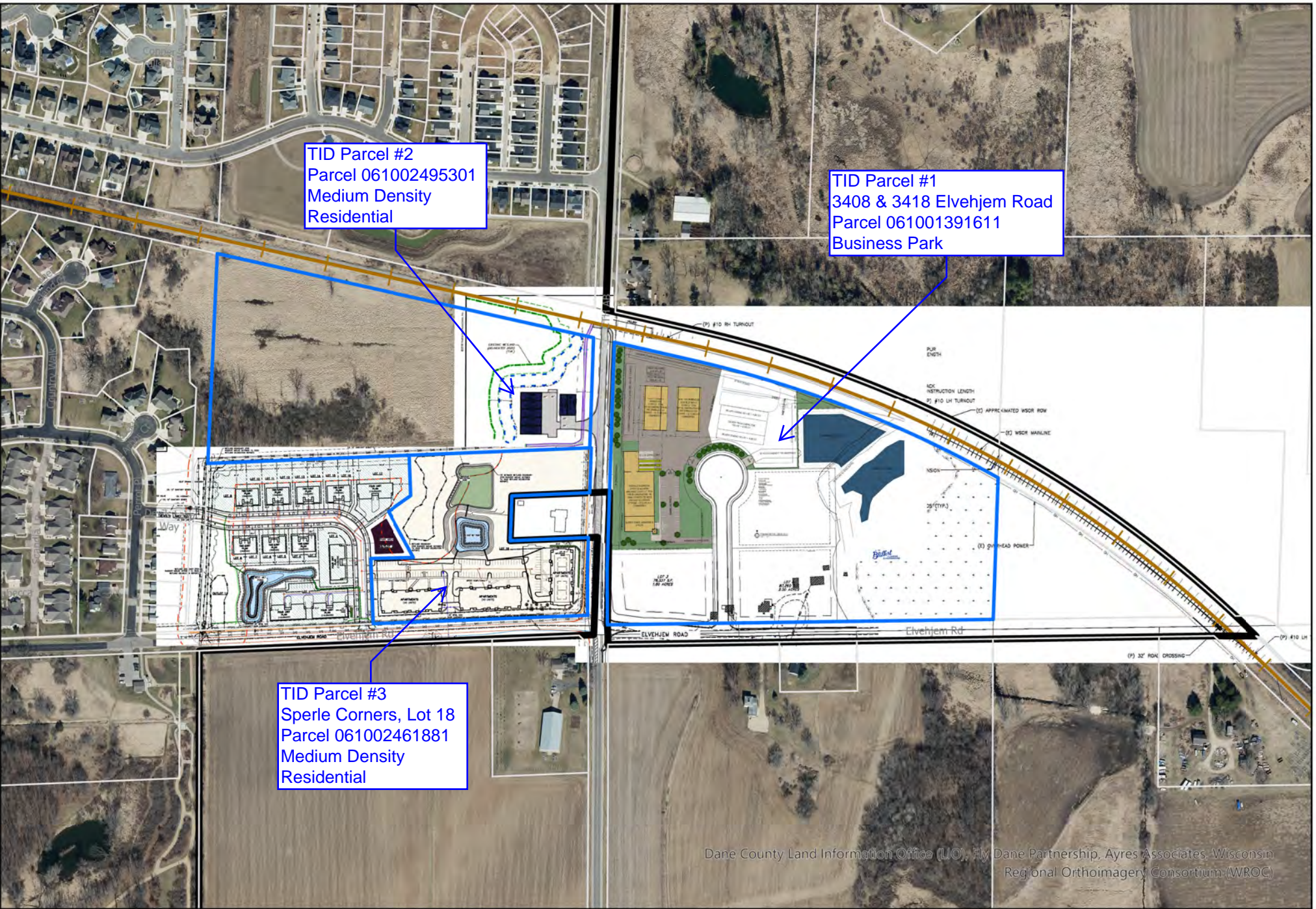
ORDINANCE REFERENCE:

BOARD, COMMISSION OR COMMITTEE RECOMMENDATION:

This agenda item is presented for discussion only.

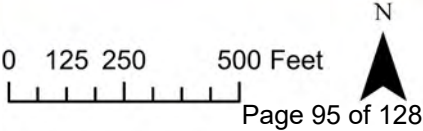
ATTACHMENTS:

1. Elvehjem & CTH AB TID Concept Map_02.05.26
2. McFarland TID #7 Project Plan Draft 6.5.26

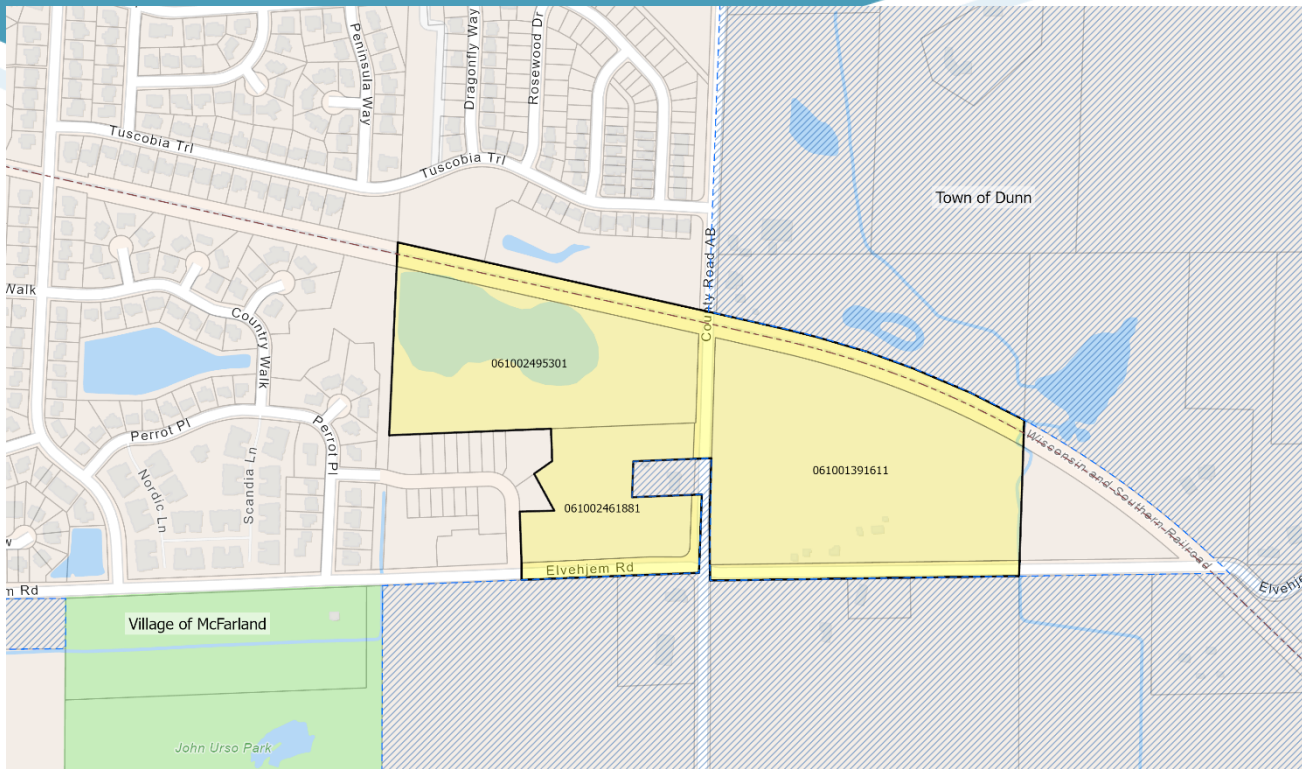


**Elvehjem Road & CTH AB
Proposed TID**

- Potential TID Parcels
- Municipal Boundary
- Parcels
- Railroad



VILLAGE OF MCFARLAND, DANE COUNTY TAX INCREMENT DISTRICT #7 PROJECT PLAN



06/05/26

TID #7 CREATION PROJECT PLAN DRAFT

Tax Increment District #7 is created as a Mixed-Use District to provide financial support for industrial and residential development in the southeastern area of the Village. The TID will also fund improvements within ½ mile of the boundary.

ACKNOWLEDGEMENTS

Village of McFarland Community Development Authority	Village of McFarland Plan Commission	McFarland Village Board	Village of McFarland Staff
Kathy Annen (Chair)	Stephanie Brassington (Chair)	Stephanie Brassington, Village President	Matt Schuenke, Village Administrator
Luke Fessler	Luke Fessler	Kathy Annen, Trustee	Andrew Bremer, Community & Economic Development Director
Elizabeth Yszenga	Karen Pominville	Ken Boyd, Trustee	Cassandra Suettinger, Deputy Administrator/Clerk
Josh Ostermann	Benjamin Tanko	Luke Fessler, Trustee	
Kurt Zimmerman	Eric Johnson	Alisa Leamy, Trustee	
Anthony Hennes	Kyle Shelton	Mark Neidinger, Trustee	
Zachary Dixon	Christopher Reynolds	Lowell Prill, Trustee	

TIF Consultant

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MIXED-USE TAX INCREMENT DISTRICT PROJECT PLAN

INTRODUCTION

The Village of McFarland is a community of approximately 8,991 residents located in southeastern Dane County, Wisconsin along U.S. Highway 51 and the eastern shore of Lake Waubesa. The Village lies approximately 7 miles southeast of downtown Madison and is immediately adjacent to the City's south and southeast sides. McFarland is bordered by the City of Madison to the north, the Towns of Cottage Grove and Pleasant Springs to the east, the town of Dunn to the south, and Lake Waubesa to the west.

McFarland has a history of responsibly using tax increment financing as a tool to catalyze development, address infrastructure constraints, and reinvest in areas presenting opportunities for growth or redevelopment. This proposed district would be the seventh TID established by the Village.

TID #7 is being proposed to support a new business park and medium-density neighborhood development at the intersection of County Highway AB and Elvehjem Road in the southeast area of the Village. A central objective of the District is to facilitate the relocation and expansion of Bliffert Lumber from its existing downtown location to a new, modernized facility in the business park with access to the Wisconsin and Southern Railroad. This relocation would retain an existing business in McFarland, add jobs, and free the current downtown lumber site for future redevelopment consistent with the goals of the Village.

Significant public improvements are needed to support the creation of the business park and the adjacent housing development(s), including the construction of a rail spur, new roads, improvements to existing roads (CTH AB and Elvehjem), and utility extensions.

The proposed district is approximately 55.8 acres in size and meets the following goals of the Village as identified in the 2023 East Side Plan/Comprehensive Plan:

- Identify developable land of 40-100+ acres in size that is suitable for a business park
- Facilitate the development of infrastructure to serve industrial development/business park sites
- Retain existing businesses and grow employment opportunities
- Promote healthy neighborhoods with varied housing types, sizes, and price points
- Locate employment options next to/connected to residential areas

TID CREATION PROCESS AND SCHEDULE

This Project Plan was prepared pursuant to Section 66.1105 of Wisconsin Statutes which details the process and requirements for creating Tax Incremental Financing Districts. Table 1 below shows the schedule and approval process for the creation of Tax Incremental Financing District No. 7 in the Village of McFarland:

TABLE 1: TID #7 CREATION SCHEDULE

Date	Action
February 11, 2026	Community Development Authority meeting to initiate the TID creation process.
April 23, 2026	Community Development Authority meeting to review proposed TID boundary.
May 13, 2026	Community Development Authority meeting to review first draft of TID project plan and recommend edits.
June 10, 2026	Community Development Authority meeting to review second draft of TID project plan and recommend edits.
June 16, 2026	Plan Commission meeting to review draft of TID project plan recommended by CDA and schedule Public Information Meeting and Public Hearing.
June 23, 2026	Village Board meeting to review draft of TID project plan.
June 24, 2026	Public Information Meeting and Public Hearing notice sent to all Village residents and Public Hearing Notice sent to overlying taxing jurisdictions.
June 28-July 10, 2026	Notice of JRB meeting (Class 1) is published in the local newspaper.
July 2, 2026	First notice of Public Hearing (Class 2) is published in the local newspaper.
July 3-16, 2026	Joint Review Board meeting (1 of 2) to review the proposed TID.
July 8, 2026	Community Development Authority meeting to review third draft of TID project plan and recommend Plan Commission hold a public hearing.
July 9, 2026	Second notice of Public Hearing (Class 2) is published in the local newspaper.
July 9, 2026	Public Information Meeting (for Q&A not allowed during the Public Hearing)
July 21, 2026	Plan Commission meeting to hold Public Hearing on the proposed TID.
August 18, 2026	Plan Commission meeting to act on resolution recommending consideration and approval of the proposed TID by the Village Board.
August 25, 2026	Village Board meeting to act on resolution approving the creation of the TID.
September 3, 2026	JRB meeting #2 notice (Class 1) is published in the local newspaper.
September 8 - 30, 2026	Joint Review Board meeting (2 of 2) to approve the TID creation and notify the Village Board of their decision.
Within 60 days of JRB action	Department of Revenue is notified of the TID creation.
October 31, 2026	Deadline to submit the TID creation base packet materials and project plan to the DOR.

Documentation of all resolutions, notices, and minutes can be found in the appendix of this project plan. As required by Wisconsin Statutes Chapter 66.1105(5)(b), a copy of this project plan will be submitted to the Wisconsin Department of Revenue and used as the basis for the certification of Tax Increment District #7 in the Village of McFarland.

This is to be used as the official plan that guides development activities within TID #7. Implementation of the plan and completion of the proposed activities will require a case-by-case authorization by the Plan Commission and Village Board. Public expenditures for projects listed in the plan will be based on the development status of the land and economic conditions existing at the time the project is scheduled for construction. The Village Board or Plan Commission is not mandated to make expenditures described in this plan but is limited to implementing only those project cost categories identified. Changes in boundaries or additional project categories not identified here will require formal amendment to the plan involving public review, Community Development Authority, Plan Commission, Village Board, and Joint Review Board approval.

TYPE OF DISTRICT, SIZE, AND LOCATION

TID #7 is being created as a 20-year mixed-use TID of approximately 55.8 acres in size (including road and rail right of way) generally located in the southeastern part of the village at the intersection of County Highway AB and Elvehjem Road, bounded by the Town of Dunn boundary to the north and south and bisected by CTH AB, located within the Village limits. A boundary map is provided in Appendix A.

DISTRICT BOUNDARIES

The boundary for TID No. 7 was established using the following criteria, consistent with Wisconsin TIF law:

- The equalized value of taxable property of the district plus the aggregate value increment of all existing tax increment districts in the Village does not exceed 12 percent of the total equalized value of taxable property within the Village.
- The District boundary is contiguous and contains only whole parcels.
- Not less than 50%, by area, of the real property within the district is suitable for mixed-use development as described in ss.66.1105(2)(cm): "Mixed-use development" means development that contains a combination of industrial, commercial, or residential uses, except that lands proposed for newly-platted residential use, as shown in the project plan, may not exceed 35 percent, by area, of the real property within the district."

- Less than 35% of the district area is land proposed for newly-platted residential development and density is at least three units per acre.

A boundary map of the TID is provided in Appendix A and a legal description of the TID boundary is provided in Appendix B.

PARCEL LIST AND LAND USES

The following tax parcels are included in TID No. 7:

TABLE 2: PARCELS INCLUDED IN TID #7

Parcel Number	Owner	Site Address	Acres	Current Land Use	Future Land Use	2026 Land Value	2026 Improvement Value	2026 Assessed Value
61001391611	Elvehjem Acres LLC	3408 & 3418 Elvehjem Rd.	22.3	Residential; Agriculture; Undeveloped	Business Park; Open Land	\$256,800	\$199,100	\$455,900
61002495301	HWY AB LLC	No address	15.70	Agriculture	Neighborhood	\$7,500	\$0	\$7,500
61002461881	LAKESTONE PROPERTIES & MANAGEMENT LLC	6350, 6400, 6450 Devils Lake Way	7.35	Residential development in progress	Neighborhood	\$6,600	\$0	\$6,600
			45.35			\$270,900	\$199,100	\$470,000

TABLE 3: NEWLY-PLATTED RESIDENTIAL CALCULATION

	Acres	% of TID Area
Total TID Area	55.8	100%
Newly-Platted Residential	15.7	28.1%

Of the total area of TID No. 7, 15.7 acres (parcel no. 61002495301) are designated for future newly-platted residential, consisting of 28.1% of the total TID area. This is within the 35% limit per Wisconsin TIF law.

There is currently a residential development being constructed on parcel no. 61002461881. The plat for this parcel and the residential development were approved by the Village in 2025, and the plat was officially recorded in January 2026. Discussion about planning for the creation of TID No. 7 began at the CDA meeting on February 11, 2026. As such, this parcel shall be considered existing residential platting and not newly-platted residential.

EXISTING CONDITIONS: SUMMARY OF FINDINGS

As required by Wis. Stat. 66.1105 and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

- That “but for” the creation of this District, the development projected to occur as detailed in this Project Plan: a) would not occur, or b) would not occur in the manner, at the values, or within the timeframe desired by the Village. In making this determination, the Village has considered the following information:
 - o The Village desires to create a new business park in an appropriate location, consistent with the 2023 East Side Plan and 2017 Comprehensive Plan.
 - o Bliffert Lumber, an existing McFarland business, would like to expand and relocate from their current downtown facility (freeing that land up for redevelopment), but must have access to rail for their operations.
 - o There is land at the intersection of County Highway AB, Elvehjem Road, and the Wisconsin and Southern Railroad that is well-suited for a new business park with rail access, and the current landowner is willing to sell this land to the Village. There is also land adjacent to this parcel, across CTH AB, that is owned by the same landowner. Consistent with the comprehensive plan, the Village would like to encourage medium-density residential development on this parcel, complementing a residential development in progress directly south.
 - o In order to prepare these sites for their desired uses, a number of public infrastructure investments must be made, including the construction of a rail spur, roads, utilities, and improvements to existing roads.
 - o But for TIF, and the ability to finance the public and private infrastructure, the development would not happen in this area or in the timeframe or manner desired by the Village.
- To achieve its objectives, the Village has determined that it must take an active role in encouraging development by making appropriate public expenditures in the area. Without the availability of tax increment financing, these expenditures are unlikely to be made. Enhancement of this area will complement existing establishments in the Village and benefit not only the Village but all overlapping taxing jurisdictions. Accordingly, the costs to implement the needed projects and programs are appropriately funded through tax increment financing.

- The economic benefits of the Tax Incremental District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the Village has considered the following information:
 - o As demonstrated in the Economic Feasibility Section of this Project Plan, the tax increments projected to be collected will be sufficient to pay for the proposed project costs and their financing.
 - o Over time, the district is expected to add new tax base with a mix of residential and commercial uses. As such, property values are expected to be significantly higher by the time the TID closes.
- The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
- For valuation purposes, the District will become effective as of January 1, 2026. The property values as of this date will be the base value for the purposes of the TID, and the property taxes collected on this base value will continue to be distributed amongst the various taxing entities as they are now. Taxes levied on any additional value established within the District due to new construction, renovation or appreciation of property values occurring after January 1, 2026 will be collected by the TID and used to repay the costs of the TIF-eligible projects identified in this Plan.
- Since the development expected to occur is unlikely to take place without the use of Tax Incremental Financing and since the TID will generate economic benefits that are sufficient to compensate for the cost of the improvements, the Village reasonably concludes that the overall benefits of the TID outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
- The improvements to be made within the TID are likely to enhance the value of substantially all other real property in the Village surrounding the TID.
- The equalized value of taxable property of the TID does not exceed 12% of the total equalized value of taxable property within the Village (see details on Page 24).
- The Project Plan for the TID is feasible, is in conformity with the master plan of the Village and promotes the orderly development of the Village.
- The Village estimates that less than 35% of the territory within the district will be devoted to retail business at the end of the district's maximum expenditure period, pursuant to Wisconsin Statutes Sections 66.1105(5)(b).

- 28.1% of the total TID area is planned for newly-platted residential.
- TID #7 is being created as a Mixed-Use District. This project plan has met the definition and requirements for a Mixed-Use District. Not less than 50% of the proposed district's land by area is suitable for a mix of commercial, industrial, and residential uses. The future land use map designates the area to include a mix of residential, industrial, and commercial uses.
- The project costs relate directly to promoting industrial/commercial and residential development in the Village. This mix of uses is consistent with the requirements of a mixed-use TID and the purpose for which the District is created.

PROPOSED PUBLIC WORKS

TID #7 is being created as a mixed-use district to promote the development of land into a well-balanced mix of industrial/commercial and residential uses, enhance the value of property, and broaden the tax base. The Village and Plan Commission may spend funds on planning, public improvements, parcel assembly, demolition of existing structures, financial incentives, and site improvements to promote mixed-use activities.

Costs directly or indirectly related to achieving the objectives of promoting mixed-use development are considered "project costs" and eligible to be paid from tax increments of this tax increment district, including but not limited to the list below. The costs of planning, engineering, design, surveying, legal and other consultant fees, testing, environmental studies, permits necessary for public work, easements, judgments or claims for damages, and other expenses for all projects are included as project costs. Funds may be expended up to a half mile outside the TID boundary.

Listed below are major public improvement categories, which are necessary and standard improvements for promoting mixed-use development. Table 4 on Page 16 summarizes total costs by category. Actual costs incurred may vary significantly by category, and the total budget may change depending upon the character and values of any project approved for this TID.

A. INFRASTRUCTURE FOR DEVELOPMENT OF THE DISTRICT

Proposed infrastructure improvements to public or private property may include:

- Street construction or reconstruction, relocation, removal, upgrading, or maintenance to facilitate development within TID 7. Street infrastructure includes bridges, sidewalks, curb and gutter, bike lanes, parking lanes, street lights, traffic signals, signage, markings, and other amenities for the safety and comfort of motor vehicles, bicycle, and pedestrian traffic.

- Pedestrian and bicycle path construction, including trail lighting, signage, and supporting amenities such as bicycle racks or repair stations.
- The construction, installation, or alteration of sanitary or storm sewer, water system improvements, gas or electric infrastructure, or public safety infrastructure that serves the district. This includes but is not limited to sewerage treatment plants, test wells, water production wells, water treatment plants or other environmental protection devices, storm or sanitary sewer lines, stormwater management facilities, water lines, natural gas, electric, telecommunications and other utility connections.

A total of \$4,564,046 is budgeted for infrastructure improvements in the district.

B. STREETSCAPING IMPROVEMENTS

Streetscaping improvements include the installation of gateway, wayfinding, and street signage, public art installations, landscaping, lighting, information kiosks, and other streetscaping furnishings such as benches, trash receptacles, banners, flower pots, etc.

\$25,000 is budgeted for streetscaping improvements.

C. SITE IMPROVEMENTS

Site improvement activities required to make sites suitable for development including, but not limited to, the construction of public works or improvements, new buildings, structures, and fixtures; the demolition, alteration, remodeling, repair or reconstruction of existing buildings, structures, and fixtures other than the demolition of listed historic properties and the acquisition of equipment to service the district; environmental studies and remediation, stripping topsoil, grading, compacted granular fill, topsoil replacement, access drives, parking areas, landscaping, storm water detention areas, signs, fencing, and related activities.

\$75,000 is budgeted for site improvement costs within the district.

D. LAND ACQUISITION AND ASSEMBLY COSTS

This may include but is not limited to fee title, easements, appraisals, environmental evaluations, consultant and broker fees, closing costs, surveying and mapping, lease and/or the sale of property at below market price to encourage or make feasible an economic development project. This could also include the cost of relocating existing businesses or residents to allow redevelopment.

\$2,050,000 is budgeted for land acquisition and assembly.

E. DEVELOPMENT INCENTIVES

The Village may use TID #7 funds to provide incentives to developers and businesses to promote and stimulate new development.

The Village may enter into agreements with property owners, businesses, developers, or nonprofit organizations for the purpose of sharing costs to encourage the desired kinds of improvements. In such cases, the Village will execute development agreements with the developers and/or businesses, which will identify the need, type and amount of assistance to be provided, the benefits to the District and the Village, and the terms by which any TIF benefits may be provided.

The Village may provide funds either directly or through an organization authorized by Wisconsin Statutes for the purpose of making capital available to developers to stimulate or enable economic and housing development projects within TID #7. Funds may be provided in the form of a cash grant, forgivable loan, direct loan, land write down or loan guarantee. Such funds may be provided at terms appropriate to, and as demonstrated to be required by the proposed economic development and/or housing project and shall be set forth in a development agreement. No cash grants or loans will be provided until a development agreement has been signed between the developer and the Village.

\$750,000 is budgeted for Development Incentives throughout the District.

F. PROFESSIONAL SERVICES

Including, but not limited to, those costs incurred for architectural, planning, engineering, accounting, and legal advice related to implementing the project plan, negotiating with property owners and developers, and planning for the redevelopment of the area.

\$150,000 is budgeted for professional services.

G. DISCRETIONARY PAYMENTS

Payments made, at the discretion of the local legislative body, which are found to be necessary or convenient to the creation of tax incremental districts or the implementation of project plans. This could include expenditures to the Community Development Authority to undertake community development projects, business park promotional and marketing projects, parks and recreation improvements, the improvement of other public amenities serving residents in the District, neighborhood improvements to improve the quality of life or safety of the residents,

workers, or visitors in the District, and other payments which are necessary or convenient to the implementation of this project plan.

\$25,000 is budgeted for discretionary payments over the life of the TID.

H. ADMINISTRATIVE AND ORGANIZATIONAL COSTS

Administrative costs including, but not limited to, a reasonable portion of the salaries, benefits, and training expenses of Village employees and elected officials, professional fees for audits, legal review, planning and engineering services, professional assistance with the creation, amendment, and general administration of TID 7, and others directly involved with the projects over the life of the District. Also included as an eligible administrative cost is the \$1,000 Certification Fee charged by the Wisconsin Department of Revenue.

\$150,000 is budgeted for administration costs.

I. INFLATION AND FINANCING COSTS

Inflation costs include anticipated inflation between the time of creation of the TID and the planned time of expenditures. The actual amount will vary depending upon the timing of expenditure and the inflation rate. Financing costs include, but are not limited to, interest, professional and finance fees, bond discounts, bond redemption premiums, legal opinions, ratings, capitalized interest, bond insurance, and other expenses related to financing TID 7 projects. Also includes interest on advances to the TID from the Village's General, Utility, or Stormwater Funds to cover any annual cash flow deficits.

\$1,615,226 is budgeted for financing costs in TID 7.

A map identifying proposed project locations is provided in Appendix A.

The projects listed above will provide necessary support to enable and encourage the development of TID #7 and help promote a mix of uses in and around TID #7. These projects may be implemented to varying degrees in response to development needs. Most of the planned improvements will be located within TID #7, but the Village reserves the right to locate improvements outside of TID #7 as provided by law and described elsewhere in this document.

DETAILED PROJECT COSTS

Table 4 describes the detailed project costs for project categories anticipated to be implemented during the expenditure period of TID #7. This format follows Department of Revenue guidance on detailed project costs, which states that the list should show estimated expenditures expected for

each major category of public improvements. In addition to the above projects, the Village of McFarland may request multiple base value redeterminations during the life of the TID, if necessary and allowed by the Wisconsin State Statutes. The Village may also request an affordable housing extension as allowed by Wisconsin State Statutes.

All costs listed are based on 2026 prices and are preliminary estimates. The Village reserves the right to revise these cost estimates to reflect change in project scope, inflation, and other unforeseen circumstances between 2026 and the time of construction or implementation. The Village should pursue grant programs to help share project costs included in this project plan, as appropriate. Planned project costs are listed in the table on the following page.

The Village may fund specific project cost items shown below in significantly greater or lesser amounts in response to opportunities that will help the Village accomplish the purposes of TID #7. The Village will generally use overall benefit to the Village and economic feasibility (i.e. the availability of future revenue to support additional project costs) in determining the actual budget for project cost items over the course of the TID's expenditure period.

TABLE 4: TID #7 PLANNED PROJECT COSTS

Type of Expenditure	Amount	Paid By		% Paid by
		TID	Other	TID
A. Infrastructure				
Rail Spur	\$1,996,515	\$1,928,633	\$67,882	97%
Road Construction	\$1,171,570	\$1,135,344	\$67,882	97%
Utilities (Water & Sewer)	\$2,085,442	\$1,500,069	\$585,373	72%
Total Infrastructure	\$5,253,527	\$4,564,046	\$721,136	87%
B. Streetscaping Improvements				
Misc. Streetscaping Improvements	\$25,000	\$25,000	\$0	100%
Total Streetscaping Improvements	\$25,000	\$25,000	\$0	100%
C. Site Improvements				
Environmental Review & Remediation	\$25,000	\$25,000	\$0	100%
Misc. Site Improvements	\$50,000	\$50,000	\$0	100%
Total Site Improvements	\$75,000	\$75,000	\$0	100%
D. Land Acquisition and Assembly				
Land Acquisition and Assembly	\$2,050,000	\$2,050,000	\$0	100%
Total Land Acquisition and Assembly	\$2,050,000	\$2,050,000	\$0	100%
E. Development Incentives				
Development Funds/Incentives	\$750,000	\$750,000	\$0	100%
Total Development Incentives	\$750,000	\$750,000	\$0	100%
F. Professional Services				
Legal & Accounting	\$75,000	\$75,000	\$0	100%
Planning & Engineering (Misc.)	\$75,000	\$75,000	\$0	100%
Total Professional Services	\$150,000	\$150,000	\$0	100%
G. Discretionary Payments				
Promotion & Development	\$25,000	\$25,000	\$0	100%
Contributions to CDA	\$0	\$0	\$0	
Total Discretionary Payments	\$25,000	\$25,000	\$0	100%
H. Administrative/Organizational Costs				
Village TID Administration	\$125,000	\$125,000	\$0	100%
Department of Revenue Submittal Fee	\$1,000	\$1,000	\$0	100%
TID Creation	\$24,000	\$24,000	\$0	100%
Total Administrative/Organizational Costs	\$150,000	\$150,000	\$0	100%
I. Inflation & Financing Costs				
Financing Costs	\$1,615,226	\$1,615,226	\$0	100%
Total Inflation & Financing Costs	\$1,615,226	\$1,615,226	\$0	100%
Total Project Costs	\$10,093,753	\$9,404,273	\$721,136	
Total TID Budget	\$9,404,273			93%

INELIGIBLE/ESTIMATED NON-PROJECT COSTS

The following are public improvements that are not eligible to be paid with tax increment revenue under Wis. Stat. 66.1105(2)(f).2:

- The cost of constructing or expanding administrative buildings, police and fire buildings, libraries, community and recreational buildings and school buildings, unless said buildings were damaged or destroyed before January 1, 1997, by a natural disaster.
- The cost of constructing or expanding any facility, except a parking structure, if the Village generally finances similar facilities only with utility user fees.
- General government operating expenses, unrelated to the planning or development of a TID.
- Cash grants made by the Village to owners, lessees, or developers of land that is located within the TID unless the grant recipient has signed a development agreement with the Village, a copy of which shall be retained by the Village in the official records for that TID.

Non-project costs are public improvements that only partly benefit the TID or are not eligible to be paid with tax increment revenue. For example, projects undertaken within the TID as part of the implementation of this Project Plan that are fully or partially paid by impact fees, grants, or special assessments, or public works projects that only partly benefit the TID, such as a new water tower that serves properties both inside and outside of the TID and its half-mile boundary. That portion of the total project costs allocable to properties outside of the TID and its half-mile boundary would be a non-project cost.

Any infrastructure improvement projects funded with tax incremental financing will have an allocation made of benefit to property. It is presumed that infrastructure improvements within the TID benefit property within the TID. For infrastructure projects within a half-mile of the TID, an allocation of costs will be made on the basis of benefit to property within the TID and the half-mile area. For these expenditures, only costs allocated to property within a half-mile of TID #7 are considered eligible project costs. The remaining costs will be non-project costs. The TID #7 budget shows the maximum TIF funding as well as an estimated share of TIF to non-TIF funding that is subject to change as the exact allocations are not known at this time.

ECONOMIC FEASIBILITY

To evaluate the economic feasibility of the TID, it is necessary to project the amount of tax incremental revenue that can reasonably be generated from the district. The ability of the municipality to finance proposed projects must also be determined. TID #7 is economically feasible if the tax incremental revenue projected to be generated over the life of the TID is sufficient

to pay all project and financing costs incurred during the TID's expenditure period. The components of such an analysis include:

- The expected increase in property valuation due to inflation and the impact of general economic conditions on the TID.
- The expected increase in property valuation due to new development encouraged by the TID.
- Any change that may take place in the full value tax rate.
- The expected TID revenues.
- The expected TID cash flow (the timing of the revenue).

Following is a discussion of these components.

A. INFLATION

Over the past 10 years, the annual rate of inflation for commodities has averaged approximately 3% (source: Federal Reserve Bank Economic Data, Producer Price Index by Commodity). As such, inflation for the purpose of projecting future project costs is assumed to be 3.0%. Over the same period, the average annual change in total equalized property value was 6.67% in the state of Wisconsin (source: Wisconsin Policy Forum). To be conservative, an annual inflation rate of 1% over the life of the TID will be used for the purpose of making projections of equalized value/property appreciation.

B. INCREASED PROPERTY VALUE

The proposed plan for TID 7 includes the development of parcels within the TID which will increase the value of property.

TID No. 7 is projected to increase the value of property within the district by approximately \$35,297,118.

The actual values may be higher or lower than this depending upon the timing, character and financing structure of the actual projects.

C. FULL VALUE TAX RATE

Table 5 summarizes the historic full value effective tax rate in the Village between 2018 and 2025. The full value rate increased from 2023 to 2024 and 2024 to 2025. In all other years it has decreased. For our purposes, the tax rate of \$16.24 per \$1,000 with a 0.5% annual decrease will be used in this project plan to project TID revenues. This mill rate considers property tax levies from the School District, City, County, Technical College, and State.

TABLE 5: FULL VALUE EFFECTIVE TAX RATE

Year	Mill Rate/ \$1,000	Percent Change
2018	0.02074	-0.24%
2019	0.01944	-6.27%
2020	0.01908	-1.85%
2021	0.01858	-2.62%
2022	0.01651	-11.14%
2023	0.01558	-5.63%
2024	0.01596	2.44%
2025	0.01624	1.75%

Source: Wisconsin Department of Revenue, Town, Village and City Taxes.

D. TID REVENUES

A projected construction increment of \$28,968,683 is expected over the life of the TID based on the anticipated development of the business park with four lots and four residential developments on adjacent parcels.

TABLE 6: PROJECTED DEVELOPMENT

Development Description	Estimated Construction Year	Estimated Area (Acres)	Estimated TIF Increment
Lakestone Western Apt.	2026	2.45	\$4,443,826
Lakestone Middle Apt.	2026	2.45	\$4,443,826
Bliffert Lumber	2027	6.93	\$5,074,393
Urso Townhouses	2027	3.71	\$2,413,190
Commercial Lot 2	2028	1.80	\$2,521,427
Lakestone Eastern Apt.	2028	2.45	\$4,443,826
Commercial Lot 3	2029	2.00	\$2,814,097
Commercial Lot 4	2030	2.00	\$2,814,097
		23.79	\$28,968,683

The projected TIF Revenue in TID #7 is shown in Table 7 on the following page. The tax increment will generate approximately \$9,021,029 in tax incremental revenue over the life of the district.

While the TIF revenue alone is not sufficient to pay all TID related costs for the projects and amounts shown in the Planned Project Costs table on page 16, additional revenues from the sale of four business park lots and capitalized interest from Village borrowing together with the TIF revenue is enough to pay all TID project costs.

TABLE 7: TID #7 REVENUE

Assumptions								
Base Value (equalized)		\$464,360	Village purchase all business park lots.					
Tax Rate (effective) 2024		0.01624	Lakestone develops 3 buildings.					
Property Appreciation Rate		1.00%						
Annual Change in Tax Rate		-0.50%	Proposed Project(s) Final Value (equalized)		\$29,433,043			
Year	Previous Valuation	Appreciation Increment	TIF Increment		Total Valuation	Cumulative Increment	TIF Tax Rate	TIF Revenue Collected
			Construction	Land				
2026	\$464,360	\$0	\$8,427,640	\$0	\$8,892,000	\$8,427,640	0.01624	\$0
2027	\$8,892,000	\$88,920	\$7,607,600	\$0	\$16,588,520	\$16,124,160	0.01616	\$0
2028	\$16,588,520	\$165,885	\$7,080,034	\$0	\$23,834,439	\$23,370,079	0.01608	\$136,181
2029	\$23,834,439	\$238,344	\$2,926,704	\$0	\$26,999,488	\$26,535,128	0.01600	\$259,244
2030	\$26,999,488	\$269,995	\$2,926,704	\$0	\$30,196,187	\$29,731,827	0.01592	\$373,866
2031	\$30,196,187	\$301,962	\$0	\$0	\$30,498,149	\$30,033,789	0.01584	\$422,376
2032	\$30,498,149	\$304,981	\$0	\$0	\$30,803,131	\$30,338,771	0.01576	\$470,894
2033	\$30,803,131	\$308,031	\$0	\$0	\$31,111,162	\$30,646,802	0.01568	\$473,298
2034	\$31,111,162	\$311,112	\$0	\$0	\$31,422,274	\$30,957,914	0.01560	\$475,714
2035	\$31,422,274	\$314,223	\$0	\$0	\$31,736,496	\$31,272,136	0.01552	\$478,141
2036	\$31,736,496	\$317,365	\$0	\$0	\$32,053,861	\$31,589,501	0.01545	\$480,580
2037	\$32,053,861	\$320,539	\$0	\$0	\$32,374,400	\$31,910,040	0.01537	\$483,030
2038	\$32,374,400	\$323,744	\$0	\$0	\$32,698,144	\$32,233,784	0.01529	\$485,493
2039	\$32,698,144	\$326,981	\$0	\$0	\$33,025,125	\$32,560,765	0.01522	\$487,967
2040	\$33,025,125	\$330,251	\$0	\$0	\$33,355,377	\$32,891,017	0.01514	\$490,453
2041	\$33,355,377	\$333,554	\$0	\$0	\$33,688,930	\$33,224,570	0.01506	\$492,951
2042	\$33,688,930	\$336,889	\$0	\$0	\$34,025,820	\$33,561,460	0.01499	\$495,461
2043	\$34,025,820	\$340,258	\$0	\$0	\$34,366,078	\$33,901,718	0.01491	\$497,983
2044	\$34,366,078	\$343,661	\$0	\$0	\$34,709,739	\$34,245,379	0.01484	\$500,517
2045	\$34,709,739	\$347,097	\$0	\$0	\$35,056,836	\$34,592,476	0.01476	\$503,064
2046	\$35,056,836	\$350,568	\$0	\$0	\$35,407,404	\$34,943,044	0.01469	\$505,623
2047	\$35,407,404	\$354,074	\$0	\$0	\$35,761,478	\$35,297,118	0.01462	\$508,194
Total		\$6,328,436	\$28,968,683	\$0				\$9,021,029

TID Dates

Creation Date: August 11, 2026

Expenditure Period Ends: August 11, 2041

Termination Resolution Date (termination year is 2047 b/c after April 15): August 11, 2046

Last Year Increment Received: 2047 (for 2046 taxes)

E. CASH FLOW

The timing of revenue and expenditures is another consideration when assessing the economic feasibility of TID #7. There are sufficient revenues over the life of the TID to pay all costs. Table 8 summarizes the expected cash flow of TID #7. The Village plans to borrow a total of approximately \$7.4 million to pay for the construction of roads, utilities infrastructure, other road improvement costs, and the construction of the rail spur, for which they have applied for a grant that may cover some of those costs.

Financing fees are estimated to be \$147,281 (2% of principal) for a total estimated borrowing cost of \$7,585,503, including \$74,176 of capitalized interest. The total debt service over the life of the TID is estimated to be \$9,133,021, including \$1,615,226 in estimated interest expenses. For the purposes of this project plan, the interest rate on debt service is projected to be 4% with the exception of the debt service for the rail infrastructure which assumes a 2% interest rate. The project plan assumes the Village is able to obtain a Freight Rail Infrastructure Improvement Program loan from the WisDOT for the rail improvements. The Village reserves the right to increase the project plan expenses based on the actual terms of all debt service.

TABLE 8: TID #7 CASH FLOW

Year	Beginning Balance	Revenues				Expenses			Annual Surplus (Deficit)	Balance
		Land Sale, Capitalized Interest, Debt Reserve	TIF Revenues	Interest Income	Total Revenues	Debt Service	Other Expenses	TIF Pay-Go		
2026	\$0	\$0	\$0	\$0	\$0	\$0	\$37,500	\$0	(\$37,500)	(\$37,500)
2027	(\$37,500)	\$500,000	\$0	\$0	\$500,000	\$801,726	\$20,395	\$0	(\$322,121)	(\$359,621)
2028	(\$359,621)	\$350,720	\$136,181	\$0	\$486,900	\$838,814	\$20,395	\$0	(\$372,308)	(\$731,929)
2029	(\$731,929)	\$385,568	\$259,244	\$0	\$644,812	\$838,814	\$20,395	\$0	(\$214,397)	(\$946,326)
2030	(\$946,326)	\$348,480	\$373,866	\$0	\$722,346	\$905,885	\$20,395	\$0	(\$203,934)	(\$1,150,259)
2031	(\$1,150,259)	\$0	\$422,376	\$0	\$422,376	\$905,885	\$20,395	\$0	(\$503,903)	(\$1,654,162)
2032	(\$1,654,162)	\$0	\$470,894	\$0	\$470,894	\$905,885	\$20,395	\$0	(\$455,385)	(\$2,109,548)
2033	(\$2,109,548)	\$0	\$473,298	\$0	\$473,298	\$905,885	\$20,395	\$0	(\$452,981)	(\$2,562,529)
2034	(\$2,562,529)	\$0	\$475,714	\$0	\$475,714	\$905,885	\$20,395	\$0	(\$450,566)	(\$3,013,095)
2035	(\$3,013,095)	\$0	\$478,141	\$0	\$478,141	\$905,885	\$20,395	\$0	(\$448,138)	(\$3,461,233)
2036	(\$3,461,233)	\$0	\$480,580	\$0	\$480,580	\$905,885	\$20,395	\$0	(\$445,700)	(\$3,906,933)
2037	(\$3,906,933)	\$0	\$483,030	\$0	\$483,030	\$104,158	\$20,395	\$0	\$358,477	(\$3,548,456)
2038	(\$3,548,456)	\$0	\$485,493	\$0	\$485,493	\$104,158	\$20,395	\$0	\$360,940	(\$3,187,516)
2039	(\$3,187,516)	\$0	\$487,967	\$0	\$487,967	\$104,158	\$20,395	\$0	\$363,414	(\$2,824,102)
2040	(\$2,824,102)	\$0	\$490,453	\$0	\$490,453	\$0	\$20,395	\$0	\$470,058	(\$2,354,044)
2041	(\$2,354,044)	\$0	\$492,951	\$0	\$492,951	\$0	\$20,395	\$0	\$472,556	(\$1,881,488)
2042	(\$1,881,488)	\$0	\$495,461	\$0	\$495,461	\$0	\$20,395	\$0	\$475,066	(\$1,406,421)
2043	(\$1,406,421)	\$0	\$497,983	\$0	\$497,983	\$0	\$20,395	\$0	\$477,588	(\$928,833)
2044	(\$928,833)	\$0	\$500,517	\$0	\$500,517	\$0	\$20,395	\$0	\$480,123	(\$448,710)
2045	(\$448,710)	\$0	\$503,064	\$0	\$503,064	\$0	\$20,395	\$0	\$482,669	\$33,959
2046	\$33,959	\$0	\$505,623	\$170	\$505,792	\$0	\$0	\$0	\$505,792	\$539,751
2047	\$539,751	\$0	\$508,194	\$2,699	\$510,892	\$0	\$0	\$0	\$510,892	\$1,050,644
Total		\$1,584,768	\$9,021,029	\$2,869	\$10,608,665	\$9,133,021	\$425,000	\$0		

Other Expenses include: Professional Services, Discretionary Spending, Admin/Org. Costs, and Streetscaping/Site Improvements.

Assumes Village purchases all business park lots; Elvehjem Rd. from Devil's Lake Way to CTH AB reconstruction costs included; 0.5% interest on investment income.

F. IMPACT TO OVERLYING TAXING JURISDICTIONS

TABLE 9: IMPACT TO OVERLYING TAXING JURISDICTIONS

Taxing Jurisdiction	% of Mill Rate by Jurisdiction	Annual Taxes Collected on Base Value Distributed to Taxing Jurisdictions	Total Taxes Captured by TID Not Distributed to Jurisdictions	Annual Taxes Collected After TID	Increase in Annual Tax Collections After TID
School District	47.6%	\$3,592	\$4,296,834	\$250,221	\$246,629
Tech. College	3.6%	\$272	\$325,541	\$18,957	\$18,685
County	14.8%	\$1,116	\$1,334,586	\$77,718	\$76,602
Village	34.0%	\$2,561	\$3,064,068	\$178,432	\$175,871
State	0.0%	\$0	\$0	\$0	\$0
Total	100.0%	\$7,541	\$9,021,029	\$525,328	\$517,787

Taxing Districts overlying TID #7 in the Village of McFarland include Dane County, the McFarland School District, and Madison College. Impact on the overlying taxing districts is based on the percentage of tax collections in 2025. Total TIF increment over the life of the district is taken by the proportionate share from each taxing jurisdiction. An analysis of the impact on overlying taxing districts is included in the table above.

The projects planned for the TID would not occur but for the availability of tax incremental financing. TID #7 is a mechanism to make improvements in an area of McFarland with the potential for development to support growth in the Village's tax base. All taxing jurisdictions will benefit from increased property values, additional and improved infrastructure, and enhanced community vitality which will result from the projects planned in TID #7.

DESCRIPTION OF FINANCING METHODS AND TIMEFRAME

A. FINANCING METHODS

Another important aspect to consider in assessing the economic feasibility of TID #7 is the ability of the Village to finance desired projects to encourage development. Financial resources available to the Village include general obligation notes and bonds, revenue bonds, special assessments, and federal and state community development programs.

Under Wisconsin law, a municipality's debt limit is set at 5% of the municipality's total equalized property value. As of January 1, 2025, the Village's equalized property value was \$1,836,335,200. Five percent of this value yields \$91,816,760 of debt capacity. As of December 31, 2025, the Village of McFarland had an outstanding general obligation debt of \$46,845,000. The Village's remaining debt capacity is \$44,971,760. There are approximately \$9,404,273 in anticipated project costs within TID #7. Some project costs will be financed from the general fund and some

project costs will be financed from municipal borrowing. Additionally, TID administration costs can be paid out of Village operating funds and reimbursed by the TID when funds are available. Other expenses can be paid out of TID cash flow as projects are constructed, assessed, and begin paying property taxes. Alternatively, the Village may decide to issue debt to finance proposed TID costs, using the projected stream of TIF revenue not otherwise committed to service the debt.

The Village is planning to borrow the money to fund the \$4,564,046 in infrastructure costs, the \$2,050,000 in land acquisition and assembly costs, and the \$750,000 in development incentives (see Cash Flow section on page 22 for details).

B. TIMETABLE

The maximum life of the TID is twenty years and a three-year extension may be requested. The Village has a maximum of fifteen years, or until 2041, to incur TIF expenses for the projects outlined in this plan. Actual implementation of the projects may be accelerated or deferred depending on existing conditions at the time. The Village may also opt to take advantage of the current state statute that allows a municipality to collect revenue from a TID that is about to close for two additional years to benefit affordable housing in the municipality.

C. EQUALIZED VALUE (12%) TEST

Per Wisconsin State Statute 66.1105(4)(gm)4.c., municipalities cannot have more than 12% of their total equalized value in TIF districts. The percent of a municipality’s equalized value in TIDs can be calculated by adding the equalized value of taxable property in the proposed TID to the value increment of all existing TIDs in the municipality, and dividing this number by the municipality’s total equalized value.

McFarland’s 2025 municipal equalized value was \$1,836,335,200. 12% of this would be \$220,360,224. McFarland currently has three active TIDs, with a total 2025 value increment of \$137,815,000. The estimated equalized base value of TID #7 is \$464,360 (calculated by taking the 2026 assessed base value of \$470,000 divided by an equalization ratio of 0.988), which means 7.5% of McFarland’s equalized value would be in TIF districts once TID #7 is created. There is no concern about going over the 12% limit with the creation of TID #7 as proposed.

TABLE 10: VILLAGE OF MCFARLAND TID CAPACITY

2025 Equalized Value	Maximum TID Capacity
\$1,836,335,200	\$220,360,224

New TIDs cannot be created, or properties added to existing TIDs if this level is exceeded.

TABLE 11: PROPOSED TID 7 EQUALIZED VALUE

TID 7 Assessed Base Value	Assessor’s Equalization Ratio	TID 7 Estimated Equalized Base Value	Percent of Municipal Equalized Value in TID 7
\$470,000	0.998	\$464,360	7.53%

The Village of McFarland has available capacity to establish TID #7 as proposed.

CHANGES TO MAPS, PLANS, ORDINANCES

Changes to the zoning ordinance will need to be made to reflect the transitioned status of the land uses as development occurs.

Parcel No. 61001391611 is planned for the new business park and will need to be re-zoned from its current zoning of A-1 Agricultural Transition to appropriate zoning districts once the business park lots are subdivided and development is planned for each lot. Potential categories include PUD or M-IC Manufactured-Intensive Commercial District for the Bliffert Lumber site (adding retail lumber yards as a permitted or conditional use prior to development occurring), and C-P Commercial Park, C-L Commercial Limited, C-G Commercial General, C-H Commercial Highway, M-IC, or PUD for the other lots.

Parcel No. 61001391611 will need to be re-zoned from A-1 Agricultural Transition to the appropriate residential zoning district (likely R-3 General Residence District) or PUD.

No other changes to the Village’s maps, plans, or ordinances will need to be made.

RELOCATION

There are currently two single-family homes being leased on the property being proposed for the new business park. As a result of the proposed projects in TID No. 7, some residents will need to be relocated. The following is the method proposed by the Village for displacement or relocation:

Before negotiations begin for the acquisition of property or easements, all property owners will be contacted to determine if there will be displaced persons as defined by Wisconsin Statutes and Administrative Rules. If it appears there will be displaced persons, all property owners and prospective displaced persons will be provided an informational pamphlet prepared by the Wisconsin Department of Administration (DOA). If any person is to be displaced as a result of the acquisition they will be given a pamphlet on “Relocation Benefits” as prepared by the DOA. The Village will file a relocation plan with the DOA and shall keep records as required in Wisconsin Statutes section 32.27. The Village will provide each owner a full narrative appraisal, a map

showing the owners of all property affected by the proposed project and a list of neighboring landowners to whom offers are being made as requested by law.

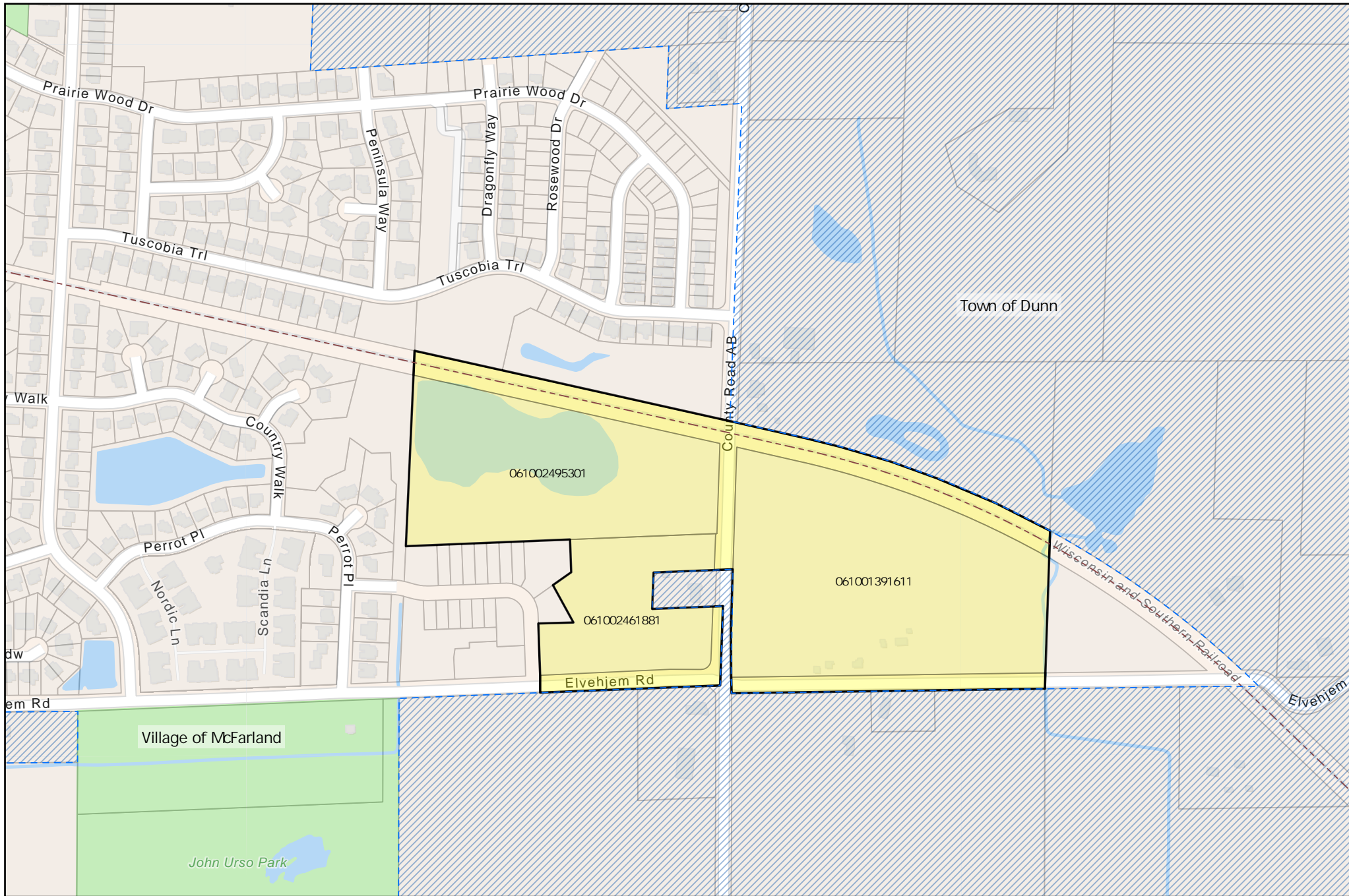
PROMOTING ORDERLY DEVELOPMENT

The creation of TID No. 7 will encourage mixed-use development in the southeastern area of the Village, consistent with the Village's East Side Plan and Comprehensive Plan. Creation of the TID will promote the development of the tax base of the Village and, in general, promote public health, safety, and general welfare. Successful implementation of the projects planned in TID No. 7 will build tax base for the Village and overlying taxing jurisdictions.

APPENDIX

- A. DISTRICT MAPS**
- B. BOUNDARY LEGAL DESCRIPTION**
- C. ATTORNEY'S OPINION LETTER**
- D. PUBLIC HEARING NOTICE**
- E. JOINT REVIEW BOARD MEETING NOTICES**
- F. PLAN COMMISSION RESOLUTION**
- G. VILLAGE BOARD RESOLUTION**
- H. JOINT REVIEW BOARD RESOLUTION**

APPENDIX A: DISTRICT MAPS



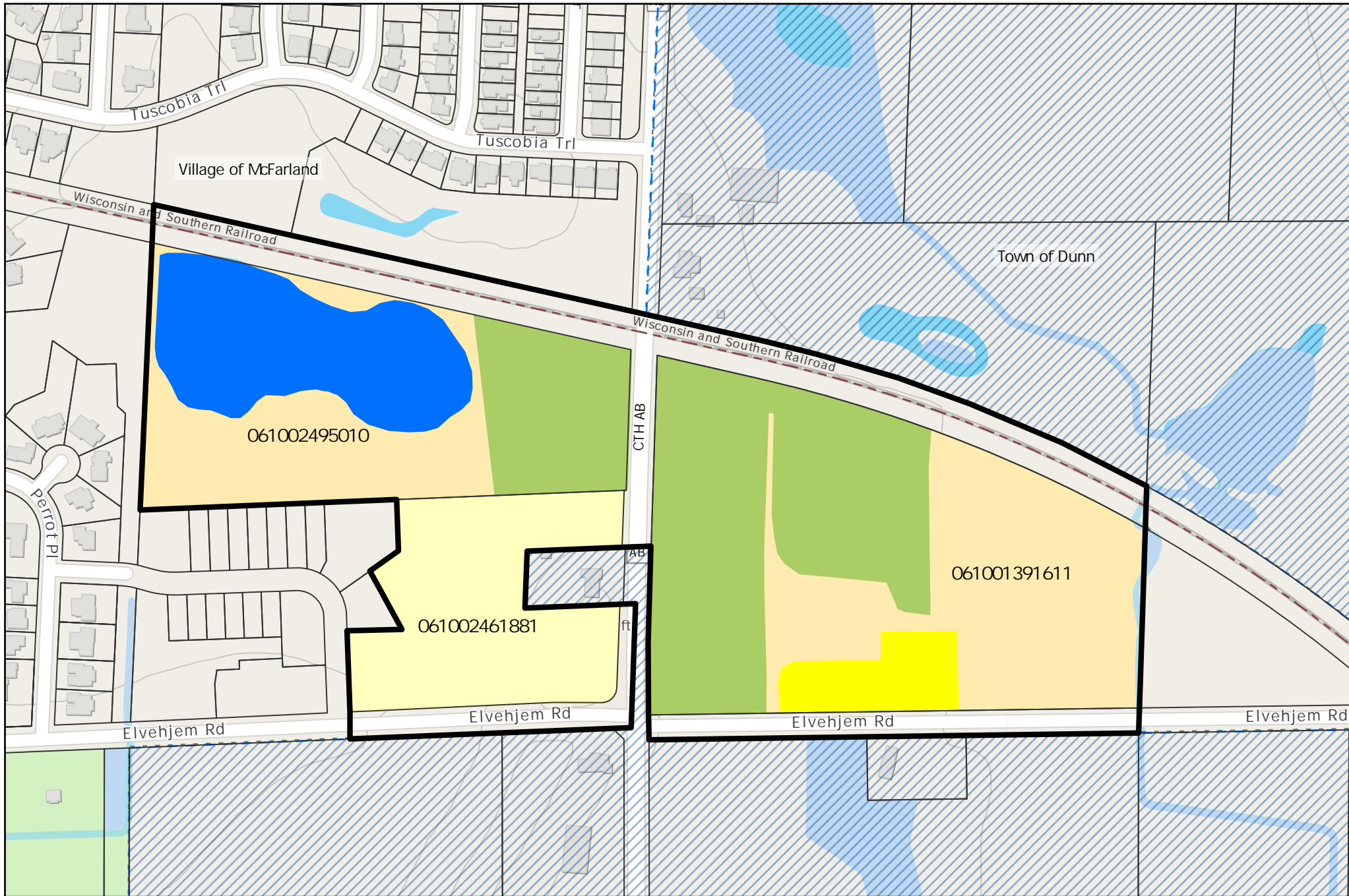










TID # 7
Railroads



Town of Dunn





- | | | | |
|---|--------------|---|-------------------------------------|
|  | TID # 7 |  | Residential |
|  | Town of Dunn |  | Agriculture |
|  | Water |  | Open Land |
|  | Parcels |  | Residential Development In Progress |





- TID # 7
- Railroads
- Parcels
- A-1 Agricultural Transition
- PD Planned Development
- Town of Dunn



